

**NOTE:**

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 19/03/2024.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

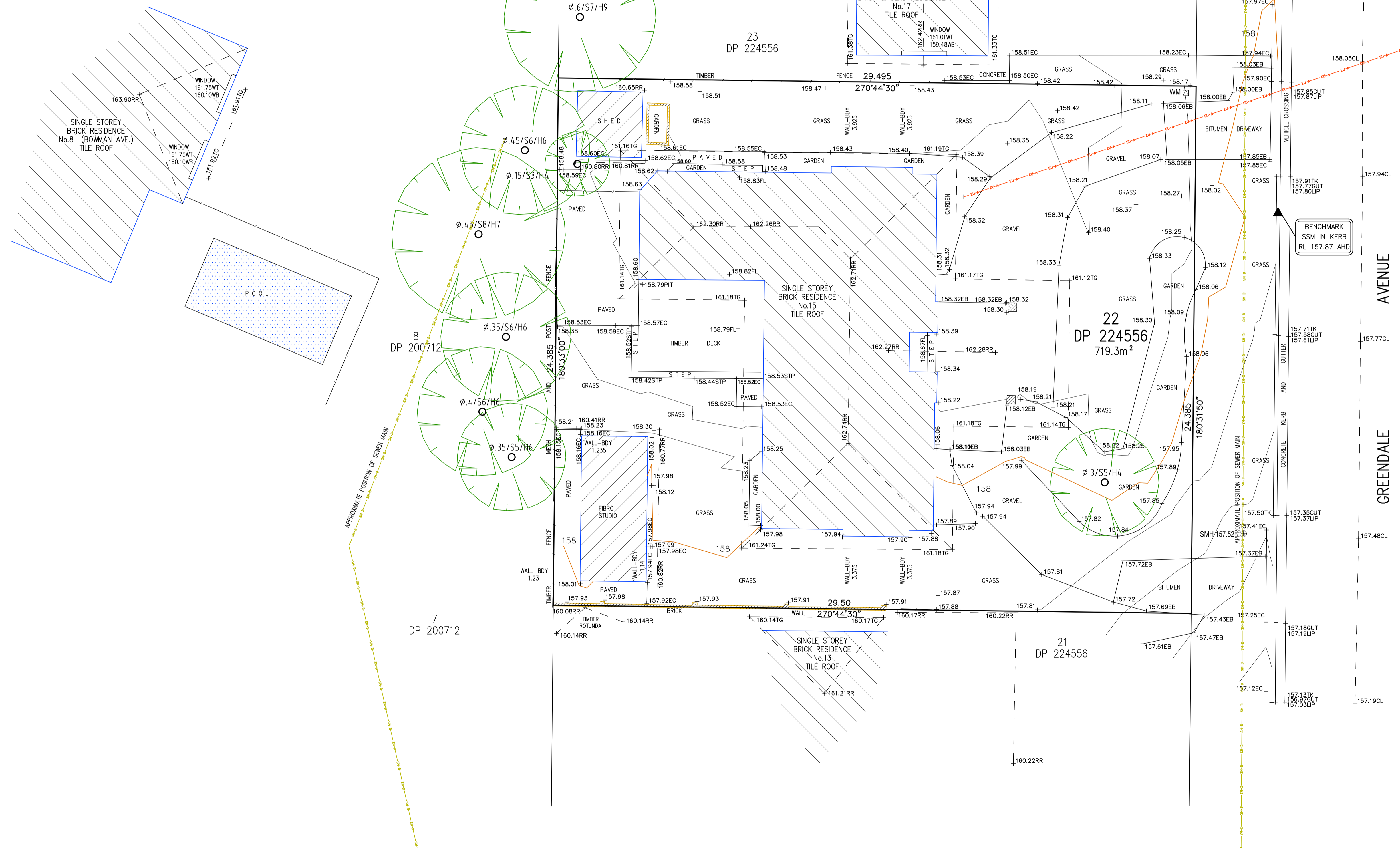
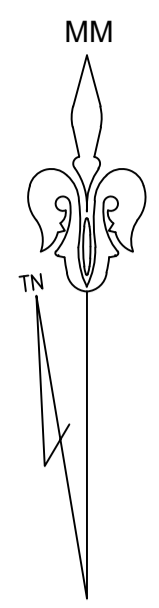
SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING SSM 14.078 WITH RL 157.871 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

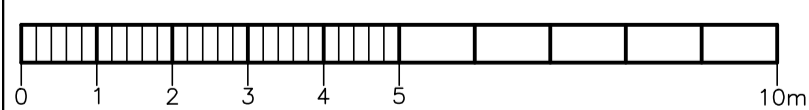
CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

J990686 COVENANT  
J244814 COVENANT



**LEGEND**

BENCH MARK	▲
TELSTRA PIT	⊠
ELECTRIC LIGHT POLE	⊕
POWER POLE	⊙
SIGN POST	⊕
SEWER INSPECTION PIT	⊕
SEWER VENT	⊕
MANHOLE	⊕
SEWER MANHOLE	⊕
STOP VALVE	⊕
WATER HYDRANT	⊕
WATER METER	⊕
GAS METER	⊕
STATE SURVEY MARK	⊕



BAR SCALE  
PLOTTED SCALE 1:100 (A1 SIZE SHEET)

REVISION No.	REVISION DATE:	COMMENT:



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**LEGEND:**

- EB - EDGE OF BITUMEN
- EC - EDGE OF CONCRETE
- WT - TOP OF WINDOW
- WB - BOTTOM OF WINDOW
- TG - TOP OF GUTTER
- RR - ROOF RIDGE
- FL - FLOOR LEVEL
- TOW - TOP OF WALL
- SIP - SEWER INSPECTION PIT
- TK - TOP OF KERB
- GUT - ROAD GUTTER
- LIP - LIP OF GUTTER
- Ø4/S10/H16 - TREE DIAMETER/SPREAD/HEIGHT

PLAN SHOWING DETAIL & FEATURES  
OVER LOT 22 IN D.P. 224556

KNOWN AS No. 15 GREENDALE AVENUE, FRENCHS FOREST.

L.G.A.: NORTHERN BEACHES

CLIENT	NAOMI & JAMES YORSTON		REF No.	24029
PROPERTY	No. 15 GREENDALE AVENUE, FRENCHS FOREST		SHEET No.	1 of 1
DATUM	A.H.D.	SCALE 1:100 @ A1	DATE	19-03-2024
SURVEYED	GS	DRAWN	FS	DWG No. 24029-1
			REV No.	00

Geoff Gallen  
Registered Surveyor  
N° 1083