

FLOOR COVERING			
GROUND FLOOR		FIRST FLOOR	
FOYER	AS SELECTED	BEDS	CARPET
LOUNGE	AS SELECTED	HALL	CARPET
DINING	AS SELECTED	UPPER LIVING	CARPET
STUDY	AS SELECTED		
FAMILY	AS SELECTED		
MEDIA	AS SELECTED		
KITCHEN	AS SELECTED		

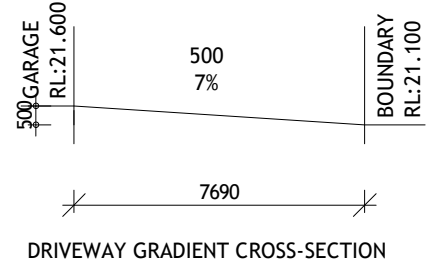
EXTERNAL COLOUR	
ROOF	EXTERNAL WALL
LIGHT/MEDIUM/DARK	LIGHT/MEDIUM/DARK

NOTE:  
STORMWATER TO BE  
CONNECTED TO RAINWATER  
TANK. OVERFLOW TO STREET

RAINWATER DUAL  
PLUMBING CONNECTED AS  
PER BASIX CERTIFICATE

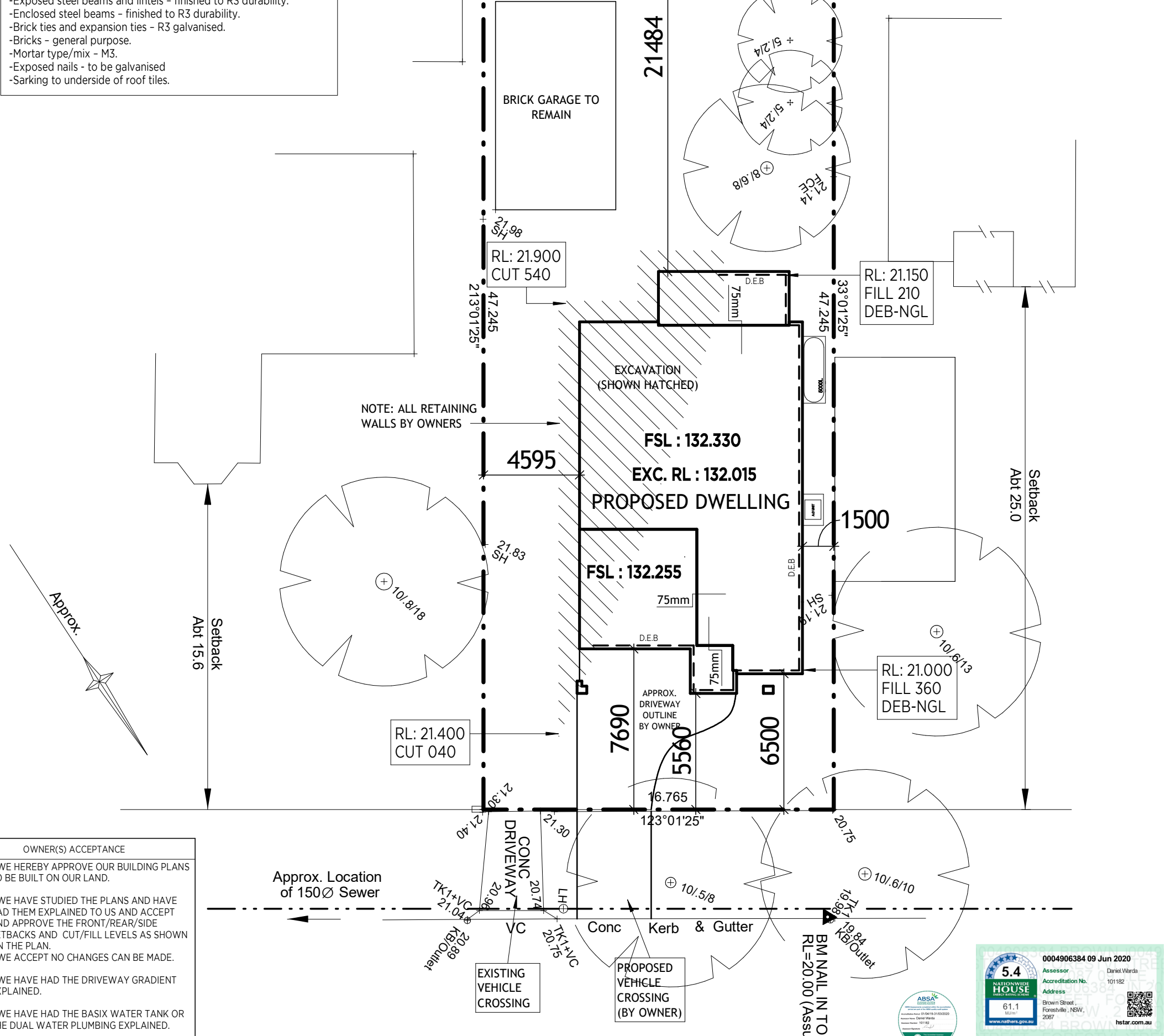
ALL WORKS TO BE CARRIED OUT  
IN ACCORDANCE WITH  
REQUIREMENTS SET OUT ON THE  
BASIX/NATHERS CERTIFICATE

L.G.A : WARRINGAH SITE CALCULATIONS	
A. TOTAL GROUND FLOOR AREA	222.78 m <sup>2</sup>
B. TOTAL FIRST FLOOR AREA	180.91 m <sup>2</sup>
C. TOTAL BUILDING AREA (A+B)	403.69 m <sup>2</sup>
D. GARAGE AREA	32.15 m <sup>2</sup>
E. PORCH AREA	4.31 m <sup>2</sup>
F. ALFRESCO AREA	15.06 m <sup>2</sup>
G. BALCONY AREA	11.36 m <sup>2</sup>
H. STAIR/VOID AREAS	24.43 m <sup>2</sup>
I. DRIVEWAY AREA (APPROX.)	40.00 m <sup>2</sup>
J. SITE AREA	792.00 m <sup>2</sup>
FLOOR SPACE AREA: D - (F+G+H) / J	331.25 m <sup>2</sup>
SITE COVERAGE: A+C-(F+G) / J	33.18 %
LANDSCAPE AREA:	66.82 %



**MARINE ENVIRONMENT CONDITIONS: (BY BUILDER)**

- Exposed steel beams and lintels - finished to R3 durability.
- Enclosed steel beams - finished to R3 durability.
- Brick ties and expansion ties - R3 galvanised.
- Bricks - general purpose.
- Mortar type/mix - M3.
- Exposed nails - to be galvanised
- Sarking to underside of roof tiles.



OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.

I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE

I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

DATE	ISSUE	REVISION
20/05/20TK	A	VARIATION
DATE	ISSUE	REVISION
NOTE: ALL WORKS TO COMPLY WITH RELEVANT NCC AND AUSTRALIAN STANDARDS		
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.		
- ABN 12057 761 378		

PROPOSED RESIDENCE	GRANDWORTH 38.7
FOR: MR VERYINIS	CHAMPAGNE FAÇADE
AT: LOT 1 NO 21 BROWN STREET FORESTVILLE	
DATE: 05.05.20	SCALE: 1 : 200
DRAWN: EB	CHECKED
SHEET NO: 01	JOB NO: 6217

ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT.NOTE: WET AREA SYMBOLS ARE STRICTLY SYMBOLIC, OWNERS TO CONFIRM WET AREA ITEMS WITH SELECTIONS.

SALES: PHONE: (02) 9629 4772  
FAX: (02) 9629 5813  
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145  
PHONE: (02) 9672 7055  
FAX: (02) 9672 7033  
ABN: 12057761378 BLDG.LIC.39371

**Allcastle Homes**

*Make it Home*

allcastlehomes.com.au

A/C VENT & DROPPER POSITION ARE APPROXIMATE ONLY & MAY BE MOVED ON SITE, & SQUARE OR RECTANGULAR VENTS MAY BE REQUIRED TO SUIT DIFFERENT CONSTRUCTION REQUIREMENTS

ALL STEEL TO BE MEASURED  
(HEIGHT) & FLOORING TO BE  
CHECKED OVER IF REQUIRED

**NOTE: PLUMBER TO KEEP VANITY DRAINAGE POINT MAX. 100MM FROM BOTTOM PLATE**

NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.

**NOTE:**  
WINDOWS MAY NOT BE CENTRED  
INTERNALLY TO ROOMS DUE TO BRICK  
SIZING TO EXTERNAL WALL

10 X ALUMINIUM FRAMED  
FLYSCREENS WITH  
FIBREGLASS MESH  
(EXCEPT SERVERY)  
BY BUILDER

6-STAR RATED WATER EFFICIENCY TO TAPS FOR  
BASINS AND BATHS  
4-STAR TO KITCHEN TAPS  
4-STAR TO W.C. CISTERNS  
4-STAR SHOWER HEAD FLOW >7.5 BUT <=9L/min

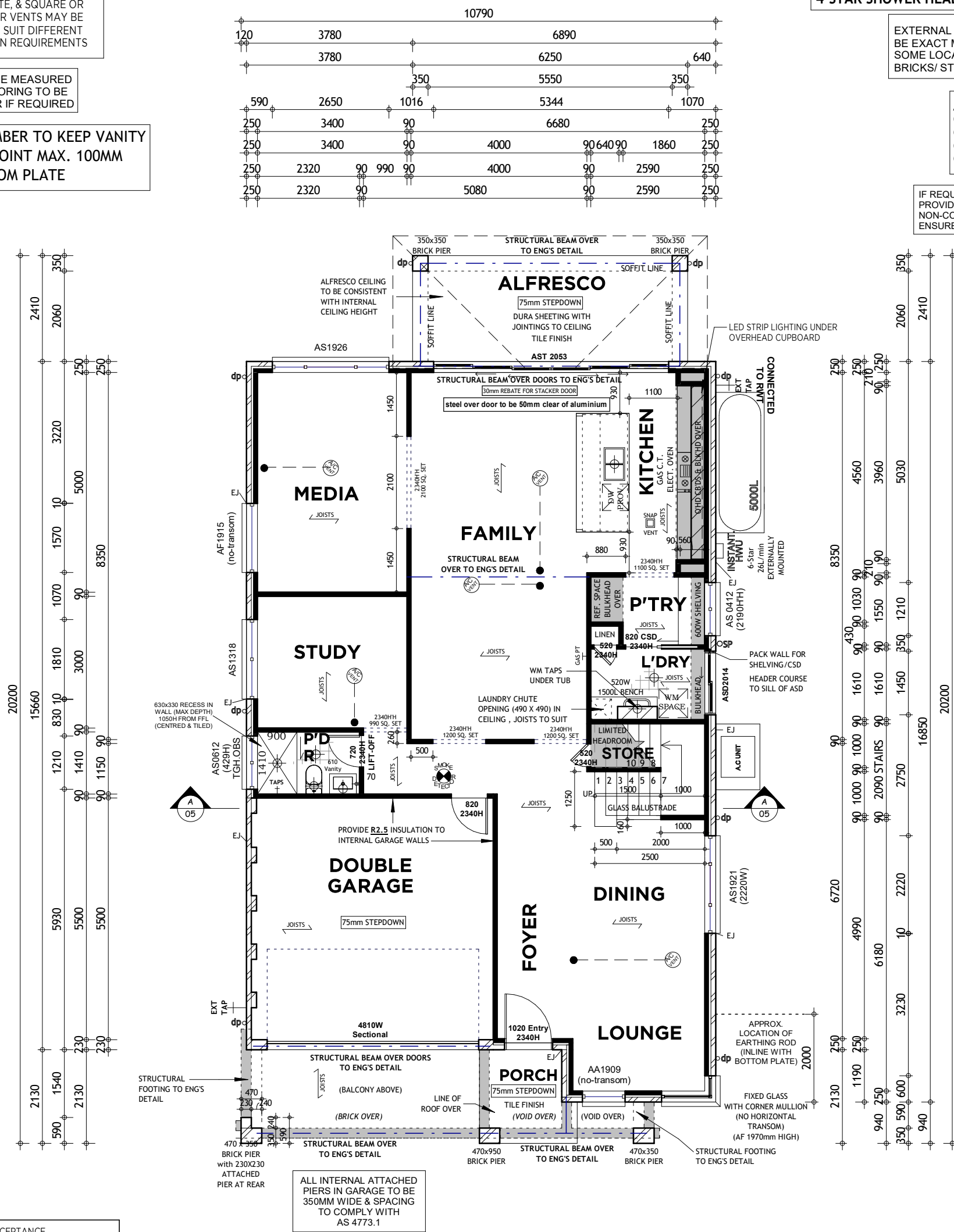
EXTERNAL DIMENSIONS OF HOME MAY NOT  
BE EXACT MULTIPLES OF BRICK AND IN  
SOME LOCATIONS UNEVEN CUTS TO  
BRICKS/ STORM MOULDS MAY BE REQUIRED

ALL DOWNPIPES TO BE PVC,  
CIRCULAR & SET 240MM FROM  
OUTSIDE OF EDGE TO  
CENTRELINE OF D.P. UNLESS  
OTHERWISE INDICATED

IF REQUIRED, BEAMS TO BE PACKED TO PROVIDE PERFECT LEVEL STRUCTURE WITH NON-COMPRESSIBLE FIBRE CEMENT TO ENSURE FLOORS AND FRAMES ARE LEVEL

SHOWER ROSES TO BE  
1850 OFF FLOOR PRIOR TO  
TILING FOR STANDARD  
ADJUSTABLE ROSE (IF FIXED  
SHOWER ROSE IS SELECTED,  
MOUNT AT 2000 HIGH)

**90MM CORNICE THROUGHOUT  
(SQUARE SET TO BATHROOMS &  
GROUND FLOOR)**



ALL INTERNAL ATTACHED  
PIERS IN GARAGE TO BE  
350MM WIDE & SPACING  
TO COMPLY WITH  
AS 4773.1

OWNER(S) ACCEPTANCE		
I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.		
I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.		
I/WE ACCEPT NO CHANGES CAN BE MADE.		
I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.		
I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.		
I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.		
I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.		
I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE		
I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.		
I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER		
OWNER	OWNER	DATE

AS 47/3.1

Step	Width (mm)	Depth (mm)	Staircase Width (mm)	Staircase Depth (mm)
1	110	470	5500	10790
2	110	470	5500	10790
3	110	470	5500	10790
4	110	470	5500	10790
5	110	470	5500	10790
6	110	470	5500	10790
7	110	470	5500	10790
8	110	470	5500	10790
9	110	470	5500	10790
10	110	470	5500	10790
11	110	470	5500	10790

20/05/20TK	A	VARIATION
DATE	ISSUE	REVISION

<p>NOTE: ALL WORKS TO COMPLY WITH RELEVANT NCC AND AUSTRALIAN STANDARDS</p> <p>- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME, DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD.</p> <p>- ABN 12057 761 378</p>	<p>ALLCASTLE HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY DAMAGE TO INSTRUCTIONS. ALL CHANGES AND SPECIAL REQUIREMENTS ARE THE RESPONSIBILITY OF THE OWNER TO BE CONFIRMED. ALL INCLUSIONS ARE CORRECT. NOTE: WET AREAS ARE TO BE CONFIRMED. CONFIRM WET AREA ITEMS WITH SELECTIONS.</p>
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PROPOSED RESIDENCE	GRANDWORTH 38.7 CHAMPAGNE FAÇADE	
FOR: MR VERYINIS	DATE: 05.05.20	SCALE: 1 : 100
	DRAWN: EB	CHECKED
AT: LOT 1 NO 21 BROWN STREET FORESTVILLE	SHEET NO: 02	JOB NO: 6217

**SALES:** PHONE: (02) 9629 4772  
FAX: (02) 9629 5813  
**HEAD** 96-100 TOONGABBIE ROAD,  
**OFFICE:** GIRRAWEE NSW 2145  
PHONE: (02) 9672 7055  
FAX: (02) 9672 7033  
ABN: 12057761378 BLDG.LIC.39371



# GROUND FLOOR PLAN



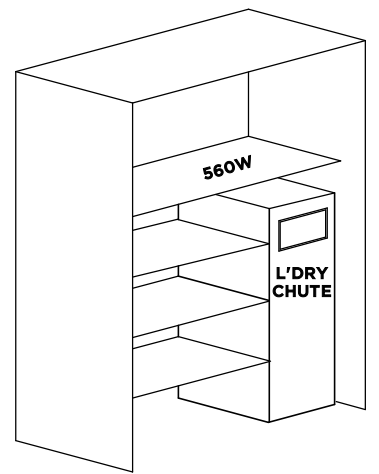


NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.

**NOTE:**  
WINDOWS MAY NOT BE CENTRED  
INTERNALLY TO ROOMS DUE TO BRICK  
SIZING TO EXTERNAL WALL

SHOWER ROSES TO BE  
1850 OFF FLOOR PRIOR TO  
TILING FOR STANDARD  
ADJUSTABLE ROSE (IF FIXED  
SHOWER ROSE IS SELECTED,  
MOUNT AT 2000 HIGH)

6-STAR RATED WATER EFFICIENCY TO TAPS FOR  
BASINS AND BATHS  
4-STAR TO KITCHEN TAPS  
4-STAR TO W.C. CISTERNS  
4-STAR SHOWER HEAD FLOW >7.5 BUT <=9L/min



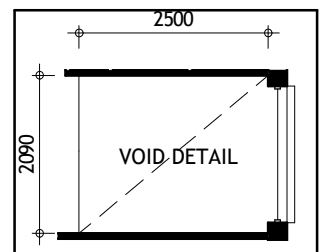
### LAUNDRY CHUTE DETAIL

ALL STEEL TO BE MEASURED  
(HEIGHT) & FLOORING TO BE  
CHECKED OVER IF REQUIRED

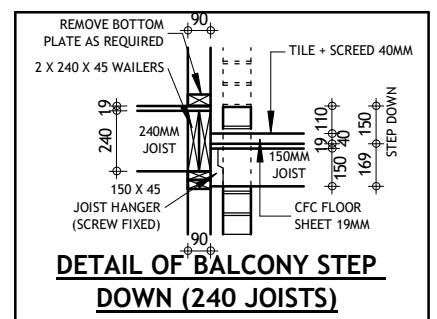
**ZONED 3-PHASE A/C**  
MIN. 3.0/3.5 E.E.R. FOR COOLING  
MIN. 3.0-3.5 E.E.R. FOR HEATING

A/C VENT & DROPPER POSITION  
ARE APPROXIMATE ONLY & MAY BE  
MOVED ON SITE, & SQUARE OR  
RECTANGULAR VENTS MAY BE  
REQUIRED TO SUIT DIFFERENT  
CONSTRUCTION REQUIREMENTS

FULL HEIGHT TILING TO  
BATHROOM & ENSUITE  
\*\* WINDOW REVEALS TO BE  
**SEALED + TILED** \*\*



10 X ALUMINIUM FRAMED  
FLYSCREENS WITH  
FIBREGLASS MESH  
(EXCEPT SERVRY)  
BY BUILDER



**DETAIL OF BALCONY STEP  
DOWN (240 JOISTS)**

# FIRST FLOOR PLAN

**NOTE:** REFER TO ELECTRICAL PLAN FOR THE REQUIREMENT OF CONDUIT IN MASONRY COLUMNS FOR EXTERNAL WALL LIGHTS IF REQUIRED

OWNER(S) ACCEPTANCE
I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.  
I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN  
ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE  
CONSENT TO ALLCASTLE HOMES P/L TO  
LODGE OUR PLANS TO APPROVING  
AUTHORITY FOR A DEVELOPMENT  
APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER  
PHYSICAL CHANGES CAN BE MADE  
I/WE UNDERSTAND THAT DUE TO  
CONSTRUCTION CONSTRAINTS, THE BUILDER  
MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE  
OR RETAINING WALLS REQUIRED BY  
APPROVING AUTHORITY ARE TO BE  
COMPLETED WITH LANDSCAPING BY OWNER

OWNER	OWNER	DATE
-------	-------	------

20/05/20TK	A	VARIATION
DATE	ISSUE	REVISION

NOTE: ALL WORKS TO COMPLY WITH RELEVANT NO

NOTE: ALL WORKS TO COMPLY WITH RELEVANT NCC AND AUSTRALIAN STANDARDS  
- NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS  
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PROPOSED RESIDENCE

FOR:  
MR VERYINIS

AT: \_\_\_\_\_

LOT 1 NO 21 BROWN STREET  
FORESTVILLE

GRANDWORTH 38.7	
CHAMPAGNE FACADE	

CHAMPAGNE FAÇADE	
DATE: 05.05.20	SCALE: As Indicated
DRAWN:	CHECKED:

DRAWN:	EB	CHECKED
SHEET NO:		JOB NO:

03	6217
----	------

SALES: PHONE: (02) 9629 4772

FAX: (02) 9629 5813  
HEAD 96-100 TOONGABBIE ROAD,  
OFFICE: GIBBRAWEEEN NSW 2145

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**NOTE: WHERE FLOOR LEVEL IS >2M ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS <1.7M, ANY OPENABLE WINDOW IN A BEDROOM MUST BE RESTRICTED TO A 125MM OPENING.**

**IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS >4M.**

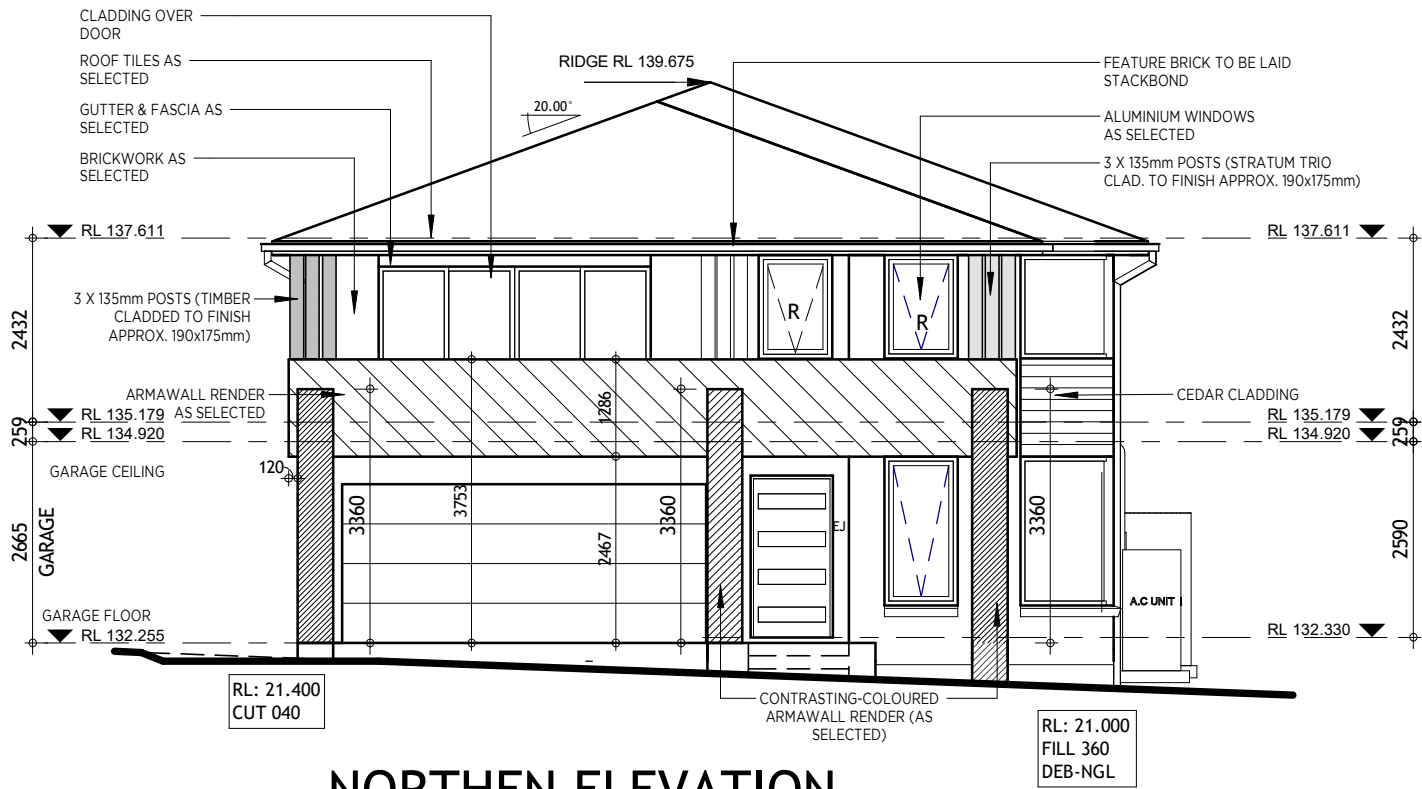
**R DENOTES RESTRICTION ON THE WINDOW**

**SELECTED WALL WRAP TO ALL EXTERNAL FRAMES**

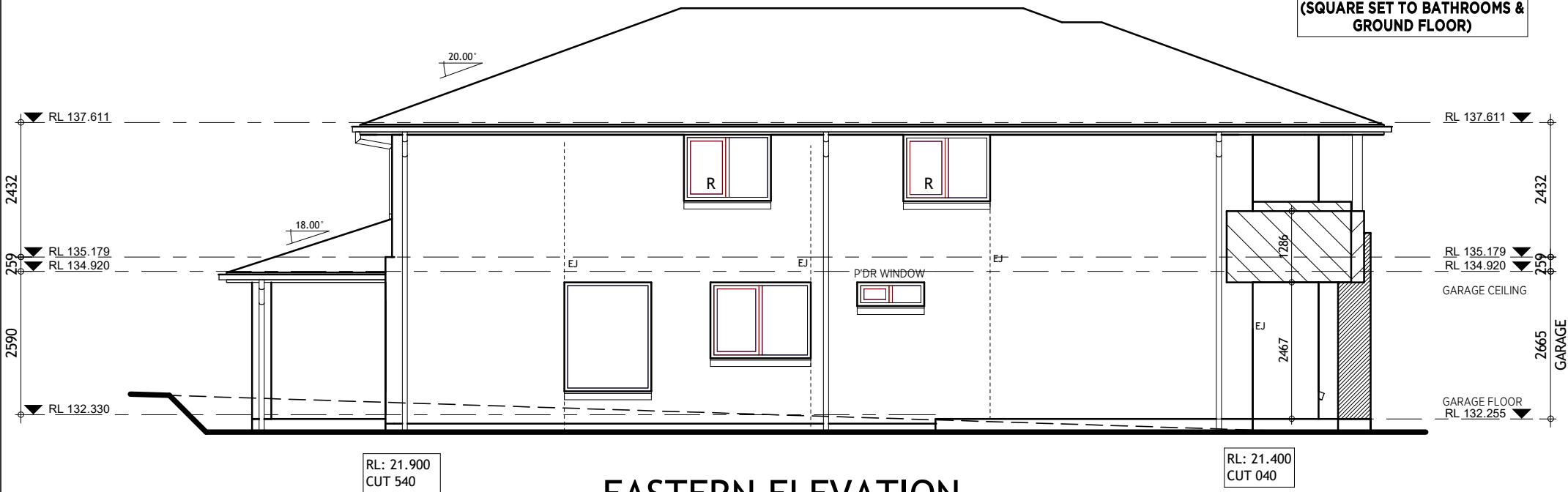
EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

**NOTE:**  
WINDOWS MAY NOT BE CENTRED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL

**10 X ALUMINIUM FRAMED FLYSCREENS WITH FIBREGLASS MESH (EXCEPT SERVERY) BY BUILDER**



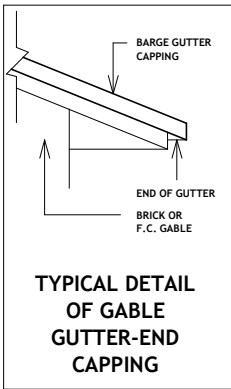
**NORTHERN ELEVATION**



**EASTERN ELEVATION**

**FOR FC CLADDING:**

1. PROVIDE 105mm REVEALS TO THE WINDOWS
2. CLADDING TO BE FITTED INTO WINDOW FRAMES
3. PROVIDE 110mm PLASTIC ALCOR TO PERIMETER OF WINDOWS
4. PROVIDE SARKING WRAP TO FRAME OF CLADDIED AREAS
5. PROVIDE 67mm x 18mm TIMBER ALONG FLASHINGS
6. PROVIDE 13mm x 18mm TIMBER TO PERIMETER OF WINDOWS (FOR DURASHEET ONLY)



**TYPICAL DETAIL OF GABLE GUTTER-END CAPPING**



**SOUTHERN ELEVATION**

OWNER(S) ACCEPTANCE	
I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.	
I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.	
I/WE ACCEPT NO CHANGES CAN BE MADE.	
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I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.	
I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.	
I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.	
I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE	
I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.	
I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER	
OWNER	DATE

20/05/20TK	A	VARIATION
DATE	ISSUE	REVISION

NOTE: ALL WORKS TO COMPLY WITH RELEVANT NCC AND AUSTRALIAN STANDARDS  
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PROPOSED RESIDENCE	GRANDWORTH 38.7
FOR: MR VERYINIS	CHAMPAGNE FAÇADE
AT: LOT 1 NO 21 BROWN STREET FORESTVILLE	
DATE: 05.05.20	SCALE: 1: 100
DRAWN: EB	CHECKED
SHEET NO: 04	JOB NO: 6217

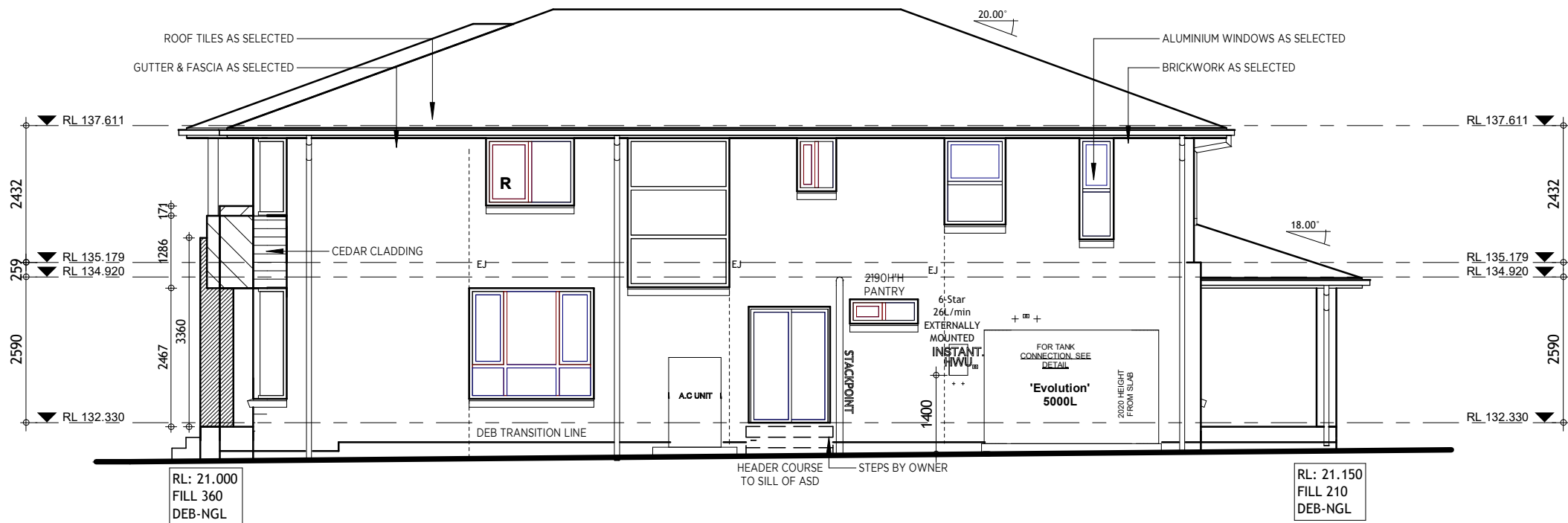
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**HEAD OFFICE:** 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145  
PHONE: (02) 9672 7055  
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**ELEVATIONS**



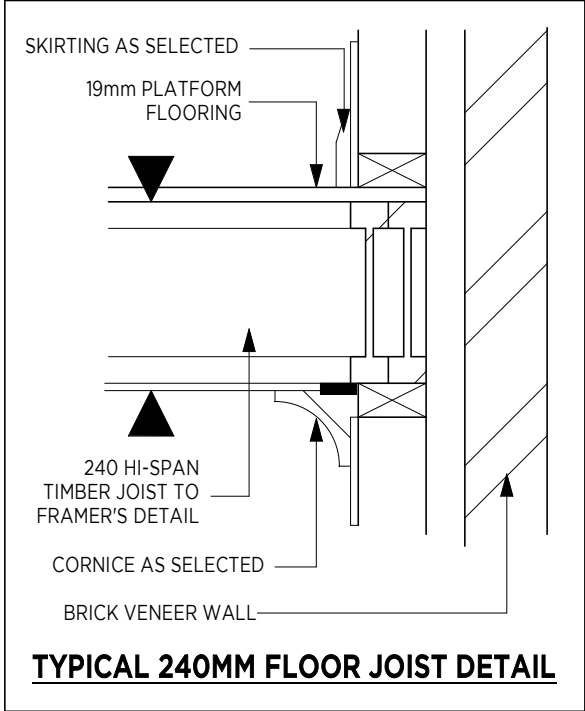
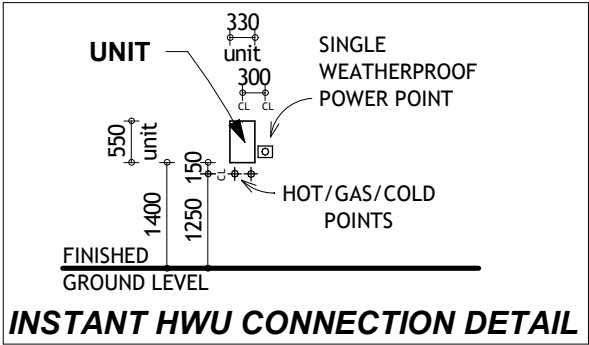




WESTERN ELEVATION

**NOTE:** WHERE FLOOR LEVEL IS >2M ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS <1.7M, ANY OPENABLE WINDOW IN A BEDROOM MUST BE RESTRICTED TO A 125MM OPENING.  
IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS >4M.  
**R** DENOTES RRESTRICTION ON THE WINDOW

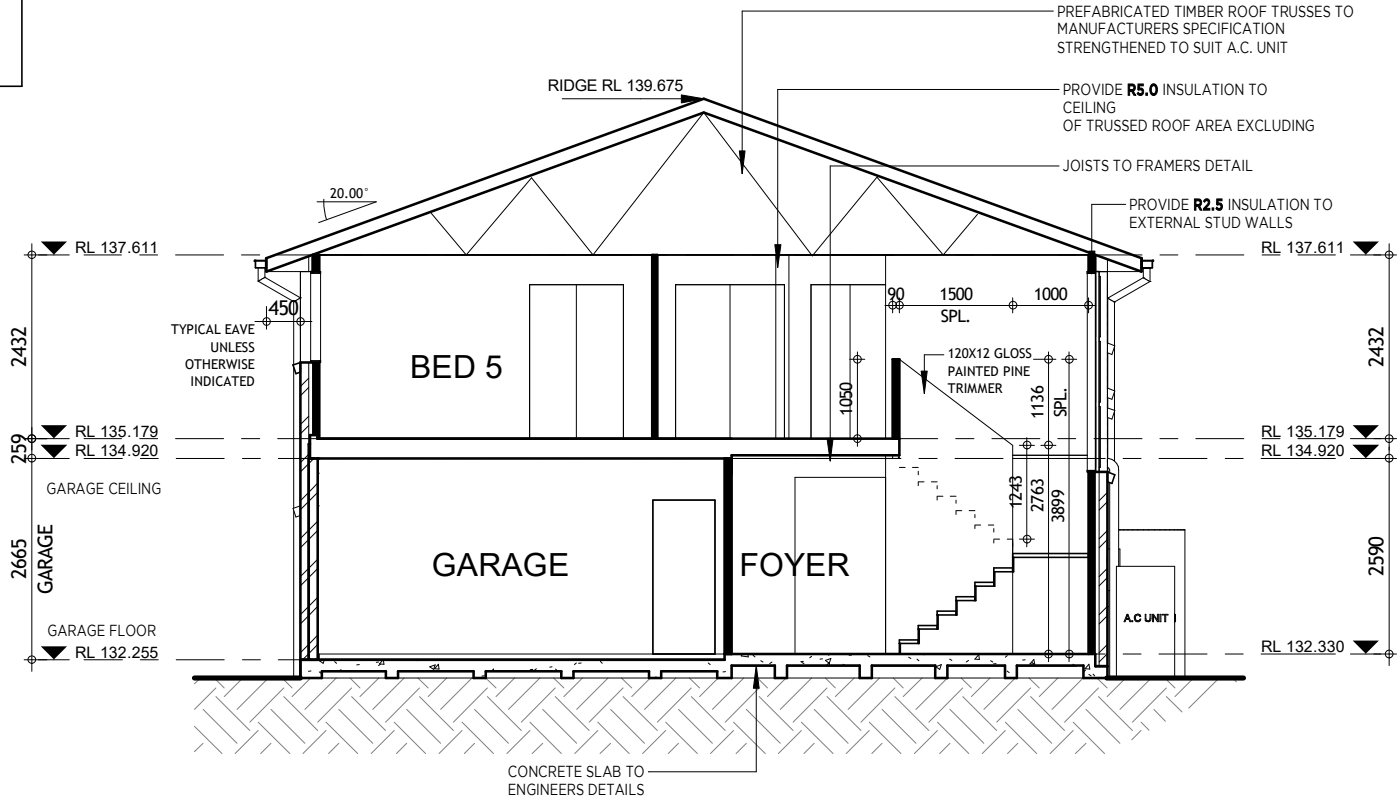
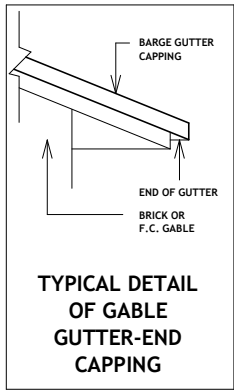
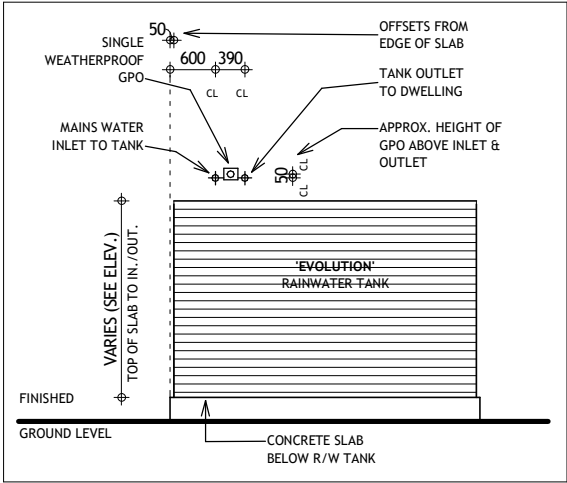
- FOR FC CLADDING:**
- 1. PROVIDE 105mm REVEALS TO THE WINDOWS
  - 2. CLADDING TO BE FITTED INTO WINDOW FRAMES
  - 3. PROVIDE 110mm PLASTIC ALCOR TO PERIMETER OF WINDOWS
  - 4. PROVIDE SARKING WRAP TO FRAME OF CLADDIED AREAS
  - 5. PROVIDE 67mm x 18mm TIMBER ALONG FLASHINGS
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10 X ALUMINIUM FRAMED FLYSCREENS WITH FIBREGLASS MESH (EXCEPT SERVERY) BY BUILDER

EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

**NOTE:** WINDOWS MAY NOT BE CENTRED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL



SECTION A-A

ELEVATION & SECTION

OWNER(S) ACCEPTANCE	
I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.	
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I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.	
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I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.	
I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE	
I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.	
I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER	
OWNER	OWNER
DATE	DATE

20/05/20TK	A	VARIATION
DATE	ISSUE	REVISION
NOTE: ALL WORKS TO COMPLY WITH RELEVANT NCC AND AUSTRALIAN STANDARDS - NOTE: ALL WALLS WITHIN 900mm OF BOUNDARY TO BE 60/60/60 - ALL DIMENSIONS ARE IN MILLIMETRES. - ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE - USE WRITTEN DIMENSIONS. - THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION OF ALLCASTLE HOMES PTY LTD. - ABN 12057 761 378		
PROPOSED RESIDENCE	GRANDWORTH 38.7	
FOR: MR VERYINIS	DATE:	05.05.20
	DRAWN:	EB
AT: LOT 1 NO 21 BROWN STREET FORESTVILLE	SHEET NO:	05
	JOB NO:	6217

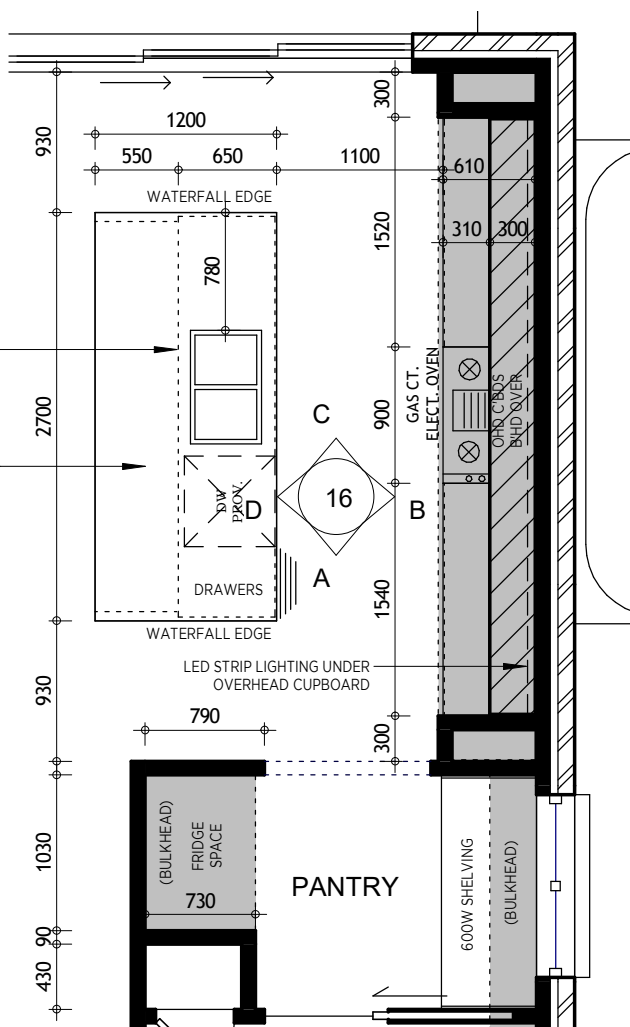
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SALES: PHONE: (02) 9629 4772  
FAX: (02) 9629 5813  
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145  
PHONE: (02) 9672 7055  
FAX: (02) 9672 7033  
ABN: 12057761378 BLDG.LIC.39371

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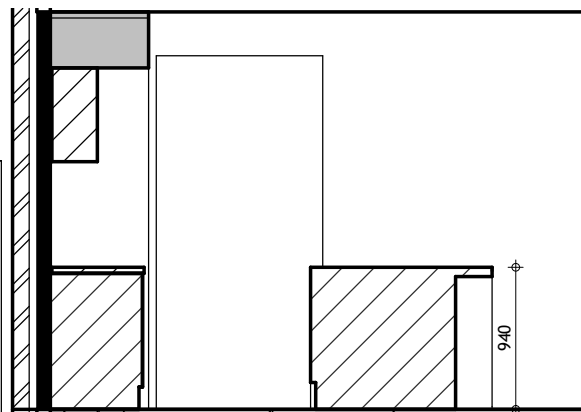
allcastlehomes.com.au



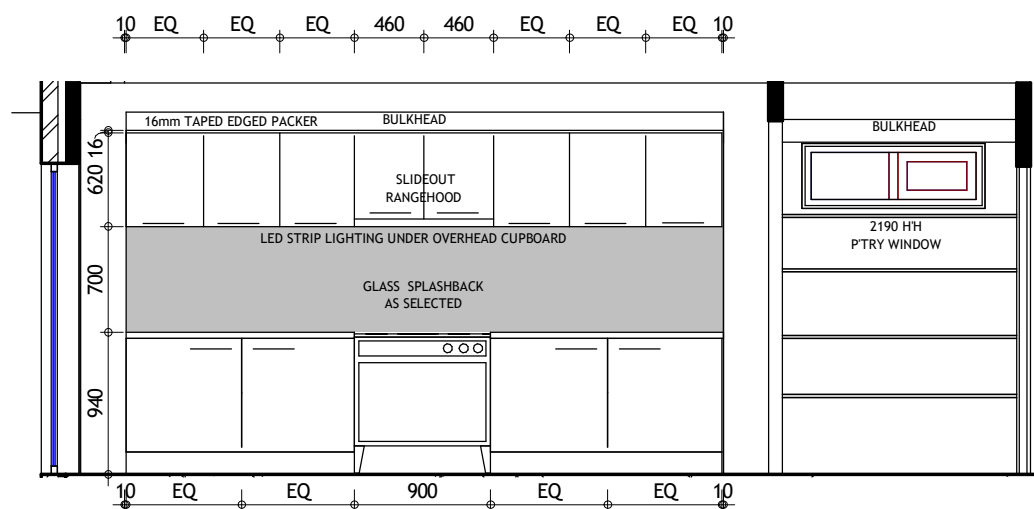
ALL JOINERY / STONE DIMENSIONS  
ARE APPROXIMATE ONLY  
(-/+30mm) & MAY VARY ONSITE

NOTE:  
• SOFT CLOSE MECHANISM TO  
VERTICALLY HINGED CBD DOORS  
& DRAWERS

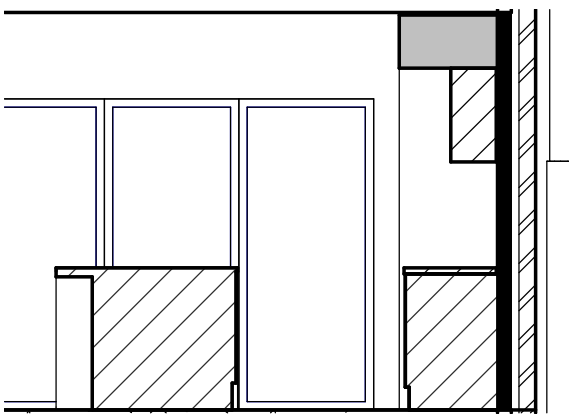
## DETAILS-KITCHEN



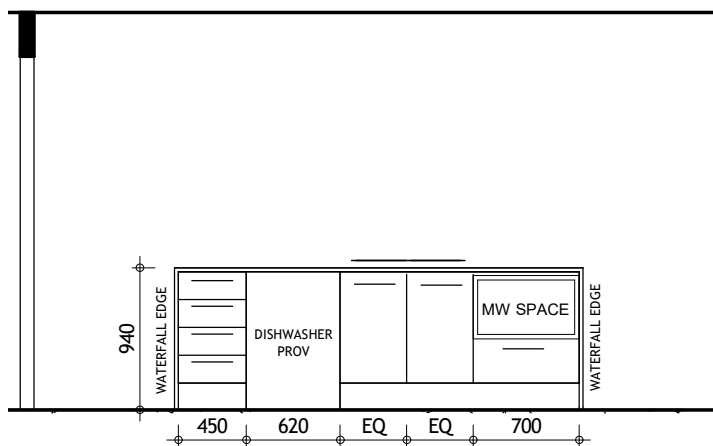
Elevation A



Elevation B



Elevation C



Elevation D

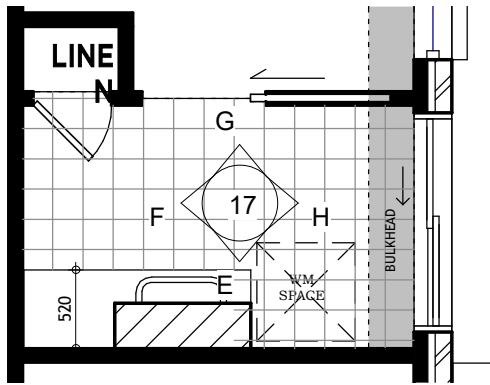
NOTE:  
MICROWAVE OPENING TO SUIT  
MODEL WD905 + TT905



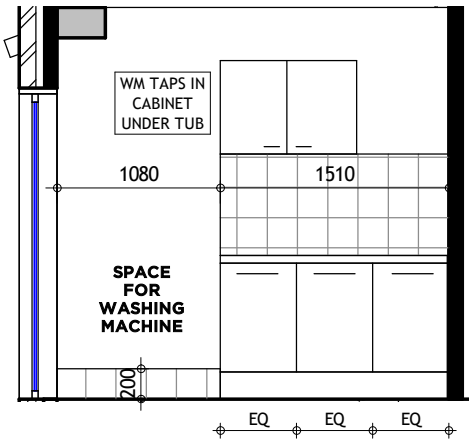
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PROPOSED RESIDENCE	GRANDWORTH 38.7	SALES: PHONE: (02) 9629 4772
FOR: MR VERYINIS	DATE: 05.05.20	FAX: (02) 9629 5813
AT: LOT 1 NO 21 BROWN STREET FORESTVILLE	DRAWN: EB	HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145
	SHEET NO: 16	PHONE: (02) 9672 7055
		FAX: (02) 9672 7033
		ABN: 12057761378 BLDG.LIC.39371

## KITCHEN DETAILS

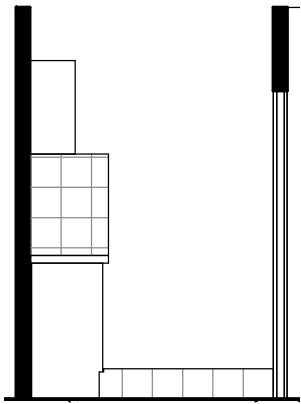




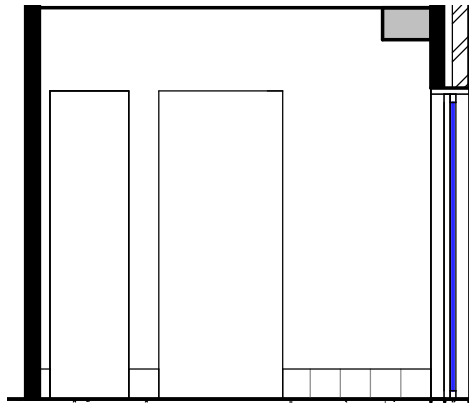
DETAILS-LAUNDRY



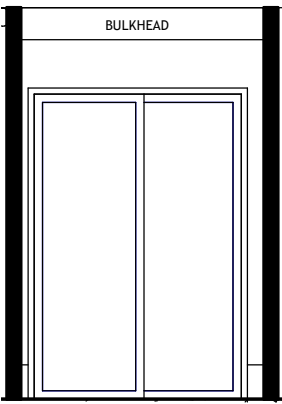
Elevation E



Elevation F



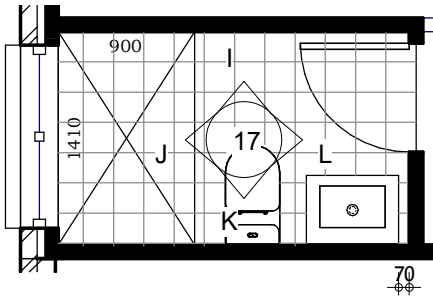
Elevation G



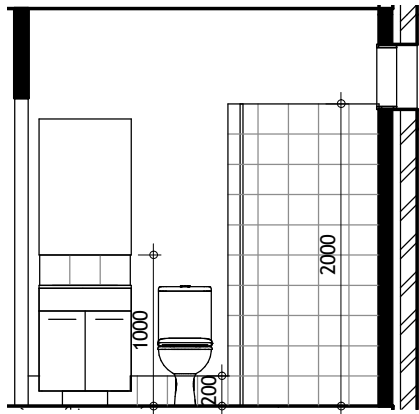
Elevation H

ALL JOINERY / STONE DIMENSIONS  
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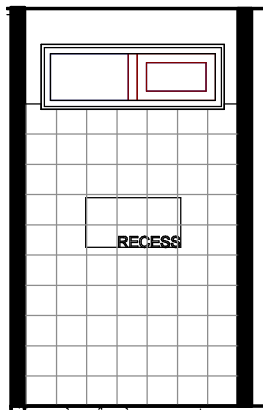
NOTE:  
• SOFT CLOSE MECHANISM TO  
VERTICALLY HINGED CBD &  
VANITY DOORS



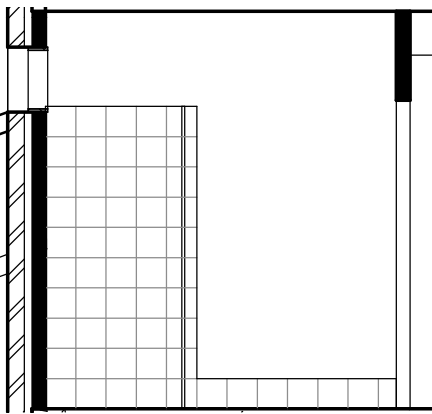
DETAILS- P'DR



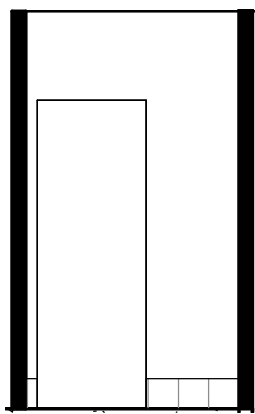
Elevation K



Elevation J



Elevation I



Elevation L



OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.

I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

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OWNER OWNER DATE

DATE ISSUE REVISION

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PROPOSED RESIDENCE

GRANDWORTH 38.7

CHAMPAGNE FAÇADE

FOR:  
MR VERYINIS

DATE:  
05.05.20

SCALE:  
1 : 50

DRAWN:  
EB

CHECKED

AT:  
LOT 1 NO 21 BROWN STREET  
FORESTVILLE

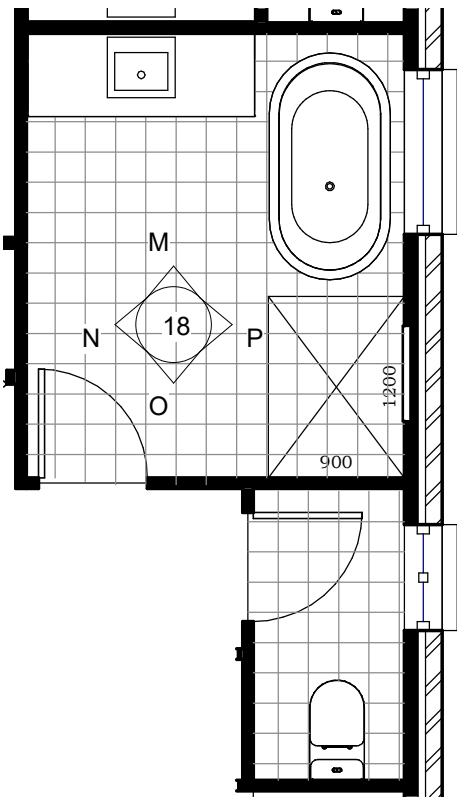
SHEET NO:  
17

JOB NO:  
6217

SALES: PHONE: (02) 9629 4772  
FAX: (02) 9629 5813  
HEAD 96-100 TOONGABBIE ROAD,  
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ABN: 12057761378 BLDG.LIC.39371

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LAUNDRY & P'DR DETAILS

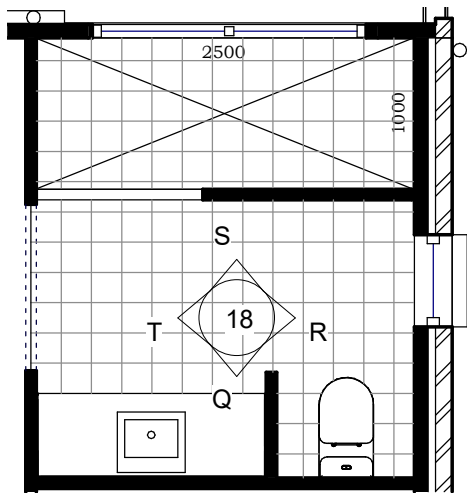


## DETAILS- BATH

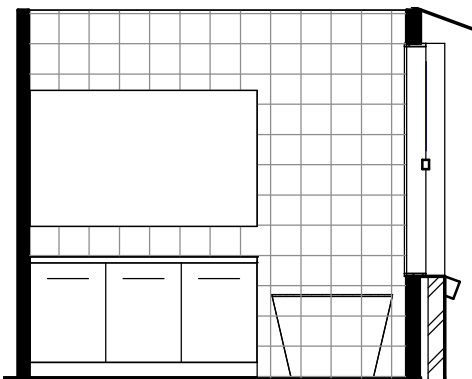
NOTE:  
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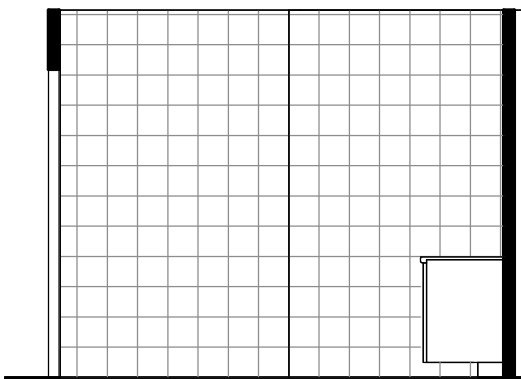
200MM SKIRTING  
TILES TO ENTIRE W.C.



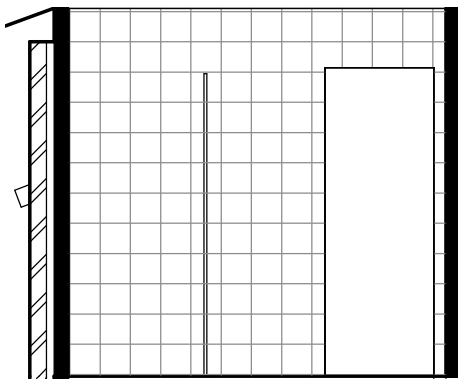
## DETAILS- ENS



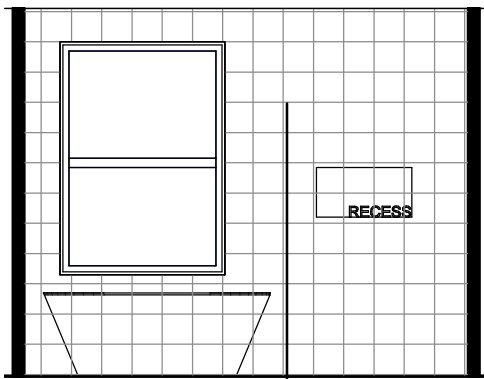
Elevation M



Elevation N

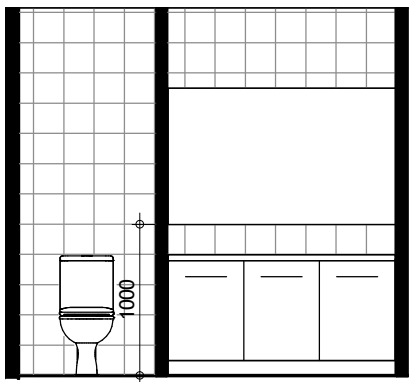


Elevation O

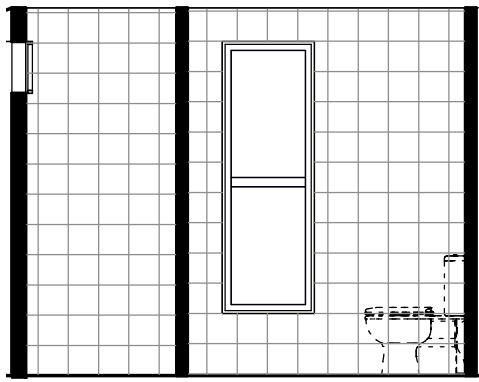


Elevation P

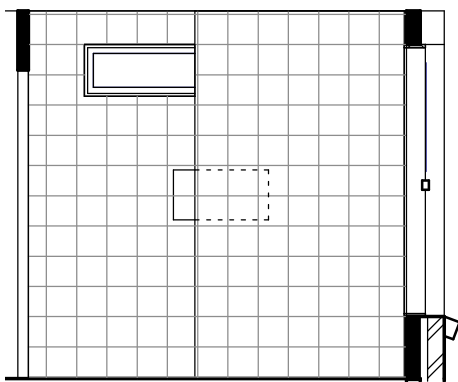
FULL HEIGHT TILING TO BATHROOM & ENSUITE  
\*\* WINDOW REVEALS TO BE **SEALED + TILED** \*\*



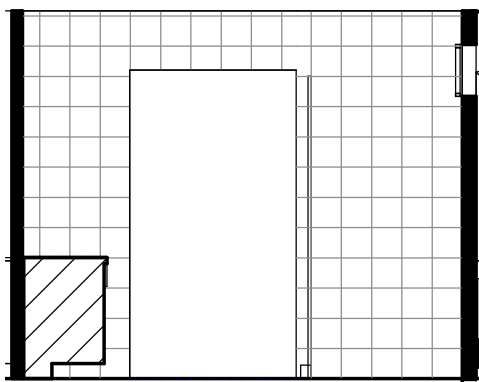
Elevation Q



Elevation R



Elevation S



Elevation T

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OWNER

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PROPOSED RESIDENCE	GRANDWORTH 38.7 CHAMPAGNE FAÇADE	SALES: PHONE: (02) 9629 4772 FAX: (02) 9629 5813
FOR: MR VERYINIS	DATE: 05.05.20 DRAWN: EB	HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEE NSW 2145 PHONE: (02) 9672 7055 FAX: (02) 9672 7033 ABN: 12057761378 BLDG.LIC.39371
AT: LOT 1 NO 21 BROWN STREET FORESTVILLE	SHEET NO: 18	JOB NO: 6217

## WET AREA DETAILS



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