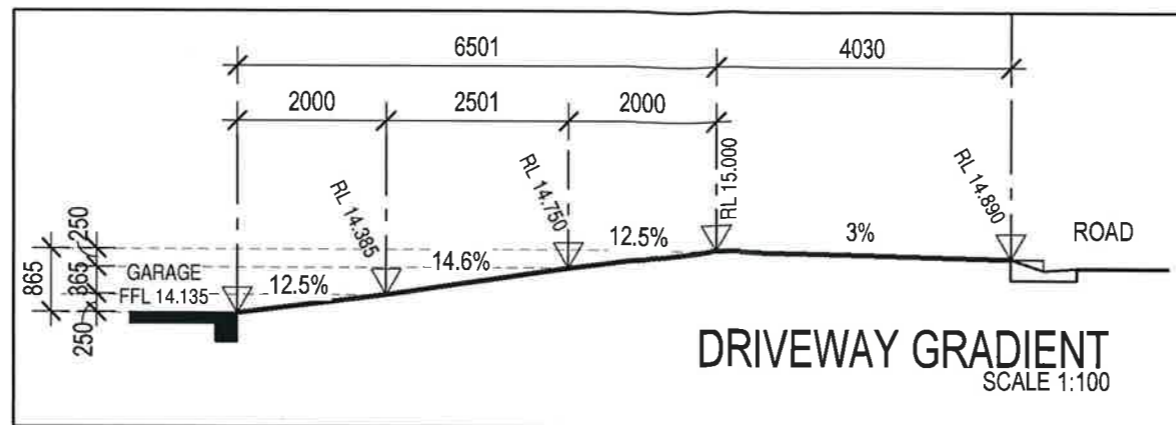


LEGEND	
WATER MAIN	SEWER VENT
TELSTRA PILLAR	SEWER LAMPPIOLE
TELSTRA MARKER POST	SEWER INSPECTION POINT
TELSTRA PIT	SURSOCK DRAIN
TELEGRAPH POLE	STORMWATER GRATE
POWER POLE	STORMWATER PIT
ELECTRICAL PILLAR	SURFACE INLET PIT
POWER LIGHT POLE	LINTEL-KERB INLET PIT
LIGHT POLE	LINTEL-KERB INLET PIT WITH GRATE
HYDRANT	STORMWATER PIPE INCLUDING PIPE SIZE
RECYCLED WATER	HEADWALL
WATER METER	CLOTHES LINE
STOP VALVE	
WATER TAP	
GAS METER	
GAS DIRECTION MARKER	
GAS INSPECTION POINT	
SEWER MANHOLE	TREE: D DIAMETER S SPREAD H HEIGHT
STREET SIGN	
FRAM CROSSING	
VEHICLE CROSSING	
E	OVERHEAD ELECTRICITY LINE
T	OVERHEAD TELECOM LINE
S	SEWER LINE

L.G.A. : NORTHERN BEACHES
 PARISH : NARRABEEN
 COUNTY : CUMBERLAND

AREA LOT 9
 VIDE DP 1206507: 410.8 m²
 BY CALC : 410.8 m²



STORMWATER TO HYDRAULIC ENG'S DETAILS

B.A.S
 POSSIBLE ENCASEMENT REQUIRED
 ADDITIONAL SEWER INFO. REQUIRED

SITE DETAILS	
LOT NUMBER:	9
DP NUMBER:	1206507
AREAS	
SITE AREA:	410.08m ²
GROUND FLOOR	128.65 m ²
FIRST FLOOR	101.78 m ²
GARAGE	37.32 m ²
PORCH	4.63 m ²
Grand total	272.37 m ²
DRIVEWAY:	33.37m ²

SITE COVERAGE:	169.86m ² - 41.42%
PRIVATE OPEN SPACE:	93.09m ²

PROJECT DETAILS:	
GROUND & FIRST FLOOR LIVING TOTAL:	230.67m ²
ROOF AREA:	199.69m ²
NO. OF BEDROOMS:	4

LANDSCAPE:	
TOTAL AREA OF VEGETATION:	207.06m ² - 50.49%

STORMWATER:	
RAINWATER TANK SIZE:	= 3000 litre
ROOF AREA CONNECTED TO RAINWATER TANK:	(62) % MIN MIN- 125.00m ² (to eng's details)
RAINWATER USES:	GARDEN/TOILET/LAUNDRY

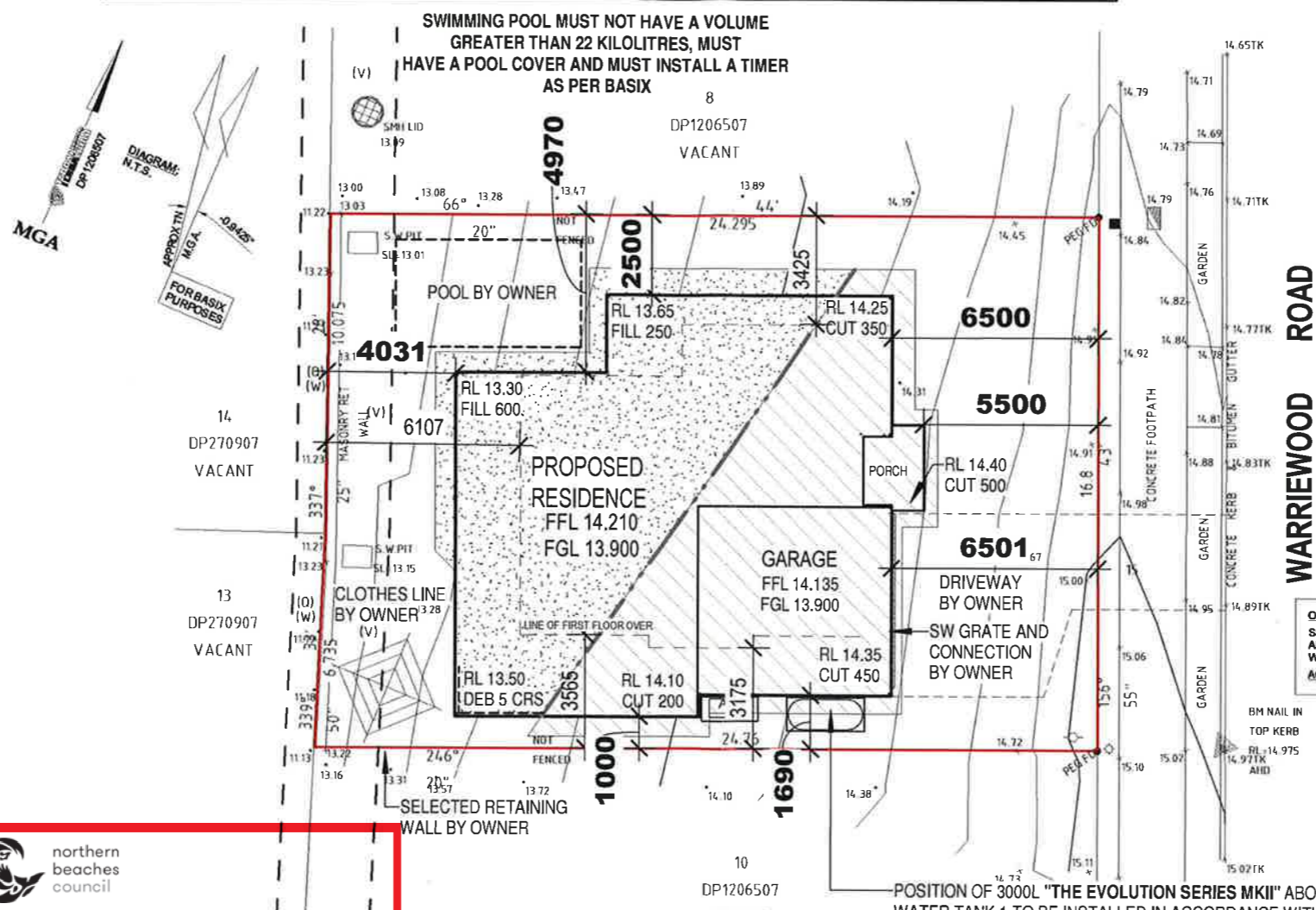
SITE NOTES & CONDITIONS:

- HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.
- EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER.
- EXISTING FENCING TO BE SECURED BY OWNER, PRIOR TO CONSTRUCTION AND TO REMAIN OUTSIDE OF BUILDING PLATFORM.
- EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.
- DIMENSIONS SHOWN ARE TO FRAME, UNDERSIDE OF ROOF TRUSSES AND FROM WINCREST FFL (CONCRETE) TO UNDERSIDE OF FLOOR JOIST
- FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY AND WILL VARY ON SITE
- ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER

- ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS

THE SUBJECT PROPERTY WAS AFFECTED BY THE FOLLOWING
 -RESTRICTION(S) ON THE USE OF LAND VIDE THE 88B INSTRUMENT REGISTERED DP1206507
 (O) - THAT PART LOT 12 BENEFITED BY EASEMENT FOR ELECTRICITY VARIABLE WIDTH (N) & BURDENED BY POSITIVE COVENANT No 11 VIDE DP1206507
 (W) - EASEMENT TO DRAIN WATER 2 WIDE VIDE DP1206507

THE SUBJECT PROPERTY WAS BENEFITED BY THE FOLLOWING
 -EASEMENT TO DRAIN WATER 2.5 WIDE VIDE DP1206507
 -EASEMENT TO DRAIN WATER VARIABLE WIDTH VIDE DP1206507
 -EASEMENT TO DRAIN WATER 1.5 WIDE VIDE DP1206507
 (V) - EASEMENT TO DRAIN WATER 2 WIDE VIDE DP1206507
 (W) - EASEMENT FOR ACCESS, MAINTENANCE & SUPPORT 0.9 WIDE VIDE DP1206507



ORIGIN OF LEVELS:
 SSM 208430 RL=14.58 (AHD) FOUND ADJACENT TO No.43 WARRIEWOOD ROAD, WARRIEWOOD.
 ACCURACY OF ORIGIN: ± 0.010m

SEVERE MARINE CLASSIFICATION SL1
 ALL TRADES & SUPPLIERS TO COMPLY WITH THE BCA AND ALL RELEVANT AUST STANDARDS

ACID SULFATE EFFECTED SITE REQUIREMENTS (CLASS 5)
 PROVIDE 32 MPa CONCRETE TO SLAB WITH SULFATE RESISTING CEMENT
 PROVIDE 0.3mm HIGH IMPACT VAPOUR MEMBRANE

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/1147

SITE PLAN

ISSUE	AMENDMENT	DATE
A	PFD & SV1 (EB)	14.08.19
B	VARY B (EC)	29.08.19
C	VARY C (EC)	02.09.19
D	VARY D (EC)	25.09.19
E	POOL AMENDED (EC)	26.09.19
F	FFD (EB)	30.09.19

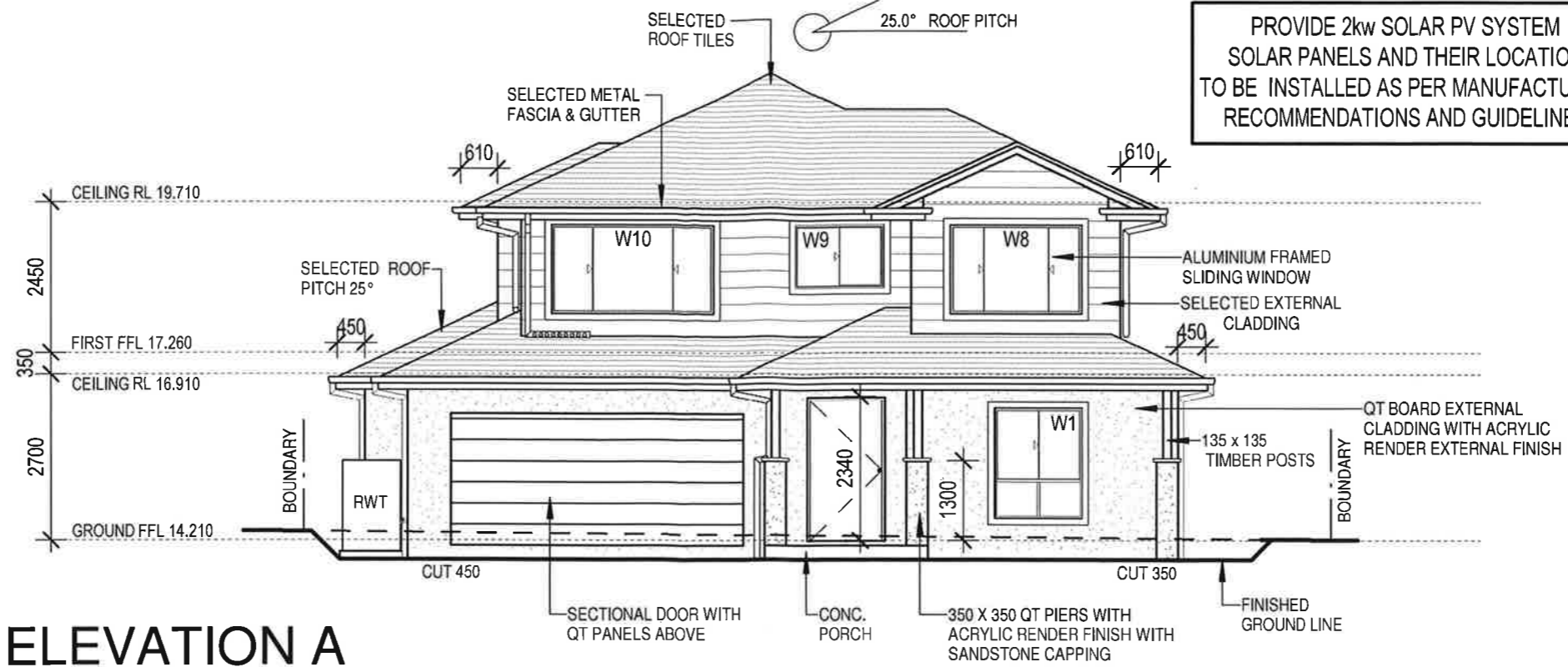
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 BESPOKE
 Wincrest Group Pty Ltd.
 ACN 135 562 873
 Builders License No. 213 442C
 18 Pitt St, Paramatta NSW 2150
 Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:
 CLIENT: MR CATLIN & MRS KALOUS
 ADDRESS:
LOT 9, No 41 WARRIEWOOD ROAD WARRIEWOOD
 NORTHERN BEACHES COUNCIL

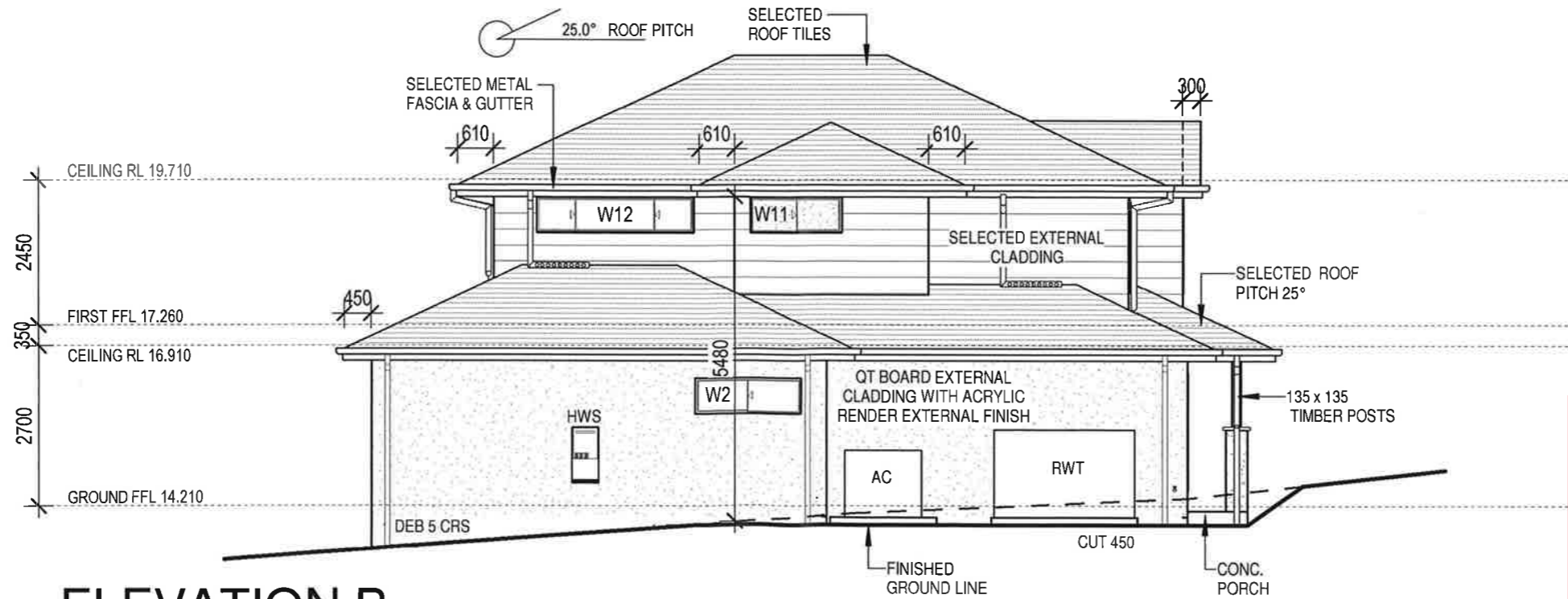
CASA BELA INCLUSIONS	
JOB NO: 17398	DATE: 26.09.19
DRAWN: EB	CHECKED: .
SCALE: As indicated	SHEET NO: 01
PLEASE DISCARD ALL OTHER PLANS	
DO NOT SCALE DRAWING	

LOCATION: T:\First draft\17398_CATLIN & KALOUS\Drawings\17398_CATLIN.rvt



ELEVATION A

1 : 100



ELEVATION B


1 : 100

PROVIDE 2kw SOLAR PV SYSTEM
SOLAR PANELS AND THEIR LOCATION
TO BE INSTALLED AS PER MANUFACTURERS
RECOMMENDATIONS AND GUIDELINES

NOTE:

- FIRST FLOOR WINDOW HEADS TO BE PLACED DIRECTLY UNDER EAVES OR AT EQUAL HEIGHT
- GROUND FLOOR WINDOW HEAD HEIGHT 2166 ABOVE FFL
- ALL ANGLED WALLS @ 45° UNLESS NOTED OTHERWISE.

ELEVATIONS

 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2019/1147

ISSUE	AMENDMENT	DATE
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PROPOSED RESIDENCE FOR:

CLIENT: MR CATLIN & MRS KALOUS

ADDRESS:

**LOT 9, No 41 WARRIEWOOD ROAD
WARRIEWOOD
NORTHERN BEACHES COUNCIL**

CASA BELA INCLUSIONS

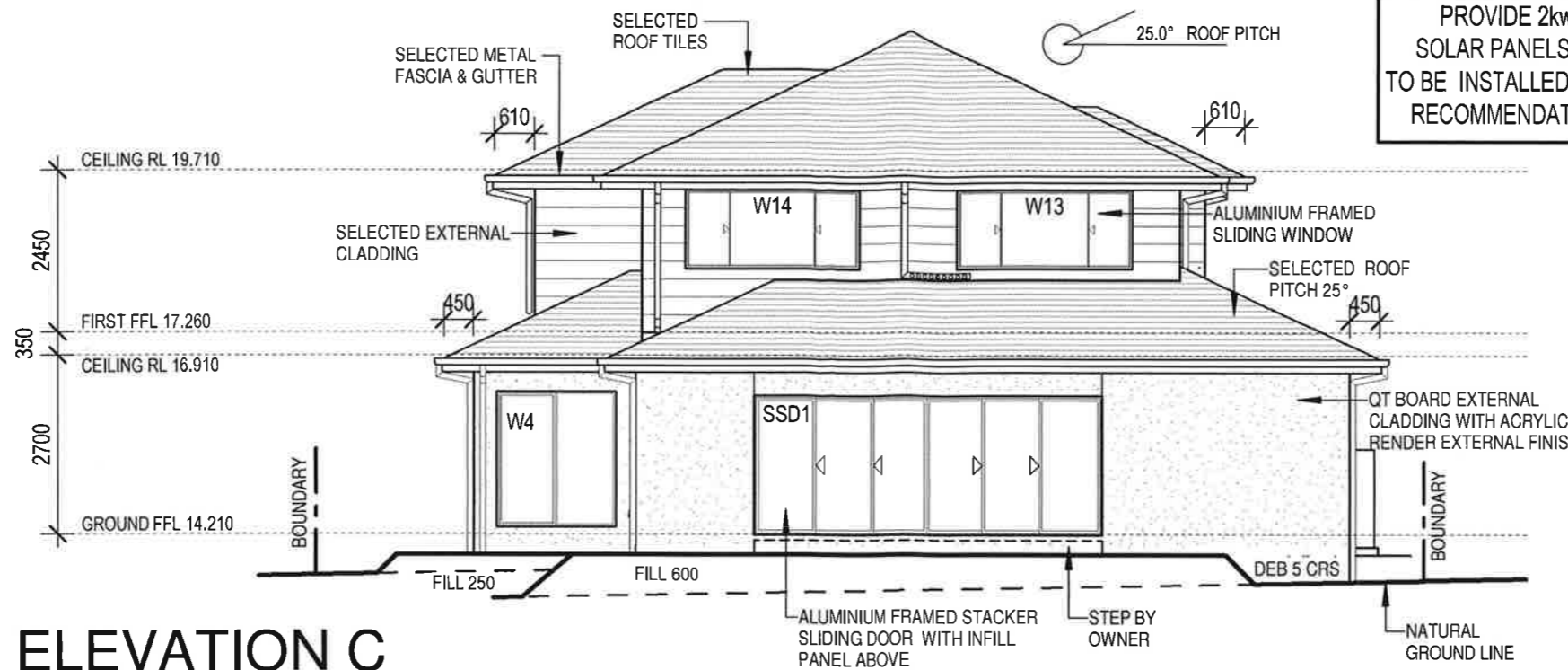
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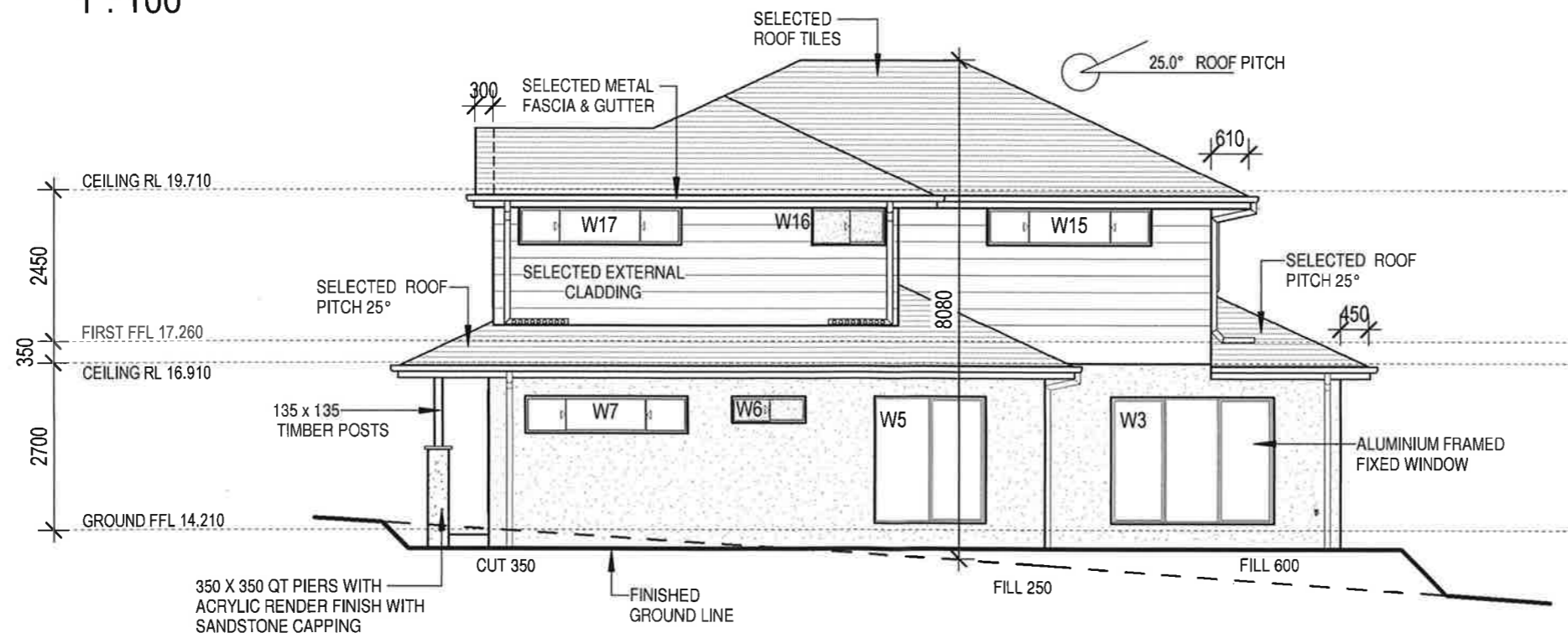
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DO NOT SCALE DRAWING



ELEVATION C

1 : 100



ELEVATION D


1 : 100

PROVIDE 2kw SOLAR PV SYSTEM
SOLAR PANELS AND THEIR LOCATION
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ELEVATIONS

 northern beaches council

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DA2019/1147

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WARRIEWOOD
NORTHERN BEACHES COUNCIL**

CASA BELA INCLUSIONS	
JOB NO: 17398	DATE: 26.09.19
DRAWN: EB	CHECKED: .
SCALE: 1 : 100	SHEET NO: 05
PLEASE DISCARD ALL OTHER PLANS	
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