

01 SITE ANALYSIS 1:300

02 STREET VIEW

03 51 KALANG LOCATION PLAN

Amendments	
A ISSUED FOR DA	23/04/21

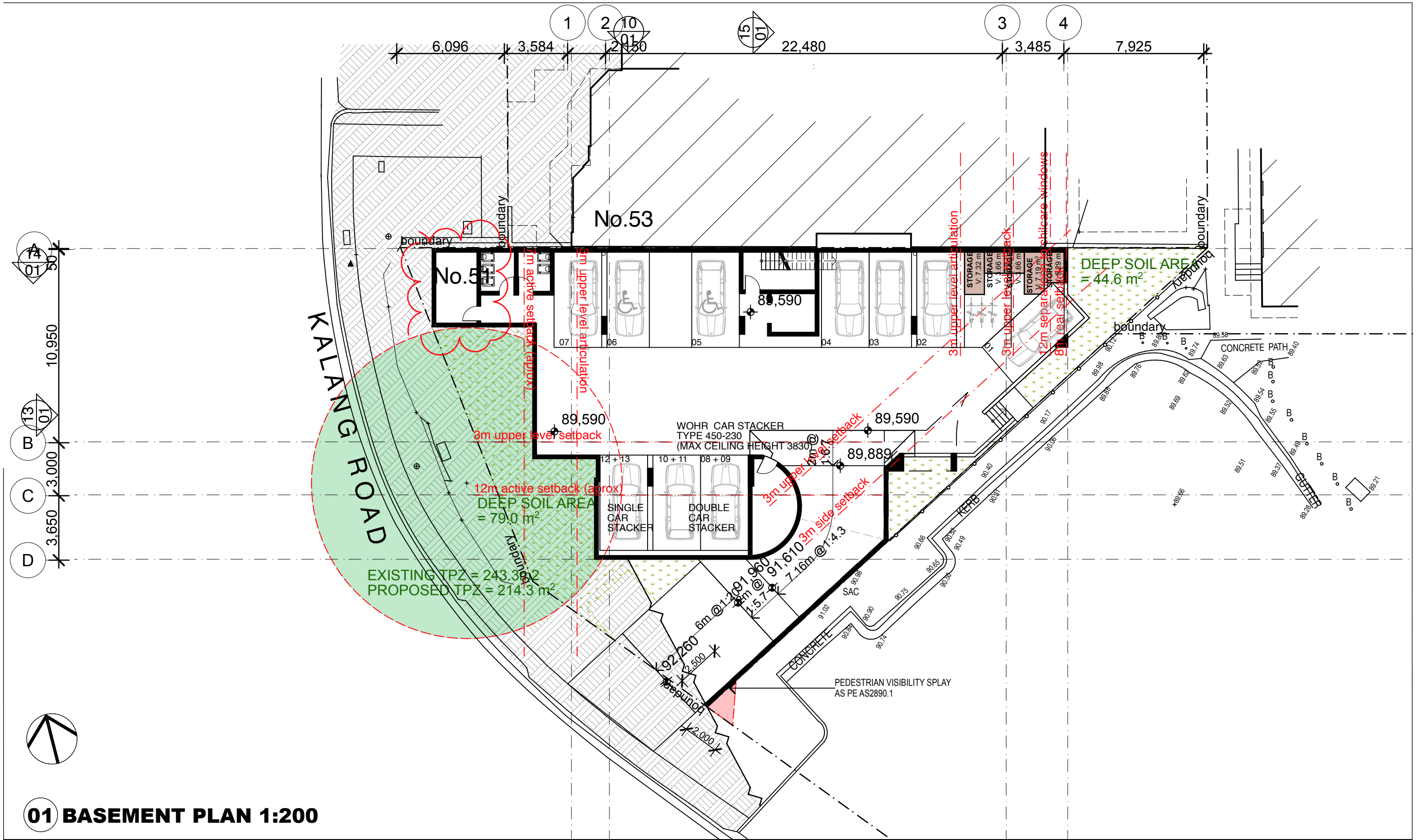
Architect
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 Nominated Architect James Grant 6540

Project Details
SHOP TOP HOUSING AT
51 KALANG ROAD
ELANORA HEIGHTS
NSW 2101

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Drawn JG	Approved JG	Date Printed 5/5/21
Job Number 2002		
Scale As shown @ A3		

Drawing name	SITE ANALYSIS
Drawing Number	DA-00
Amendment	A



01 BASEMENT PLAN 1:200

Amendments	
A	ISSUED FOR DA 23/04/21
B	AMENDED RE COUNCIL'S COMMENT 21/01/22
C	RESIDENTIAL BINS RELOCATED 21/04/22

Architect

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Project Details

SHOP TOP HOUSING AT

51 KALANG ROAD
ELANORA HEIGHTS
NSW 2101

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Drawn JG	Approved JG	Date Printed 21/4/22
Job Number 2002		
Scale As shown @ A3		

Drawing name

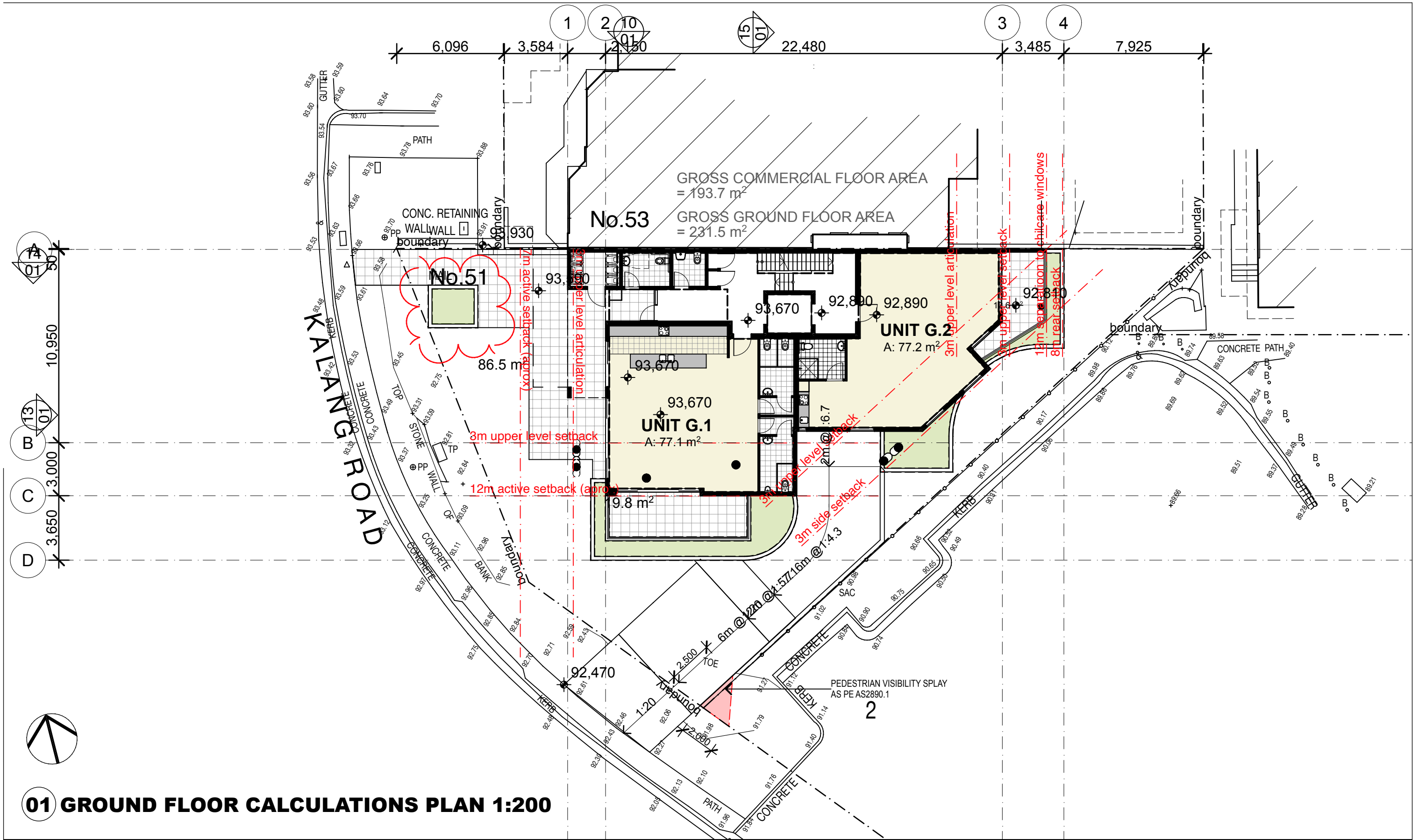
BASEMENT PLAN

Drawing Number

DA-02

Amendment

C



01 GROUND FLOOR CALCULATIONS PLAN 1:200

Amendments	
A ISSUED FOR DA	23/04/21
B AMENDED RE COUNCIL'S COMMENT	21/01/22
C RESIDENTIAL BINS RELOCATED	21/04/22

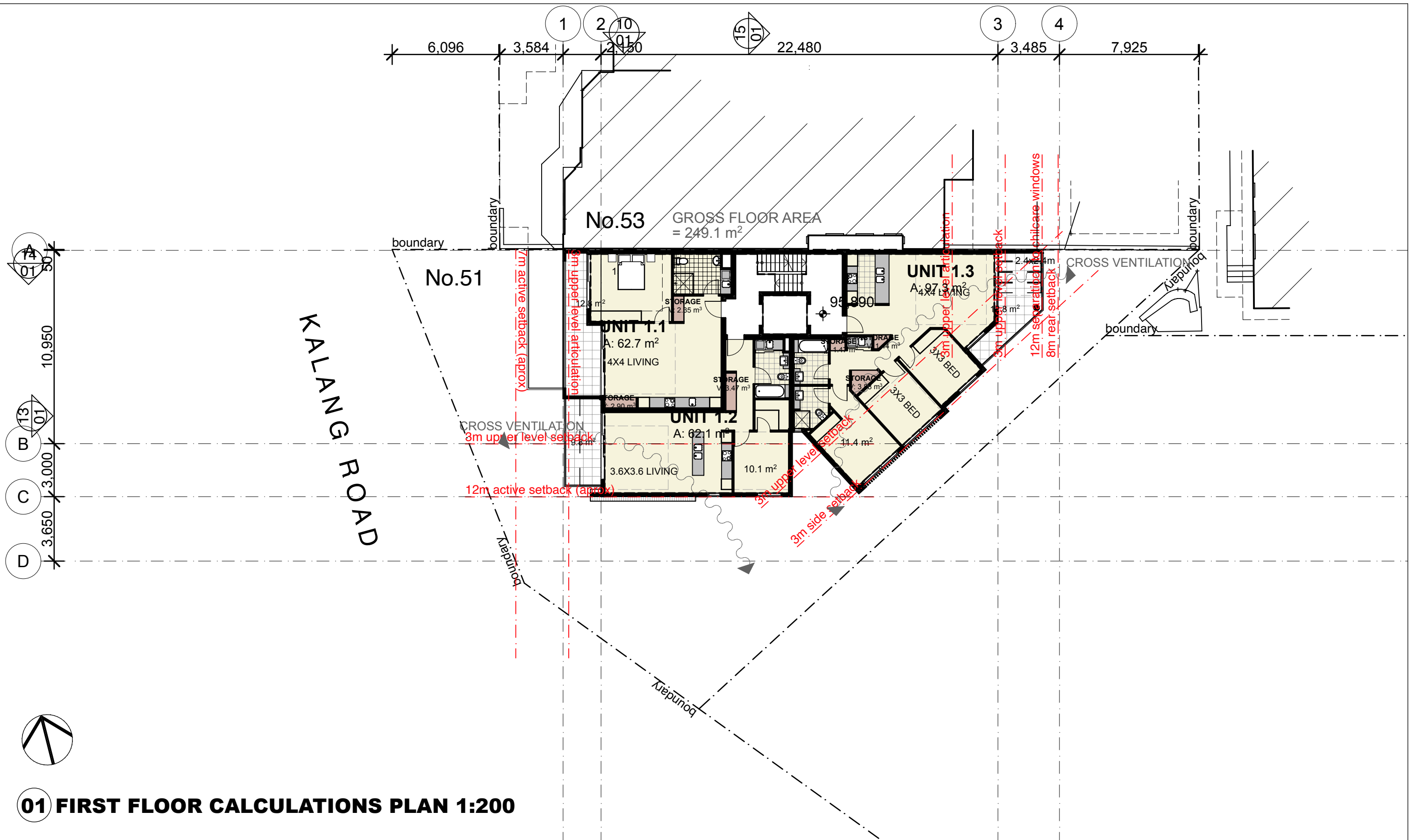
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Project Details
SHOP TOP HOUSING AT
51 KALANG ROAD
ELANORA HEIGHTS
NSW 2101

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Drawn JG	Approved JG	Date Printed 13/5/22
Job Number 2002	Scale As shown @ A3	

Drawing name
GROUND FLOOR CALCULATIONS
 Drawing Number
DA-03
 Amendment
C



01 FIRST FLOOR CALCULATIONS PLAN 1:200

Amendments	
A	ISSUED FOR DA 23/04/21
B	AMENDED RE COUNCIL'S COMMENT 21/01/22
C	RESIDENTIAL BINS RELOCATED 21/04/22

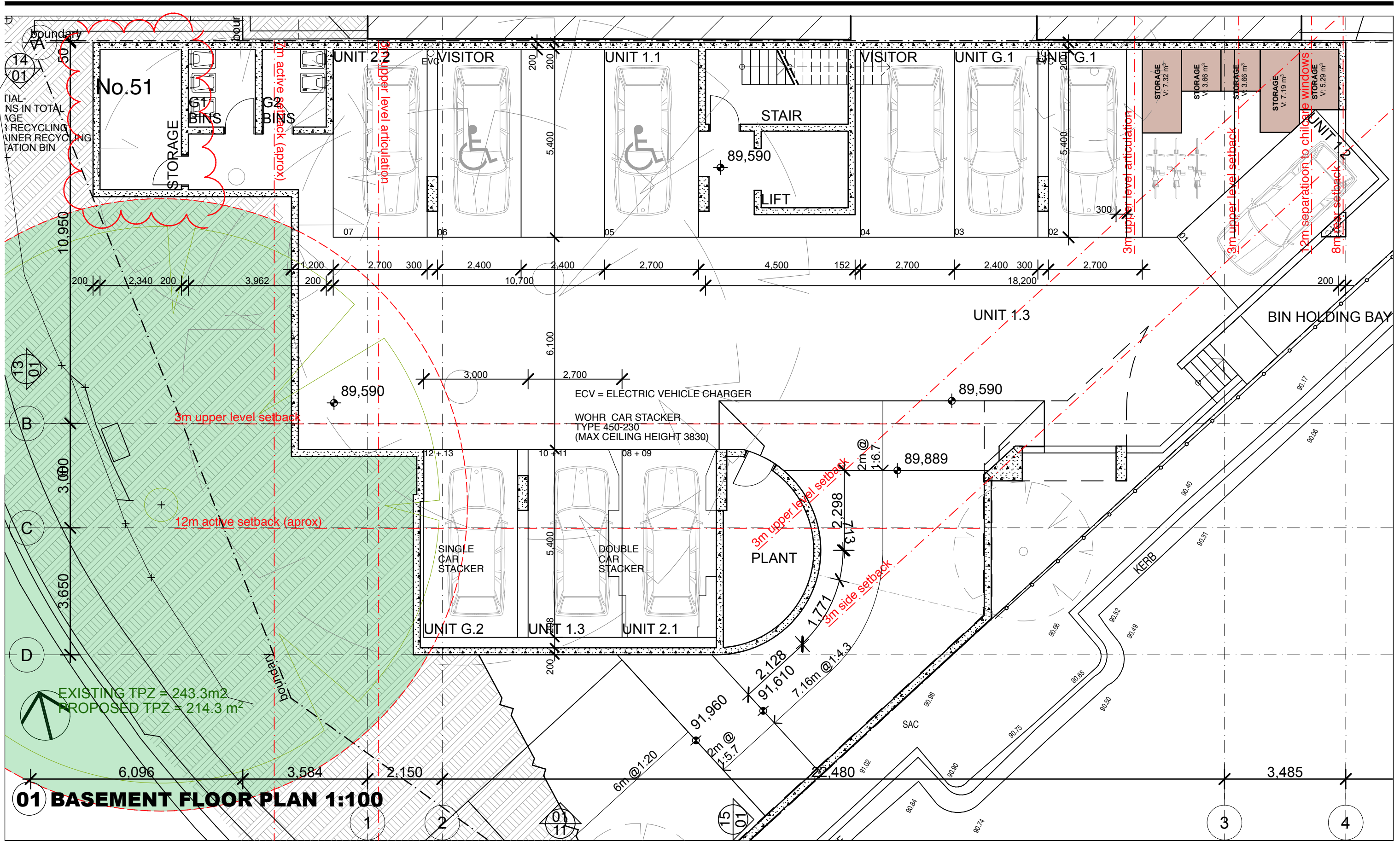
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Project Details
SHOP TOP HOUSING AT
51 KALANG ROAD
ELANORA HEIGHTS
NSW 2101

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Drawn JG	Approved JG	Date Printed 21/4/22
Job Number 2002	Scale As shown @ A3	

Drawing name
FIRST FLOOR CALCULATIONS
 Drawing Number
DA-04
 Amendment
C



Amendments

A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22
C	RESIDENTIAL BINS RELOCATED	21/04/22

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Project Details

SHOP TOP HOUSING AT

51 KALANG ROAD
ELANORA HEIGHTS
NSW 2101

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Drawn JG	Approved JG	Date Printed 21/4/22
Job Number 2002		
Scale As shown @ A3		

Drawing name

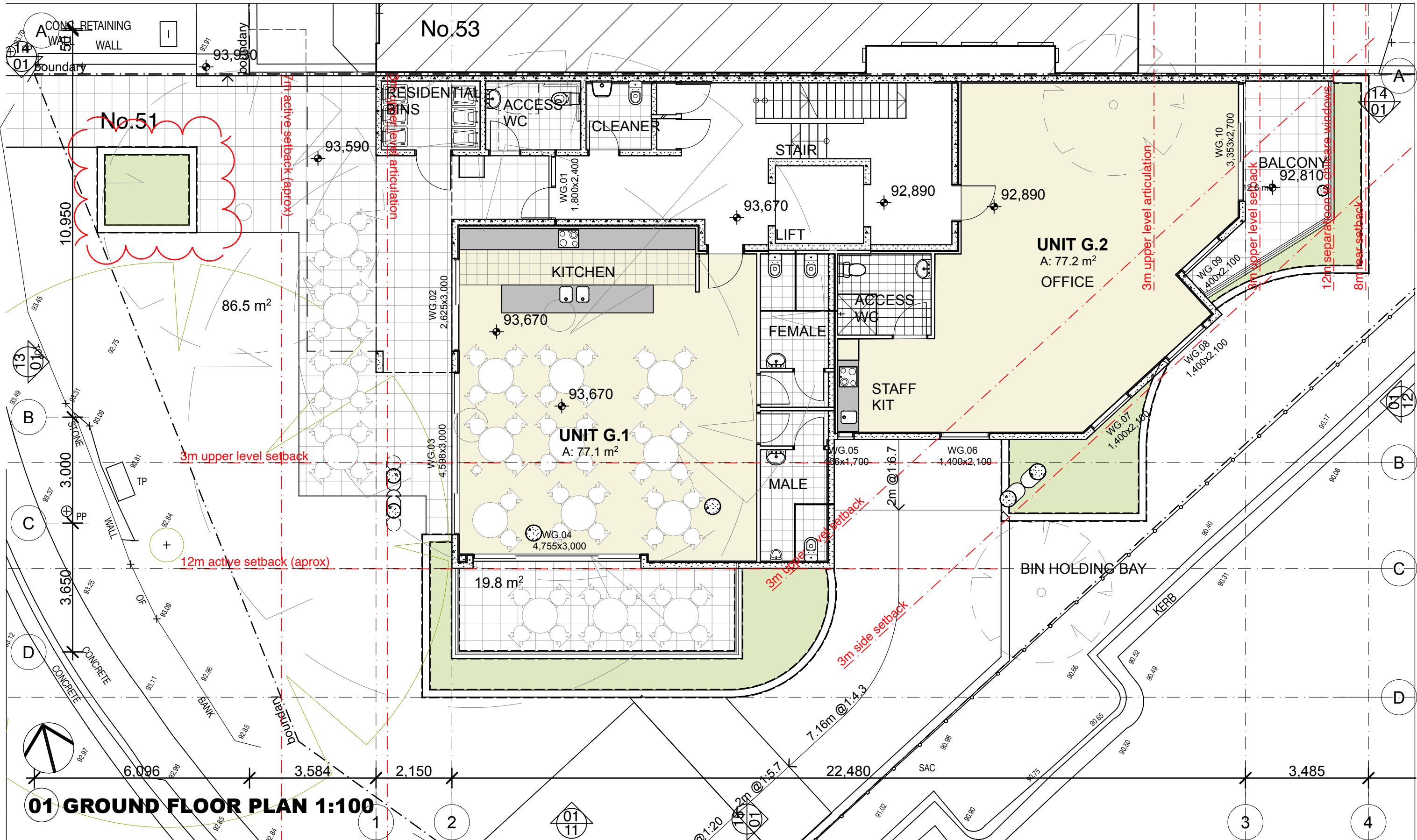
BASEMENT FLOOR PLAN

Drawing Number

DA-06

Amendment

C



01 GROUND FLOOR PLAN 1:100

Amendments	
A	ISSUED FOR DA 23/04/21
B	AMENDED RE COUNCIL'S COMMENT 21/01/22
C	RESIDENTIAL BINS RELOCATED 21/04/22

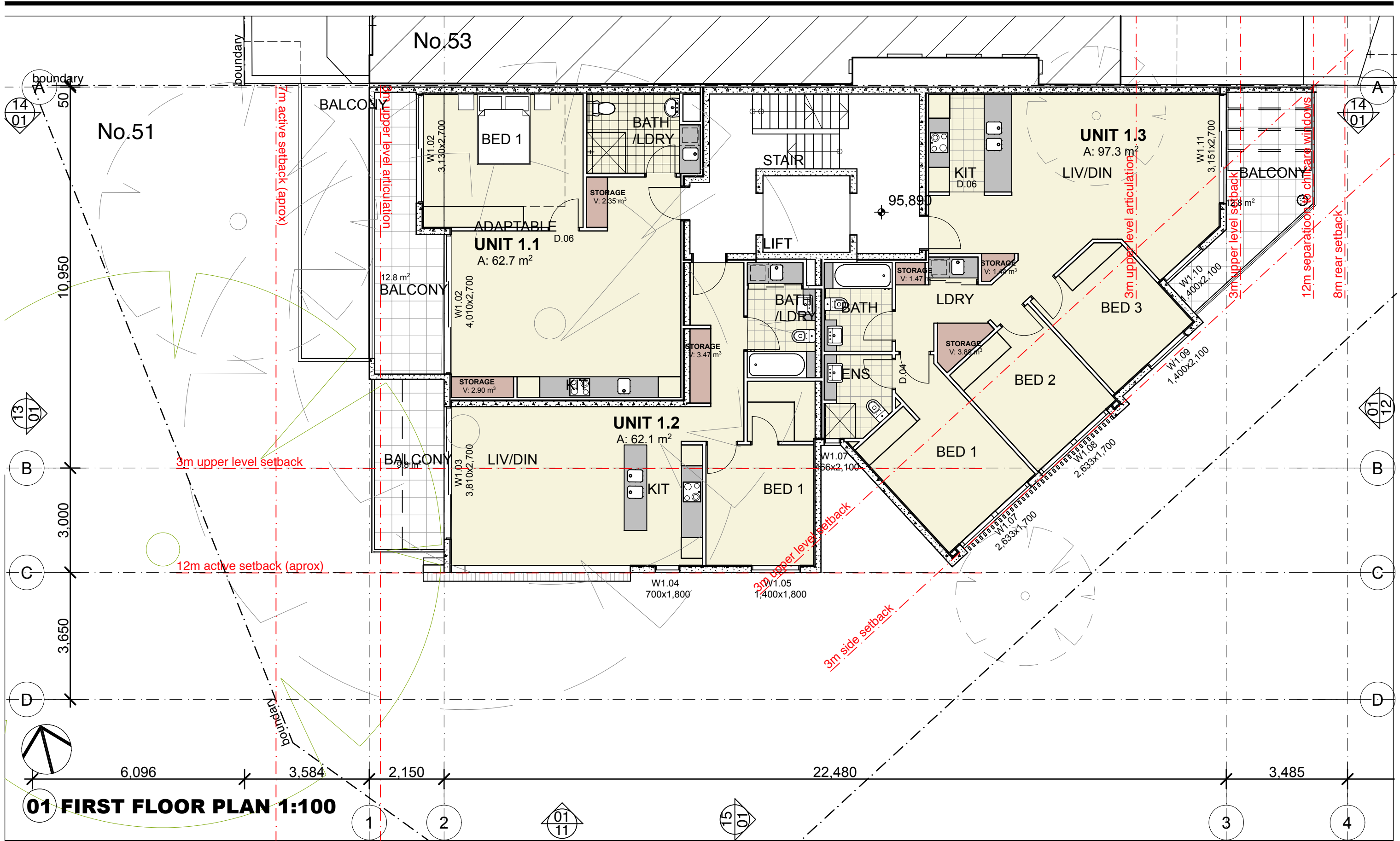
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Project Details
SHOP TOP HOUSING AT
51 KALANG ROAD
ELANORA HEIGHTS
NSW 2101

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Drawn JG	Approved JG	Date Printed 13/5/22
Job Number 2002		
Scale As shown @ A3		

Drawing name GROUND FLOOR PLAN	Amendment C
Drawing Number DA-07	



Amendments

A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22
C	RESIDENTIAL BINS RELOCATED	21/04/22

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Project Details

SHOP TOP HOUSING AT

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ELANORA HEIGHTS
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Drawn JG	Approved JG	Date Printed 21/4/22
Job Number 2002		
Scale As shown @ A3		

Drawing name

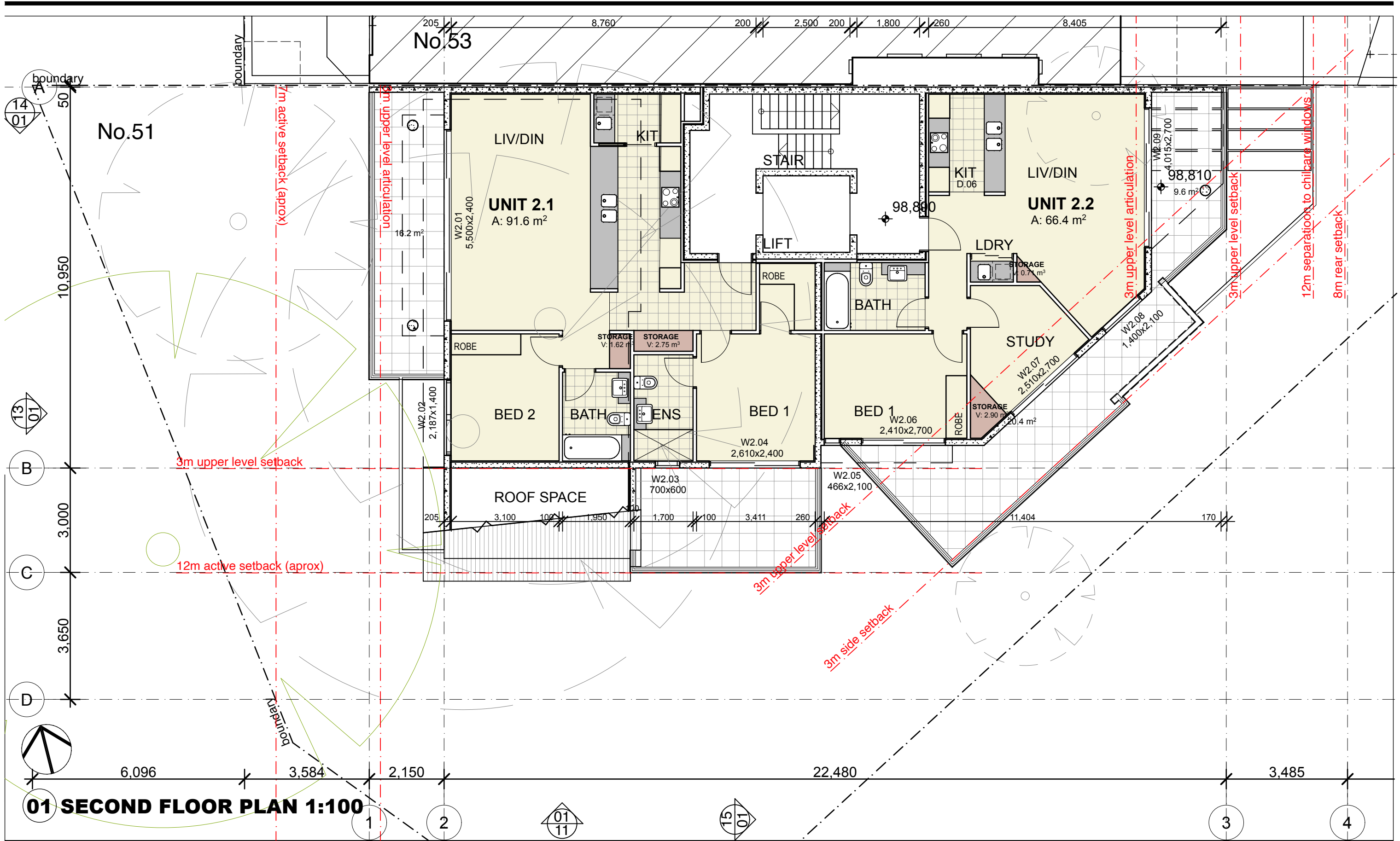
FIRST FLOOR PLAN

Drawing Number

DA-08

Amendment

C



01 SECOND FLOOR PLAN 1:100

Amendments

A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22
C	RESIDENTIAL BINS RELOCATED	21/04/22

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Project Details

SHOP TOP HOUSING AT
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ELANORA HEIGHTS
NSW 2101

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Job Number 2002		
Scale As shown @ A3		

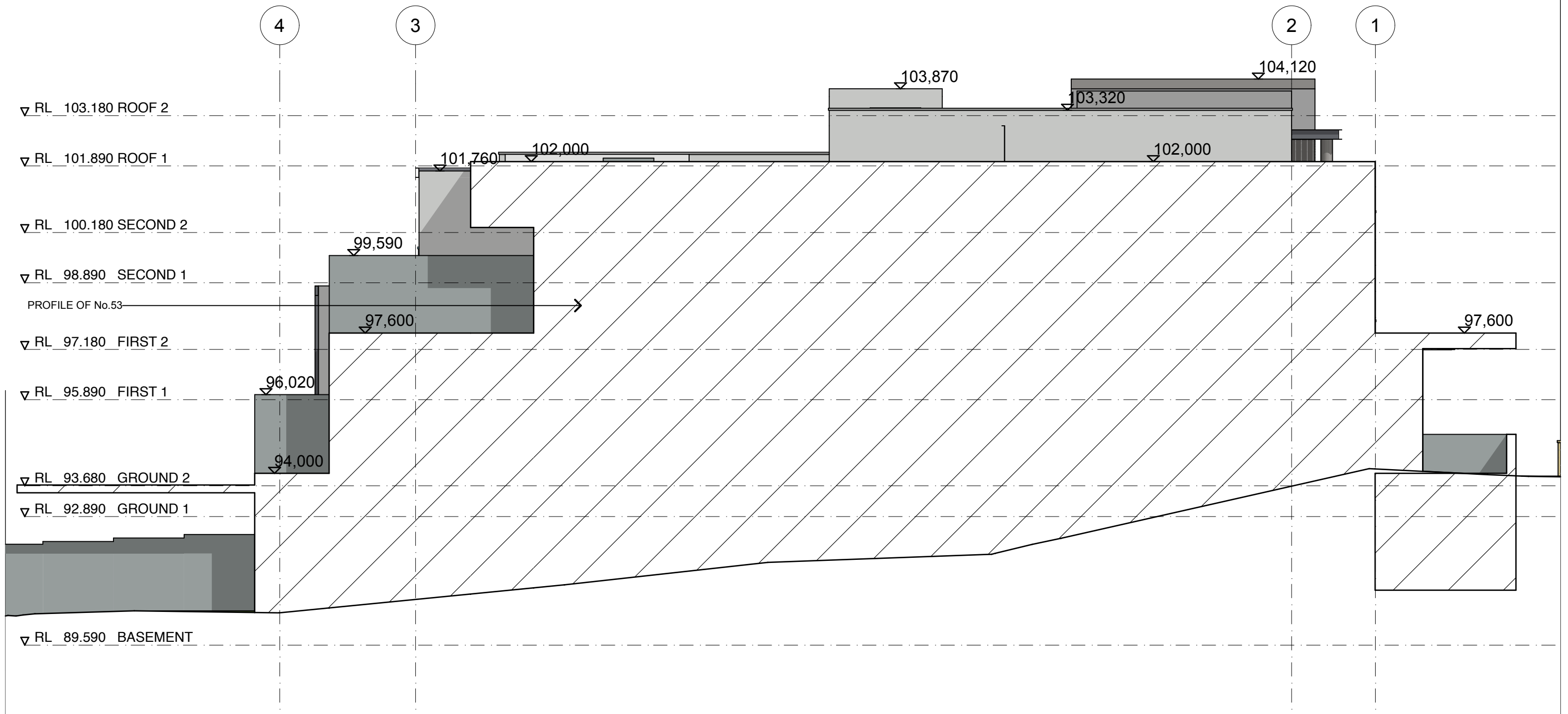
Drawing name

SECOND FLOOR PLAN

Drawing Number

DA-09

Amendment
C



01 NORTH ELEVATION 1:100

Amendments	
A ISSUED FOR DA	23/04/21
B AMENDED RE COUNCIL'S COMMENT	21/01/22
C RESIDENTIAL BINS RELOCATED	21/04/22

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Project Details
SHOP TOP HOUSING AT
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ELANORA HEIGHTS
NSW 2101

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Drawn JG	Approved JG	Date Printed 21/4/22
Job Number	2002	
Scale	As shown @ A3	

Drawing name
NORTH ELEVATION
 Drawing Number
DA-10
 Amendment
C



01 SOUTH ELEVATION 1:100

Amendments	
A ISSUED FOR DA	23/04/21
B AMENDED RE COUNCIL'S COMMENT	21/01/22
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Project Details
SHOP TOP HOUSING AT
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ELANORA HEIGHTS
NSW 2101

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Drawn JG	Approved JG	Date Printed 21/4/22
Job Number 2002		
Scale As shown @ A3		

Drawing name
SOUTH ELEVATION
 Drawing Number
DA-11
 Amendment
C



01 EAST ELEVATION 1:100

Amendments		
A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22
C	RESIDENTIAL BINS RELOCATED	21/04/22

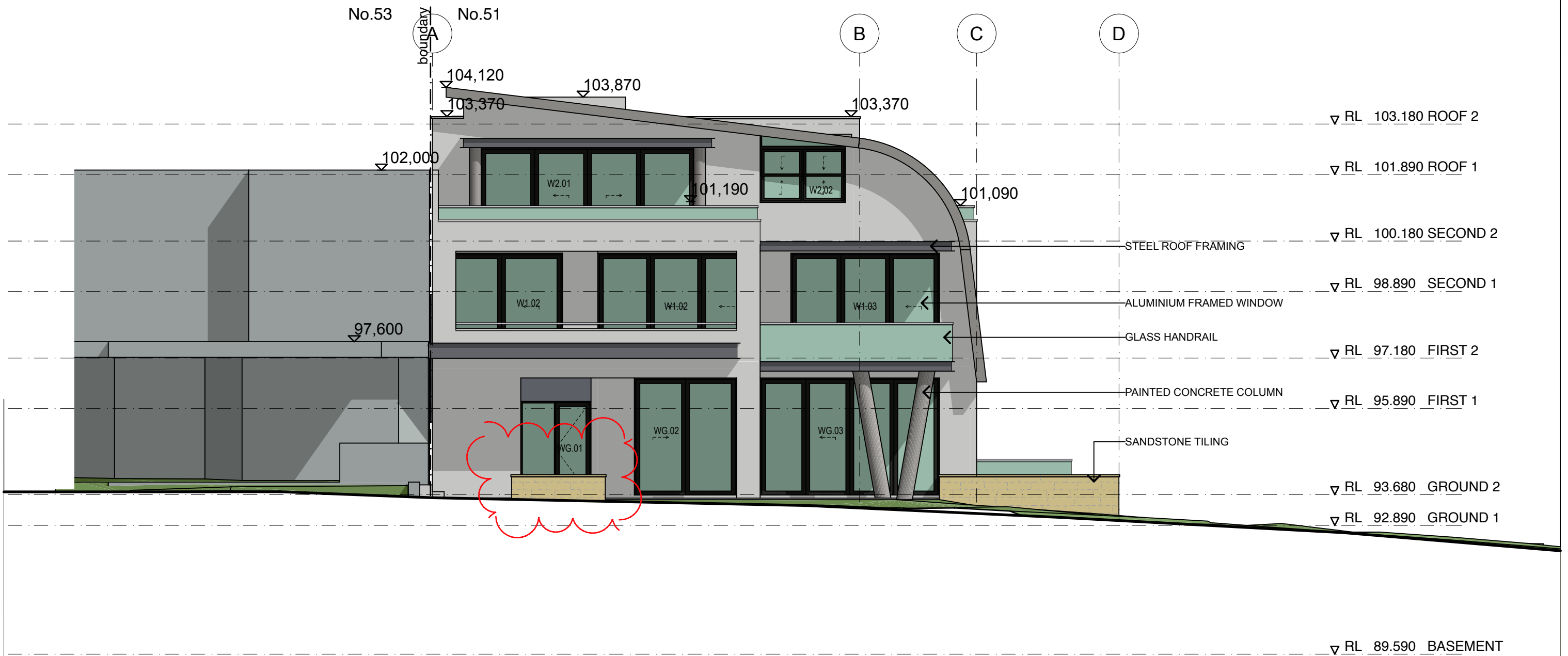
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Project Details
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Drawn JG	Approved JG	Date Printed 21/4/22
Job Number	2002	
Scale	As shown @ A3	

Drawing name
EAST ELEVATION
 Drawing Number
DA-12
 Amendment
C



01 WEST ELEVATION 1:100

Amendments	
A	ISSUED FOR DA 23/04/21
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SHOP TOP HOUSING AT

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Job Number	2002	
Scale	As shown @ A3	

Drawing name

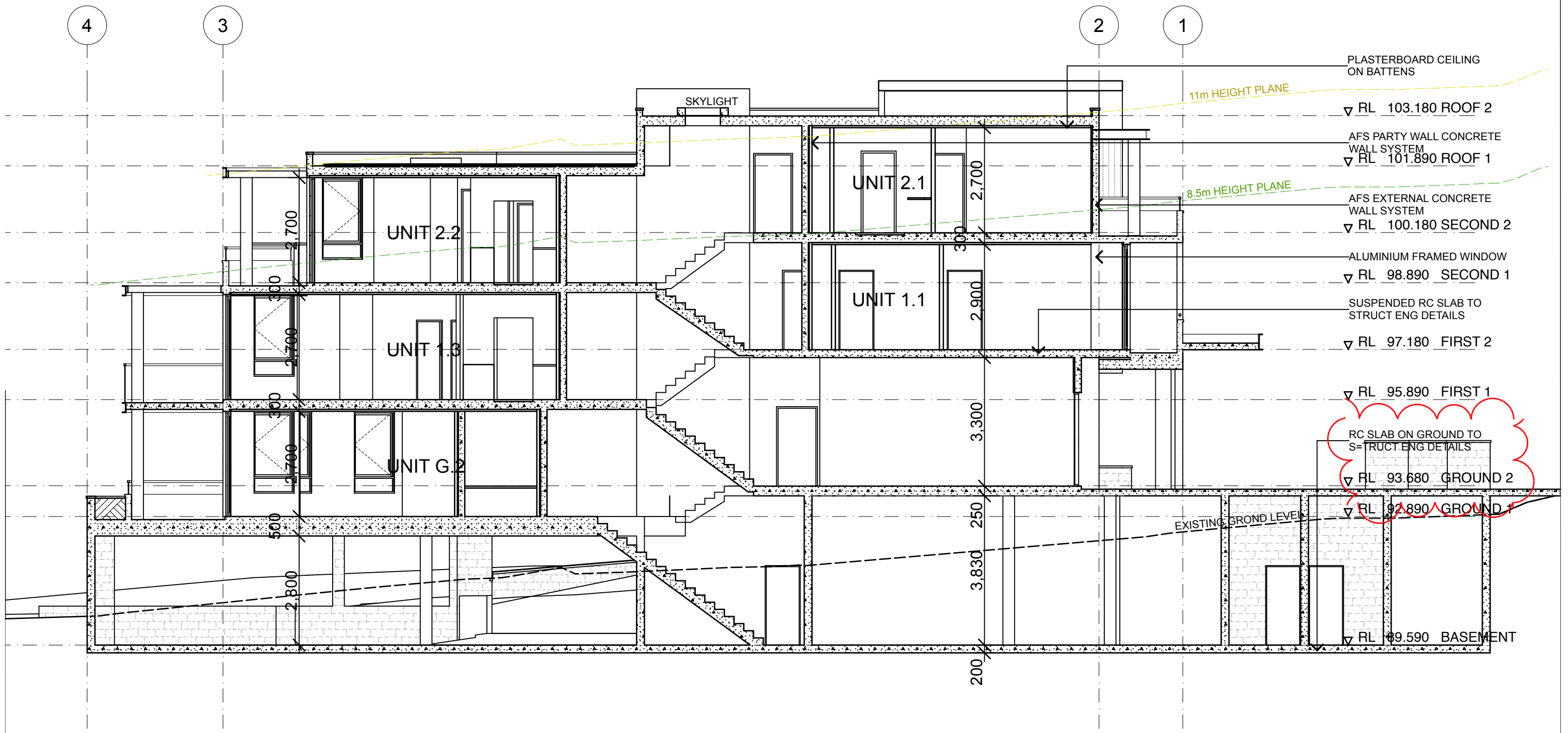
WEST ELEVATION

Drawing Number

DA-13

Amendment

C



01 SECTION 1:100

Amendments		
A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22
C	RESIDENTIAL BINS RELOCATED	21/04/22

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Drawn JG	Approved JG	Date Printed 21/4/22
Job Number 2002		
Scale As shown @ A3		

Drawing name
SECTION
 Drawing Number
DA-14
 Amendment
C

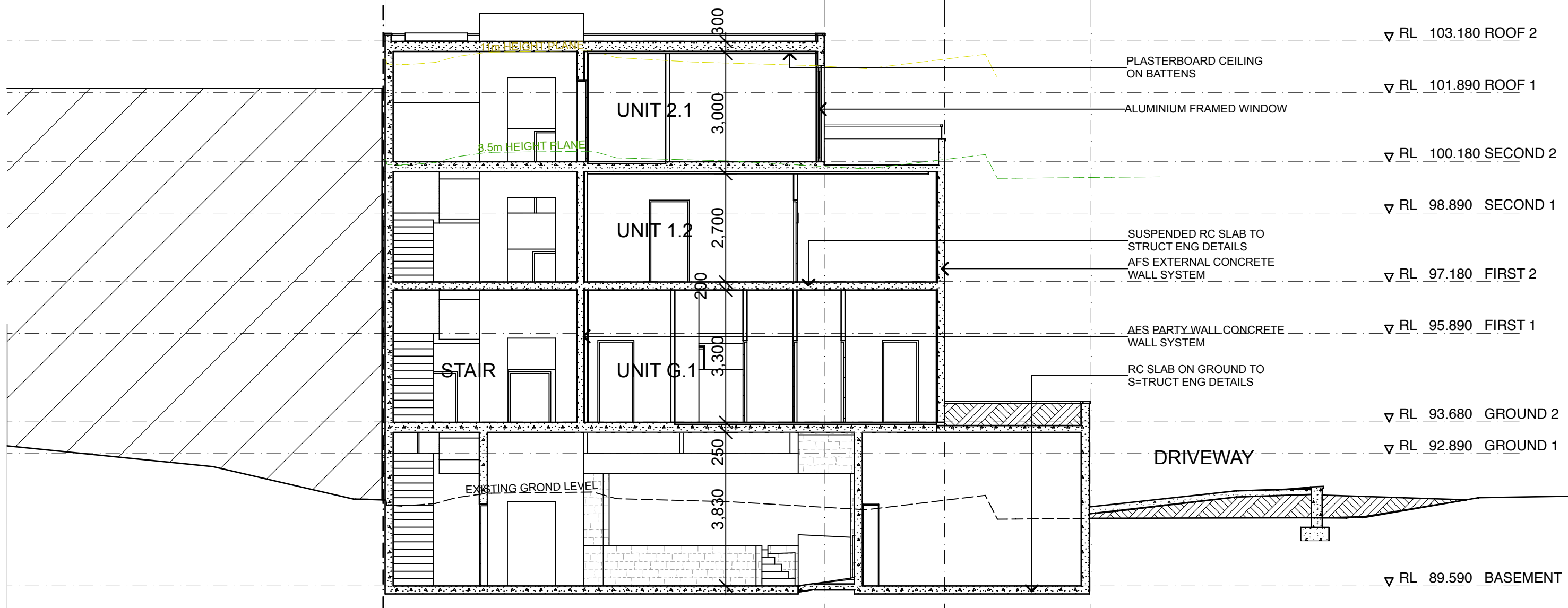
No.53 No.51

boundary
A

B

C

D



▽ RL 103.180 ROOF 2

PLASTERBOARD CEILING ON BATTENS

▽ RL 101.890 ROOF 1

ALUMINIUM FRAMED WINDOW

3.5m HEIGHT PLANE

▽ RL 100.180 SECOND 2

▽ RL 98.890 SECOND 1

SUSPENDED RC SLAB TO STRUCT ENG DETAILS
AFS EXTERNAL CONCRETE WALL SYSTEM

▽ RL 97.180 FIRST 2

AES PARTY WALL CONCRETE WALL SYSTEM

▽ RL 95.890 FIRST 1

RC SLAB ON GROUND TO S=TRUCT ENG DETAILS

▽ RL 93.680 GROUND 2

▽ RL 92.890 GROUND 1

DRIVEWAY

STAIR

EXISTING GROND LEVEL

▽ RL 89.590 BASEMENT

01 SECTION 1:100

Amendments

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Project Details

SHOP TOP HOUSING AT
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ELANORA HEIGHTS
NSW 2101

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Job Number 2002		
Scale As shown @ A3		

Drawing name

SECTION

Drawing Number

DA-15

Amendment
C

CALCULATIONS

SITE AREA	661.7m ²
SITE ZONE	D5 ELENORA HEIGHTS LOCALITY
PROPOSED GROSS FLOOR AREA	663.4m ²
ALLOWABLE FSR	NOT APPLICABLE
PROPOSED COMMERCIAL GROSS FLOOR AREA	193.7m ² (30%)
ALLOWABLE FSR	NOT APPLICABLE
ALLOWABLE DEEP SOIL	174m ² min (15%)
DEEP SOIL AREA	123.6m ²

ALLOWABLE LANDSCAPE AREA	132.3m ² (20%) or 5 x 35 = 175m ²
PROPOSED LANDSCAPE AREA	176.8m ²
ALLOWABLE SITE COVERAGE	693m ² (60%)
PROPOSED SITE COVERAGE	566.1m ² (excludes balconies)
REQUIRED ACCESSIBLE UNITS	1 UNITS
PROPOSED ACCESSIBLE UNITS	1 UNITS (20%)
REQUIRED ADAPTABLE UNITS	2 - 1 = 1 UNITS (30%)
PROPOSED ADAPTABLE UNITS	1 UNITS

PITTWATER LEP 2014 (Map 13)
 LAND ZONED B2 LOCAL CENTRE
 NO MIN LOT SIZE
 HEIGHT OF BUILDINGS 11m (map 13A)
 FLOOR SPACE RATIO - NONE
 ACID SULPHATE SOIL CLASS 5
 NO LAND RESERVATIONS AND ACQUISITIONS
 NOT A HERITAGE ITEM
 NOT NEAR A HERITAGE ITEM
 NOT IN A CONSERVATION AREA
 NOT IN THE FORESHORE BUILDING LINE
 NO ADDITIONAL PERMITTED USES
 NO BIODIVERSITY
 NOT FORESHORE EFFECTED
 NO GEOTECHNICAL HAZARD
 NOT URBAN RELEASE LAND

SEPP 65

TOTAL NO OF UNITS = 5 Residential Units + 2 Commercial Units

25% UNITS WITH EXTERNAL KITCHENS = 2	2 SUPPLIED (20%)
70% UNITS WITH 3 HOURS SUN = 4 (4 out of 5 units get 2 hours sun)	4 SUPPLIED
60% UNITS WITH CROSS VENTILATION = 3	4 SUPPLIED
10% SINGLE ASPECT UNITS FACING SOUTH = 1	0 SUPPLIED

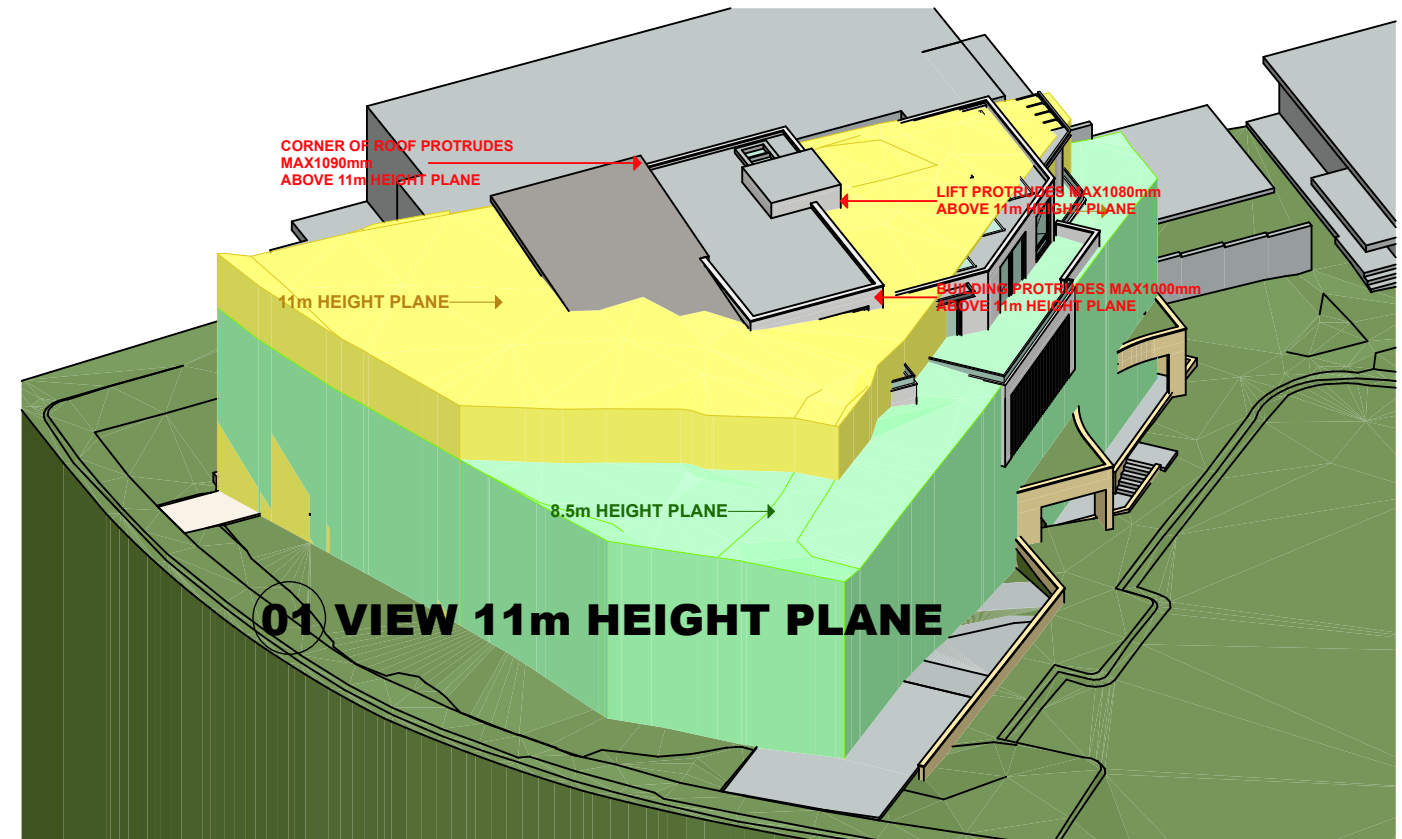
UNIT YIELD

2 x COMERCIAL UNITS (TOTAL 138.7m²)
 3 x 1 BED UNITS
 1 x 2 BED UNITS
 1 x 3 BED UNITS

CAR PARKING (Council requirements)

1 bed units	1 SPACE REQUIRED	3
2 bed units	2 SPACES REQUIRED	2
3 bed units	2 SPACES REQUIRED	2
VISITOR SPACES	1 SPACE PER 3 UNITS REQUIRED	1.7
CAFE	1 SPACE PER 30m ²	3
VISITOR SPACES	1 SPACE PER 3 UNITS REQUIRED	2

BICYCLE PARKING 1 SPACE/3 DWELLINGS + 1 VISITOR SPACE /12 DWELLINGS



Amendments

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Scale As shown @ A3		

Drawing name

HEIGHT PLANE AND CALCULATIONS

Drawing Number

DA-16

Amendment
C



01 MATERIALS VIEW

1 - DULUX LEXICON

2 - METALWORK
COLORBOND
WOODLAND GREY

3 - SANDSTONE CLADDING


4 - COLUMNS
COLORBOND
WALLABY

5 - GLASS HANDRAILS

Amendments

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Project Details

SHOP TOP HOUSING AT

**51 KALANG ROAD
ELANORA HEIGHTS
NSW 2101**

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Job Number	2002	
Scale	As shown @ A3	

Drawing name

MATERIALS AND FINISHES SCHEDULE

Drawing Number **DA-17**


Amendment **C**



Amendments

A	ISSUED FOR DA	23/04/21
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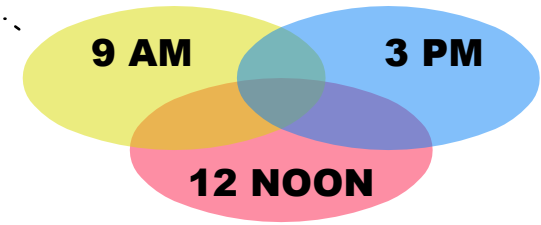
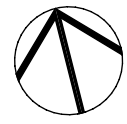
Drawn JG	Approved JG	Date Printed 21/1/22
Job Number	2002	
Scale	As shown @ A3	

Drawing name

PHOTOMONTAGE
 Drawing Number
DA-18
 Amendment
B




01 SHADOW DIAGRAMS 1:200



Amendments	
A ISSUED FOR DA	23/04/21
B AMENDED RE COUNCIL'S COMMENT	21/01/22

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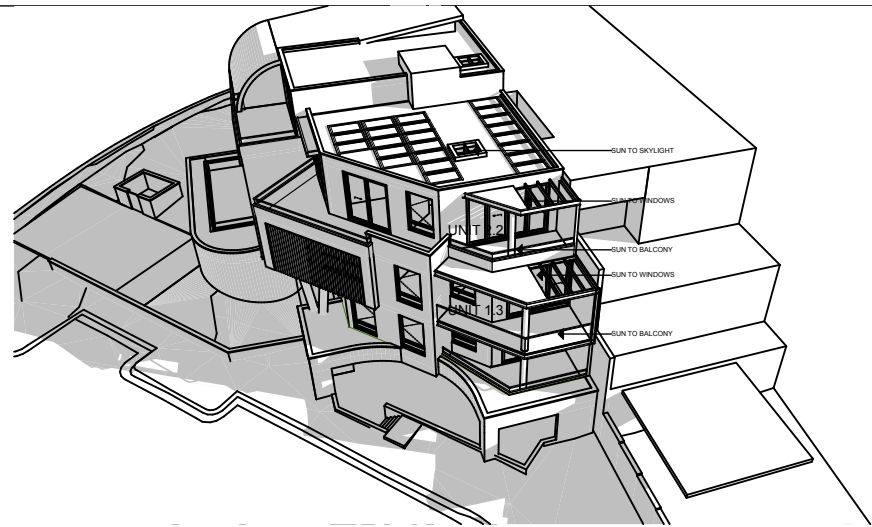
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Scale As shown @ A3		

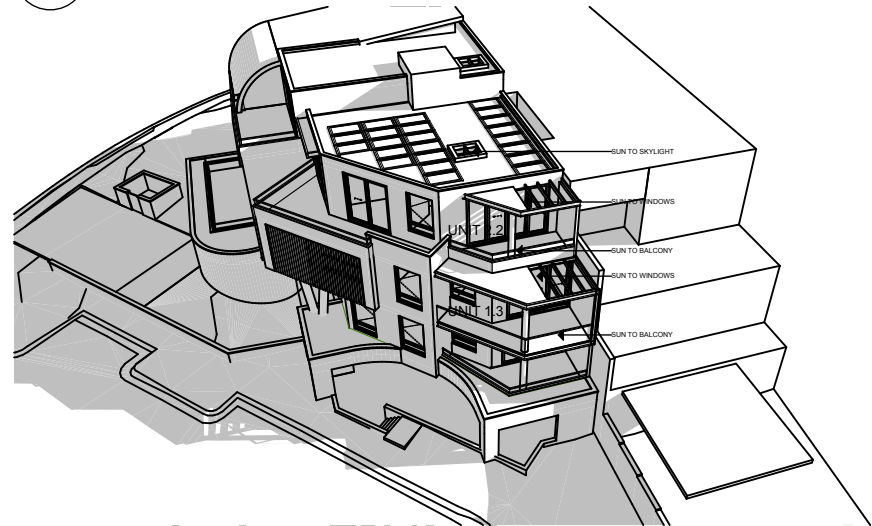
Drawing name
PLAN SHADOW DIAGRAMS

Drawing Number
DA-19

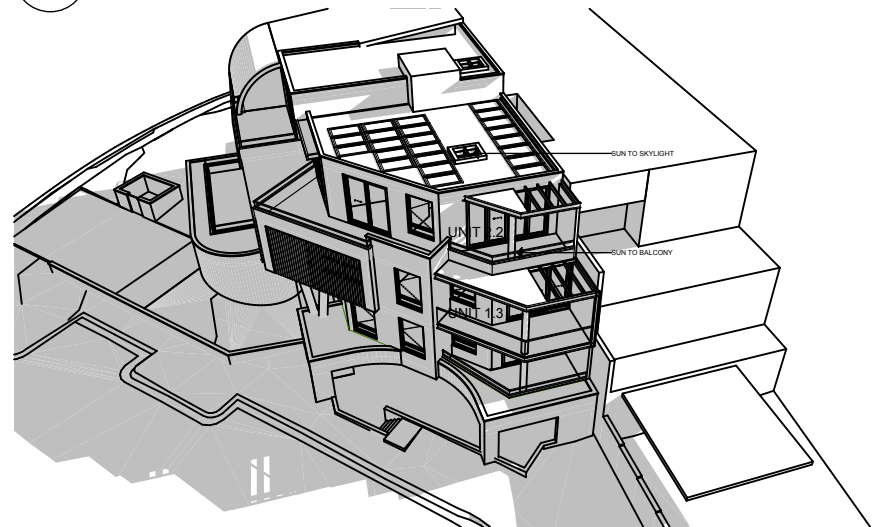
Amendment
B



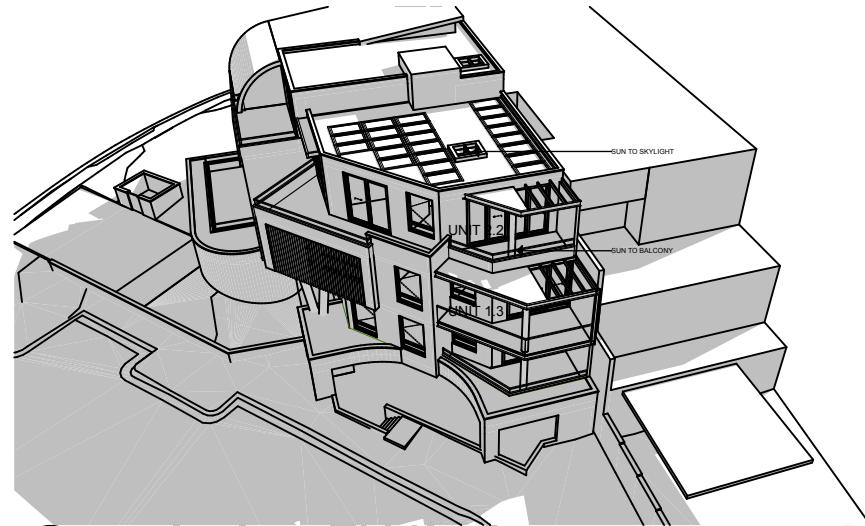
01 EAST VIEW JUNE 21ST 9AM



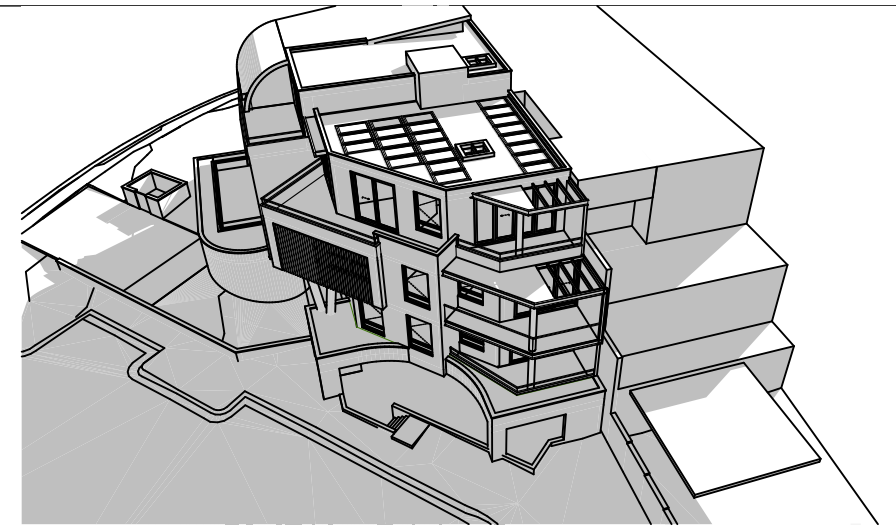
02 EAST VIEW JUNE 21ST 10AM



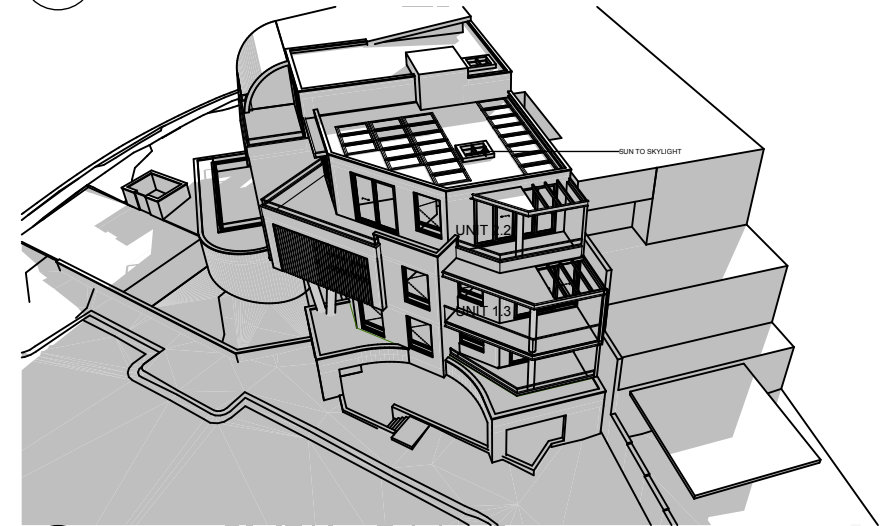
03 EAST VIEW JUNE 21ST 11AM



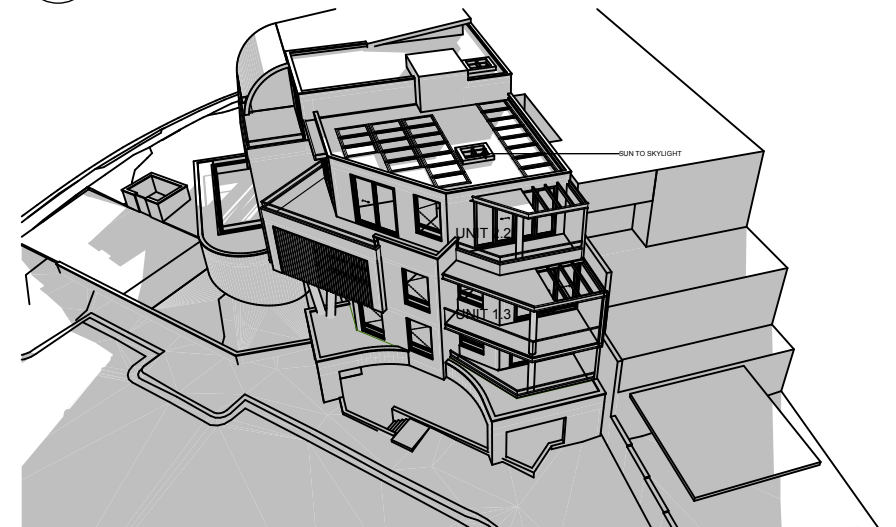
04 EAST VIEW JUNE 21ST 12NOON



05 EAST VIEW JUNE 21ST 1PM



06 EAST VIEW JUNE 21ST 2PM



07 EAST VIEW JUNE 21ST 3PM

UNIT 1.3
BALCONY - 1 HOUR SUN
LIVING - 1 HOUR SUN

UNIT 2.2
BALCONY - 3 HOURS SUN
LIVING - 6 HOURS SUN

Amendments

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ELANORA HEIGHTS
NSW 2101

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number	2002	
Scale	As shown @ A3	

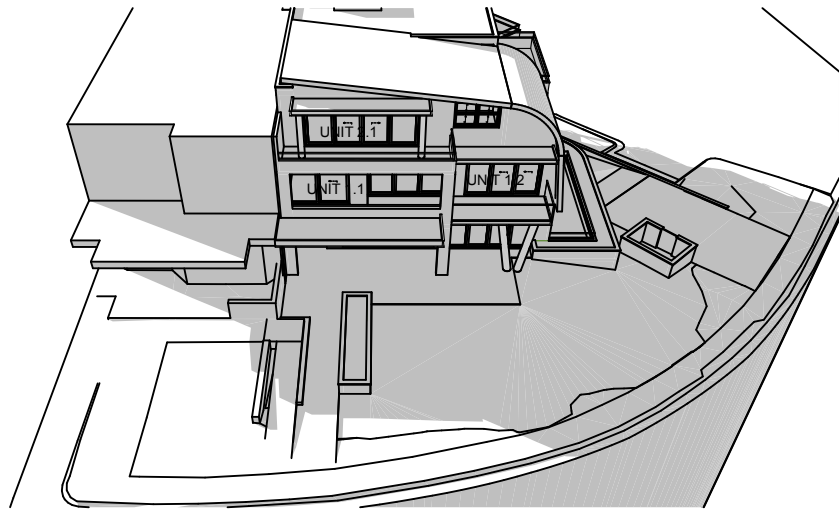
Drawing name

EAST SHADOW VIEWS
21ST JUNE

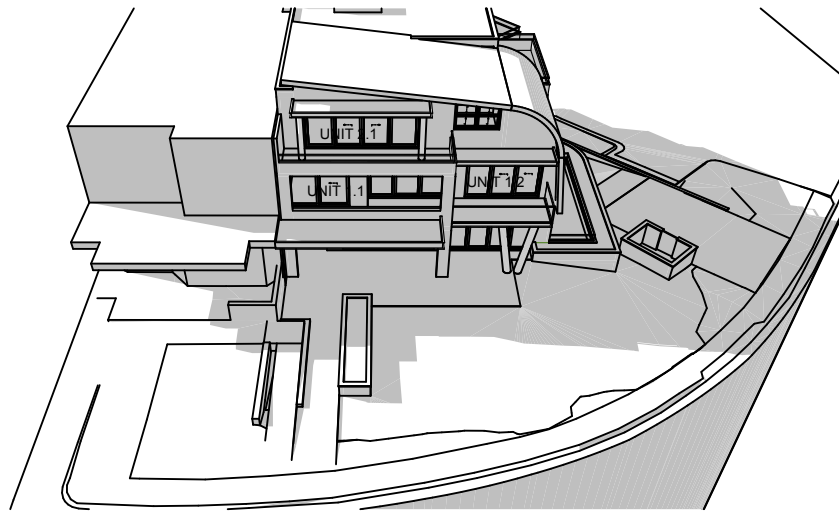
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DA-20

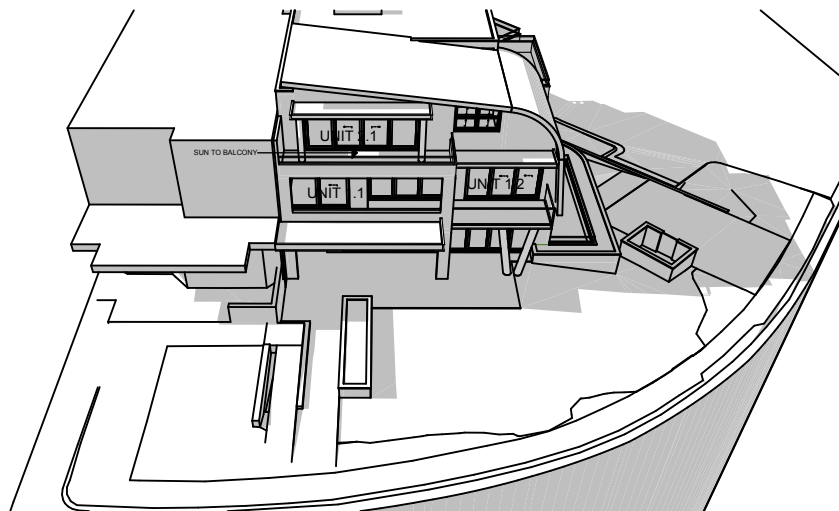
Amendment
B



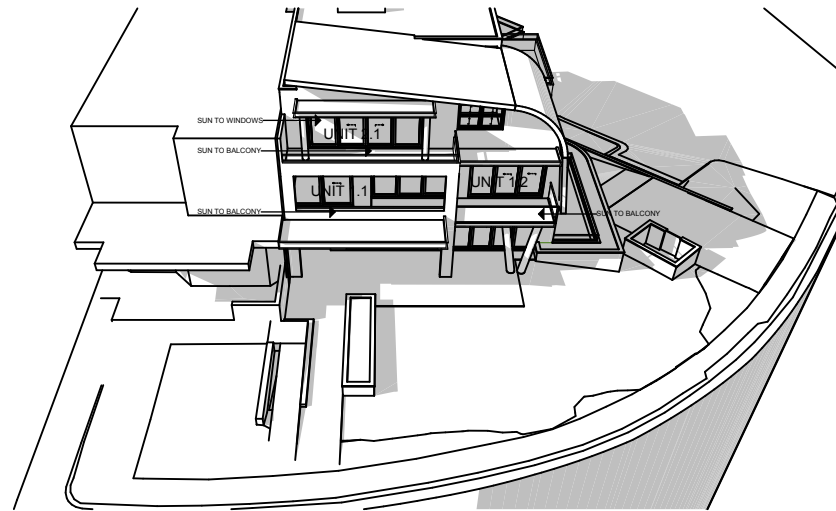
01 WEST VIEW JUNE 21ST 9AM



02 WEST VIEW JUNE 21ST 10AM



03 WEST VIEW JUNE 21ST 11AM

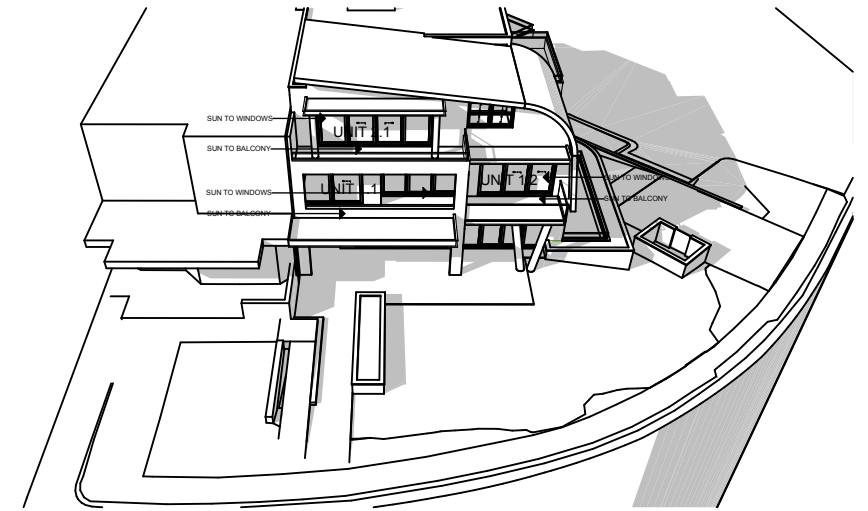


04 WEST VIEW JUNE 21ST 12NOON

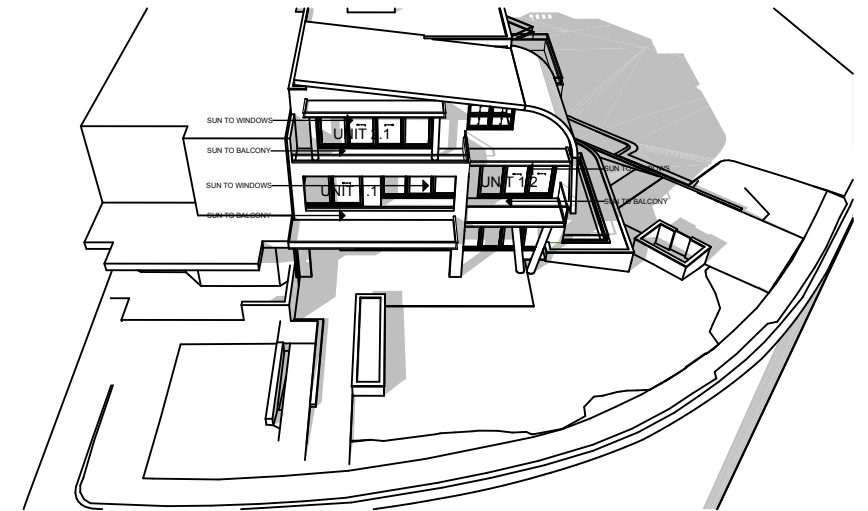
UNIT 1.1
BALCONY - 3 HOURS SUN
LIVING - 2 HOURS SUN

UNIT 1.2
BALCONY - 3 HOURS SUN
LIVING - 2 HOURS SUN

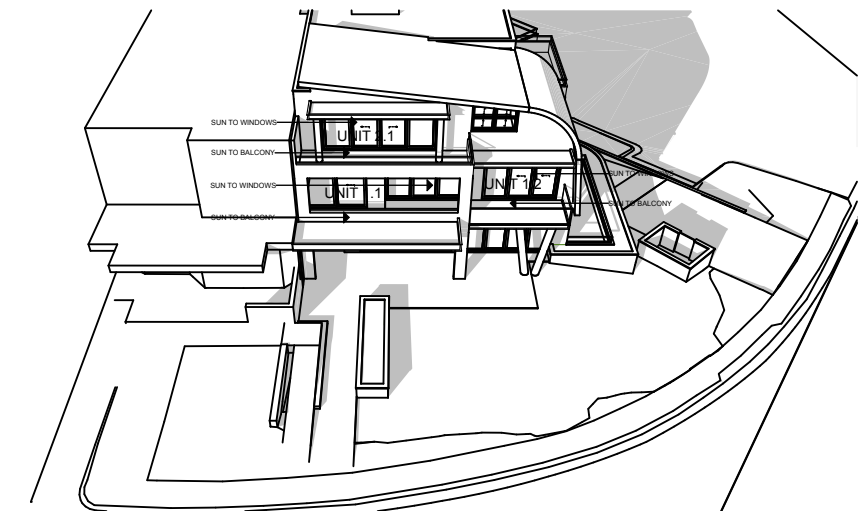
UNIT 2.1
BALCONY - 4 HOURS SUN
LIVING - 3 HOURS SUN



05 WEST VIEW JUNE 21ST 1PM



06 WEST VIEW JUNE 21ST 2PM



07 WEST VIEW JUNE 21ST 3PM

Amendments

A	ISSUED FOR DA	23/04/21
B	AMENDED RE COUNCIL'S COMMENT	21/01/22

Architect

Fortey + Grant Architecture
 Suite 3/Level 1, 1141 Botany Lane
 Mascot NSW 2020
 mob: 0401 822 223
 email: james@fgarch.com.au
 Nominated Architect James Grant 6540

Project Details

SHOP TOP HOUSING AT
51 KALANG ROAD
ELANORA HEIGHTS
NSW 2101

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number 2002		
Scale As shown @ A3		

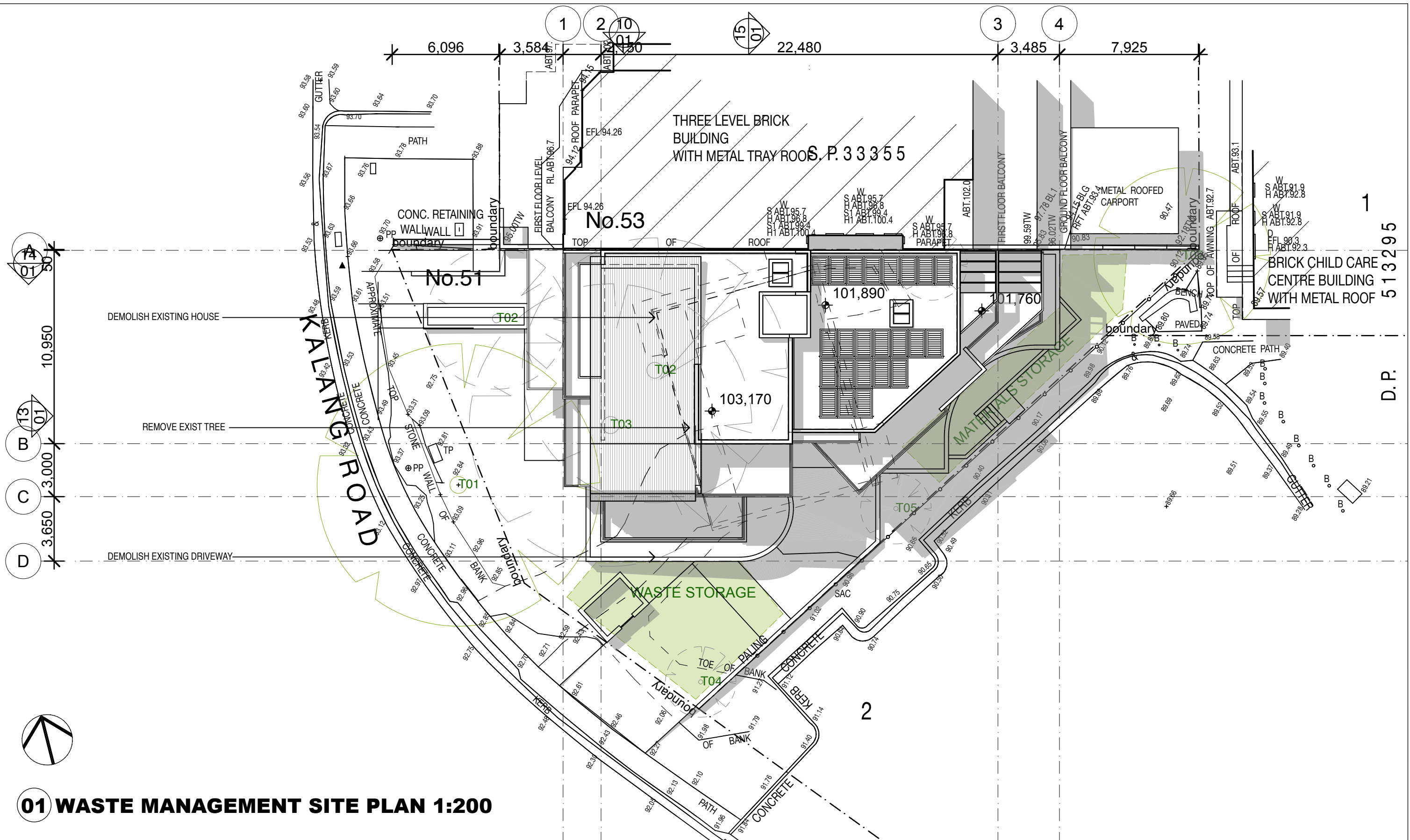
Drawing name

WEST SHADOW VIEWS
21ST JUNE

Drawing Number

DA-21


Amendment
B



01 WASTE MANAGEMENT SITE PLAN 1:200

Amendments	
A	ISSUED FOR DA 23/04/21
B	AMENDED RE COUNCIL'S COMMENT 21/01/22

Architect



Fortey + Grant Architecture
 Suite 3/Level 1, 1141 Botany Lane
 Mascot NSW 2020
 mob: 0401 822 223
 email: james@fgarch.com.au
 Nominated Architect James Grant 6540

Project Details

SHOP TOP HOUSING AT

51 KALANG ROAD
ELANORA HEIGHTS
NSW 2101

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Drawn JG	Approved JG	Date Printed 21/1/22
Job Number 2002	Scale As shown @ A3	

Drawing name

WASTE MANAGEMENT SITE PLAN

Drawing Number

DA-22

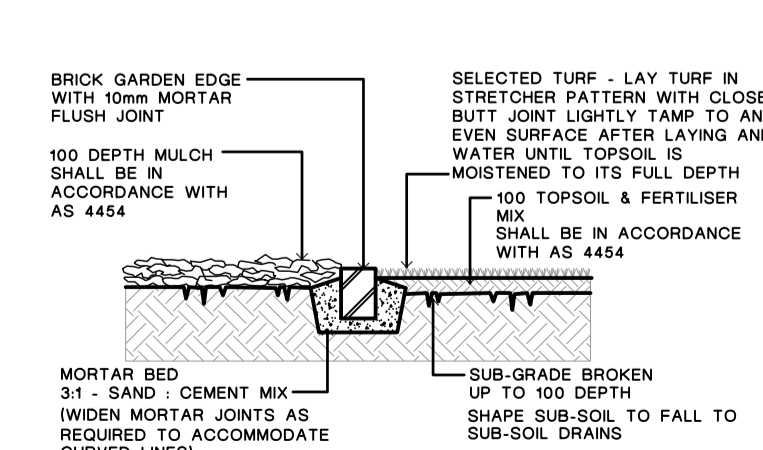
Amendment

B

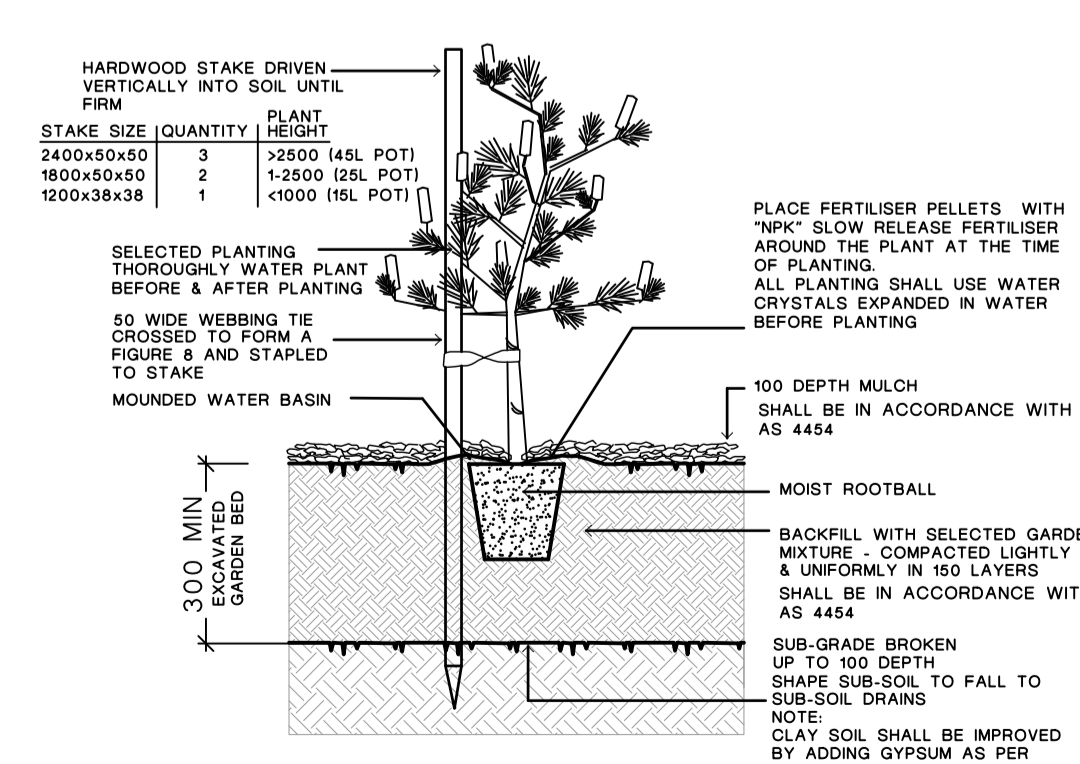
LEGEND / FINISHES SCHEDULE

- EXISTING RL
- EXISTING TREE TO BE REMOVED
NOTE:
All noxious weeds on the site shall be removed and destroyed as per their classification under the noxious weeds Act.
- EXISTING TREE TO BE RETAINED AND SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH AS 4970-2009
TREE PRUNING SHALL BE IN ACCORDANCE WITH AS 4373
- PROPOSED TREES, SHRUBS & GROUND COVER (REFER TO PLANT SCHEDULE)
- BOUNDARY FENCE
- MULCHED GARDEN BED 900 WIDE MIN. OR AS SHOWN ON PLAN REFER TO DETAIL 1 & 2
- SELECTED BRICK GARDEN EDGE OR AS SELECTED REFER TO DETAIL 1
- SELECTED RETAINING WALL JOIST
ALL RETAINING WALL HEIGHT SHALL BE CONFIRM ON SITE AND TO
-TO ENGINEER DETAIL & TO BCA REQUIREMENTS
- INSITU PLANTER BOX OVER PODIUM CONC. SLAB
REFER TO DETAILS 3 & 4 AND TO ENGINEER DETAIL & TO BCA REQUIREMENTS
- LAWN AREA
S/W WALTER BUFFALO REFER TO DETAIL 1
- PERMEABLE PEBBLE AREA
SELECTED 100 DEPTH RIVER PEBBLES WITH WEED MAT UNDER
- DRIVEWAY / PATH
SELECTED STENCILED OR COLOURED CONCRETE
- PATIO / TERRACE / PATH
SELECTED TILES
- SELECTED LETTER BOX
-TO AUST POST REQUIREMENTS AND TO AS/NZS 4253-1994
- SELECTED ILLUMINATION
ILLUMINATION SHALL BE DESIGNED BY A QUALIFIED LIGHTING CONSULTANT AND WITH AS 4282, AS 1680 & AS 1168 IN ACCORDANCE
- DRAINAGE
REFER TO ENGINEER PLANS FOR DETAILS
- DRAINAGE PIT

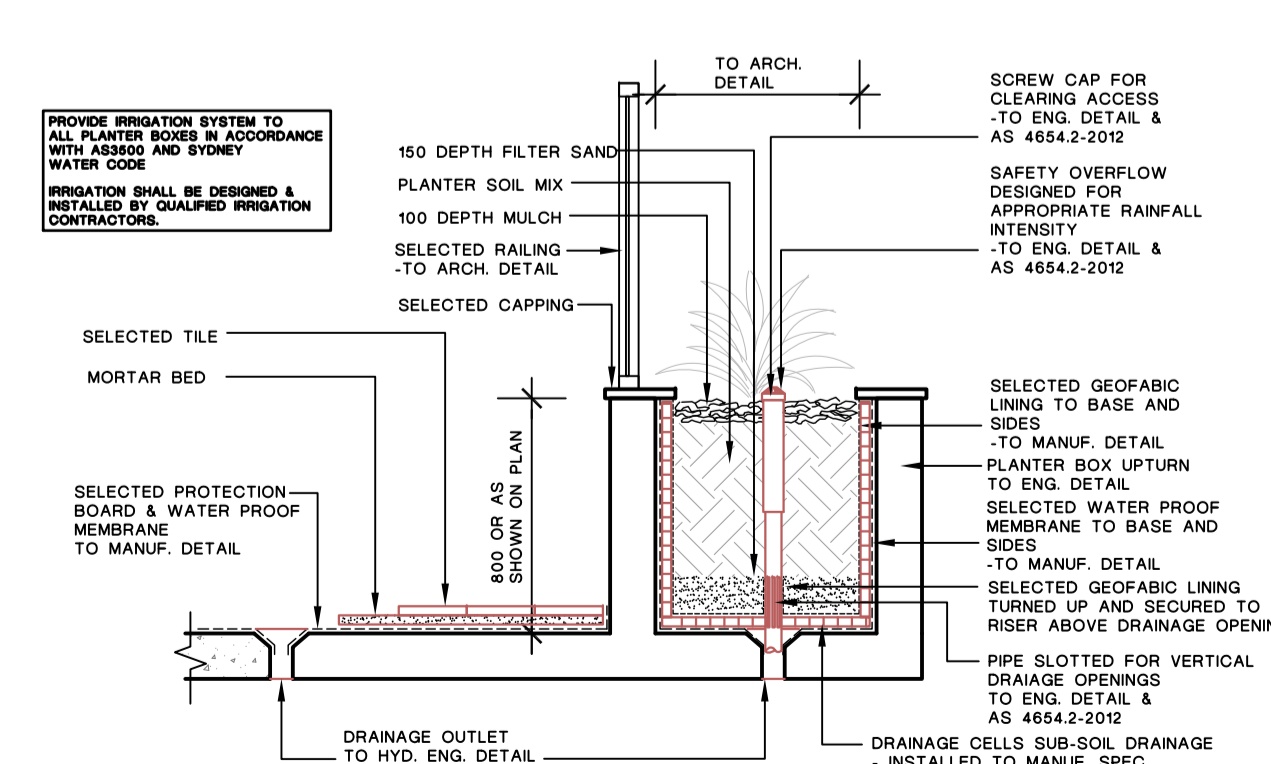
ITEM	MATERIAL
SOIL DETAIL 1 & 2	NOTE: ALL SOIL TYPE AS PER AUST. NATIVE LANDSCAPE SUPPLY OR EQUIVALENT AND SHALL BE IN ACCORDANCE WITH AS 4419 AND AS 4454 FOR SOIL CONDITIONERS AND COMPOSTS
LAWN AREA	1st QUALITY TOP SOIL
NATIVE GARDEN BED	NATIVE GARDEN MIX
EXOTIC GARDEN BED	ORGANIC GARDEN MIX
PLANTER BOX	IN PLANTER BOX MIX ACCORDANCE WITH AS4419-1998 & AS3743
MULCH	SELECTED HARD WOOD CHIP SHALL BE IN ACCORDANCE WITH AS 4454
PLANT MATERIAL	AS PER PLANT SCHEDULE REFER TO DETAIL 2
GARDEN EDGE	SELECTED PRESSED BRICK OR AS SELECTED REFER TO DETAIL 1
FENCE	1800 HIGH LAPPED & CAPPED TIMBER FENCE OR 1800 HIGH COLOURBOND
SIDES & REAR BOUNDARY	NOTE: SIDE FENCES ARE TO BE TAPER FROM THE FRONT BUILDING LINE TO BE NOT MORE THAN 900mm HIGH AT THE FRONT BOUNDARY



1. TURF & GARDEN EDGE DETAIL
NOTE:
ALIGNMENT OF BRICK EDGE SHALL BE EVEN & FREE FROM DIPS AND BUMPS.
ALL TURFED AREAS SHALL BE FINISHED LEVEL WITH ADJOINING SURFACES AND ALSO FALL EVENLY TO APPROVED POINTS OF DRAINAGE DISCHARGE



2. TREE & SHRUB PLANTING IN GARDEN BED
NOTE:
DO NOT PLANT IN UNSUITABLE WEATHER CONDITIONS SUCH AS EXTREME HEAT, COLD, WIND OR RAIN. SLAY SOIL IS TO BE TREATED WITH CLAY BREAKER, AND ORGANIC COMPOST.
ALL SOIL TYPE AS PER AUST. NATIVE LANDSCAPE SUPPLY OR EQUIVALENT AND SHALL BE IN ACCORDANCE WITH AS 4419



3. TYPICAL TERRACE / PODIUM EDGE PLANTER BOX DETAIL

PROPOSED PLANT SCHEDULE

IN ACCORDANCE WITH AS 2303: 2015

CODE	BOTANICAL NAME	COMMON NAME	APPROX. MATURED HEIGHT	POT SIZE	QUANTITY
GROUND COVER / BOARDER					
2	Lomandra 'TANKA'	Dwarf Lomandra	0.75	150mm	45
3	Agapanthus orientalis	Agapanthus	0.5	150mm	9
4	Liriope muscari 'Just Right'	Just Right Liriope	0.5	150mm	8
5	Dianella tasmanica 'Destiny'	Destiny Flax Lily	0.4	150mm	25
8	Crassula 'blue bird'	Crassula	0.3	150mm	46
10	Pennisetum alopecuroides	Fountain grass	0.6	150mm	41
LOW SHRUBS					
15	Correa reflexa	Correa	1.5	200mm	4
16	Murraya paniculata	Murraya	3	200mm	7
18	Dodonaea viscosa 'Purpurea'	Purple-leaved Hop bush	2	200mm	6
19	Acmena 'Allyn's Maglo'	Lilly pilly	1.5	200mm	5
20	Weirtrigle Blue Gem	Weirtrigle	1.2	200mm	23
TALL SHRUBS					
23	Backhousia myrtifolia	Grey Myrtle	3	200mm	1
24	Callistemon SLIM	Slim callistemon	3	200mm	8
25	Syzygium australe 'Resilience'	Lilly pilly	4	200mm	8
FEATURE SHRUBS					
32	Dorayanthus excelsa	Gymea lilly	1.2	200mm	12
33	Yucca rostrata 'Sapphire Skies'	Blue yucca	2	25 L	3
35	Cordylina 'Red Sensation'	Red Sensation	1.2	25 L	2
37	Streitzia juncea	Bird of Paradise	1.2	25 L	2
40	Alpinia zerumbet variegata	Variegated Shell Ginger	1.5	200mm	11
TREES					
42	Glochidion ferdinandi	Cheese Tree	6-12	25 L	1
43	Elaeocarpus reticulatus	Blueberry Ash	5-10	45 L	1
44	Tristanopsis laurina 'Luscious'	Water gum	5-10	45 L	2
48	Magnolia Teddy Bear	Magnolia	5	45 L	2

NOTE:
THE TREES SHALL COMPLY WITH NATSPEC SPECIFYING TREES:
A GUIDE TO ASSESSMENT OF TREE QUALITY (2003) OR AUSTRALIAN STANDARD AS 2303 - 2015 TREE STOCK FOR LANDSCAPE USE.
HEIGHT AND SPAN ARE INDICATIVE ONLY. SUBJECT TO ON SITE ENVIRONMENTAL FACTORS. USE ONLY AS A GUIDE.

REV	DESCRIPTION	REVISION DATE
A	DA ISSUE	5.3.21

- NOTE:**
- In the event of any inconsistency between the architectural plans and stormwater plans, the architectural plan shall prevail to the extent of the inconsistency
 - All landscape works shall be carried out by members of the LANDSCAPE CONTRACTORS ASSOCIATION OF AUSTRALIA.
 - Contractors must verify all dimensions at the site before commencing any work or making any shop drawings which must be approved before manufacturing.
 - Do not scale drawing, if in doubt - ASK
 - This drawing is to be read in conjunction with Architectural, Hydraulic and survey plans
 - All existing trees to remain shall be protected as per arborist report & council requirements
 - All pruning shall be in accordance with the AS 4373
 - Thoroughly eradicate weeds from all garden areas.
 - No variation to the works to be carried out without prior approval from owner.
 - All materials to be the best of their respective kinds and shall comply with approved sample type submitted or specified.
 - Substitution of plant species or varieties will not be permitted.
 - Unless otherwise specified or directed, all instructions are to be issued by the consulting landscape designer.
 - All storm water outlets & surface run off shall be to Hydraulic Engineers detail.
 - Provide sub-soil drainage to garden beds & lawn areas where required - To be confirmed on site.
 - Refer to survey plan for position of all existing services.
 - Refer to Architectural elevations & Sections for existing and proposed ground lines.
 - All landscape works shall comply with all councils DA & CC conditions and all relevant "AUSTRALIAN STANDARDS" and AUS SPEC NO.1 Specification C273-Landscaping.
 - Irrigation system - If required, shall be designed & installed to comply with AS 2698, AS 2698.1-1994, AS 2698.2-1985, AS 2698.3-1990, water board and other relevant authority regulations.

MAINTENANCE
- All landscape works are to be maintained for a period of 12 months (or as required by council DA Consent) by landscape contractor after final completion AND shall be maintained at all times in a suitable manner. Replace all plants which have failed with the same species. Mulch is to be maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain moisture levels required for optimum growth. All garden areas are to be maintained free from weeds.

PROPOSED MIXED DEVELOPMENT

51 Kalang Road
Elanora Heights
ARCHITECT: **Forley + Grant Architecture**
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DRAWING TITLE
LANDSCAPE CONCEPT PLAN

DRAWN FF SCALE 1:100@A1 OR 1:200@A3 REV. A

DRAWING NUMBER **20155 DA 1**

MEMBER Foris Fong Associate Member Australian Institute Landscape Designers & Managers Ltd of Membership No. 193

NORTH