

NOTE: ALL STRUCTURAL 10 X ALUMINIUM FRAMED ZONED 3-PHASE A'C 6-STAR RATED WATER EFFICIENCY TO TAPS FOR WINDOWS MAY NOT BE CENTRED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL BEAMS/POSTS ARE AN INDICATION MIN. 3.0/3.5 E.E.R. FOR COOLING **FLYSCREENS WITH** BASINS AND BATHS MIN. 3.0-3.5 E.E.R. FOR HEATING ONLY, REFER TO ENGINEERING FIBREGLASS MESH **DETAILS FOR ALL LOCATIONS &** 4-STAR TO KITCHEN TAPS CONNECTIONS (EXCEPT SERVERY) A'C VENT & DROPPER POSITION 4-STAR TO W.C. CISTERNS BY BUILDER ARE APPROXIMATE ONLY & MAY BE 4-STAR SHOWER HEAD FLOW >7.5 BUT <=9L/min MOVED ON SITE, & SQUARE OR 10790 RECTANGULAR VENTS MAY BE REQUIRED TO SUIT DIFFERENT EXTERNAL DIMENSIONS OF HOME MAY NOT 3780 6890 CONSTRUCTION REQUIREMENTS BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO 3780 6250 640 BRICKS/ STORM MOULDS MAY BE REQUIRED ALL STEEL TO BE MEASURED 5550 (HEIGHT) & FLOORING TO BE 590 2650 1016 5344 1070 CHECKED OVER IF REQUIRED ALL DOWNPIPES TO BE PVC, CIRCULAR & SET 240MM FROM 3400 90 6680 OUTSIDE OF EDGE TO **NOTE: PLUMBER TO KEEP VANITY** 3400 4000 9064090 1860 CENTRELINE OF D.P. UNLESS DRAINAGE POINT MAX. 100MM OTHERWISE INDICATED 2320 90 990 90 4000 2590 FROM BOTTOM PLATE 2320 5080 2590 IF REQUIRED, BEAMS TO BE PACKED TO PROVIDE PERFECT LEVEL STRUCTURE WITH NON-COMPRESSIBLE FIBRE CEMENT TO ENSURE FLOORS AND FRAMES ARE LEVEL 350x350 STRUCTURAL BEAM OVER 350x350 BRICK PIER TO ENG'S DETAIL BRICK PIER SHOWER ROSES TO BE \_ SOFFIT LINE\_ Odp 1850 OFF FLOOR PRIOR TO ALFRESCO CEILING TO BE CONSISTENT WITH INTERNAL TILING FOR STANDARD **ALFRESCO** ADJUSTABLE ROSE (IF FIXED 2410 75mm STEPDOWN 2410 SHOWER ROSE IS SELECTED 2060 2060 LINE CEILING HEIGHT DURA SHEETING WITH MOUNT AT 2000 HIGH) LED STRIP LIGHTING UNDER JOINTINGS TO CEILING OVERHEAD CUPBOARD AS1926 90MM CORNICE THROUGHOUT (SQUARE SET TO BATHROOMS & <del>22</del> <del>22</del> **GROUND FLOOR)** dp. STRUCTURAL BEAM OVER DOORS TO ENG'S DETAIL 1100 1450 steel over door to be 50mm clear of aluminium Ш 3220 KITCH 3960 4560 5030 5000 MEDIA Q **FAMILY** 1570 ₩ 880 8350 STRUCTURAL BEAM OVER TO ENG'S DETAIL 1070 88 1550 1210 350 AS1318 STUDY 1810 3000 / JOISTS PACK WALL FOR SHELVING/CSD L'DRY WM TAPS HEADER COURSE TO SILL OF ASD 1610 1610 1450 UNDER TUB 15660 5 LAUNDRY CHUTE EJ~ **dp**d OPENING (490 X 490) IN WALL (MAX DEPTH 1050H FROM FFL CENTRED & TILED 830 CEILING, JOISTS TO SUIT 8 8 8 100 8 8 2090 STAIRS 500 22 4 STORE 1210 1410 R 1150 8 9 `&**#**-& *A* 05 / JOISTS GLASS BALUSTRADE 8 8 PROVIDE <u>R2.5</u> INSULATION TO INTERNAL GARAGE WALLS — 2000 2500 **DOUBLE** AS1921 (2220W) 2220 **GARAGE** 6720 DINING FOYER 5500 5500 ∠ JOISTS JOISTS 75mm STEPDOWN € 6180 3230 ₩ +¥ APPROX 1020 Entr LOUNGE LOCATION OF EARTHING ROD 2340H 250 (INLINE WITH BOTTOM PLATE) STRUCTURAL BEAM OVER DOORS
TO ENG'S DETAIL 1190 AA1909 **PORCH** 1540 STRUCTURAL 9 2130 FOOTING TO ENG'S (BALCONY ABOVE) 75mm STEPDOWN 250 FIXED GLASS DETAIL LINE OF TILE FINISH TH CORNER MULLION 590 1 ROOF OVER (VOID OVER) (BRICK OVER) (VOID OVER) (NO HORIZONTAL 8 940 TRANSOM) 350 (AF 1970mm HIGH) STRUCTURAL BEAM OVER STRUCTURAL BEAM OVER STRUCTURAL FOOTING **BRICK PIER** TO ENG'S DETAIL TO ENG'S DETAIL with 230X230 ATTACHED ALL INTERNAL ATTACHED PIERS IN GARAGE TO BE 350MM WIDE & SPACING TO COMPLY WITH AS 4773.1 OWNER(S) ACCEPTANCE 110 2220 2500 STAIRS I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND. I/WE HAVE STUDIED THE PLANS AND HAVE 1090 210 250 լ470լ 4810 \_590 լ 3000 250 7170 1230 <sub>4</sub>70<sub>4</sub> 970 830 120 5300 1870 3500 0004906384 09 Jun 2020 I/WE ACCEPT NO CHANGES CAN BE MADE. լ470լ 8450 <sub>4</sub>70 1400 5.4 HOUSE 5420 2220 3150

HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN

I/WE HAVE HAD THE DRIVEWAY GRADIENT

I/WE HAVE HAD THE BASIX WATER TANK OR , THE DUAL WATER PLUMBING EXPLAINED.

/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

20/05/20TK

DATE

ISSUE

LOT 1 NO 21 BROWN STREET

FORESTVILLE

/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER

OWNER

DATE

**GRANDWORTH 38.7** PROPOSED RESIDENCE CHAMPAGNE FACADE FOR: DATE: SCALE: 05.05.20 MR VERYINIS DRAWN: CHECKED FB

SHEET NO:

9390

10790

JOB NO:

6217

02

SALES: PHONE: (02) 9629 4772 FAX: (02) 9629 5813 HEAD 96-100 TOONGABBIE ROAD. OFFICE: **GIRRAWEEN NSW 2145** 

PHONE: (02) 9672 7055 FAX: (02) 9672 7033 ABN: 12057761378 BLDG.LIC.39371



61.1

**GROUND FLOOR PLAN** 

NOTE: ALL WORKS TO COMPLY WITH RELEVANT NCC AND AUSTRALIAN STANDARDS NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES, - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.

REVISION

VARIATION

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1400

6-STAR RATED WATER EFFICIENCY TO TAPS FOR SHOWER ROSES TO BE ALL DOWNPIPES TO BE PVC NOTE: WHERE FLOOR LEVEL IS >2M ABOVE WINDOWS MAY NOT BE CENTRED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL 1850 OFF FLOOR PRIOR TO EXTERNAL SURFACE BENEATH WINDOW, CIRCULAR & SET 240MM FROM BASINS AND BATHS TILING FOR STANDARD OUTSIDE OF EDGE TO AND WHERE THE OPENABLE SASH IS < 1.7M, ADJUSTABLE ROSE (IF FIXED 4-STAR TO KITCHEN TAPS CENTRELINE OF D.P. UNLESS SHOWER ROSE IS SELECTED ANY OPENABLE WINDOW IN A BEDROOM OTHERWISE INDICATED 4-STAR TO W.C. CISTERNS MOUNT AT 2000 HIGH) MUST BE RESTRICTED TO A 125MM 4-STAR SHOWER HEAD FLOW >7.5 BUT <=9L/min **OPFNING** IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS >4M. 10670 10450 110 110 **R** DENOTES **R**ESTRICTION ON THE WINDOW 460 110 1910 1210 3240 1210 610 1810 **NOTE:** PLUMBER TO KEEP VANITY 1530 70 6000 70 2500 250 560W DRAINAGE POINT MAX. 100MM 6000 70 1520 70 910 25Q 1530 FROM BOTTOM PLATE 5700 4400 4400 70 1000 250 4630 L'DRY EXTERNAL DIMENSIONS OF HOME MAY NOT 250 4400 3020 1540 BE EXACT MULTIPLES OF BRICK AND IN 70 70 1000 250 SOME LOCATIONS UNEVEN CUTS TO 2320 2500 VOID 2010 3110 70 BRICKS/ STORM MOULDS MAY BE REQUIRED NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING EXTERNAL FRAME TO STOP Omm CLEAR OF BRICKWORK **DETAILS FOR ALL LOCATIONS &** - EXTERNAL FRAME TO STOP 20mm CLEAR OF BRICKWORE CONNECTIONS. LAUNDRY CHUTE DETAIL BELOW AS1212 R AS1212 R AS0318 8 8 8 8 S# S# ALL STEEL TO BE MEASURED 9 9 820 1430 CHECKED OVER IF REQUIRED Sept. 2 O1SCOFE ZONED 3-PHASE A'C 3.0/3.5 E.E.R. FOR COOLING 610 **ENS** MIN 3.0/ 82 MIN. 3.0-3.5 E.E.R. FOR HEATING 4330 BED 1 4330 4330 1500X550 • Vanity A'C VENT & DROPPER POSITION R# R# ARE APPROXIMATE ONLY & MAY BE AC DUCTING TO SUIT MOVED ON SITE, & SQUARE OR • BEAM BELOW RECTANGULAR VENTS MAY BE 0601 820 REQUIRED TO SUIT DIFFERENT 970 CONSTRUCTION REQUIREMENTS 5 R# R# R# 2 ee (ce EJ LIN (Aleka 520x2 2040H FULL HEIGHT TILING TO BATH 1910 **BATHROOM & ENSUITE** \*\* WINDOW REVEALS TO BE 1570 35070 970 3200 BED 2 SEALED + TILED \*\* 700 LAUNDRY CHUTE 490 X 490 CUTOUT, FLOORBOARD & 620x2 2040H 820 2040H WC 5680 1190 800 JOISTS TO SUIT (REFER TO DETAIL) LINE 2390 550 **ROBE** ROBE 2 5 1000 8 1050H WALL W/TRIMMER — ANGLED TO STAIR GRADIENT SEE SECTION AF2618 (2650H) 1810 620x2 2040H 8 2 1 2 3 4 5 6 7 2010 2000 1000 10760 3200 1000 1570 BED 3 AS12 2 2 Ø, WALL BUILT UP TO TREADS -(ANGLED TO STAIR GRADIENT) WITH BALUSTRADE ATOP 1080 O, 820 2040H 2 2 3040 3040 3040 1570 BED 4 AS. 1890 (Herry 7025070 **UPPER** 2500 70,550,20 3600 LIVING ROBE (Sept) 120 450<sub>1</sub> 1280 1280 3090 3090 VOID DETAIL BED<sub>.</sub>5 250 \$2 <del>\$2</del> <del>\$2</del> \$2 \$3 \$ AA1309 R E 1190 **BALCONY** FIXED GLASS 590 250 590 600 1780 WITH CORNER MULLION 2010 2010 150mm STEPDOWN STRUCTURAL BEAM OVER 10 X ALUMINIUM FRAMED pipe drain TO ENG'S DETAIL AA1309 R VON 820 **FLYSCREENS WITH** 3 X 135mm POSTS 230 - 3 X 135mm POSTS FIBREGI ASS MESH (STRATUM TRIO CLAD. 230 BRICK WALL + (STRATUM TRIO CLAD. TO FINISH APPROX. 470×950 BRICK PIER TO FINISH APPROX. 120 (EXCEPT SERVERY) NOTE: REFER TO ELECTRICAL PLAN FOR THE 190x175mm) REQUIREMENT OF CONDUIT IN MASONRY BY BUILDER COLUMNS FOR EXTERNAL WALL LIGHTS IF REQUIRED 70 1100 70 4400 4530 OWNER(S) ACCEPTANCE /WE HEREBY APPROVE OUR BUILDING PLANS REMOVE BOTTOM 3910 5570 70 550 70 250 250 PLATE AS REQUIRED TILE + SCREED 40MM TO BE BUILT ON OUR LAND. 250 5570 1660 2800 250 I/WE HAVE STUDIED THE PLANS AND HAVE 150 3 DOWN HAD THEM EXPLAINED TO US AND ACCEPT 250 5570 250 169 1. AND APPROVE THE FRONT/REAR/SIDE 950 3598 1430 970 472 **250** SETBACKS AND CUT/FILL LEVELS AS SHOWN JOIST 120 7640 970 830 1230 I/WE ACCEPT NO CHANGES CAN BE MADE. 7060 3500 CFC FLOOR JOIST HANGER I/WE HAVE HAD THE DRIVEWAY GRADIENT 120230 5190 1640 1640 1400 230 230 DETAIL OF BALCONY STEP 9630 1280 I/WE HAVE HAD THE BASIX WATER TANK OR DOWN (240 JOISTS) , THE DUAL WATER PLUMBING EXPLAINED. 10910 /WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US. 20/05/20TK VARIATION FIRST FLOOR PLAN ISSUE REVISION DATE /WE HEREBY APPROVE OUR PLANS AND GIVE ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT CONSENT TO ALLCASTLE HOMES P/L TO NOTE: ALL WORKS TO COMPLY WITH RELEVANT NCC AND AUSTRALIAN STANDARDS LODGE OUR PLANS TO APPROVING NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES, - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT.NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO AUTHORITY FOR A DEVELOPMENT APPLICATION. BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD. CONFIRM WET AREA ITEMS WITH SELECTIONS. /WE UNDERSTAND THAT NO FURTHER **GRANDWORTH 38.7** PHYSICAL CHANGES CAN BE MADE PROPOSED RESIDENCE SALES: PHONE: (02) 9629 4772 I/WE UNDERSTAND THAT DUE TO CHAMPAGNE FAÇADE **Allcastle Homes** CONSTRUCTION CONSTRAINTS, THE BUILDER FAX: (02) 9629 5813 MAY VARY PLANS ON SITE TO SUIT. FOR: DATE: SCALE: 05.05.20 96-100 TOONGABBIE ROAD, <u>HEAD</u> MR VERYINIS I/WE UNDERSTAND ANY SURFACE DRAINAGE DRAWN: CHECKED OFFICE: **GIRRAWEEN NSW 2145** OR RETAINING WALLS REQUIRED BY FB PHONE: (02) 9672 7055 Make it Home APPROVING AUTHORITY ARE TO BE SHEET NO: JOB NO: COMPLETED WITH LANDSCAPING BY OWNER FAX: (02) 9672 7033

ABN: 12057761378 BLDG.LIC.39371

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LOT 1 NO 21 BROWN STREET

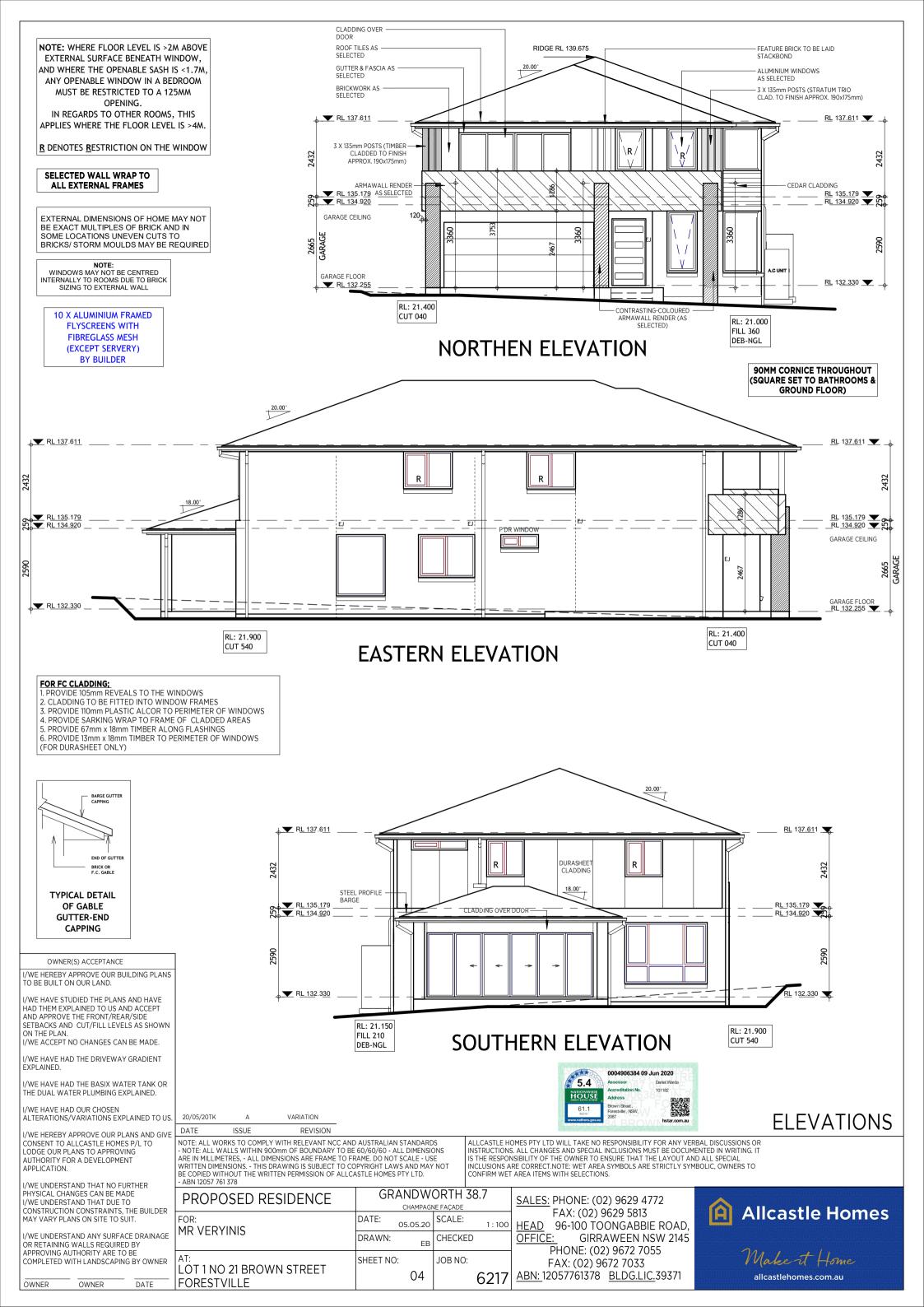
**FORESTVILLE** 

DATE

OWNER

OWNER

03





NOTE: WHERE FLOOR LEVEL IS >2M ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS < 1.7M. ANY OPENABLE WINDOW IN A BEDROOM MUST BE RESTRICTED TO A 125MM OPENING.

IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS >4M.

**R** DENOTES **R**ESTRICTION ON THE WINDOW

SKIRTING AS SELECTED

240 HI-SPAN

CORNICE AS SELECTED **BRICK VENEER WALL** 

TIMBER JOIST TO

FRAMER'S DETAIL

19mm PLATFORM

**FLOORING** 

FOR FC CLADDING;

- IDE 105mm REVEALS TO THE WINDOWS 2. CLADDING TO BE FITTED INTO WINDOW FRAMES 3. PROVIDE 110mm PLASTIC ALCOR TO PERIMETER OF WINDOWS 4. PROVIDE SARKING WRAP TO FRAME OF CLADDED AREAS
- 5. PROVIDE 67mm x 18mm TIMBER ALONG FLASHINGS 6. PROVIDE 13mm x 18mm TIMBER TO PERIMETER OF WINDOWS (FOR DURASHEET ONLY)

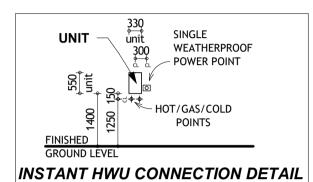
10 X ALUMINIUM FRAMED **FLYSCREENS WITH** FIBREGLASS MESH (EXCEPT SERVERY)

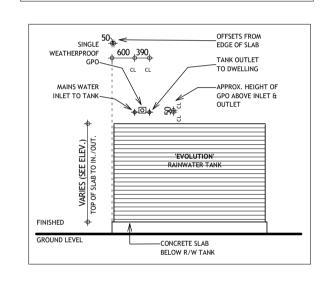
EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

**BY BUILDER** 

NOTE: WINDOWS MAY NOT BE CENTRED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL

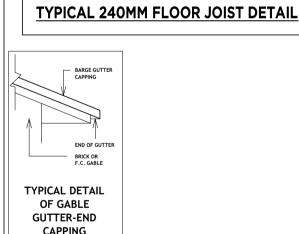






PREFABRICATED TIMBER ROOF TRUSSES TO

STRENGTHENED TO SUIT A.C. UNIT



OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN

I/WE ACCEPT NO CHANGES CAN BE MADE. I/WE HAVE HAD THE DRIVEWAY GRADIENT

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

20/05/20TK

/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT

APPLICATION.

/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE

COMPLETED WITH LANDSCAPING BY OWNER OWNER OWNER DATE

**RIDGE RL 139.675** PROVIDE **R5.0** INSULATION TO OF TRUSSED ROOF AREA EXCLUDING JOISTS TO FRAMERS DETAIL PROVIDE R2.5 INSULATION TO EXTERNAL STUD WALLS ▼ R<u>L 137</u>.6<u>11</u> 1500 1000 UNLESS OTHERWISE BED 5 PAINTED PINE TRIMMER 1050 RL 135.179 RL 134.920 RL 134.920 🔻 GARAGE CEILING **GARAGE FOYER** GARAGE FLOOR RL 132.330 🔻 RL 132.255 CONCRETE SLAB TO ENGINEERS DETAILS

### **SECTION A-A**

VARIATION ISSUE REVISION DATE NOTE: ALL WORKS TO COMPLY WITH RELEVANT NCC AND AUSTRALIAN STANDARDS

- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES, - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.

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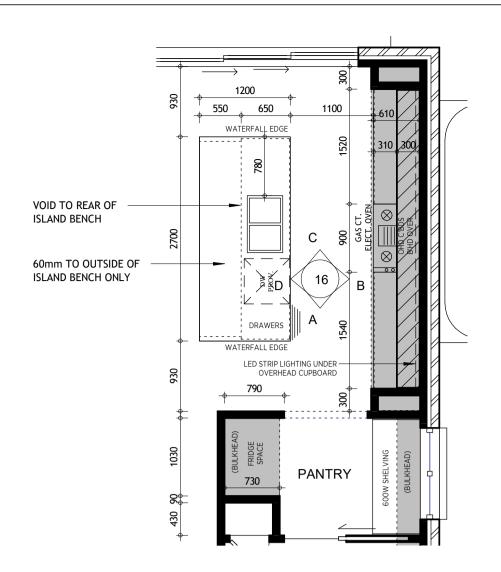
PROPOSED RESIDENCE	GRANDWORTH 38.7	S
MR VERYINIS	DATE: 05.05.20 SCALE: 1 : 100	·  -
	DRAWN: EB CHECKED	C
AT: LOT 1 NO 21 BROWN STREET	SHEET NO: JOB NO:	l
LOTTINO 21 BROWN STREET   FORESTVILLE	05 6217	Δ

SALES: PHONE: (02) 9629 4772 FAX: (02) 9629 5813 HEAD 96-100 TOONGABBIE ROAD.

OFFICE: **GIRRAWEEN NSW 2145** PHONE: (02) 9672 7055 FAX: (02) 9672 7033 ABN: 12057761378 BLDG.LIC.39371



**ELEVATION & SECTION** 

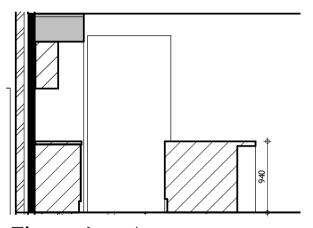


#### **ALL JOINERY / STONE DIMENSIONS** ARE APPROXIMATE ONLY (-/+30mm) & MAY VARY ONSITE

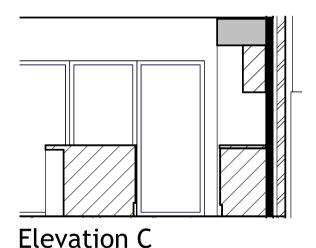
NOTE:

 SOFT CLOSE MECHANISM TO VERTICALLY HINGED CBD DOORS & DRAWERS

### **DETAILS-KITCHEN**

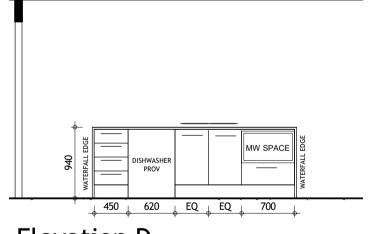


## **Elevation A**



# BULKHEAD RANGEHOOD LED STRIP LIGHTING UNDER OVERHEAD CUPBOARD P'TRY WINDOW EQ 900 ĖQ EQ

## Elevation B



Elevation D

MICROWAVE OPENING TO SUIT MODEL WD905 + TT905

#### OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE
SETBACKS AND CUT/FILL LEVELS AS SHOWN

I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT

I/WE HAVE HAD THE BASIX WATER TANK OR . THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE I/WE UNDERSTAND THAT DUE TO

APPLICATION.

OWNER

OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE

CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE COMPLETED WITH LANDSCAPING BY OWNER

OWNER

DATE



ISSUE REVISION DATE

NOTE: ALL WORKS TO COMPLY WITH RELEVANT NCC AND AUSTRALIAN STANDARDS - NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES, - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.

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7.5.1.2007 70.070		
PROPOSED RESIDENCE	GRANDWORTH CHAMPAGNE FAÇADE	1.3
MR VERYINIS	DATE: <sub>05.05.20</sub> SCALE:	1:50
	DRAWN: EB CHECK	ED <u>(</u>
AT: LOT 1 NO 21 BROWN STREET	SHEET NO: JOB NO	):
FORESTVILLE	16	6217

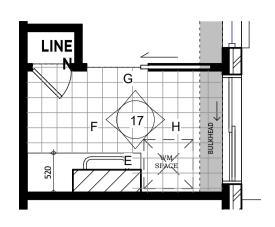
SALES: PHONE: (02) 9629 4772

FAX: (02) 9629 5813 HEAD 96-100 TOONGABBIE ROAD. OFFICE: **GIRRAWEEN NSW 2145** PHONE: (02) 9672 7055 FAX: (02) 9672 7033 ABN: 12057761378 BLDG.LIC.39371

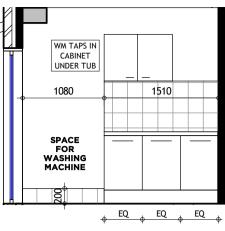


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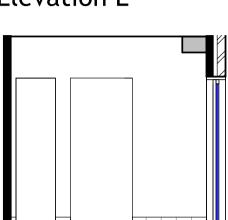
KITCHEN DETAILS



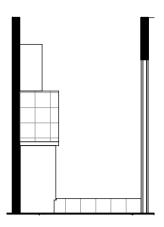
**DETAILS-LAUNDRY** 



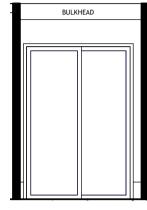
Elevation E



Elevation G



Elevation F

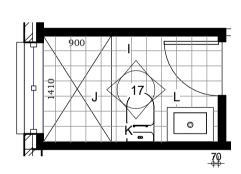


Elevation H

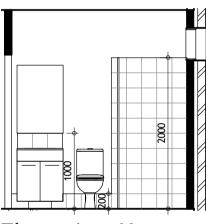
**ALL JOINERY / STONE DIMENSIONS** ARE APPROXIMATE ONLY (-/+30mm) & MAY VARY ONSITE

#### NOTE:

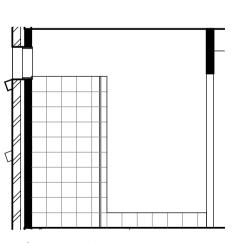
• SOFT CLOSE MECHANISM TO VERTICALLY HINGED CBD & **VANITY DOORS** 



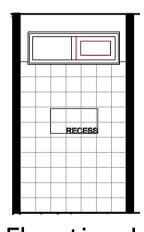
**DETAILS- P'DR** 



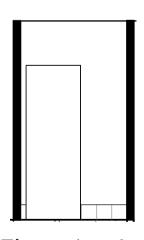
Elevation K



Elevation I



**Elevation J** 



Elevation L



#### OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE
SETBACKS AND CUT/FILL LEVELS AS SHOWN

I/WE ACCEPT NO CHANGES CAN BE MADE. I/WE HAVE HAD THE DRIVEWAY GRADIENT

I/WE HAVE HAD THE BASIX WATER TANK OR . THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE

COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

ISSUE REVISION DATE

NOTE: ALL WORKS TO COMPLY WITH RELEVANT NCC AND AUSTRALIAN STANDARDS - NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES, - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.

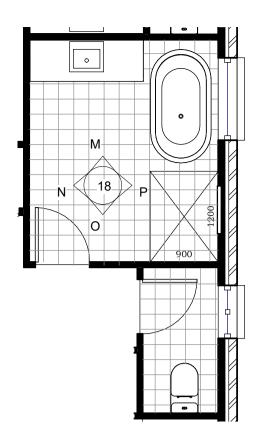
ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT.NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO

PROPOSED RESIDENCE	GRANDWORTH 38.7			SALES: PH	
FOR: MR VERYINIS	DATE:	05.05.20	SCALE:	1:50	FA HEAD 96
IMR VERTINIS	DRAWN:	EB	CHECKED	)	OFFICE:
AT: LOT 1 NO 21 BROWN STREET	SHEET NO	):	JOB NO:		FAX
LOTTNO ZI BROWN STREET   FORFSTVILLE		17		6217	<u>ABN:</u> 12057

CONFIRM WET AREA ITEMS WITH SELECTIONS.

SALES: PHONE: (02) 9629 4772 FAX: (02) 9629 5813 HEAD 96-100 TOONGABBIE ROAD, OFFICE: GIRRAWEEN NSW 2145	Allcastle Homes
PHONE: (02) 9672 7055 FAX: (02) 9672 7033	Makert Home
ABN: 12057761378 BLDG.LIC.39371	allcastlehomes.com.au

LAUNDRY & P'DR DETAILS



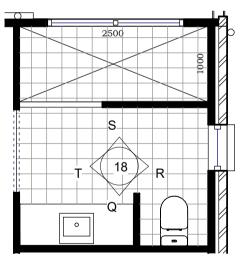
## **DETAILS-BATH**

#### NOTE:

 SOFT CLOSE MECHANISM TO VERTICALLY HINGED CBD DOORS

**ALL JOINERY / STONE DIMENSIONS** ARE APPROXIMATE ONLY (-/+30mm) & MAY VARY ONSITE

**200MM SKIRTING TILES TO ENTIRE W.C.** 



**DETAILS-ENS** 

#### OWNER(S) ACCEPTANCE

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I/WE HAVE HAD THE DRIVEWAY GRADIENT

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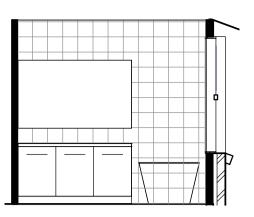
APPLICATION.

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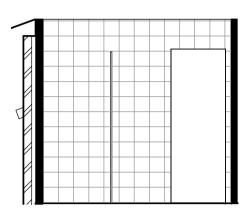
I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE

COMPLETED WITH LANDSCAPING BY OWNER

OWNER DATE OWNER

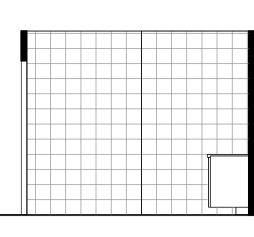


Elevation M

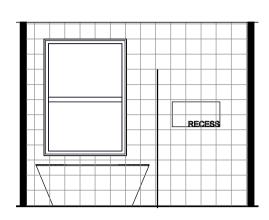


**Elevation O** 

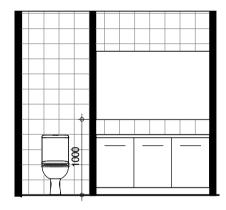
FULL HEIGHT TILING TO **BATHROOM & ENSUITE** \*\* WINDOW REVEALS TO BE SEALED + TILED \*\*



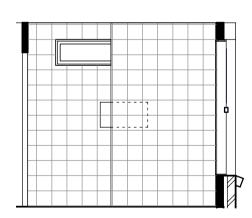
**Elevation N** 



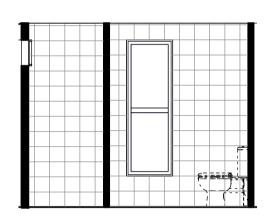
**Elevation P** 



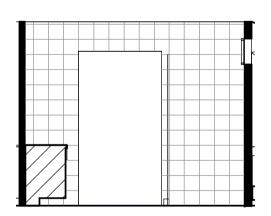
Elevation Q



**Elevation S** 



Elevation R



**Elevation T** 



ISSUE REVISION DATE

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> > PHONE: (02) 9672 7055

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OFFICE:

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FOR: MR VERYINIS	DATE: 05.05.20 SCALE: 1:50	
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LOT 1 NO 21 BROWN STREET FORESTVILLE	18 6217	

CONFIRM WET AREA ITEMS WITH SELECTIONS. SALES: PHONE: (02) 9629 4772

**GIRRAWEEN NSW 2145** 



allcastlehomes.com.au

WET AREA DETAILS