

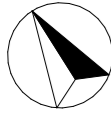

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THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2023/1730

SITE ANALYSIS PLAN 1:1000

LOT 1
DP 1215531

SITE AREA = 2.4 ha m²

TRUE NORTH:



NOTES (E & OE)

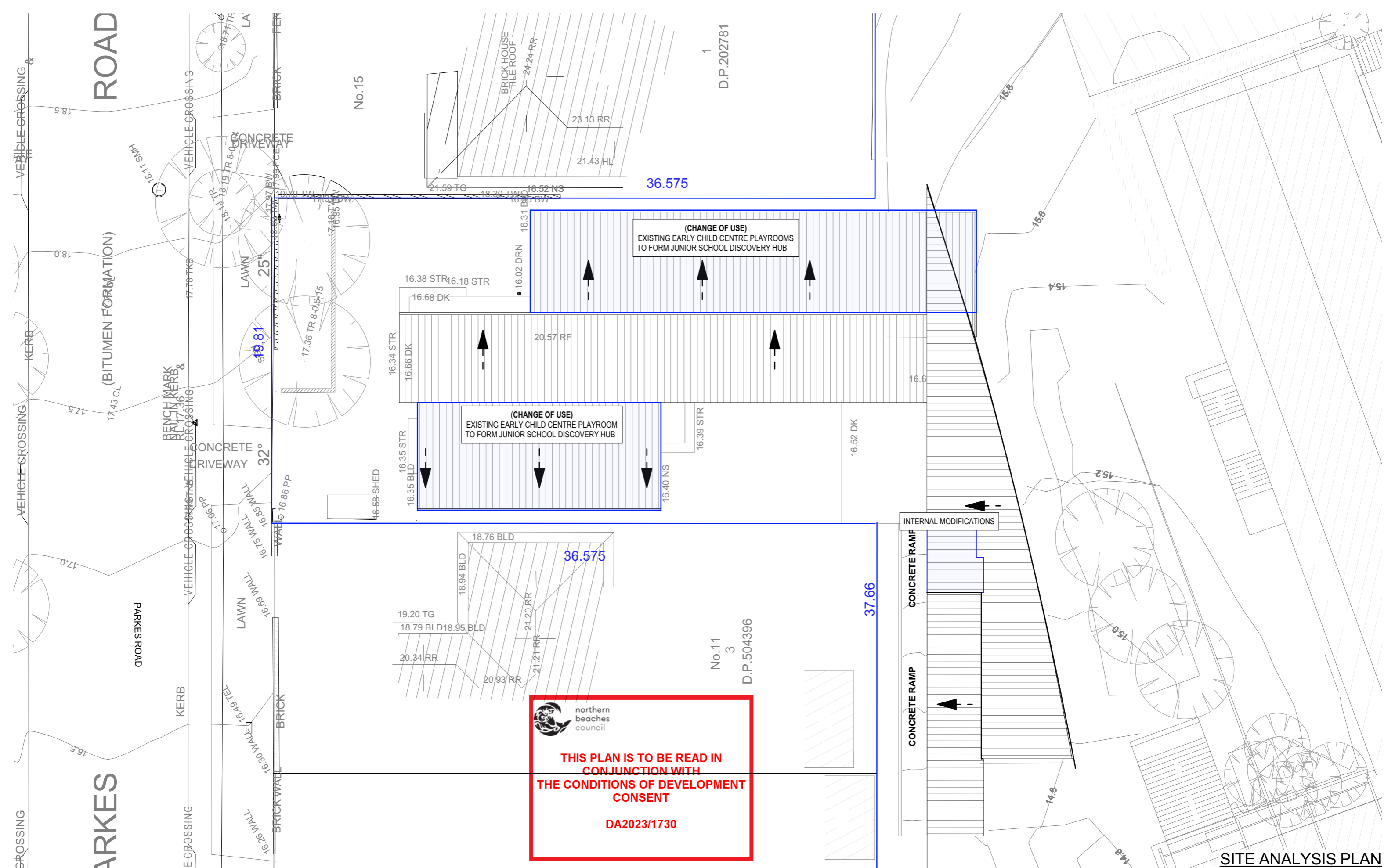
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REV:	DATE:	DESCRIPTION:
A	16/11/23	DIMENSIONS
B	22/11/2023	MINOR CHANGES
C	23/11/23	WINDOWS FIXED

CHANGE OF USE 70 SOUTH CREEK ROAD, COLLAROY 2097
CLIENT: MATT JEPSON
DRAWING TITLE: SITE ANALYSIS PLAN 1:1000

DATE: NOV/23	DRAWN BY: EV	SCALE: 1:1000 @ A3
JOB No: 1209/23	CHECKED BY: JJ	DRAWING No: DA.01





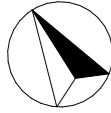
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DA2023/1730

SITE ANALYSIS PLAN

TRUE NORTH:



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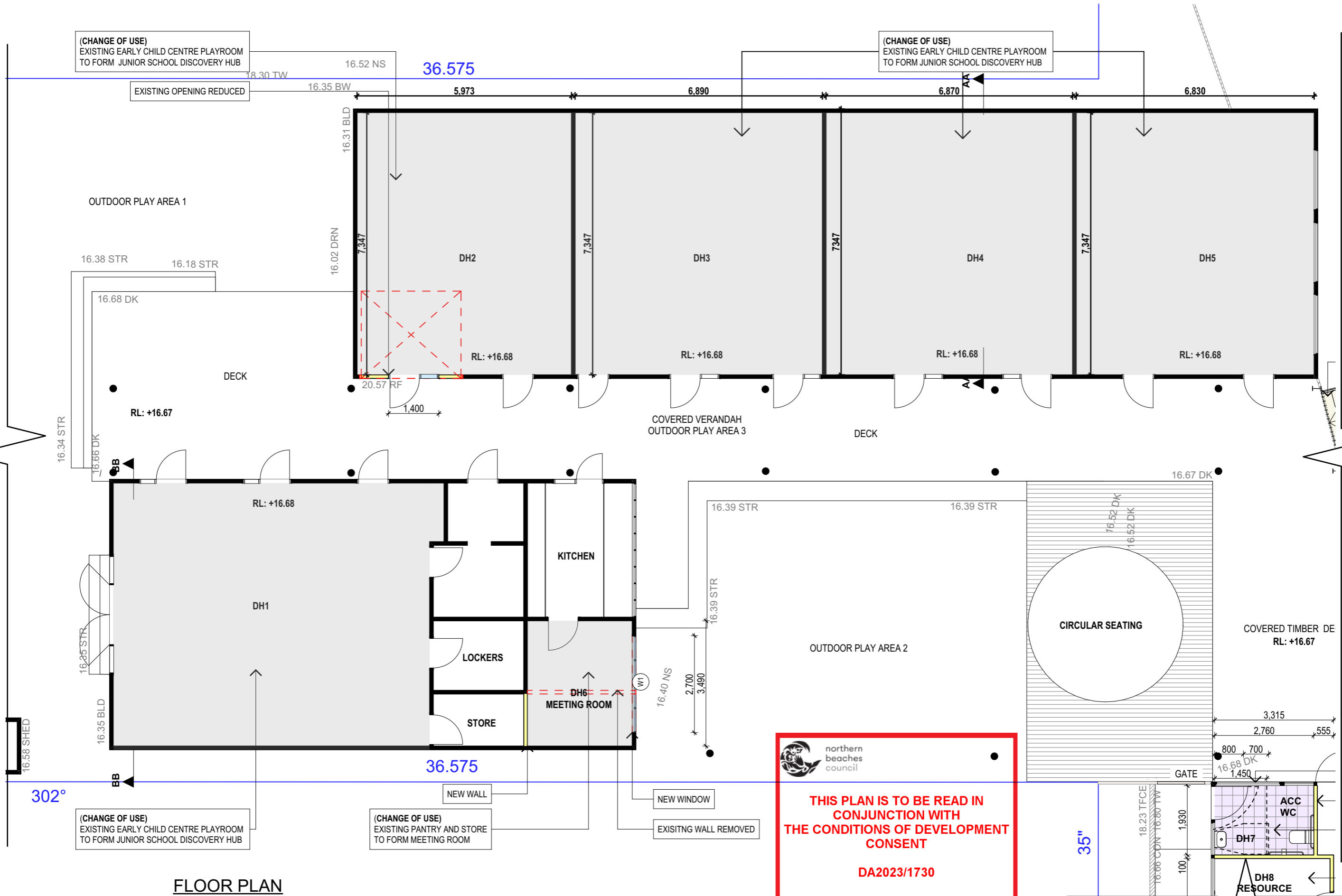
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CHANGE OF USE
 70 SOUTH CREEK ROAD, COLLAROY 2097
 CLIENT:
 MATT JEPSON

DRAWING TITLE:
SITE ANALYSIS PLAN

DATE:	NOV/23	DRAWN BY:	EV
SCALE:	1:200 @ A3	CHECKED BY:	JJ
JOB No:	1209/23	DRAWING No:	DA.02



REF. TO PAGE COU.04

REF. TO PAGE COU.04

FLOOR PLAN

TRUE NORTH:

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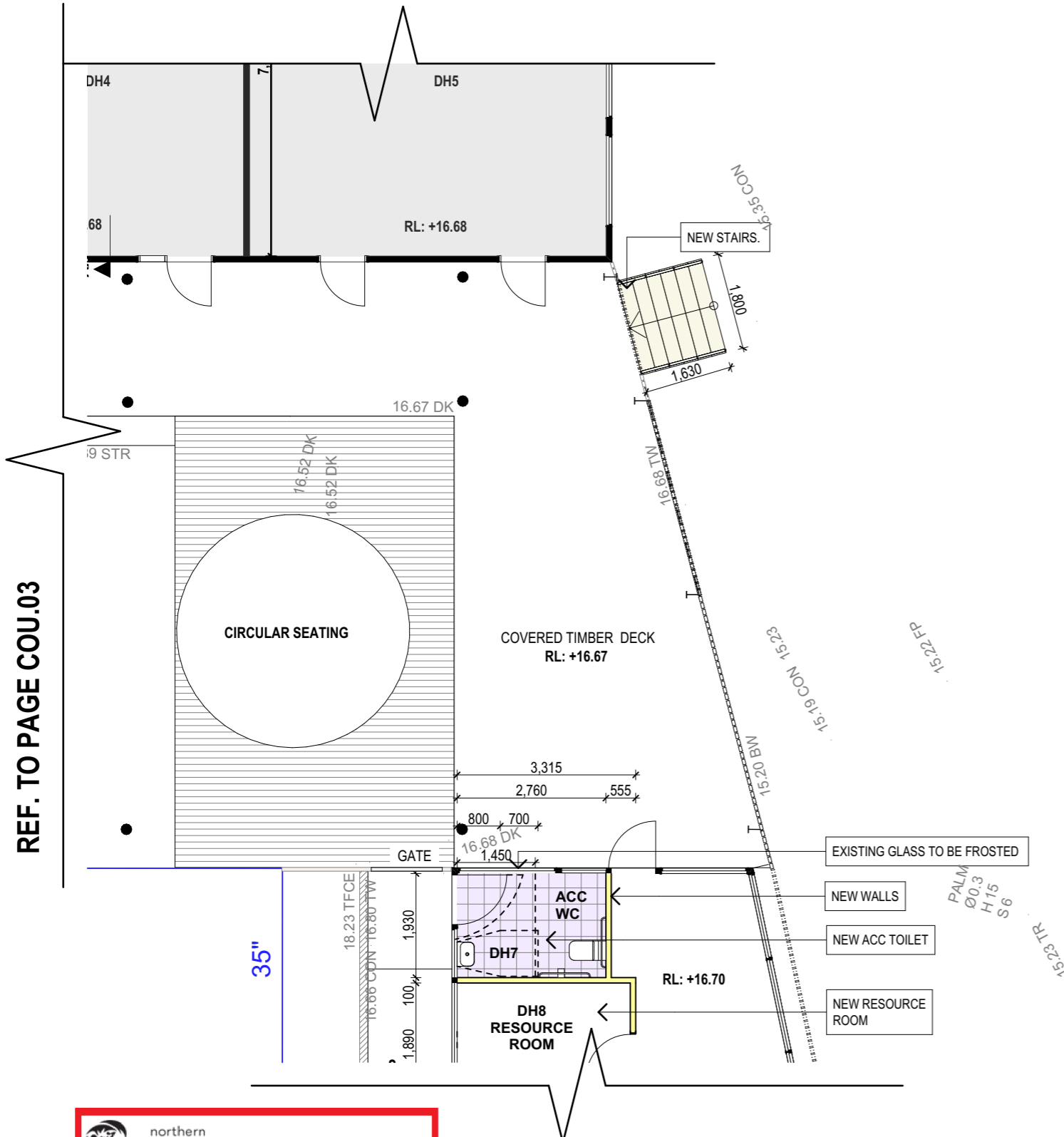
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CHANGE OF USE
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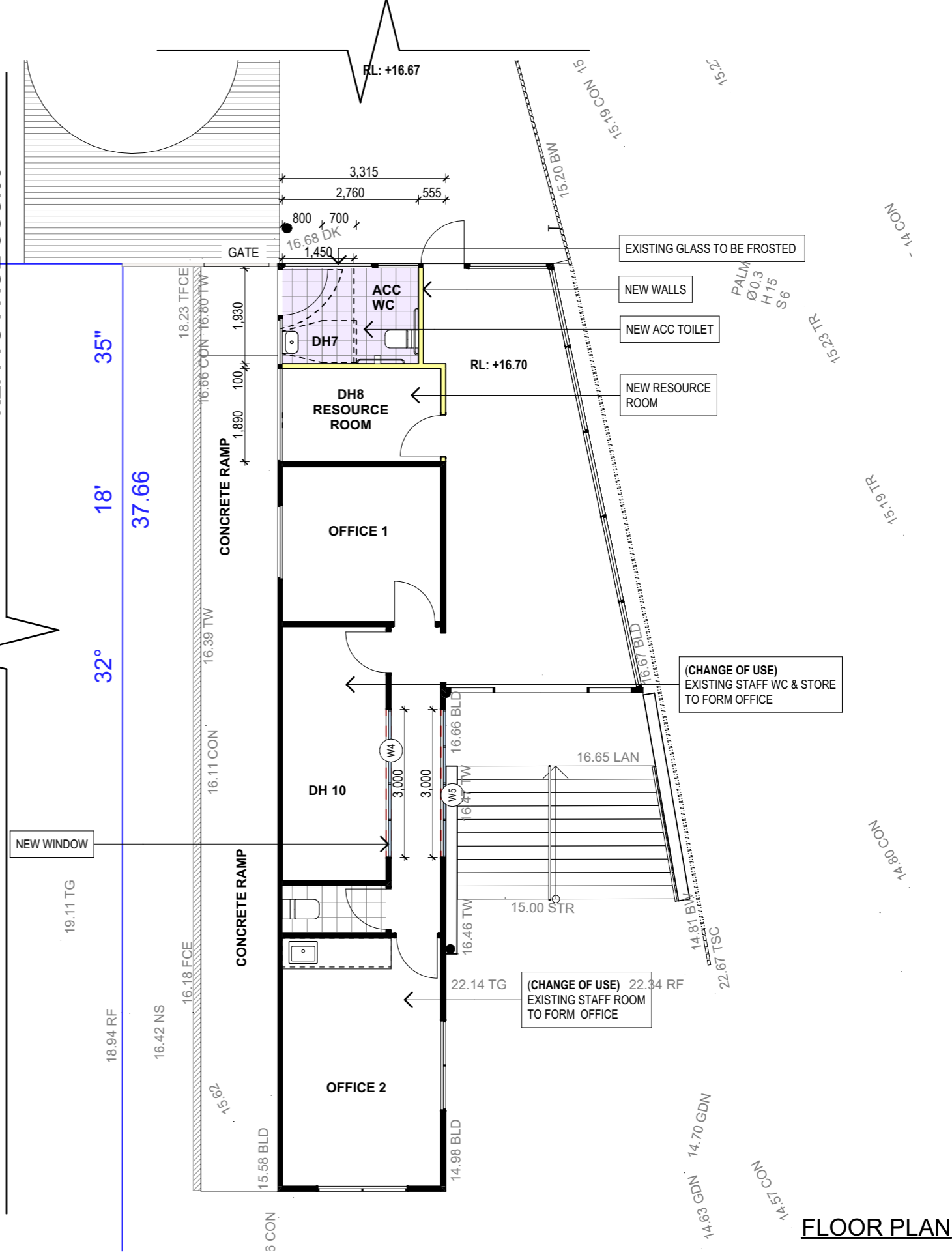
DRAWING TITLE:
 FLOOR PLAN SHEET 1

DATE: NOV/23	DRAWN BY: EV	SCALE: 1:100 @ A3
JOB No: 1209/23	CHECKED BY: JJ	DRAWING No: DA.03

REF. TO PAGE COU.03



REF. TO PAGE COU.03



FLOOR PLAN

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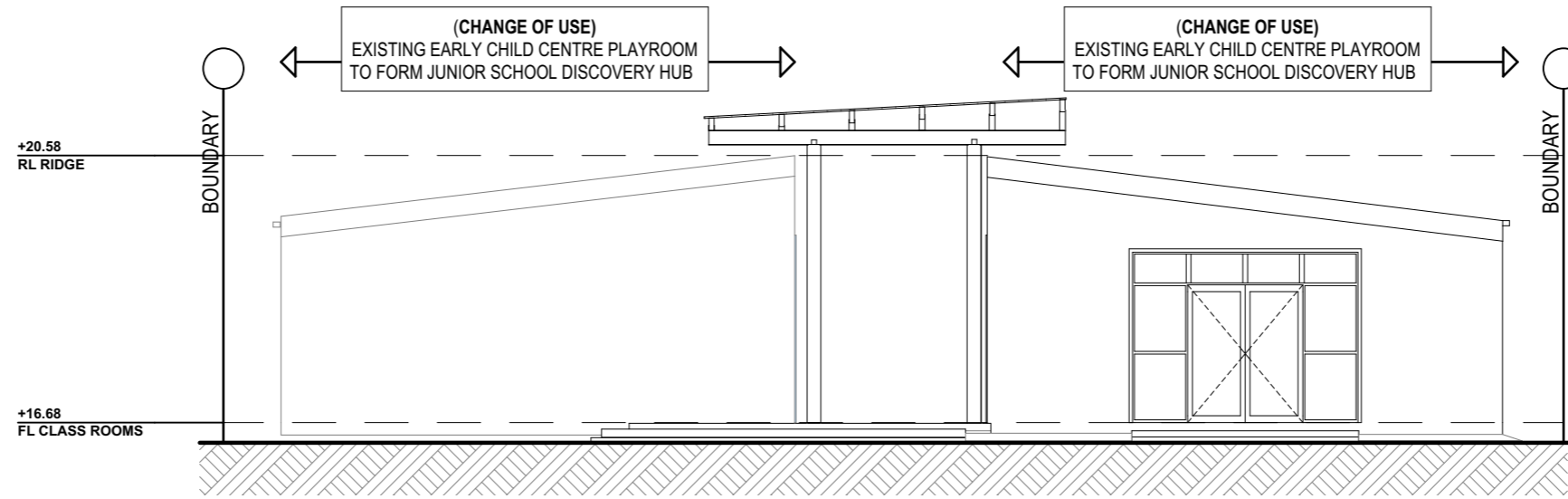
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CHANGE OF USE
 70 SOUTH CREEK ROAD, COLLAROY 2097
 CLIENT:
 MATT JEPSON

DRAWING TITLE:
 FLOOR PLAN SHEET 2

DATE: NOV/23	DRAWN BY: EV	SCALE: 1:100 @ A3
JOB No: 1209/23	CHECKED BY: JJ	DRAWING No: DA.04



WEST ELEVATION (JUNIOR SCHOOL DISCOVERY HUB)


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DA2023/1730

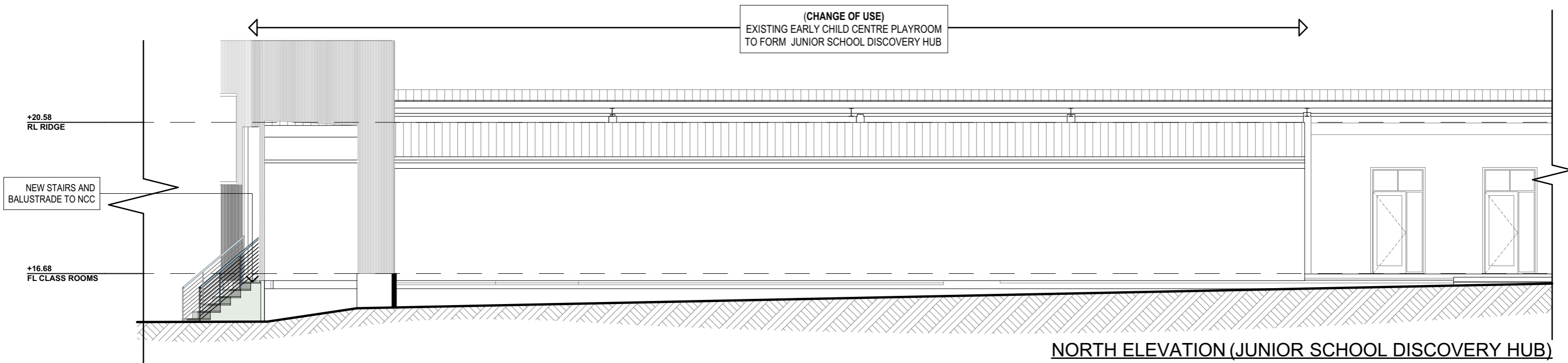
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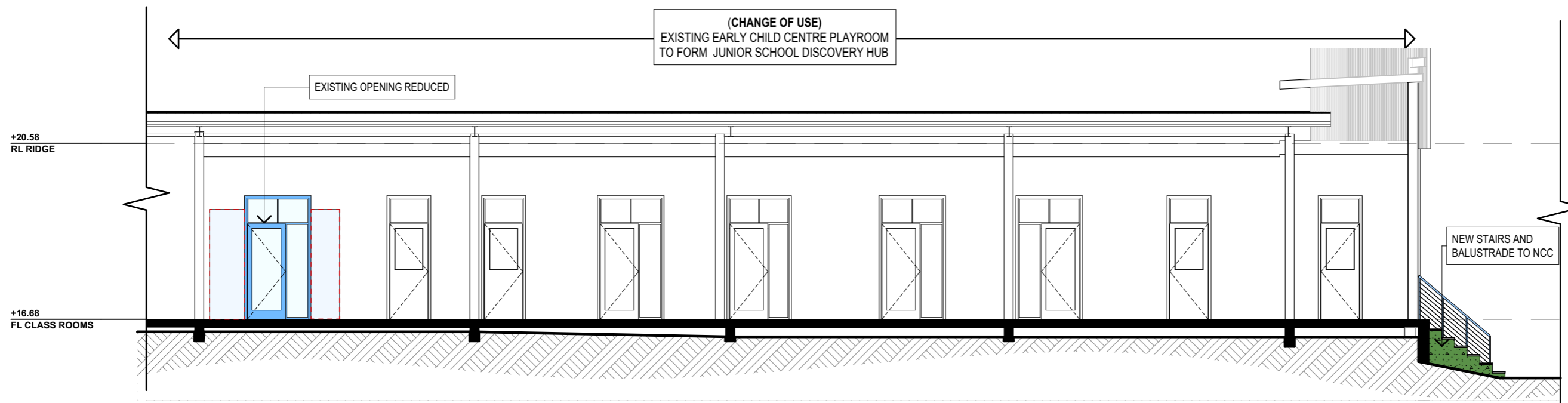
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CHANGE OF USE 70 SOUTH CREEK ROAD, COLLAROY 2097 CLIENT: MATT JEPSON	DATE: NOV/23	DRAWN BY: EV	SCALE: 1:100 @ A3
DRAWING TITLE: ELEVATIONS SHEET 1	JOB No: 1209/23	CHECKED BY: JJ	DRAWING No: DA.05



NORTH ELEVATION (JUNIOR SCHOOL DISCOVERY HUB)



SOUTH ELEVATION (JUNIOR SCHOOL DISCOVERY HUB)


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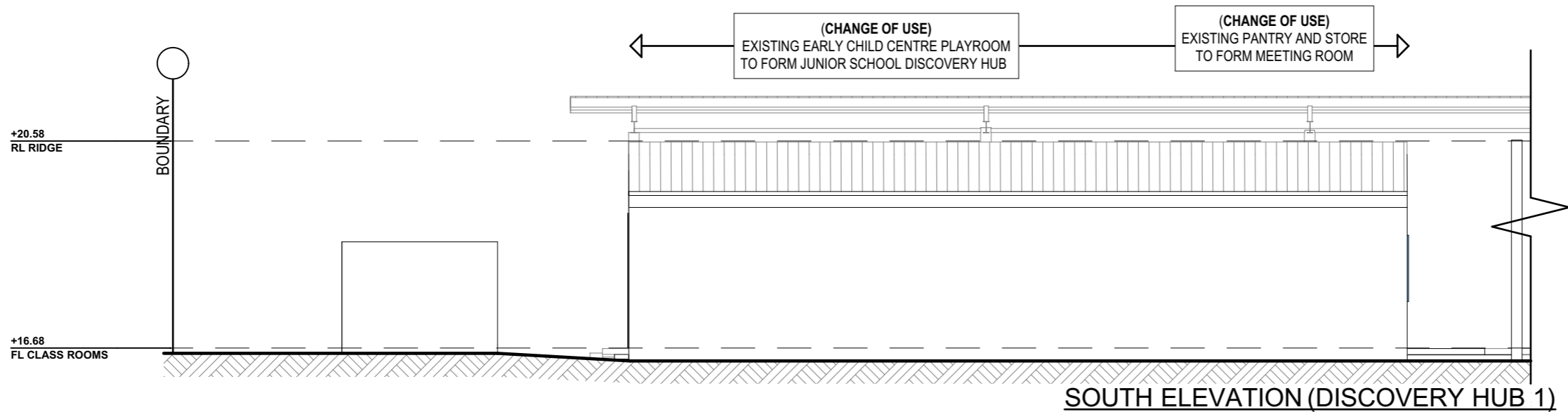
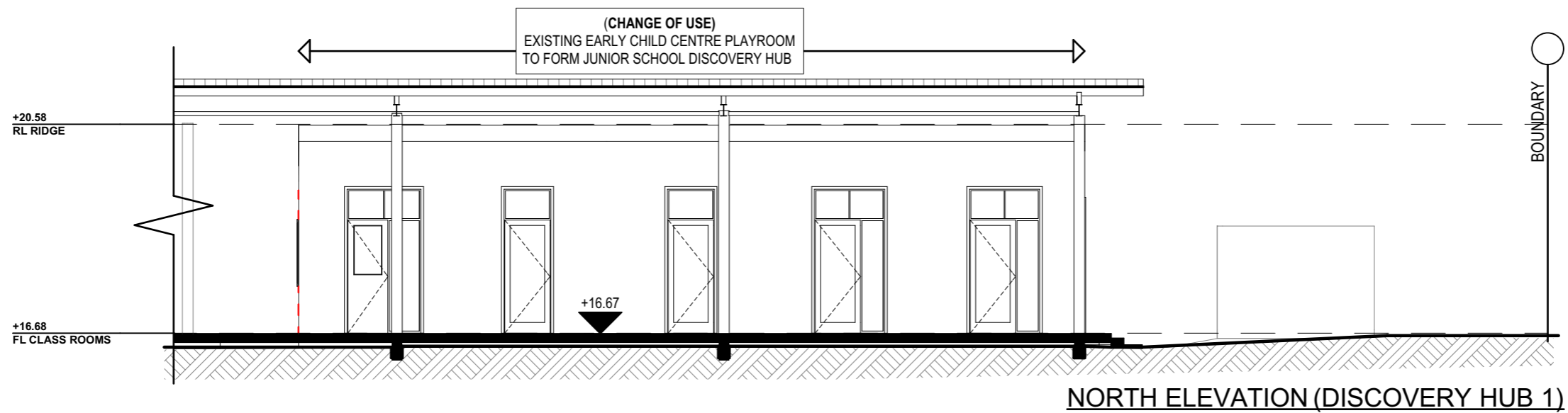
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CHANGE OF USE 70 SOUTH CREEK ROAD, COLLAROY 2097
CLIENT: MATT JEPSON
DRAWING TITLE: ELEVATIONS SHEET 2

DATE: NOV/23	DRAWN BY: EV	SCALE: 1:100 @ A3
JOB No: 1209/23	CHECKED BY: JJ	DRAWING No: DA.06




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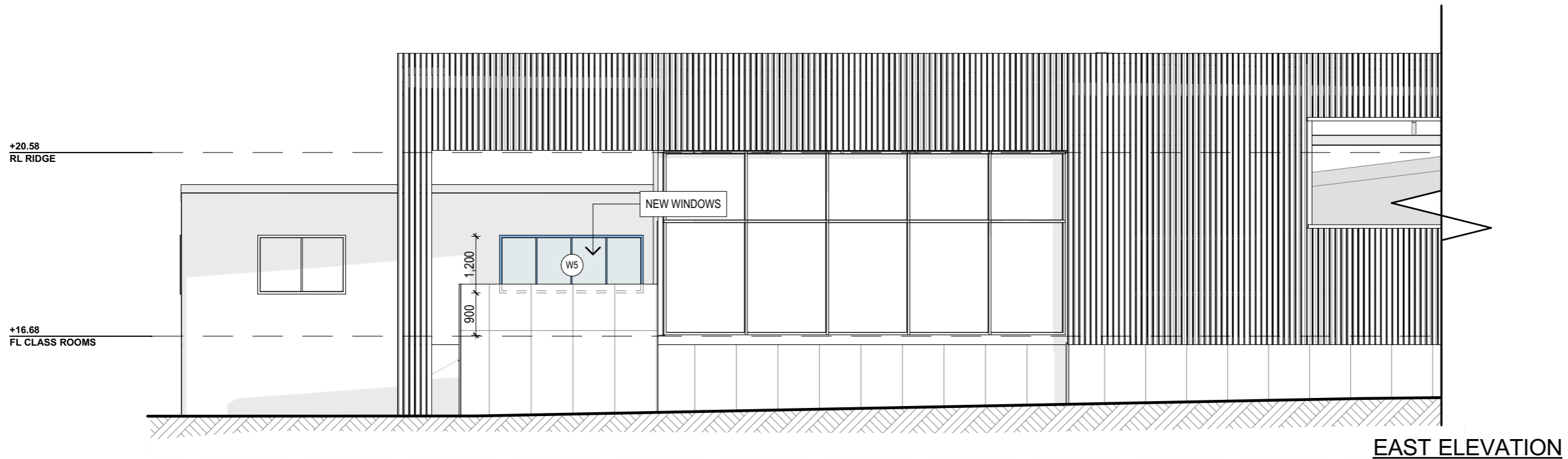
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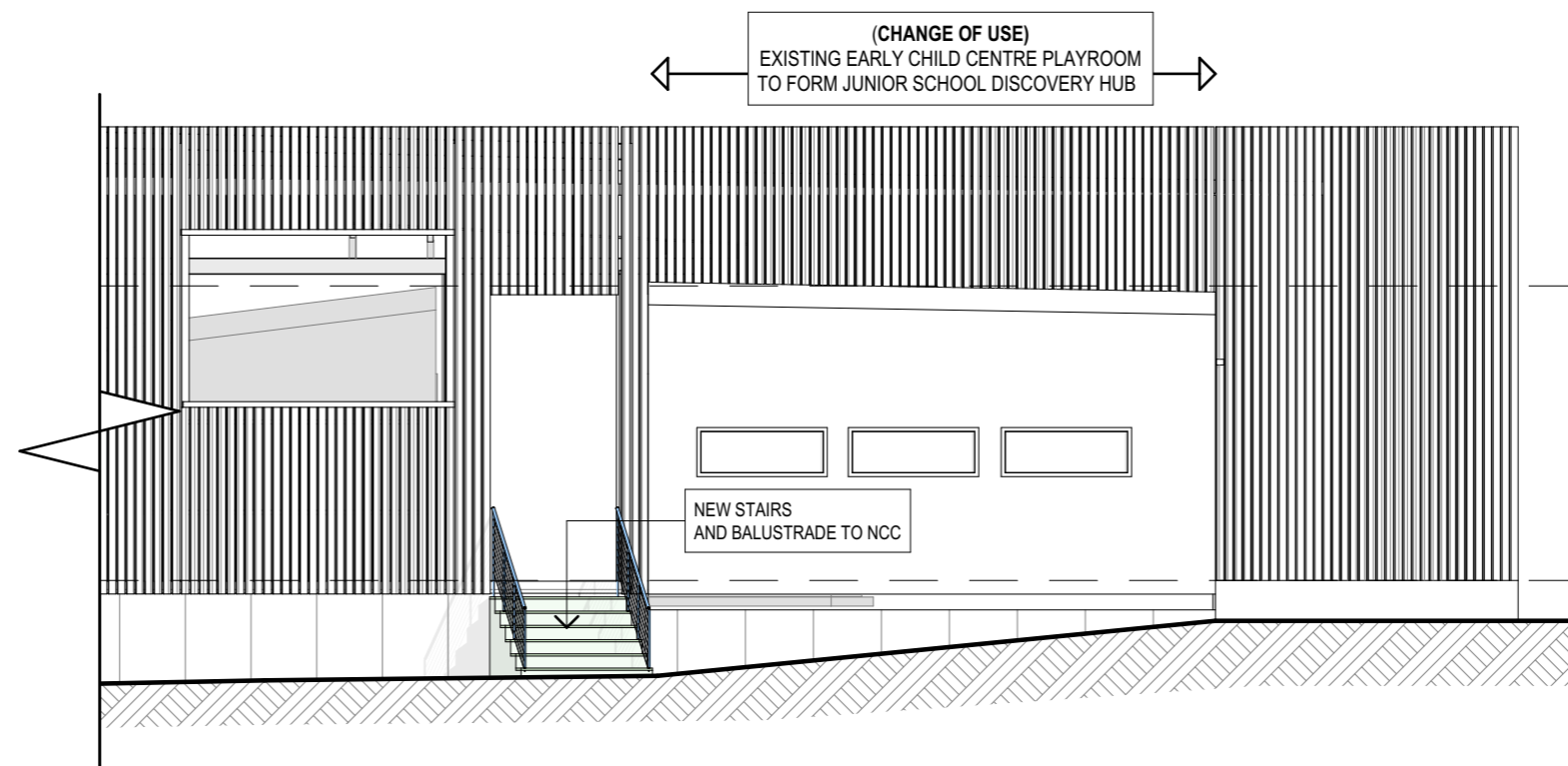
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CHANGE OF USE 70 SOUTH CREEK ROAD, COLLAROY 2097 CLIENT: MATT JEPSON
DRAWING TITLE: ELEVATION SHEET 3

DATE: NOV/23	DRAWN BY: EV	SCALE: 1:100 @ A3
JOB No: 1209/23	CHECKED BY: JJ	DRAWING No: DA.07



EAST ELEVATION



EAST ELEVATION


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DA2023/1730

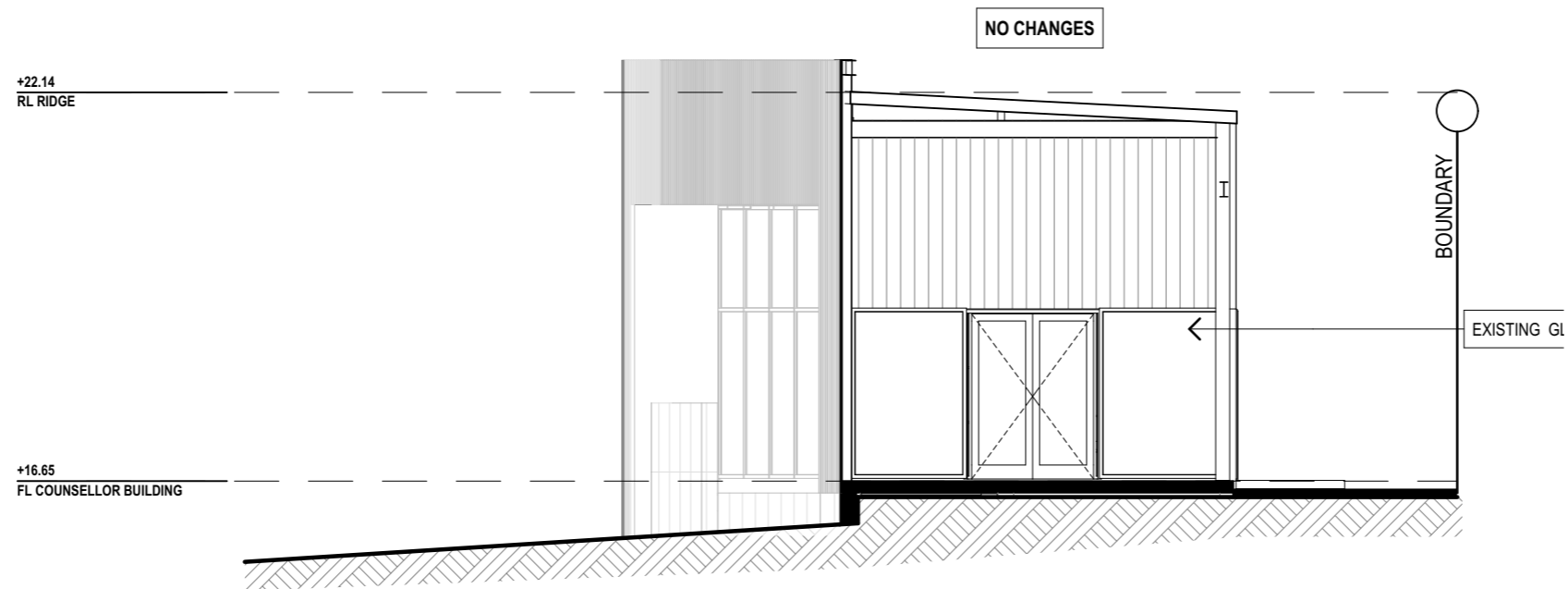
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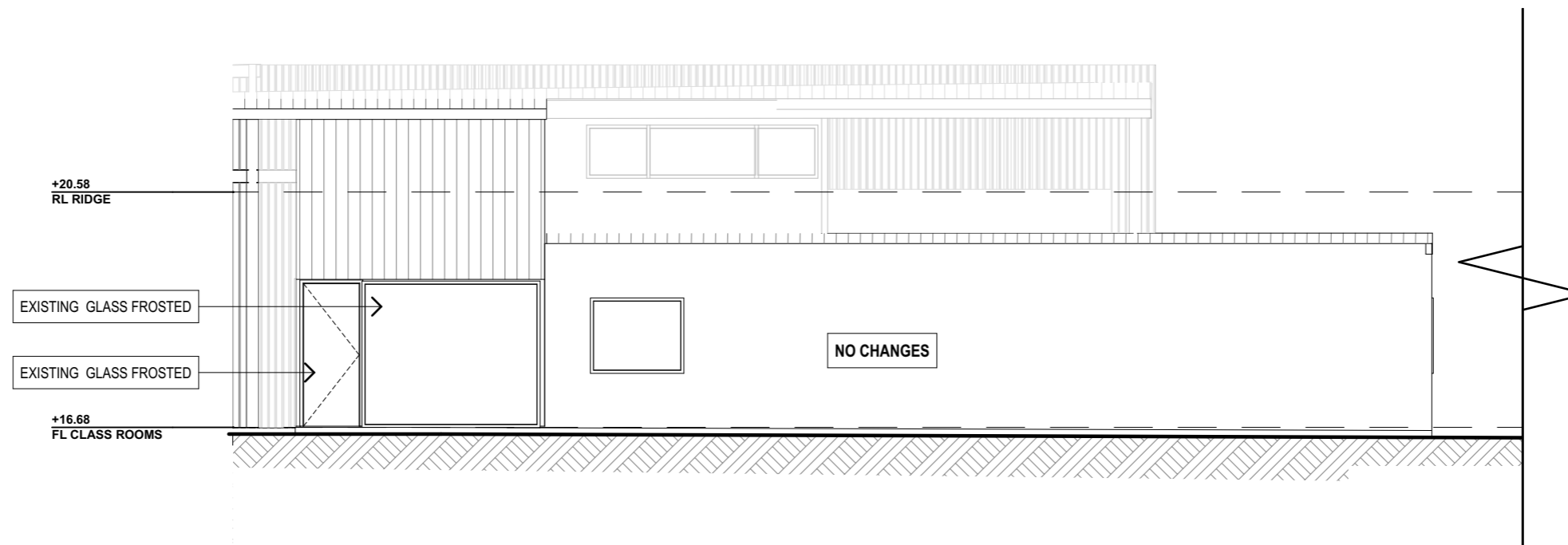
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CHANGE OF USE 70 SOUTH CREEK ROAD, COLLAROY 2097 CLIENT: MATT JEPSON	DATE: NOV/23	DRAWN BY: EV	SCALE: 1:100 @ A3
DRAWING TITLE: ELEVATION SHEET 4	JOB No: 1209/23	CHECKED BY: JJ	DRAWING No: DA.08



NORTH ELEVATION (OFFICES)



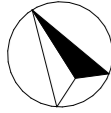
WEST ELEVATION (OFFICES)


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beaches
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CONSENT**

DA2023/1730

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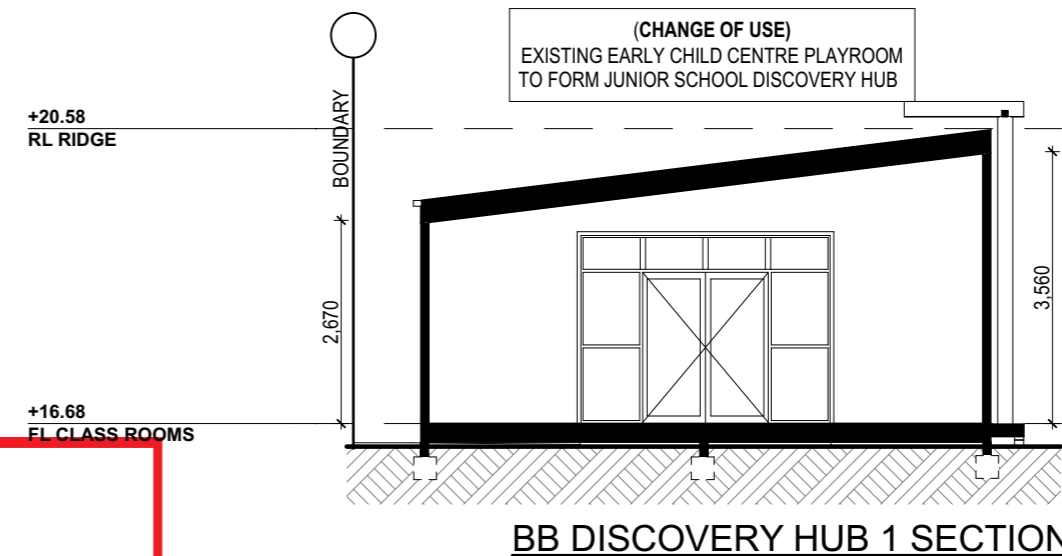
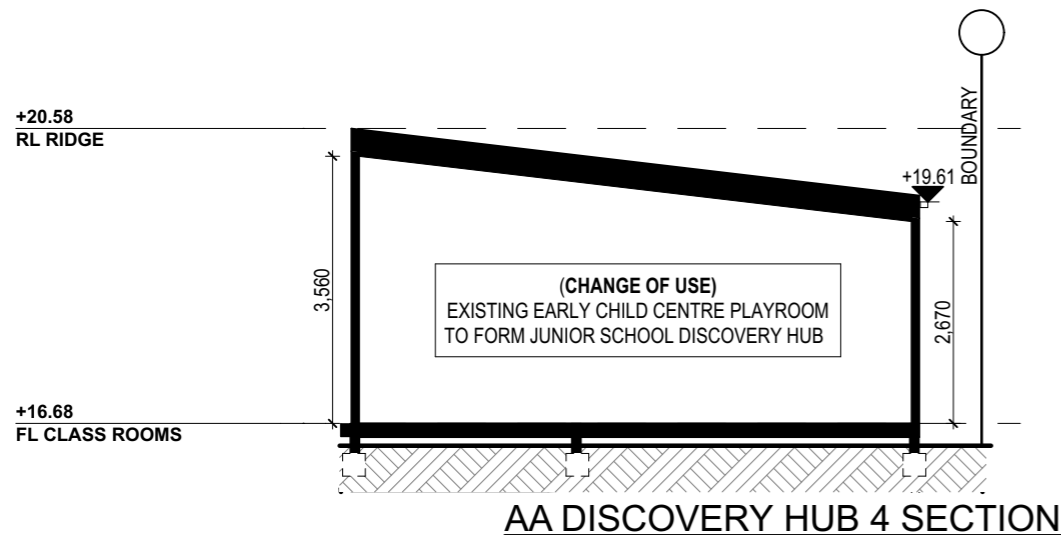
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CHANGE OF USE
70 SOUTH CREEK ROAD, COLLAROY 2097

CLIENT:
MATT JEPSON

DRAWING TITLE:
ELEVATION SHEET 5

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JOB No: 1209/23	CHECKED BY: JJ	DRAWING No: DA.09





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DA2023/1730

SPECIFICATION NOTES	FOOTINGS:	DOORS & WINDOWS:	WATERPROOFING FOR EXTERNAL TILED BALCONIES:
<p>INTERNAL LINING</p> <ul style="list-style-type: none"> - PROVIDE PLASTERBOARD LINING. - INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589 <p>EXTERNAL WALLS:</p> <ul style="list-style-type: none"> - ALL EXTERNAL WALL CLADDINGS MUST BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2022 – ABCB HOUSING PROVISIONS PART 7, AS1684 AND ALL RELEVANT CODEMARK CERTIFICATES. - ROOF AND WALL CLADDING INSTALLATION TO NCC 2022 - ABCB HOUSING PROVISIONS PART 7 & AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING. <p>CONDENSATION MANAGEMENT:</p> <ul style="list-style-type: none"> - CONDENSATION MANAGEMENT MUST BE ADHERED TO IN ACCORDANCE WITH NCC 2022 – HOUSING PROVISIONS PART 10.8. <p>WET AREAS:</p> <ul style="list-style-type: none"> - ALL WATERPROOFING TO NCC 2022 – ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. - WATERPROOF INSTALLATION NCC (2022); HOUSING PROVISIONS PART 10, AS 3740 WATERPROOFING OF DOMESTIC WET AREAS (INTERNAL) & AS 4654 WATERPROOF MEMBRANES FOR EXTERNAL USE. <p>BEARERS AND JOISTS:</p> <ul style="list-style-type: none"> - SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623. <p>ANT CAPS:</p> <ul style="list-style-type: none"> - SHALL BE INSTALLED IN ACCORDANCE WITH AS3660. <p>PROFILED STEEL ROOF:</p> <ul style="list-style-type: none"> - COLORBOND ROOF CLADDING - METAL ROOF DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 7, AS 1562. <p>CONCRETE:</p> <ul style="list-style-type: none"> - SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3. - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600. 	<p>TERMITE CONTROL:</p> <ul style="list-style-type: none"> - TO BE IN ACCORDANCE WITH AS3660.1 - SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.4 OR VOL.1 PART B1.4. <p>FLASHING AND CAPPINGS:</p> <ul style="list-style-type: none"> - SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180 - FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP. - PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION. - DAMP PROOF COURSE AND FLASHINGS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5, 7 & 12 & AS/ NZS 2904 DAMP-PROOF COURSES AND FLASHINGS. <p>LIGHTING:</p> <ul style="list-style-type: none"> - 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS 	<p>STAIRS, HANDRAILS AND BALUSTRADES:</p> <ul style="list-style-type: none"> - RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657. - BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL. - THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm. - THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm. - ALL BALUSTRADES & PRIVACY SCREENS TO COMPLY WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208 <p>SLIP RESISTANCE:</p> <ul style="list-style-type: none"> - MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198. - ALL STAIRS PROVIDING ACCESS TO COMPLY WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11, AS 4586 INCLUDING SLIP RESISTANCE P3 / R10 FOR DRY OR P4 / R11 FOR WET. <p>STORMWATER:</p> <p>EAVES GUTTERS, VALLEY GUTTERS AND DOWNPIPES</p> <ul style="list-style-type: none"> - TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS. - IN ACCORDANCE WITH NCC VOL 2 PART 3.5.3 - NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE - COLORBOND GUTTERS AND DOWNPIPES - MINIMUM SLOPE OF EAVES AND GUTTERS 1:200 <p>GLAZING:</p> <ul style="list-style-type: none"> - NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6 - ALL WINDOW GLAZING AND DOOR GLAZING TO BE INSTALLED IN ACCORDANCE TO NCC 2022 - ABCB HOUSING PROVISIONS PART 8, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 2047 WINDOWS AND EXTERNAL DOORS IN BUILDINGS. - SHOWER SCREEN/MIRRORS / WARDROBE GLASS INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 8, AS 1288 & AS/NZS 2208. - GLASS BALUSTRADE INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 11, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 1170 STRUCTURAL DESIGN ACTIONS. 	<p>FIRE SAFETY, SMOKE DETECTORS/ALARMS:</p> <ul style="list-style-type: none"> - PROVIDE HARDWIRED & INTERCONNECTED SMOKE ALARM DEVICES COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY. SMOKE ALARMS TO BE INSTALLED TO NCC 2022 – ABCB HOUSING PROVISIONS PART 9.5, NSW 9.5.1 & AS 3786. - INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a. - FIRE SEPARATING WALL, A WALL WITHIN 900MM OF BOUNDARY INSTALLATION CERTIFICATE (FRL60/60/60) INCL ACOUSTIC SOUND (RW) + CTR50 TO NCC 2022 - ABCB HOUSING PROVISIONS PART 9 & PART 10.7, AS 1530 ALL PARTS. - BUSHFIRE-PRONE AREAS CERTIFICATE FOR BUILDING - NCC 2022 - VOL. 2 PART NSW H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS - AS 3959 CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE AREAS & PLANNING FOR BUSHFIRE PROTECTION 2019. <p>WASTE MANAGEMENT:</p> <ul style="list-style-type: none"> - ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT. - ALL WASTE SHALL BE COVERED DURING TRANSPORTATION. - WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE. <p>SEDIMENT CONTROL:</p> <ul style="list-style-type: none"> - A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM. <p>MISCELLANEOUS ITEMS:</p> <ul style="list-style-type: none"> - ALLOW FOR SEPARATE TAPS FOR THE WASHING MACHINE AND KEEP THEM SEPARATE FROM THOSE OF THE LAUNDRY TUB. A DEDICATED LAUNDRY SPACE COMPRISING OF ONE WASHTUB AND A SPACE FOR A WASHING MACHINE MUST BE PROVIDED IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 10.4. - GAS FIRE SUPPLY AND INSTALLATION TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 12.4, AS/NZS 5601 GAS INSTALLATIONS. <p>NOTE:</p> <p>ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.</p>

<p>NOTES (E & OE)</p> <ul style="list-style-type: none"> • All structures including stormwater & drainage to engineer's details. • Do not obtain dimensions by scaling drawings. • All dimensions are to be checked on site prior to starting work. • These drawings are to be read in conjunction with all other consultant's drawings and specifications. • All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. • New materials are to be used throughout unless otherwise noted. • Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.


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REV:	DATE:	DESCRIPTION:
A	16/11/23	DIMENSIONS
B	22/11/2023	MINOR CHANGES
C	23/11/23	WINDOWS FIXED

<p>CHANGE OF USE 70 SOUTH CREEK ROAD, COLLAROY 2097 CLIENT: MATT JEPSON</p>
<p>DRAWING TITLE: SECTION / BASIX</p>

DATE: NOV/23	DRAWN BY: EV	SCALE: 1:100 @ A3
JOB No: 1209/23	CHECKED BY: JJ	DRAWING No: DA.10