

DRAWING LIST

NUMBER.	NAME.	REV.
A000 GENERAL		
DA 000	COVER SHEET	G
DA 001	BASIX	B
A100 SITE		
DA 100	SITE PLAN ANALYSIS	B

NUMBER.	NAME.	REV.
A200 GENERAL ARRANGEMENT DRAWINGS		
DA 200	EXISTING GROUND FLOOR	B
DA 201	EXISTING ROOF	B
DA 202	EXISTING LONG & CROSS SECTIONS	B
DA 210	DEMOLITION GROUND FLOOR	B
DA 211	DEMOLITION ROOF	B
DA 220	PROPOSED GROUND FLOOR	H
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DA 222	PROPOSED ROOF	D

NUMBER.	NAME.	REV.
A300 ELEVATIONS		
DA 300	PROPOSED NORTH & SOUTH ELEVATIONS	H
DA 301	PROPOSED EAST & WEST ELEVATIONS	G
A400 SECTIONS		
DA 400	PROPOSED LONG SECTION & CROSS SECTIONS	F

NUMBER.	NAME.	REV.
A500 PALETTE		
DA 500	MATERIAL PALETTE	C
A600 DIAGRAMS		
DA 600	SHADOW DIAGRAMS - PLAN	B
A700 AREA		
DA 700	AREA SCHEDULE	F

28 BANGAROO STREET, NORTH BALGOWLAH

DRAWING SYMBOLS

1

A

SETOUT GRID

A432

DETAIL REFERENCE SYMBOL

1

A432

1

A432

SECTION SYMBOL

1

A432

1

A432

ELEVATION SYMBOL

1

4

3

2

INTERNAL ELEVATION SYMBOL

0

1

5

SCALE BAR

I

NORTH



BASIX Summary of Requirements

Minimum Glazing Performance Requirements

Performance (Total System)	Description	Comment
≤U4.8, SHGC 0.59 +/- 10%	Single Glazed, Low-e, Clear	Primary Dwelling
≤U4.8, SHGC 0.59 +/- 10%	Single Glazed, Low-e, Clear	Secondary Dwelling

Minimum Insulation Performance Requirements

Construction Element	Thermal Requirements
Ceilings with Roof Above <i>(Medium Colour Roof)</i>	R2.50 <u>(applies to concrete and lightweight roofs/exposed ceilings)</u>
Insulation between Roof and Framing System <i>(Medium Colour Roof)</i>	R1.20 + Reflective Backing <u>(lightweight roof only)</u>
Exposed External Floors	<i>No insulation Required</i>
Ground Floors	Primary Dwelling: R1.00 to slab edge (1m) Secondary Dwelling: R1.00 to slab edge (1m)
External Walls <i>(Medium Colour Walls)</i>	Primary Dwelling: R2.50 Secondary Dwelling: R1.50
Walls to Garage	Primary Dwelling: R1.00
Walls to Commercial	Secondary Dwelling: R1.00
Floor Coverings	Concrete throughout Tile to Wet Rooms
Ceilings	Plasterboard

Other Modelling Assumptions

Modelling based on 3 sealed LED downlights per 10m² | Ceiling fans: Primary Dwelling 2 x 1,200 ceiling fans to living/kitchen, 1 x 1,200 ceiling fan in each bedroom | Secondary Dwelling: 1 x 1,200 ceiling fan in living, 1 x 1,200 ceiling fan in each bedroom.

Summary of Requirements: Dwellings

Category	Item	Comment
Water	Fixtures (Both Dwellings)	3 star showers (>6 but ≤7.5 L/min) 4 star toilets 4 star taps
	Hot Water (Both Dwellings)	Gas Instantaneous 5 Star
	Pool: Primary Dwelling	27kL pool Requires cover
	Landscape: Primary Dwelling	224.5m ² garden/lawn area 0m ² Area dedicated to low water use species 3kL RW Tank served by 250m ² roof area, supplying landscape, 27kL pool & WC's
	Landscape: Secondary Dwelling	5.6m ² garden/lawn area 0m ² Area dedicated to low water use species
Energy	Hot Water (Both Dwellings)	Gas instantaneous 5 Star
	Pool Heating	Gas Pool pump on timer
	Lighting	LED lighting throughout
	Exhaust Fans (Both Dwellings)	Kitchen, Laundry & bathroom fans individually ducted to façade or roof
	HVAC (Both Dwellings)	Individual split units to Living Spaces & Bedrooms EER 3.5-4.0 Ceiling fans to Living Rooms & Bedrooms
	Lighting (Both Dwellings)	Sealed LED lighting throughout
	Appliances (Both Dwellings)	Gas cooktop & electric oven
	Solar PV: Primary Dwelling	2kW PV system required

G F E D C B A REV	18/8/22 12/8/22 10/8/22 10/8/22 29/7/22 26/7/22 6/7/22 DATE	DEVELOPMENT APPLICATION DRAFT DA FOR COORDINATION DRAFT DA FOR COORDINATION DA DRAFT FOR CONSULTANTS DRAFT FOR CONSULTANTS DA DRAFT FOR CONSULTANTS DESCRIPTION	 <div>0007950690 11 Aug 2022 Assessor Luke Williams Accreditation No. 10070 Address 28 Bangaroo Street, North Balgowlah, NSW, 2093  hstar.com.au</div>	This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings, dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects pty ltd.	ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 991 ACN 601 670 991 2/4 Belgrave Street, Manly NSW 2095 P: 0421 661 146 E: studio@brkspr.com	PROJECT 28 BANGAROO STREET					SHEET TITLE COVER SHEET	
					CLIENT John Cimino & Hayden Zuffo 28 Bangaroo Street, North Balgowlah, NSW, 2093	PROJECT NUMBER 2113	DRAWN LH	CHECKED TB	SHEET SCALE NTS	SHEET SIZE A3	DOCUMENTATION SERIES DA	



1 CONTEXT PLAN
Scale: 1:1000



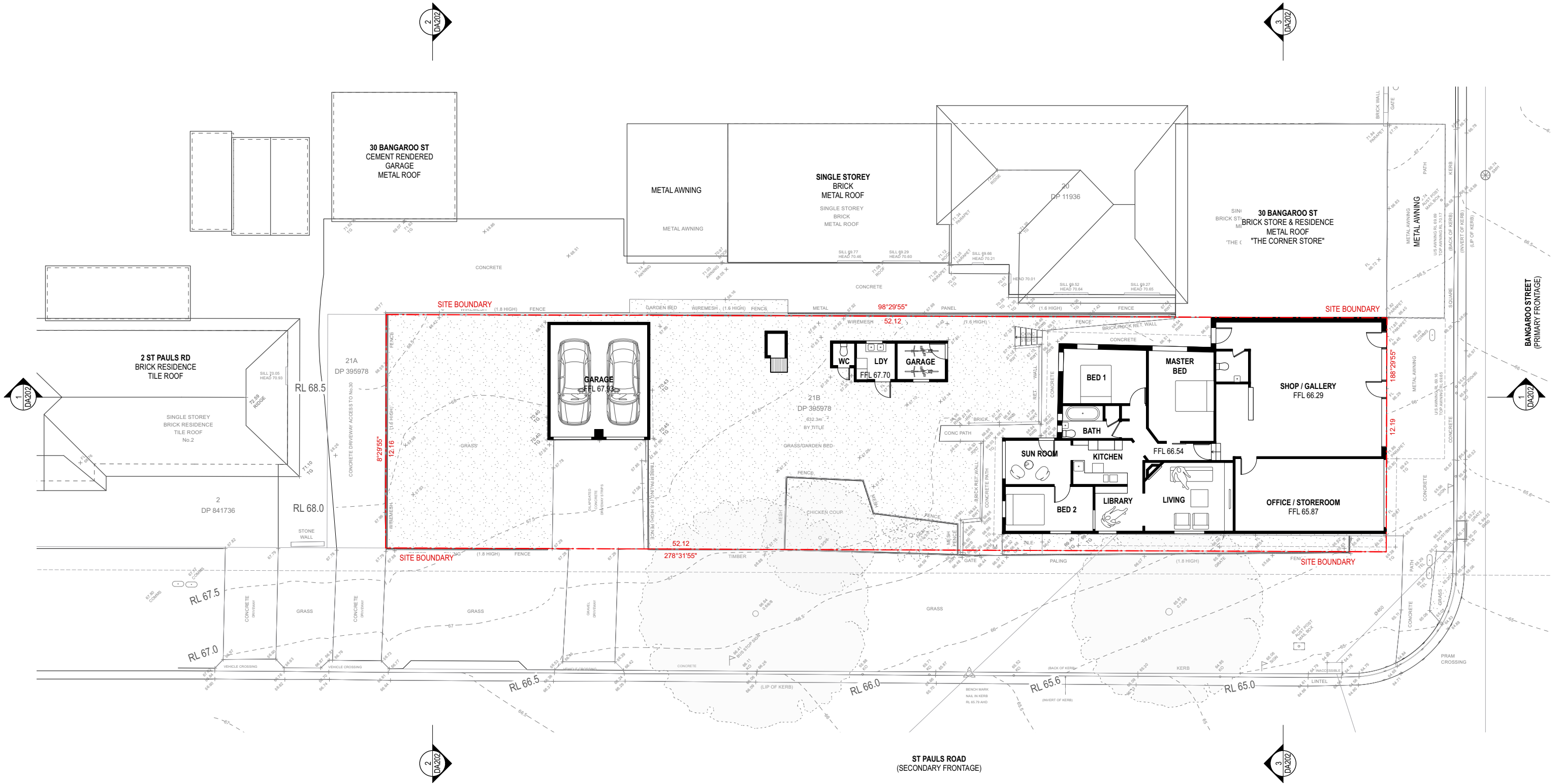
2 SITE ANALYSIS
Scale: 1:500



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B A REV	18/8/22 6/7/22 DATE	DEVELOPMENT APPLICATION DA DRAFT FOR CONSULTANTS DESCRIPTION	<div>1:10000</div> <div>0102050</div> <div></div>	This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings, dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects pty ltd.	ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 991 ACN 601 670 991 2/4 Belgrave Street, Manly NSW 2095 P: 0421 661 146 E: studio@brkspr.com	PROJECT 28 BANGAROO STREET					SHEET TITLE SITE PLAN ANALYSIS		
						PROJECT NUMBER	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	DOCUMENTATION SERIES	SHEET NUMBER	ISSUE
						2113	LH	TB	1:1000	A3	DA	DA100	B



1 EXISTING GROUND FLOOR
Scale: 1:200

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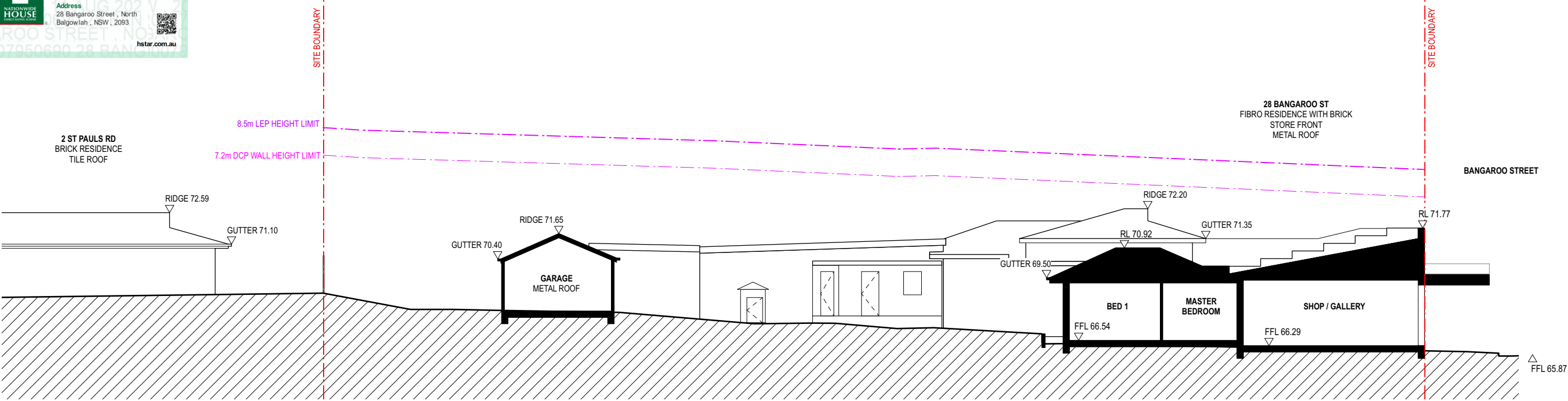
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KEY			
	PROPOSED WALL		LANDSCAPE WORKS
	EXISTING WALL		ADDITIONS TO EXISTING
	DEMOLISHED WALL		ALTERATIONS TO EXISTING
			EXISTING RL
			PROPOSED RL

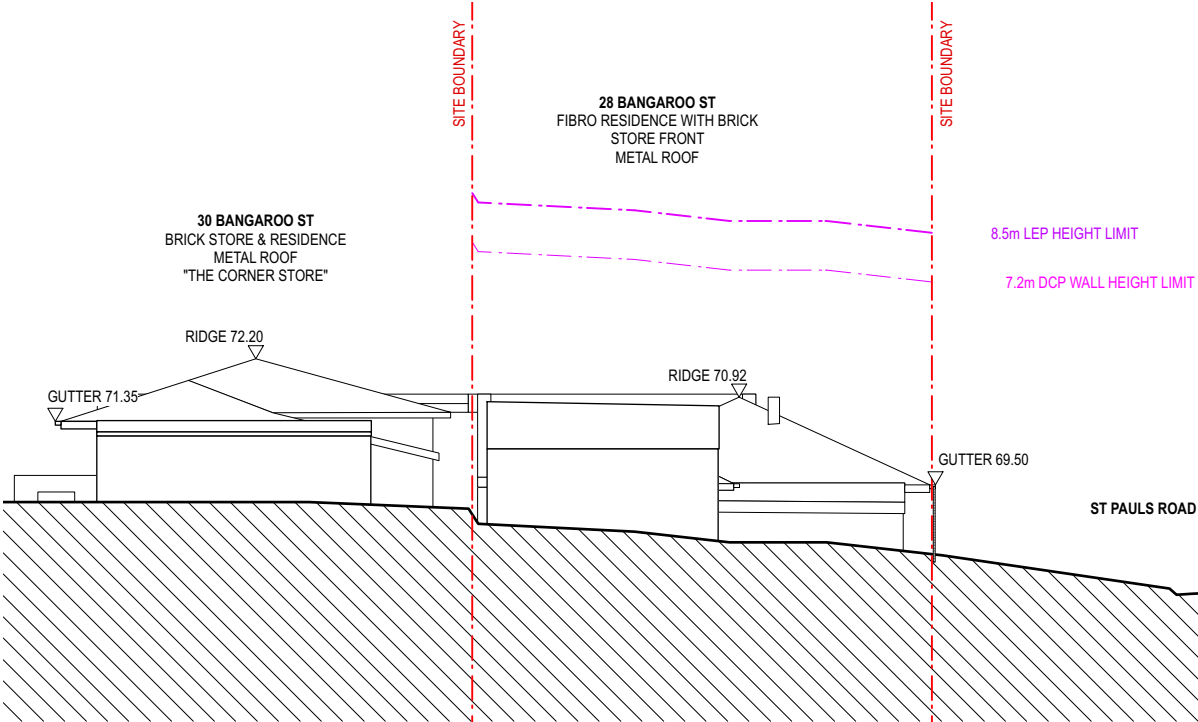
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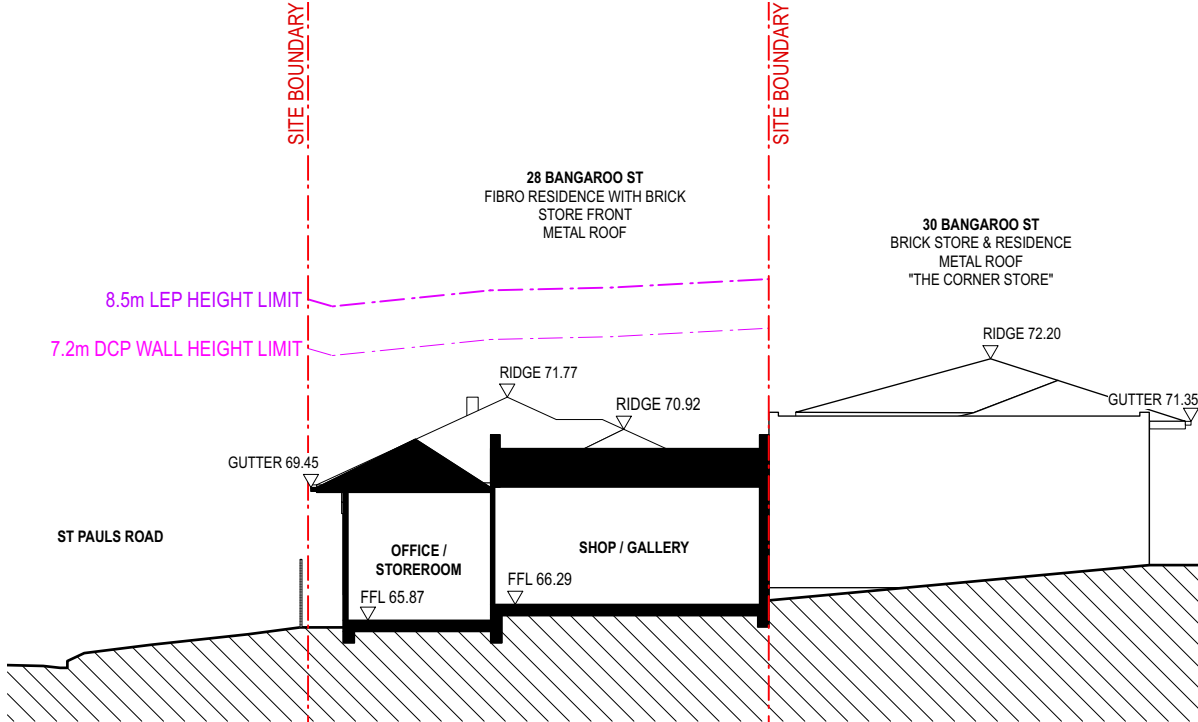
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1 EXISTING LONG SECTION
Scale: 1:200



2 EXISTING CROSS SECTION
Scale: 1:200



3 EXISTING CROSS SECTION
Scale: 1:200

KEY

PROPOSED WALL

EXISTING WALL

DEMOLISHED WALL

LANDSCAPE WORKS

ADDITIONS TO EXISTING

ALTERATIONS TO EXISTING

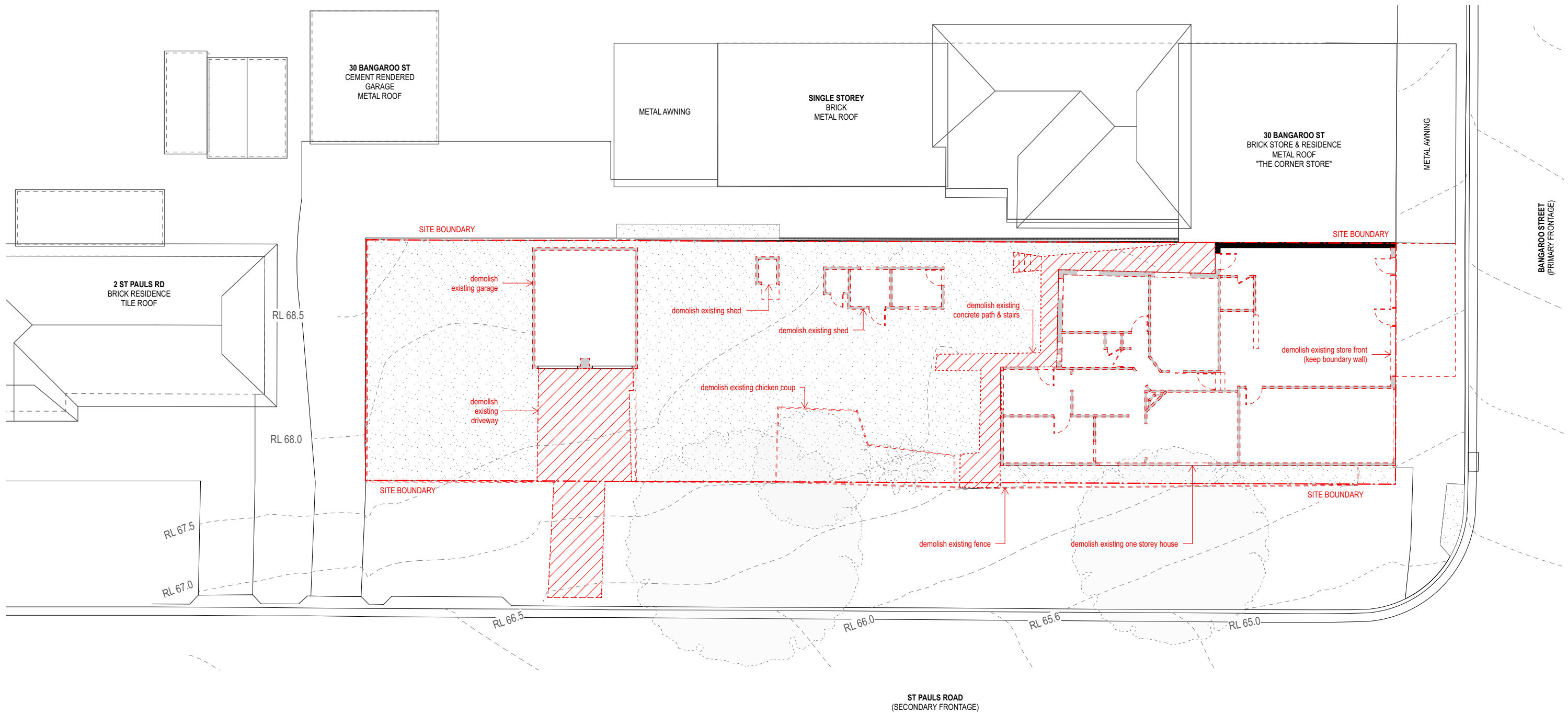
EXISTING RL

PROPOSED RL

EXISTING RL

PROPOSED RL

B A REV	18/8/22 6/7/22 DATE	DEVELOPMENT APPLICATION DA DRAFT FOR CONSULTANTS DESCRIPTION	<div>1:200</div> <div>012510</div>	<div>This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings, dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects pty ltd.</div> <div>NOT FOR CONSTRUCTION</div>	<div>ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 991 ACN 601 670 991 2/4 Belgrave Street, Manly NSW 2095 P: 0421 661 146 E: studio@bkspr.com</div> <div>CLIENT John Cimino & Hayden Zuffo 28 Bangaroo Street, North Balgowlah, NSW, 2093</div>	PROJECT 28 BANGAROO STREET					SHEET TITLE EXISTING LONG & CROSS SECTIONS		
						PROJECT NUMBER	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	DOCUMENTATION SERIES	SHEET NUMBER	ISSUE
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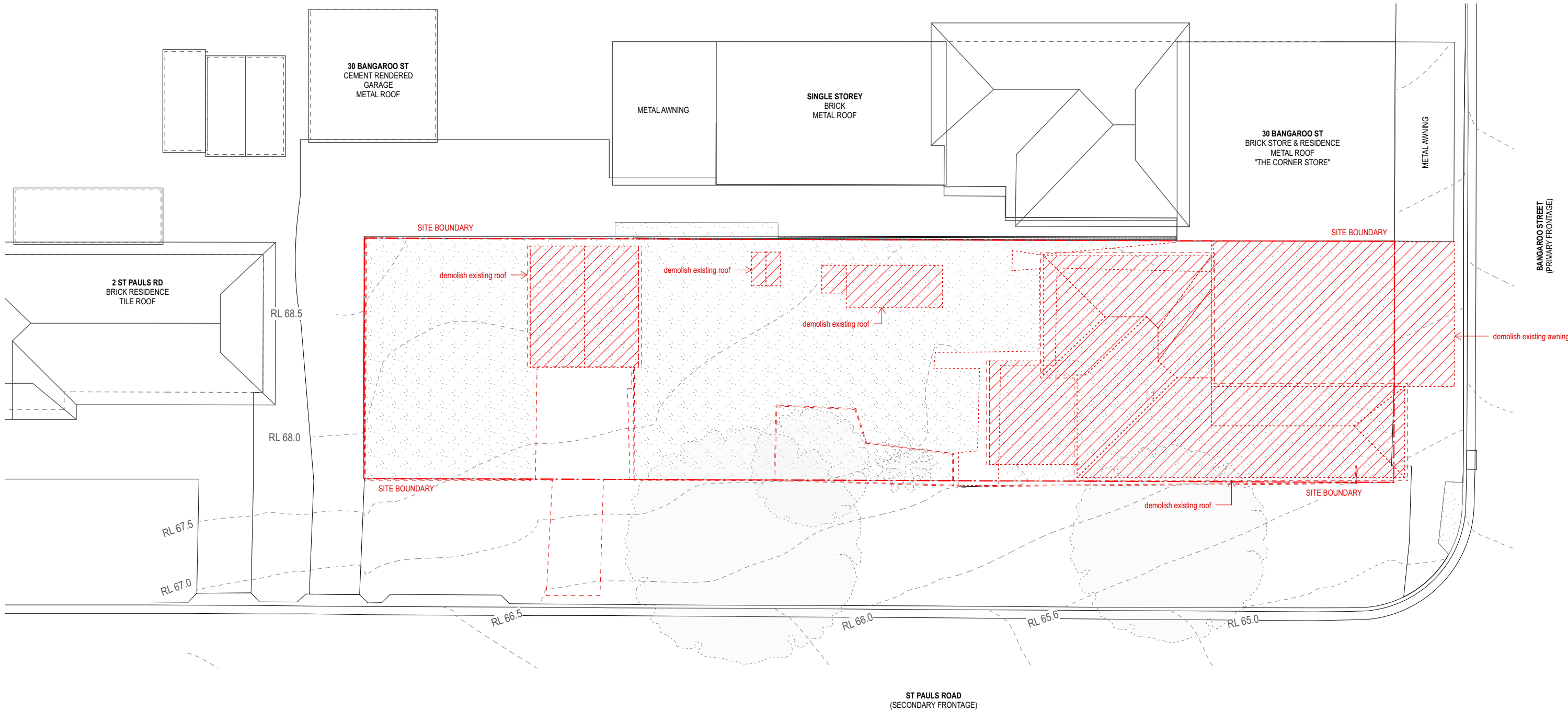


1 DEMOLITION GROUND FLOOR
Scale: 1:200



KEY			
	PROPOSED WALL		LANDSCAPE WORKS
	EXISTING WALL		ADDITIONS TO EXISTING
	DEMOLISHED WALL		ALTERATIONS TO EXISTING
			EXISTING RL
			PROPOSED RL

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						PROJECT NUMBER 2113	DRAWN LH	CHECKED TB	SHEET SCALE 1:200	SHEET SIZE A3	DOCUMENTATION SERIES DA	SHEET NUMBER DA210	ISSUE B



1 DEMOLITION ROOF
Scale: 1:200

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KEY			
	PROPOSED WALL		LANDSCAPE WORKS
	EXISTING WALL		ADDITIONS TO EXISTING
	DEMOLISHED WALL		ALTERATIONS TO EXISTING

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39.51

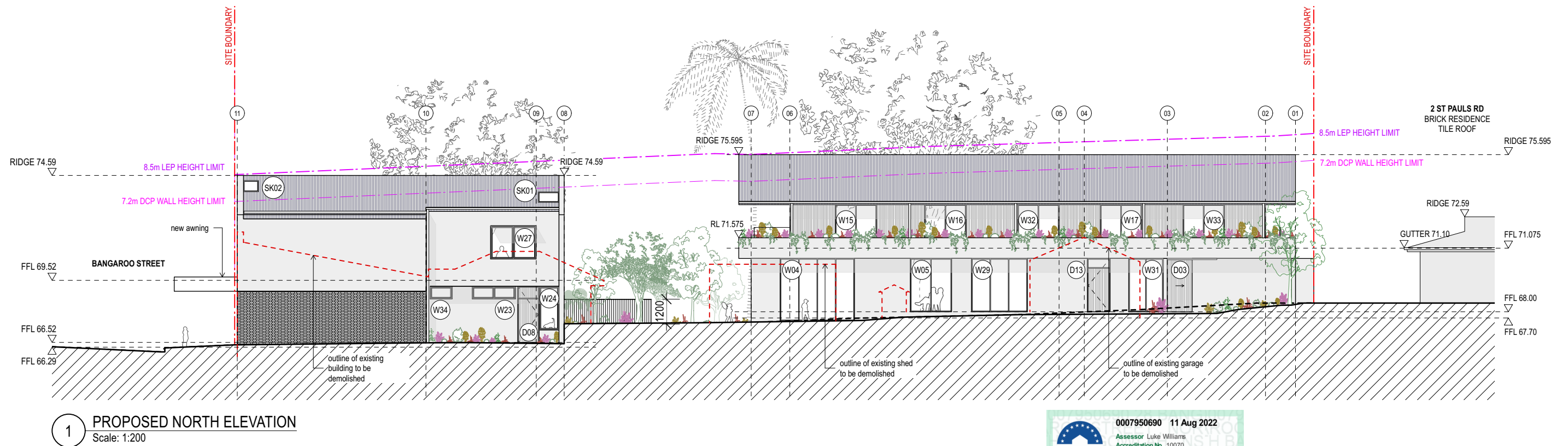
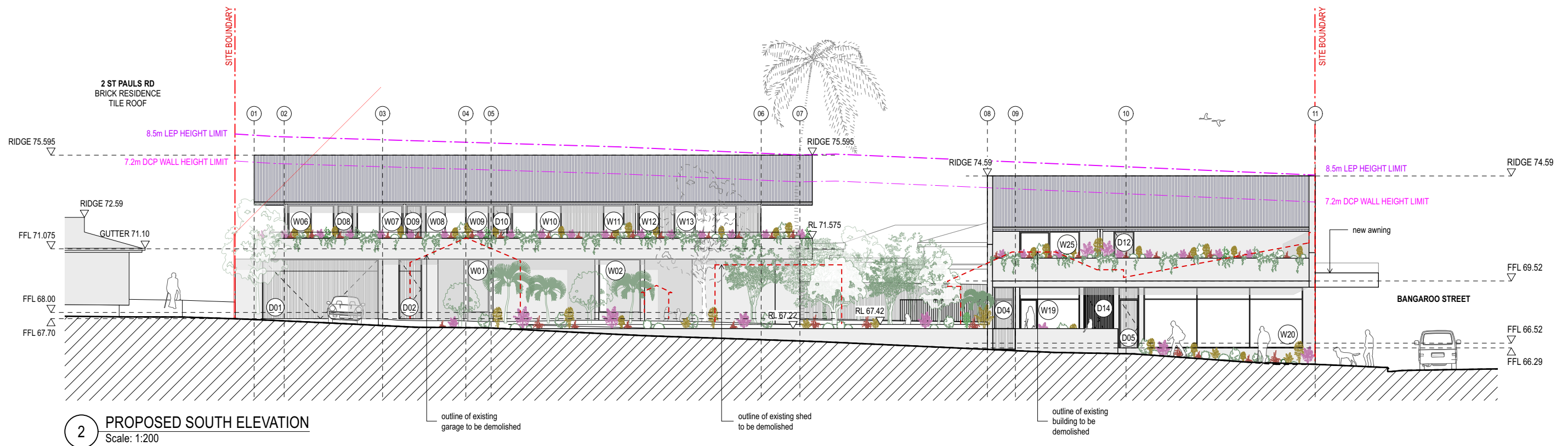
EXISTING RL

✕

RL 39.51

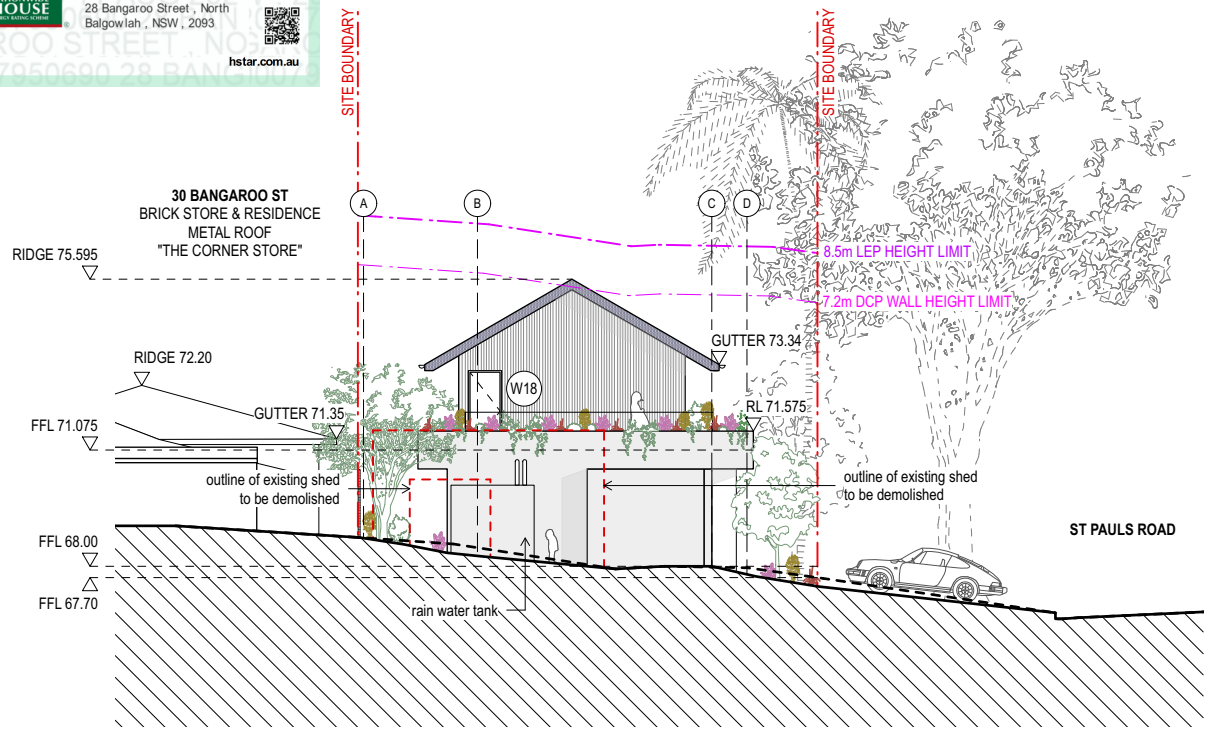
PROPOSED RL

B A REV	18/8/22 6/7/22 DATE	DEVELOPMENT APPLICATION DA DRAFT FOR CONSULTANTS DESCRIPTION	1:200 0 1 2 5 10		<div>This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings, dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects pty ltd.</div>	<div>ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 991 ACN 601 670 991 2/4 Belgrave Street, Manly NSW 2095 P: 0421 661 146 E: studio@brkspr.com</div>	PROJECT 28 BANGAROO STREET					SHEET TITLE DEMOLITION ROOF			
				<div>NOT FOR CONSTRUCTION</div>			CLIENT John Cimino & Hayden Zuffo 28 Bangaroo Street, North Balgowlah, NSW, 2093	PROJECT NUMBER 2113	DRAWN LH	CHECKED TB	SHEET SCALE 1:200	SHEET SIZE A3	DOCUMENTATION SERIES DA	SHEET NUMBER DA211	ISSUE B

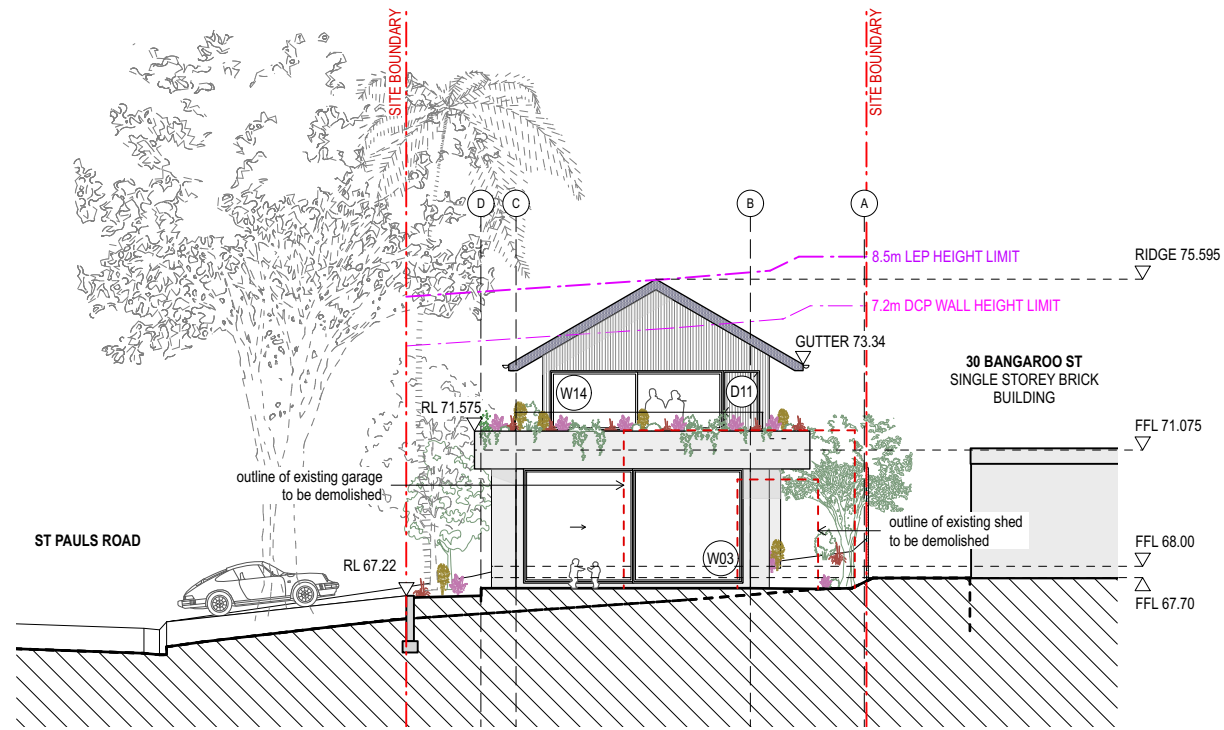


KEY		EXISTING RL	
	PROPOSED WALL		LANDSCAPE WORKS
	EXISTING WALL		ADDITIONS TO EXISTING
	DEMOLISHED WALL		ALTERATIONS TO EXISTING
			EXISTING RL
			PROPOSED RL

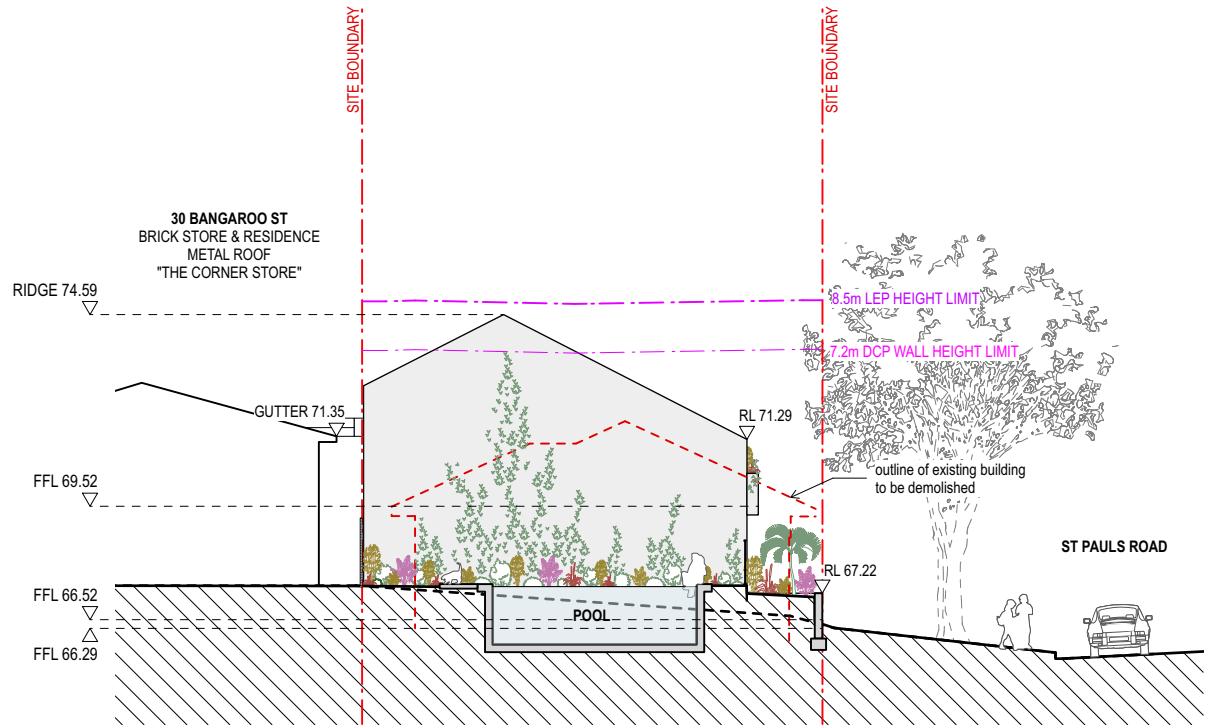
H G F E D C B A REV	18/8/22 12/8/22 11/8/22 10/8/22 10/8/22 29/7/22 26/7/22 6/7/22	DEVELOPMENT APPLICATION DRAFT FOR COORDINATION DRAFT FOR COORDINATION DRAFT FOR COORDINATION DRAFT FOR COORDINATION DA DRAFT FOR CONSULTANTS DRAFT FOR CONSULTANTS DA DRAFT FOR CONSULTANTS DESCRIPTION	1:200 0 1 2 5 10	This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings, dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects pty ltd.	ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 981 ACN 601 670 981 2/4 Belgrave Street, Manly NSW 2095 P: 0421 661 146 E: studio@bkspr.com	CLIENT John Cimino & Hayden Zuffo 28 Bangaroo Street, North Balgowlah, NSW, 2093	PROJECT 28 BANGAROO STREET	PROJECT NUMBER 2113	DRAWN LH	CHECKED TB	SHEET SCALE 1:200	SHEET SIZE A3	SHEET TITLE PROPOSED NORTH & SOUTH ELEVATIONS		
													DOCUMENTATION SERIES DA	SHEET NUMBER DA300	ISSUE H



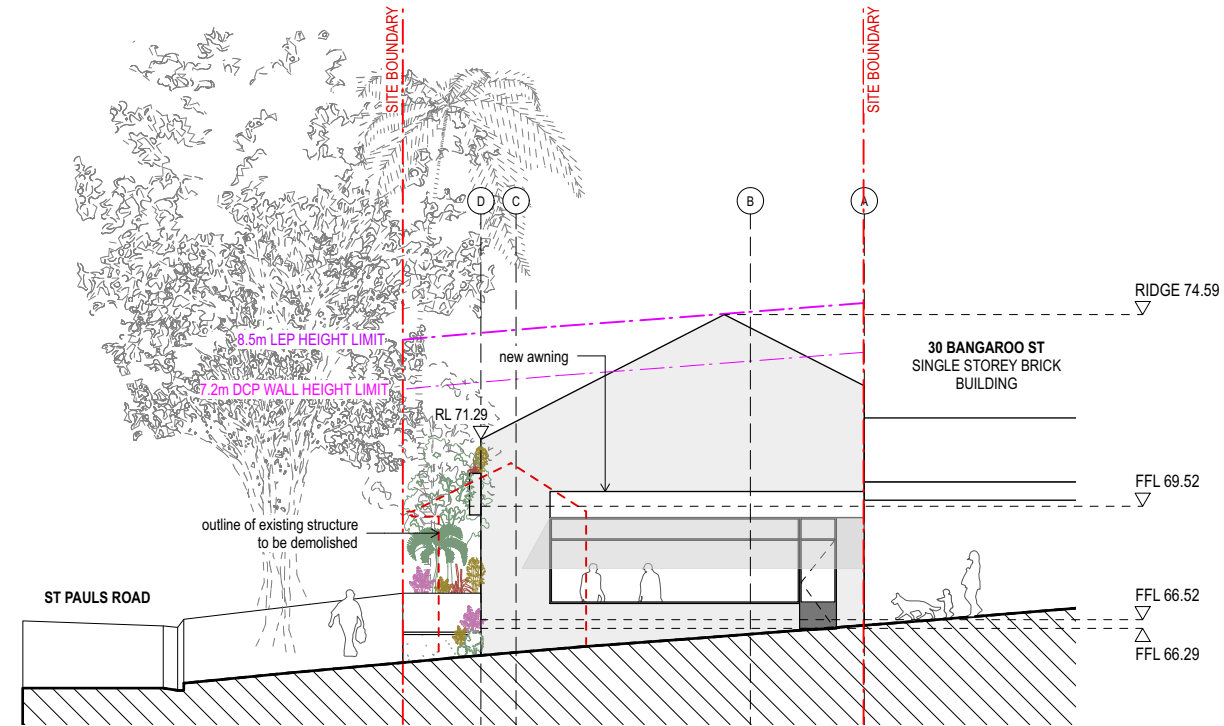
3 PROPOSED WEST ELEVATION - RESIDENTIAL
Scale: 1:200





4 PROPOSED EAST ELEVATION - RESIDENTIAL
Scale: 1:200

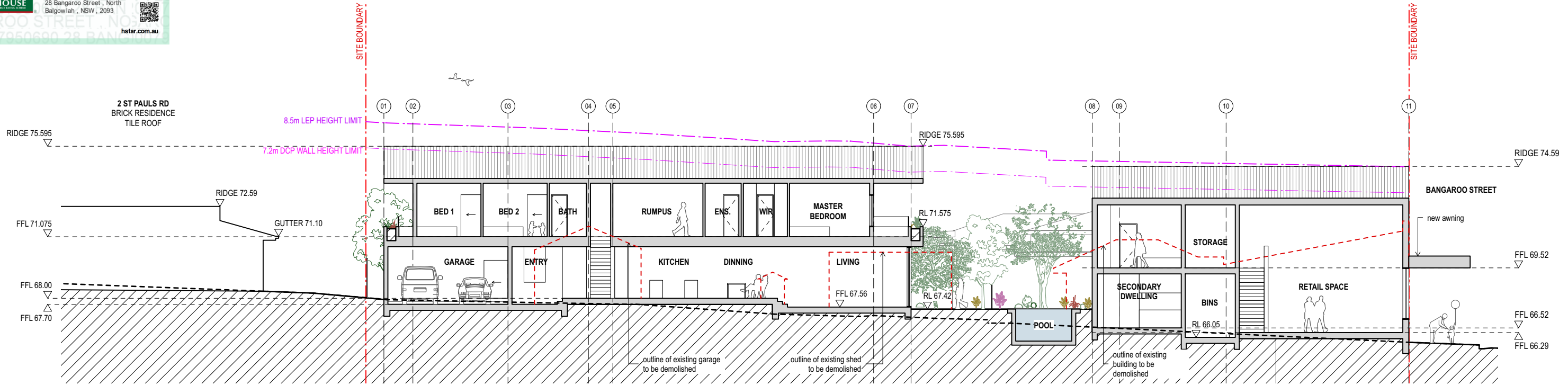


1 PROPOSED WEST ELEVATION - COMMERCIAL
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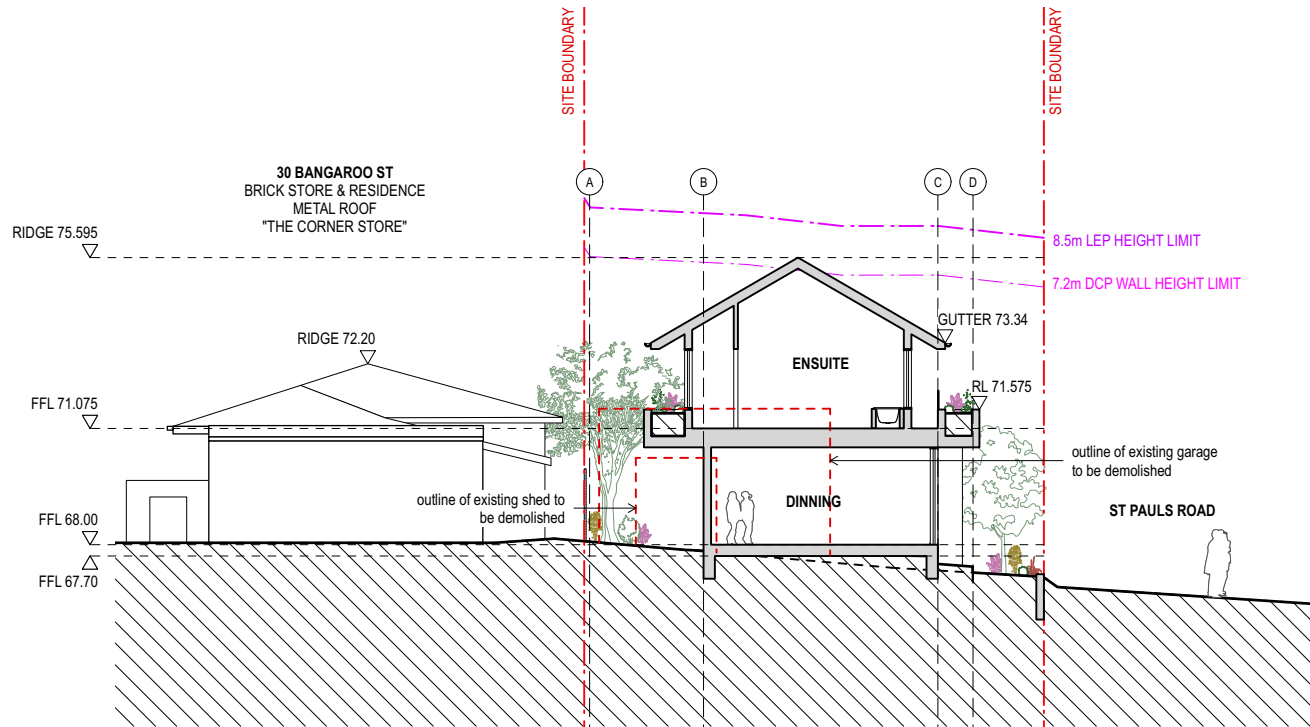


2 PROPOSED EAST ELEVATION - COMMERCIAL
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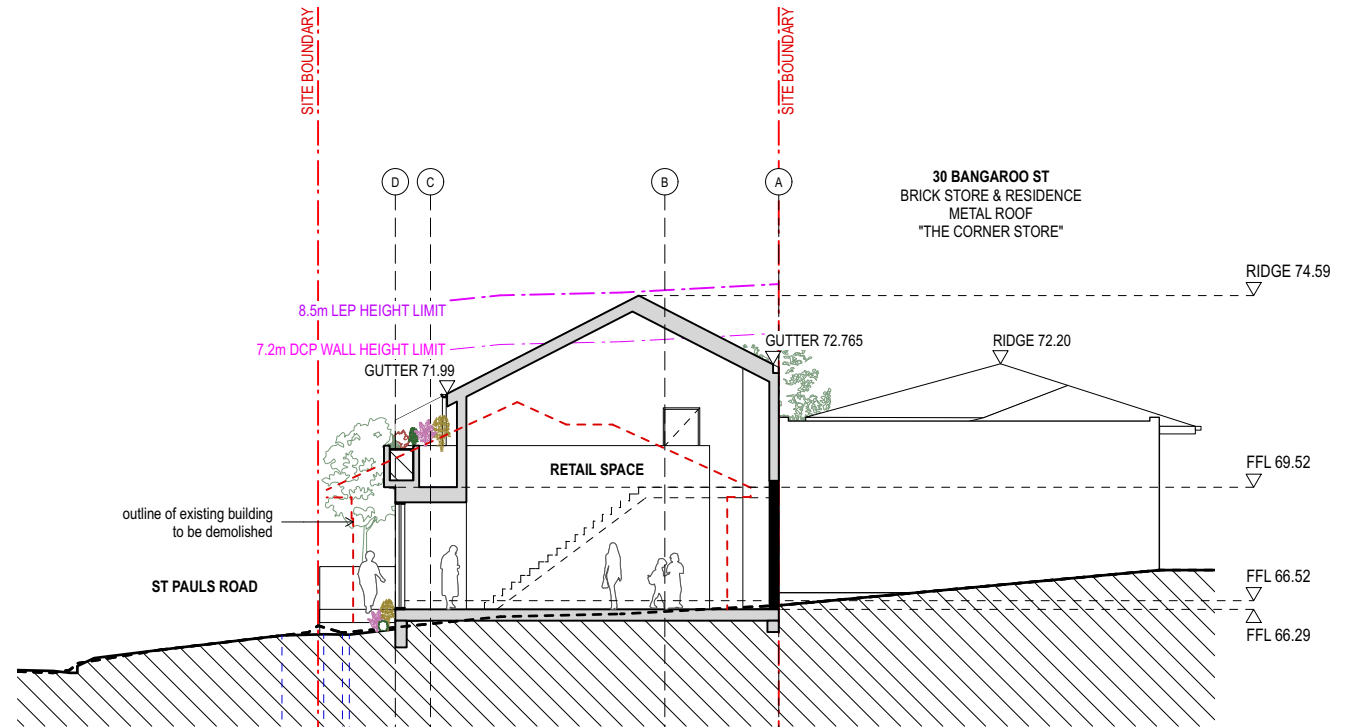
KEY			
	PROPOSED WALL		LANDSCAPE WORKS
	EXISTING WALL		ADDITIONS TO EXISTING
	DEMOLISHED WALL		ALTERATIONS TO EXISTING
	EXISTING RL		PROPOSED RL



1 PROPOSED LONG SECTION
Scale: 1:200



2 PROPOSED CROSS SECTION
Scale: 1:200



3 PROPOSED CROSS SECTION
Scale: 1:200

KEY			
	PROPOSED WALL		LANDSCAPE WORKS
	EXISTING WALL		ADDITIONS TO EXISTING
	DEMOLISHED WALL		ALTERATIONS TO EXISTING
			EXISTING RL
			PROPOSED RL

REV		DATE	DESCRIPTION	1:200		0 1 2 5 10		This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings, dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects pty ltd.		ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 981 ACN 601 670 981 2/4 Belgrave Street, Manly NSW 2095 P: 0421 661 146 E: studio@brkspr.com		PROJECT 28 BANGAROO STREET		PROJECT NUMBER 2113		DRAWN LH		CHECKED TB		SHEET SCALE 1:200		SHEET SIZE A3		SHEET TITLE PROPOSED LONG & CROSS SECTIONS		DOCUMENTATION SERIES DA		SHEET NUMBER DA400		ISSUE F	
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MT-01
GREY METAL ROOF



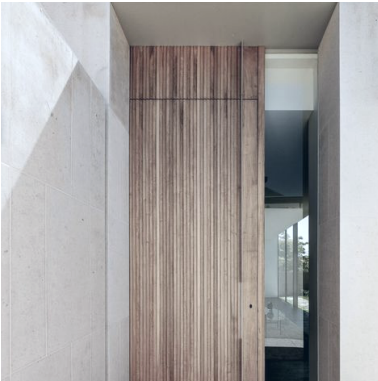
WD-01
ALUMINIUM FRAMED GLASS
WINDOWS & DOORS



CN-01
OFF-FORM CONCRETE



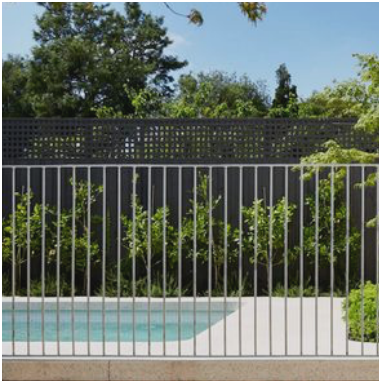
TB-01
FACADE TIMBER CLADDING



TB-02
TIMBER CLAD DOORS



FN-01
TIMBER GATE



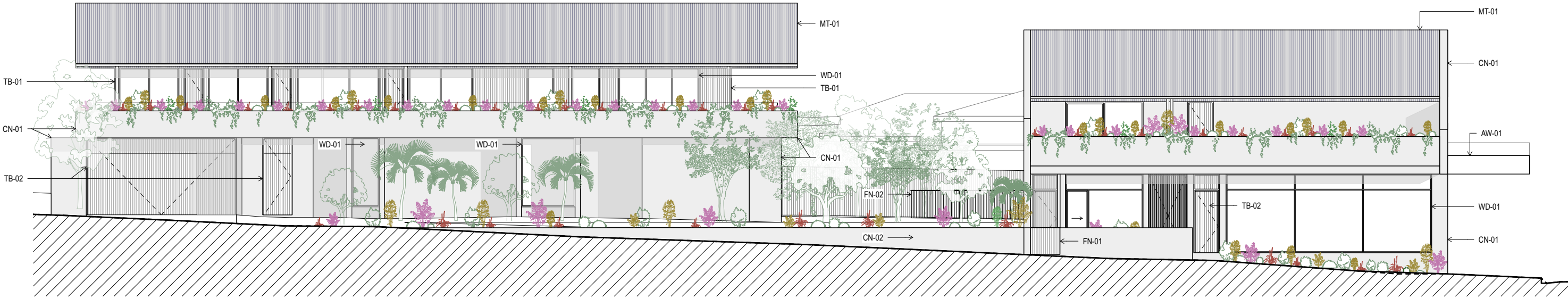
FN-02
METAL POOL FENCE



CN-02
CONCRETE RETAINING WALL WITH
NATIVE BUSH & VEGETATION



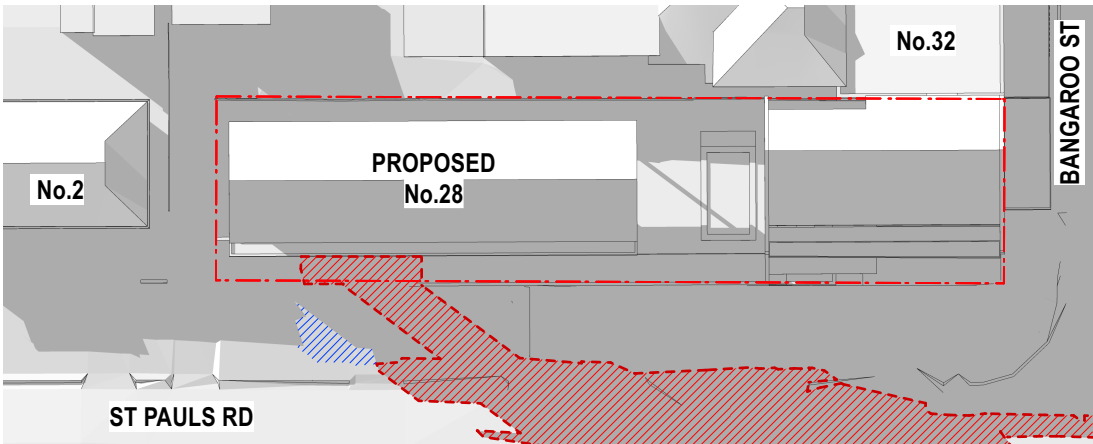
AW-01
METAL AWNING
(TO MATCH EXISTING &
NEIGHBOURING AWNINGS)



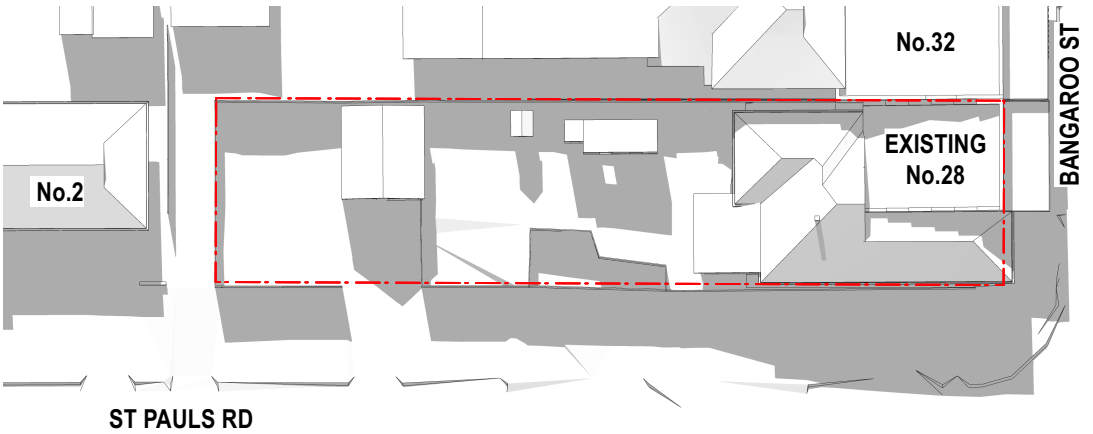
C B A REV	18/8/22	DEVELOPMENT APPLICATION DA DRAFT FOR CLIENT REVIEW DRAFT DA FOR COORDINATION DESCRIPTION	<div>1:150</div> <div>012510</div>	This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings, dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects pty ltd.	ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 991 ACN 601 670 991 2/4 Belgrave Street, Manly NSW 2095 P: 0421 661 146 E: studio@bkspr.com	PROJECT 28 BANGAROO STREET					SHEET TITLE MATERIAL PALETTE		
	16/8/22					PROJECT NUMBER	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	DOCUMENTATION SERIES	SHEET NUMBER	ISSUE
	15/8/22					2113	LH	TB	1:150	A3	DA	DA500	C



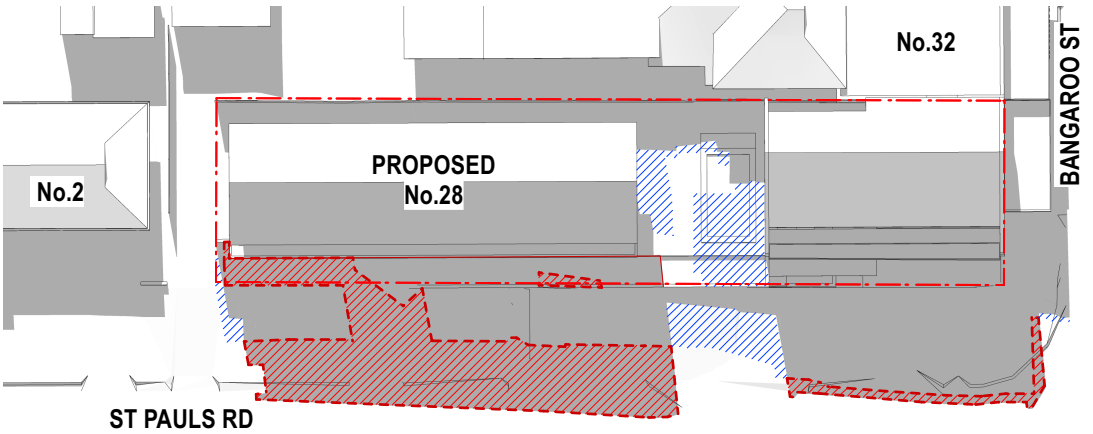
3 SHADOW DIAGRAM 21 JUNE 3 PM - EXISTING
Scale: 1:500



6 SHADOW DIAGRAM WINTER 21 JUNE 3 PM - PROPOSED
Scale: 1:500



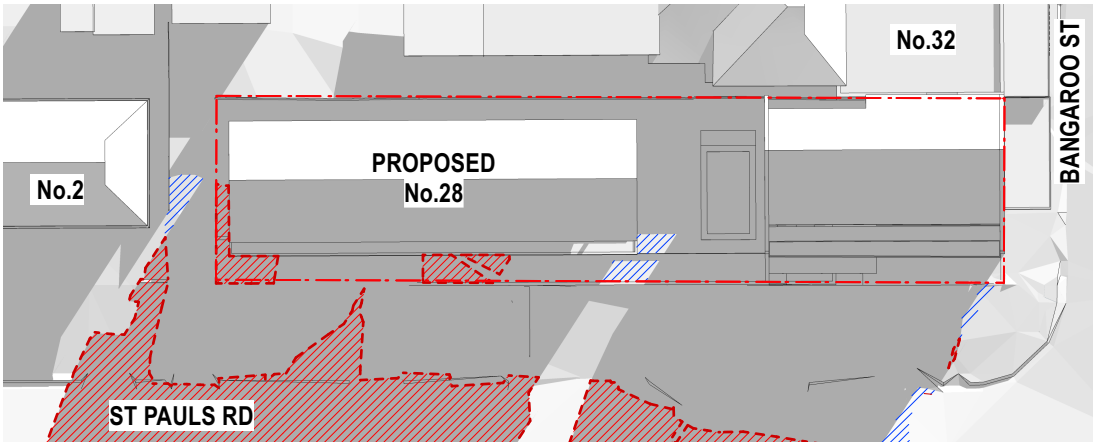
2 SHADOW DIAGRAM 21 JUNE 12 PM - EXISTING
Scale: 1:500



5 SHADOW DIAGRAM 21 JUNE 12 PM - PROPOSED
Scale: 1:500



1 SHADOW DIAGRAM 21 JUNE 9 AM - EXISTING
Scale: 1:500



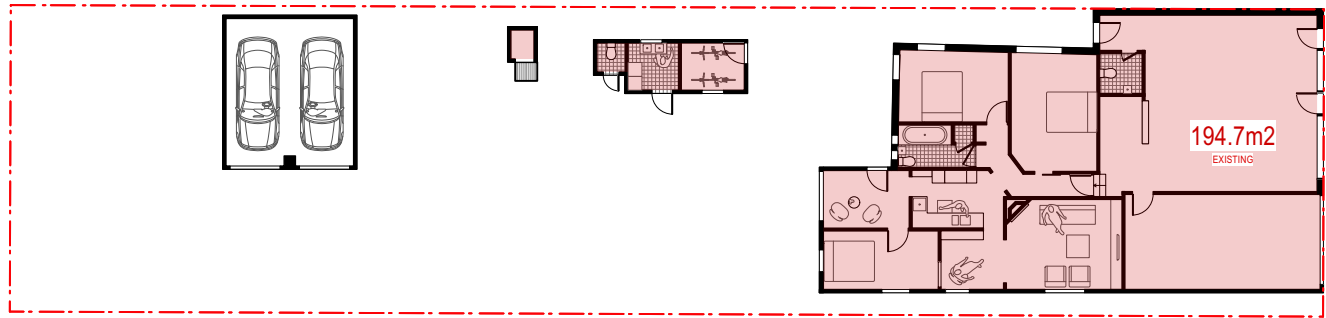
4 SHADOW DIAGRAM 21 JUNE 9 AM - PROPOSED
Scale: 1:500

KEY: Reduced shadow by proposed development of No.28 Bangaroo Street
 Additional shadow cast by proposed development of No.28 Bangaroo Street



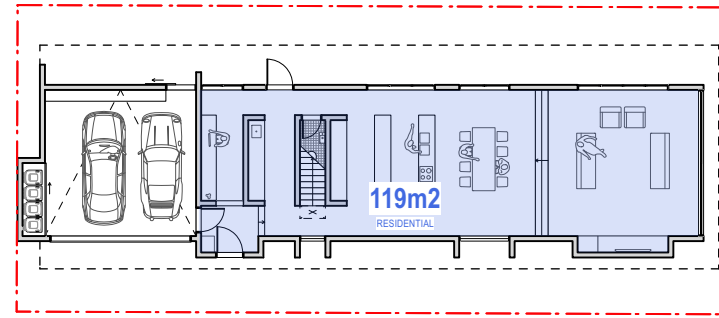
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Assessor Luke Williams
Accreditation No. 10070
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B A REV	18/8/22 15/8/22 DATE	DEVELOPMENT APPLICATION DRAFT DA FOR COORDINATION DESCRIPTION	1:500 051025		This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings, dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects pty ltd.	ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 991 ACN 601 670 991 2/4 Belgrave Street, Manly NSW 2095 P: 0421 661 146 E: studio@bkspr.com	PROJECT 28 BANGAROO STREET					SHEET TITLE SHADOW DIAGRAMS		
							CLIENT John Cimino & Hayden Zuffo 28 Bangaroo Street, North Balgowlah, NSW, 2093				PROJECT NUMBER 2113	DRAWN LH	CHECKED TB	SHEET SCALE 1:300



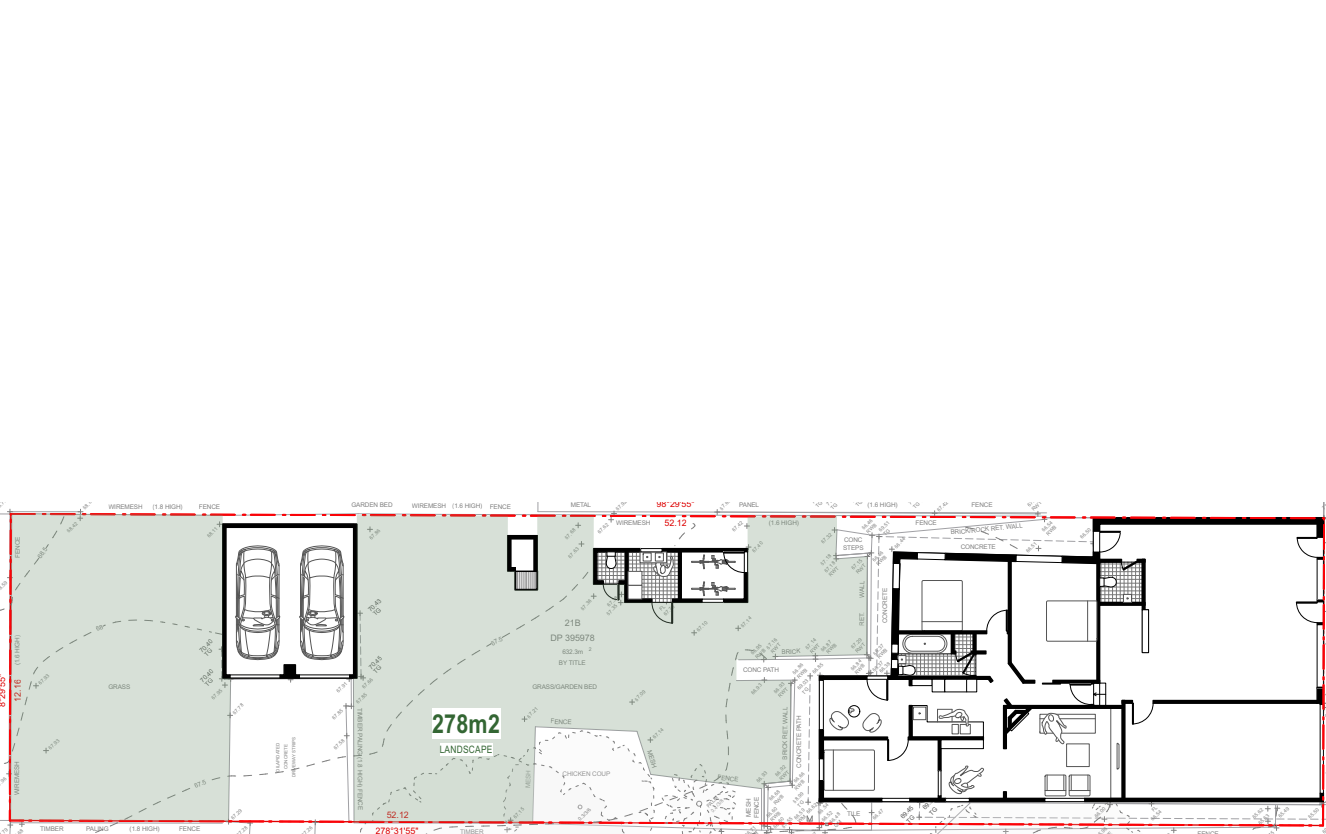
2 EXISTING GROUND FLOOR
Scale: 1:300

EXISTING GROUND FLOOR: 194.7m²



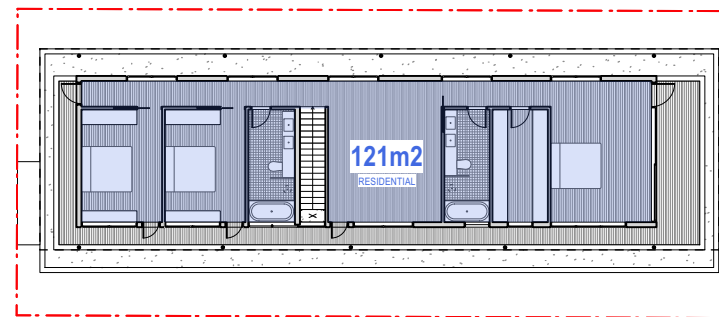
5 PROPOSED GROUND FLOOR
Scale: 1:300

PROPOSED GROUND FLOOR: 254m²



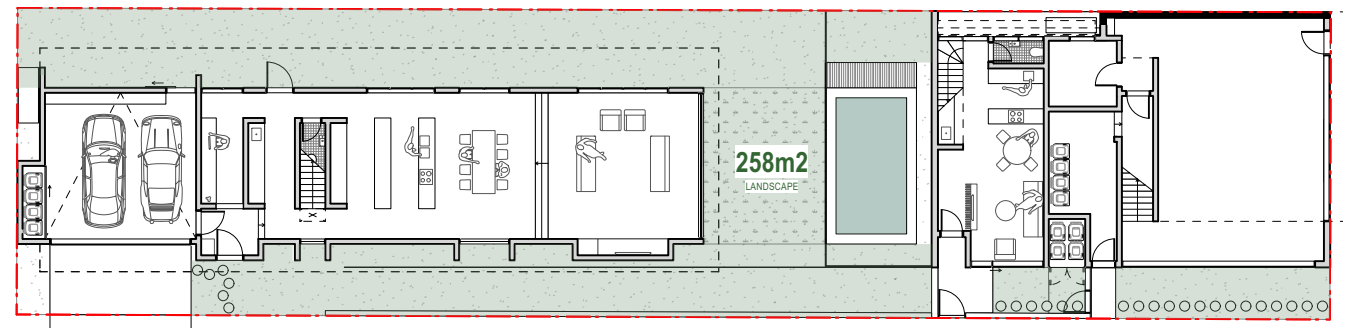
1 EXISTING LANDSCAPE
Scale: 1:300

EXISTING LANDSCAPE: 278m²



4 PROPOSED GROUND FLOOR
Scale: 1:300

PROPOSED FIRST FLOOR: 168m²



3 PROPOSED LANDSCAPE
Scale: 1:300

PROPOSED LANDSCAPE: 258m²

SITE AREA: 632.3m²
EXISTING LANDSCAPE: 44%
278m²

EXISTING GFA:
EXISTING GROUND FLOOR: 194.7m²

EXISTING FSR: 0.3:1
TOTAL EXISTING GFA: 194.7m²

DCP CONTROLS
DCP MIN LANDSCAPE AREA: 40%
PROPOSED LANDSCAPE AREA: 258m²
41%

PROPOSED RESIDENTIAL GFA: 240m²
PROPOSED RETAIL GFA: 121m²
PROPOSED SECONDARY DWELLING GFA: 60m²

PROPOSED TOTAL GFA: 425m²

PROPOSED FSR: 0.67:1



F E D C B A REV	18/8/22 16/8/22 15/8/22 29/7/22 26/7/22 6/7/22	DEVELOPMENT APPLICATION DA DRAFT FOR CLIENT REVIEW DA DRAFT FOR COORDINATION DA DRAFT FOR CONSULTANTS DA DRAFT FOR CONSULTANTS DA DRAFT FOR CONSULTANTS DA DRAFT FOR CONSULTANTS	1:300 0 2 5 10 20	This drawing should be read in conjunction with all relevant contracts, specifications, reports and drawings. Do not scale drawings. dimensions govern. Verify all dimensions on site before construction. Copyright of this drawing is vested in Breakspear Architects pty ltd.	ARCHITECT BREAKSPEAR ARCHITECTS ABN 81 601 670 981 ACN 601 670 981 2/4 Belgrave Street, Manly NSW 2095 P: 0421 661 146 E: studio@bkspr.com	PROJECT 28 BANGAROO STREET					SHEET TITLE AREA SCHEDULE		
						PROJECT NUMBER 2113	DRAWN LH	CHECKED TB	SHEET SCALE 1:300	SHEET SIZE A3	DOCUMENTATION SERIES DA	SHEET NUMBER DA700	ISSUE F