

6 Coolalie Place

6 Coolalie Place, Alambie Heights NSW 2100

Ryan & Nicole Thomas

General Notes

Coordination
Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the works.

Specifications and Schedules
Where applicable refer to and coordinate with relevant Specifications and Schedules. Written specifications and schedules take precedence to the extent of any discrepancy. Notify discrepancies between documents for direction prior to proceeding with the works.

Detail Drawings
Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales. Notify discrepancies for direction prior to proceeding with the works.

Execution of the works (Standards)
Execute the works in compliance with the current edition of the Building Code of Australia (as amended), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and Statutory Authorities.

Units of measurement
Unless noted otherwise:
- Dimensions are shown in millimetres; and
- Levels are shown in meters

To detail
Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

Materials handling and storage
Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Structure
Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications.

Hydraulics
Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements.

Erosion & Sediment Control
Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

Services (existing & proposed)
Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

Levels
Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

Interpretation
"Provide" means to supply and install.
"Required" means required by the contract documents or by the Local or Statutory Authorities.
"Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.

Standard Abbreviations

A/W	Accordance with
AFFL	Above finished floor level
AP	Access Panel
Awn	Awning
Bal	Balustrade
Bdy	(Property) Boundary
Bhd	Bulkhead
Bldg	Building
Bldr	Builder or building contractor
CJ	Control / construction joint
CL	Centre line
COS	Check / confirm on site
Crs	Centres
Dp	Downpipe
D,Dr	Door
Dwg	Drawing
Eng	Engineer(s)
Est	Estimated
Exst	Existing
Ext	External
FFL	Finished floor level
FGL	Finished ground level
FR	Fire rated
Fxd	Fixed
Gnd	Ground
Hr	Handrail
Hyd	Hydraulic
Inst	Instruction(s)
Int	Internal
Man	Manufacturer(s)
Nom	Nominal
NTS	Not to scale
O/A	Overall
O/H	Overhead
Own	Owner Proprietor Principal
Req	Requirement(s)
RL	Relative Level (to Datum)
Schd	Schedule(s)
SFL	Structural floor level
Slid	Sliding
Spec	Specification(s)
SSL	Structural slab level
Std	Standard
SDr	Surface drainage
SSD	Sub-surface drainage
TBA	To be advised
TBC	To be confirmed
TBD	To be demolished
TBR	To be removed
TOW	Top of wall
Typ	Typical
U/G	Under ground
UNO	Unless noted otherwise
U/S	Underside
W,Win	Window
W/	With
W/O	Without

Location Plan



Source: Six Maps NSW
Planning



Streetscape
Perspective

Architectural Drawings

No.	Name	Rev	Date
D000	Cover Sheet, Title Page & Notes	2	16.12.2022
D001	Specifications	2	16.12.2022
D002	BASIX Commitments	2	16.12.2022
D010	Site Layout - Existing & Demolished	2	16.12.2022
D011	Site Layout & Site Analysis - Proposed	2	16.12.2022
D050	Compliance Plan	2	16.12.2022
D051	Compliance - Side Boundary Envelope	2	16.12.2022
D060	Erosion, Sediment, Stormwater Control & Waste Management Plan	2	16.12.2022
D070	Landscape Plan	2	16.12.2022
D100	Lower Ground Floor Plan - Proposed	2	16.12.2022
D101	Ground Floor Plan - Existing & Demolition	2	16.12.2022
D102	Ground Floor Plan - Proposed	2	16.12.2022
D103	First Floor Plan - Proposed	2	16.12.2022
D300	Sections	2	16.12.2022
D301	Sections	2	16.12.2022
D302	Sections	2	16.12.2022
D400	North Elevations - Existing, Demo & Proposed	2	16.12.2022
D401	South Elevations - Existing, Demo & Proposed	2	16.12.2022
D402	East Elevations - Existing, Demo & Proposed	2	16.12.2022
D403	West Elevations - Existing, Demo & Proposed	2	16.12.2022
D900	Shadow Diagrams - 9am to 11am	2	16.12.2022
D901	Shadow Diagrams - 12pm to 2pm	2	16.12.2022
D902	Shadow Diagrams - 3pm	2	16.12.2022
D905	Perspectives & Materials	2	16.12.2022

Applicable Controls:

Warringah Local Environmental Plan 2011 -
Version from 01 December 2021

Warringah Development Control Plan 2011

General

General Notes and Abbreviations

Refer also to the General Notes and Abbreviations where included with this drawing set.

This specification table forms a non-exhaustive list of the Standards and provisions applicable to the works.

Where an Australian Standard (AS/NZ/int) or provision of the NCC has been committed, superseded or replaced the contractor is to ensure all works are carried out, completed and warranted in accordance with the most current form of the standard or provision.
Where a discrepancy arises, notify the contract administrator immediately
*refer to Execution of Works.

Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify the project administrator of any discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the affected part of the works.

Detail Drawings

Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales to the extent of any discrepancy. Notify the project administrator of any discrepancies prior to proceeding with the affected part of the works.

Units of measurement

Unless noted otherwise:
- Dimensions are shown in millimetres; and
- Levels are shown in meters

To detail

Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

Materials handling and storage

Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Erosion & Sediment Control

Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the site works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

Services (existing & proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

Levels

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

Falls

Finish surfaces typically to fall as required to facilitate effective drainage.

Interpretation

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"Required" means required by the contract documents or by the Local or Statutory Authorities.
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Specifications and schedules

Where a written specification and/or schedule exist and a discrepancy between documents is identified, the written documents take precedence over this document to the extent of the discrepancy. Where a discrepancy is identified notify the project administrator for direction prior to proceeding with the part of the works affected by the discrepancy.

Execution of the works (Specifications)

Execute the works in compliance with:
- The relevant deemed-to-satisfy provisions of the current edition of the Building Code of Australia (Volume 2- Housing Provisions) (as amended at the time of execution of the works);
- Current editions of relevant Australian and other applicable published Standards; and
- The relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works. The specification of codes and standards included herein outlines the minimum acceptable standards.

Termite protection

Provide termite protection:
In accordance with the BCA (Volume 2) Part 3.1.3. Termite Risk Management and to AS/NZS 3660.1. Termite management - New building work.
Upon completion, a durable notice must be permanently fixed to the building in a prominent location, such as a meter box or the like, indicating: The method of termite protection, the date of installation of the system, where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label and the installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity.
Provide professional certification of the termite protection measures to the principal certifying authority, confirming compliance with the relevant provisions of the BCA and Australian Standards.

Flashings and damp-proof courses

Flashings and damp-proof courses: To AS/NZS 2904
_Damp-proof courses and flashings

Fasteners

Steel nails: Hot-dip galvanized to AS/NZS 4680 _Hot-dip galvanized [zinc] coatings on fabricated ferrous articles. Self-drilling screws: To AS 3566. Self-drilling screws for the building and construction industries - General requirements and mechanical properties

Metal finishes

Corrosion protection:
In accordance with the BCA (Volume 2) Part 3.4.2.2. Steel framing - General.
Preparation of metal surfaces:
To AS 1627.(Various). Metal finishing - Preparation and pretreatment of surfaces.
Zinc plating:
To AS 1789. Electroplated zinc (electrogalvanized) coatings on ferrous articles (batch process), at least service condition number 2.
Anodising:
To AS 1231. Aluminium and aluminium alloys - Anodic oxidation coatings, at least class AA10.
Thermoset powder coating: To AS 3715. Metal finishing - Thermoset powder coating for architectural applications of aluminium and aluminium alloys.
Galvanize mild steel components (including fasteners);
To AS 1214. _Hot-dip galvanized coatings on threaded fasteners (ISO metric coarse thread series) (ISO 10684:2004, MOD) or AS/NZS 4680. _Hot-dip galvanized (zinc) coatings on fabricated ferrous articles, as appropriate, if exposed to weather, embedded in masonry or in contact with chemically treated timber.
Galvanized other components:
To AS/NZS 4680. _Hot-dip galvanized (zinc) coatings on fabricated ferrous articles.
Durability requirements:
To AS/NZS 2699.2. Built-in components for masonry construction - Connectors and accessories
Steel sheeting:
To AS/NZS 2728. Prefinished/prepainted sheet metal products for interior/exterior building applications - Performance requirements.
Cold-form sections from metallic-coated steel:
To AS 1397. Continuous hot-dip metallic coated steel sheet and strip - Coatings of zinc and zinc alloyed with aluminium and magnesium.
Steel framing:
Zinc-coated or aluminium/zinc alloy coated steel;
To AS 1397 (Steel sheet and strip - Hot dipped zinc-coated or aluminium/zinc-coated) Z450 or AZ150.

Building in bushfire prone areas

Provide certification that **all construction methods** and any required bushfire prevention measures are installed in accordance with the approvals documentation, the NSW Rural Fire Service and **AS 3959**.

In order to provide a suitable combination of bush fire protection measures the NSW Rural Fire Service also requires additional construction requirements beyond those prescribed in AS3959 as deemed appropriate.

Construction methods must comply with these requirements, including, but not limited to: *Addendum Appendix 3 of Planning for bushfire fire protection*, including, but not limited to the relevant provisions of A3.7 and the nominated Australian Standard clauses.

Building in bushfire prone areas

Provide certification that **all construction methods** and any required bushfire prevention measures are installed in accordance with the approvals documentation, the NSW Rural Fire Service and **AS 3959**.

In order to provide a suitable combination of bush fire protection measures the NSW Rural Fire Service also requires additional construction requirements beyond those prescribed in AS3959 as deemed appropriate.

Construction methods must comply with these requirements, including, but not limited to: *Addendum Appendix 3 of Planning for bushfire fire protection*, including, but not limited to the relevant provisions of A3.7 and the nominated Australian Standard clauses.

Specify all measures installed on the certification.

Demolition

Demolish existing structures as shown: To AS 2601 (The demolition of structures)
Temporary Support: Provide temporary support for part(s) of the existing structure as required where part(s) of the works to be altered rely on work to be demolished for support.
Temporary Cover: Provide temporary cover as necessary to prevent damage from the weather and ensure that the site remains secure so as to prevent unauthorised entry.
Secure Site: Prior to the commencement of demolition works ensure that the site is secure and that erosion and other environmental protection measures are in place and operational.
Asbestos: Demolition involving the removal of asbestos or materials containing asbestos fibre must only be carried out by persons licensed by Workcover NSW and in accordance with the National Occupational Health and Safety Commission (WorkSafe Australia), Code of practice for the safe removal of asbestos.

Earthworks

To be carried out in accordance with:
- The requirements of the Environmental Planning & Assessment Act 1979;
- Relevant conditions of development consent; and
- The relevant requirements of BCA (Volume 2) Part 3.1.1 of the BCA (Volume 2)
Excavation adjacent to existing buildings:
To comply with BCA (Volume 2) Part 3.1.1.3
Excavation for drains adjacent to existing footings:
To be in accordance with BCA (Volume 2) Part 3.1.2.2 & Figure 3.1.2.1.

Piling

Timber piled footing systems: Proprietary System designed to AS 2670 (Residential slabs and footings - Construction).
Screw-in foundations: Proprietary System designed to AS 2159 (Piling - Design and installation).

Structural design

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications and in accordance with the relevant provisions of the following structural design manuals.

Site classification

To be in accordance with Part 3.2.4 of the BCA (volume 2)

Structural design manuals

AS 1170.1 (Dead and live loads and load combinations)
AS 1170.2 (Wind loads) or AS 4055 (Wind loads for housing)
AS 1170.4 (Earthquake loads)
AS 1720.1 (Timber structures code)
AS2870 (Residential slabs and footings)
AS 2159 (Piling - design and installation)
AS 2327.1 (Composite structures)
AS 3600 (Concrete structures)
AS 3700 (Masonry Structures)
AS 4100 (Steel Structures)
AS 4773 (Masonry in small buildings)

Structural design certification

Submit structural engineer's design certification, in accordance with Local Authority requirements, to the Principal Certifying Authority prior to the commencement of works.

Concrete construction

Concrete structures generally: To AS 3600 (Concrete structures).
Ground slabs and footings: To AS 2870 (Residential slabs and footings - Construction).
Ready mixed supply: To AS 1379 (Specification and supply of concrete).
Concrete construction is to comply with Spec A2.4, B1.4 & AS 3600

Footings and slabs

Design and construct footings and slabs: In accordance with Part 3.2 of the BCA (volume 2) and AS 2870(Residential slabs and footings). AS 3600 (Concrete structures) and AS 2159(Piling - Design and installation).

Brick & block construction (masonry)

Masonry construction: To be in accordance with Part 3.3 of the BCA (volume 2) and to AS 3700 (Masonry structures).
Masonry units: To AS/NZS 4455 (Masonry units and segmental pavers).
Clay brick durability below damp-proof course: Use exposure category to AS/NZS 4456.10 (Masonry units and segmental pavers - Methods of test - Determining resistance to salt attack) Appendix A (Salt attack resistance categories).
AS 4773.1 and AS 4773.2 (Masonry in small buildings)

Wall ties

Wall ties: To AS/NZS 2699.1(Built-in components for masonry construction - Wall ties); Non-seismic areas: Type A; Seismic areas: Type B.
Wall tie type: To BCA Volume 2 clause 3.3.3.2 (Acceptable construction - Masonry - Masonry accessories - Wall ties).
Wet tie spacing: To BCA Volume 2 Figure 3.3.3.1 (Typical brick ties spacings in cavity and veneer construction).
Wall tie corrosion protection: To BCA Volume 2 Table 3.3.3.1 (Corrosion protection for wall ties).

Lintels

Lintels generally: In accordance with Part 3.3.3.4 of the BCA (volume 2)
Cold-formed lintels: Proprietary cold-formed flat-based type designed to AS/NZS 4600(Cold-formed steel structures), manufactured from mild steel galvanized to AS/NZS 4680 (Do not cut after galvanizing).
Steel lintels (flats and angles): To BCA Volume 2 Figure 3.3.3.5. manufactured from mild steel galvanized to AS/NZS 4680 (Do not cut after galvanizing).
Lintel corrosion protection: To AS/NZS 2699.3 (Built-in components for masonry construction - Lintels and shelf angles (durability requirements).

Timber & steel framed construction

Sub-floor ventilation
Sub floor ventilation: To be in accordance with Part 3.4.1 of the BCA (volume 2)

Timber wall, floor and roof framing

Timber framing: To be in accordance with Part 3.4 of the BCA (volume 2) and
AS 1684.4 (Residential timber-framed construction - Simplified - Non-cyclonic) or AS 1720.1 (Timber structures - Design methods).
Natural durability class of heartwood: To AS 5604(Timber - Natural durability ratings).
Preservative treatment: To the AS 1604 series (Specification for preservative treatment).
Contractor to ensure compliance with clause 3.4.3.0 of the BCA and AS 1684.2 (Amdt 1), AS1684.3(Amdt 1) or AS 1684.4 (Amdt 1).
Timber construction is to comply with clause 3.4.3.0 & AS 1684.2 - (Amdt 1).

Steel framing and structural steel members

Steel framing: to be in accordance with Part 3.4.2 of the BCA (volume 2)
Acceptable construction practice (Part 3.4.2.1 of the BCA) and / or
AS 4100 (Steel structures)
Steel structural members: To be in accordance with Part 3.4.4 of the BCA (volume 2) Acceptable construction practice and AS 4100 (Steel structures)
Structural steelwork: To AS 4100 (Steel structures).
Cold-formed steel framing: Provide a proprietary system designed to AS 3623(Domestic metal framing).
Welding: To AS/NZS 1554.1 (Structural steel welding - Welding of steel structures).

Floors

Floors: To AS 1684.4
Particleboard flooring: To AS/NZS 1860.1 (Particleboard flooring - Specifications) and install to AS 1860 (Installation of particleboard flooring).
Compressed Fibre cement flooring: To AS/NZS 2908.2 (Cellulosecement products - Flat sheets), Type A, Category 5.
Plywood flooring: To AS/NZS 2269 (Plywood - Structural), bond type A, tongue and grooved.

Roof trusses

Roof trusses installation: To AS 4440 (Installation of nail-plated timber trusses).
Anti-ponding boards: To AS/NZS 4200.2(Pliable building membranes and underlays - Installation requirements).

Roof and wall cladding

Roof tiling
To be in accordance with Parts 3.5.1.1 & 3.5.1.2 of the BCA (volume 2) and AS 2049 (Roof tiles).
Roof tile installation: To AS 2050 (Installation of roofing tiles).

Metal roof sheeting

To be in accordance with the BCA (Volume 2) Part 3.5.10, 3.5.1.1 & 3.5.1.3
Metal roofing design and installation: To AS 1562.1(Design and installation of sheet roof and wall cladding - Metal).

Roof plumbing

To be in accordance with BCA (Volume 2) Part 3.5.2 and AS/NZS 3500 (Part 3 - Stormwater drainage) and AS/NZS 3500(Part 5 - Domestic installation - section 5 - stormwater drainage)
PVC rainwater goods and accessories: To AS/NZS 2179.2 (Int) (Specification for rainwater goods, accessories and fasteners - PVC rainwater goods and accessories).

Eaves & soffits

lining is to comply with 3.5.3.4 of the BCA and AS/NZS 2908.2 - 2000 or ISO 8336 - 1993E.

Wall cladding

To be in accordance with Part 3.5.3 of the BCA (volume 2) Hardboard cladding: To AS/NZS 1859.4 (Int) (Reconstituted wood-based panels - Specifications - Wet-processed fibreboard).
Fibre cement cladding: To AS/NZS 2908.2(Cellulose-cement products - Flat sheets), Type A, Category 3.
Metal cladding design and installation: To AS 1562.1 (Design and installation of sheet roof and wall cladding - Metal).
Unplasticised polyvinyl chloride (pUPC) sheet: To AS/NZS 4256.4 (Plastic roof and wall cladding materials - Unplasticised polyvinyl chloride (pUPC) wall cladding boards).
Glass fibre reinforced polyester (GRP) sheet: To AS/NZS 4256.3 (Plastic roof and wall cladding materials - Glass fibre reinforced polyester (GRP)).
Polycarbonate: To AS/NZS 4256.5 (Plastic roof and wall cladding materials - Polycarbonate).
Installation of plastic claddings: To AS/NZS 1562.3 (Design and installation of sheet roof and wall cladding - Plastic).
Timber cladding to comply with BCA (Volume 2) Part 3.5.3.2

Insulation and sarking

Cellulosic fibre (loose fill): To AS/NZS 4859.1 (Materials for the thermal insulation of buildings - General criteria and technical provisions), Section 5.
Mineral wool blankets and cut pieces: To AS/NZS 4859.1, Section 8.
Polystyrene (extruded rigid cellular sheets): To AS 1366.4 (Rigid cellular plastics sheets for thermal insulation - Rigid cellular polystyrene - Extruded (RC/PSE)).
Polystyrene (moulded rigid cellular sheets): To AS 1366.3 (Rigid cellular plastics sheets for thermal insulation - Rigid cellular polystyrene - Moulded (RC/PS - M)).
Reflective insulation: To AS/NZS 4859.1, Section 9.
Wool: To AS/NZS 4859.1, Section 6.
Sarking material: To AS/NZS 4200.1 (Pliable building materials and underlays - Materials).
Bulk insulation - Installation requirements).
Sarking material: To AS/NZS 4200.2 (Pliable building materials and underlays - Installation requirements).

Windows and doors

Glazing to be in accordance with Part 3.6 of the BCA (volume 2).
Glass Selection and installation: To AS 1288(Glass in buildings - Selection and installation).
Timber doorsets: To AS 2688 (Timber doors).
Timber frames and jamb linings: To AS 2689 (Timber doorsets).
Security screen doors and windows grilles: To AS 5039 (Security screen doors and security window grilles).
Window selection and installation: To AS 2047 (Windows in buildings - Selection and installation).
Doorset installation: To AS 1909 (Installation of timber doorsets).
Garage doors: To AS/NZS 4505 (Domestic garage doors).
Provide certification from a licensed installer that window framing and glazing is installed in accordance with the relevant standards.

Lining

Plasterboard: To AS/NZS 2588 (Gypsum plasterboard).
Plasterboard installation: To AS/NZS 2589.1 - (Gypsum linings in residential and light commercial construction - Application and finishing - Gypsum plasterboard) Level 4 finish.
Fibre cement: To AS/NZS 2908.2 (Cellulose-cement products - Flat sheets), Type B, Category 2.
Fibrous plaster products: To AS 2185 (Fibrous plaster products).

Fire safety

Fire separation

To be in accordance with BCA (Volume 2) Part 3.7.1
Fire separation - Separating wall construction: To BCA (Volume 2) Part 3.7.1.8
Fire separation - Roof lights: BCA (Volume 2) Part 3.7.1.10
Refer to architectural details of fire separation methods.

Flashing

Flashing to wall openings are to comply with BCA (Volume 2) Part 3.5.3.6 and AS/NZS 2904 - 1995 Amdt 1

Smoke alarms

To be in accordance with Part 3.7.2 of the BCA (volume 2), AS 3786 (Smoke alarms) and the Manufacturer's instructions. Where consumer mains power is supplied smoke alarms must be connected to mains power. For Class 1A buildings smoke alarms must be installed on every storey. In storeys containing bedrooms smoke alarms are to be located on or near the ceiling:
- In every corridor or hallway associated with a bedroom, or
- If there is no corridor or hallway, between the part of the building containing the bedroom and the remainder of the building.

On storeys not containing bedrooms a smoke alarm must be provided and should be located along the path of travel people will most likely take to evacuate the building. Provide certification from a Licensed electrical contractor certifying that the alarm system has been installed in accordance with the relevant standards.

All smoke alarms to be interlinked

Heating appliances

Part 3.7.3 of the BCA (volume 2) and
AS 2918 - Domestic solid - fuel burning appliances - installation

Health and amenity

Wet areas

Refer to "Waterproofing"

Room heights

To be in accordance with Part 3.8.2 of the BCA (volume 2)
Ceiling heights are to comply with clause 3.8.2.2 of the BCA.

Kitchen, sanitary and washing facilities

To be in accordance with Parts 3.8.3.2 and 3.8.3.3 of the BCA (volume 2)

Natural and artificial light

To be in accordance with Parts 3.8.4.2 and 3.8.4.3 of the BCA (volume 2)

Ventilation

To be in accordance with Part 3.8.5 of the BCA
Natural Ventilation: Parts 3.8.5.2 and 3.8.5.3 of the BCA (volume 2)
Mechanical Ventilation: Parts 3.8.5.0 and 3.8.5.3 of the BCA (volume 2)

Sound insulation

To be in accordance with Part 3.8.6.1 of the BCA (volume 2)
Refer to architectural details of sound insulation measures

Safe movement and access

Stair construction

To be in accordance with BCA (Volume 2) Part 3.9.1.1
_Acceptable construction practice. Stair construction must comply with the provisions of the BCA (Volume 2) Part 3.9.1, i.e., treads min 240mm nosing to nosing; risers 115mm - 190mm; slope relationship (2R+G); handrail height 865mm above nosing; open treads maximum gap between treads is 125mm.

Balustrades

To be in accordance with BCA (Volume 2) Part 3.9.2.1
_Acceptable construction practice. Balustrade construction must comply with the provisions of the BCA (Volume 2) Part 3.9.2. Balustrade height 1m above finished floor surface. Where ground height exceeds 4m from floor level of the deck / balcony balusters must be vertical / non-climbable between 150mm and 760mm above deck level.

Block and tile finishes

Ceramic tiling: Follow the guidance provided by AS 3958.1 (Ceramic tiles - Guide to the installation of ceramic tiles) and AS 3958.2 (Ceramic tiles - Guide to the selection of a ceramic tiling system).
Adhesives: To AS 2358 (Adhesives - For fixing ceramic tiles).

Waterproofing

To be in accordance with BCA (Volume 2) Part 3.8.1 and AS 3740 (Waterproofing of wet areas in residential buildings).
Provide certification from a licensed installer certifying that the waterproofing is installed in accordance with the relevant standards.

Floor coatings and coverings

Carpeting: To AS/NZS 2455.1 (Textile floor coverings - Installation practice - General).
Resilient finishes: To AS 1884 (Floor coverings - Resilient sheet and tiles - Laying and maintenance practices).

Painting

Painting generally: Follow the guidance provided by AS/NZS 2311 (Guide to the painting of buildings) and AS/NZS 2312 (Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings).
Preparation
Prepare surfaces to be painted in accordance with the Manufacturer's recommendations to suit the selected paint system, the type of substrate and its condition.

Timber fixtures

Hardboard: To AS/NZS 1859.4 (Int) (Reconstituted wood-based panels - Specifications - Wet-processed fibreboard).
Particleboard: To AS/NZS 1859.1 (Int) (Reconstituted wood-based panels - Specifications - Particleboard).
Medium density fibreboard: To AS/NZS 1859.2 (Int) (Reconstituted wood-based panels - Specifications - Dry-processed fibreboard).
Decorative overlaid wood panels: To AS/NZS 1859.3 (Reconstituted woodbased panels - Decorative overlaid wood panels).

High-pressure decorative laminate sheets: To AS/NZS 2924.1 (High pressure decorative laminates - Sheets made from thermosetting resins - Classification and specification).
Domestic kitchen assemblies: To AS/NZS 4386.1 (Domestic kitchen assemblies - Kitchen units).

Hydraulic (plumbing) installations

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements. Where a discrepancy arises the hydraulic consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy.
Plumbing and drainage products: To SAA MP52-2001 (Manual of authorization procedures for plumbing and drainage products) and AS/NZS 3718 (Water supply - Tap ware).
Stormwater: To AS/NZS 3500.3 (Plumbing and Drainage - Stormwater drainage) or AS/NZS 3500.5(National Plumbing and Drainage - Domestic installations).
Wastewater: To AS/NZS 3500.2 (Plumbing and Drainage - Sanitary plumbing and drainage) or AS/NZS 3500.5.
Waterless composting toilets: To AS/NZS 1546.2 (On-site domestic wastewater treatment units - Waterless composting toilets).
On-site domestic wastewater treatment units: To AS/NZS 1546.3 (On-site domestic wastewater treatment units - Aerated wastewater treatment units).
Septic systems: To AS/NZS 1546.1 (On-site domestic wastewater treatment units - Septic tanks).
Effluent disposal: To AS 1547 (On-site domestic wastewater management).
Freshwater: To AS/NZS 3500.1 (Plumbing and Drainage - Water services) and AS/NZS 3500.4 (Plumbing and Drainage - Heated water services) or AS/NZS 3500.5.
Copper pipe: To AS 4809 (Copper pipe and fittings - Installation and commissioning).
Rainwater tanks installation: To AS/NZS 3500.1.
Polyethylene tanks: To AS/NZS 4766 (Int).
Gas: To AS 5601(Gas installation code).
Gutters & downpipes:
To comply with BCA (Volume 2) Part 3.5.2.0 & AS/NZS 3500.3 (Amdt 1 & 2) or AS/NZS 3500.5 (Amdt 1 to 4).

Electrical installations

Where a discrepancy arises the electrical consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy.
Electrical installation: To AS/NZS 3018 (Electrical installations - Domestic installations).
Circuit breakers: To AS/NZS 3947.2 (Low voltage switchgear and controlgear - Circuit-breakers).
Electrical accessories: To AS/NZS 3100.(Approval and test specification - General requirements for electrical equipment).
Luminaries: To AS 3137 (Approval and test specification - Luminaires (lighting fittings)).
Smoke detectors: Refer to "Fire Safety, Smoke Alarms"

Switchboards: To AS/NZS 3439.1 (Low-voltage switchgear and controlgear assemblies - Type-tested and partially type-tested assemblies) or AS/NZS 3439.3 (Low-voltage switchgear and controlgear - Particular requirements -), as appropriate.
Telecommunications accessories: To AS/ACIF S008 (Requirements for authorised cabling products).
Television antenna: To AS 1417.1 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 GHz - Construction and installation) and AS 1417.2 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 GHz - Performance).
Telecommunications installation: To AS/ACIF S009 (Installation Requirements for Customer Cabling (Wiring Rules))and the recommendations of SAA HB29 (Communications Cabling Manual, Module 2: Communications Cabling Handbook).
Small office/home office installations: To AS/ACIF S009 and AS/NZS 3086 (Telecommunications installations - Integrated communications cabling systems for small office/home office premises) and in accordance with the recommendations of SAA HB29. Television and audio systems: To AS/NZS 1367 (Coaxial cable systems for the distribution of analogue television and sound signals in single and multiple unit installations) and conforming to the recommendations of Digital Broadcasting Australia.
Smoke detection installation and testing: To AS 1670.1 (Fire detection, warning, control and intercom systems - System design, installation, and commissioning - Fire) in accordance with the requirements of the Building Code of Australia.
Connect smoke detectors to mains power.

Test electrical installations: To AS/NZS 3017 (Electrical installations - Testing guidelines). Certify compliance with AS/NZS 3018.
Test telecommunications cabling: To AS/NZS 3086 and the recommendations of SAA HB29. Test the cable link performance in accordance with the recommendations of SAA HB29 at the maximum frequency and data rate for the cable class, and the cable category. Certify compliance with AS/NZS 3086.
Test television and audio systems: To AS/NZS 1367. Test the complete television and audio system. Certify compliance with AS/NZ

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A459587_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au.

Secretary
Date of issue: Friday, 10, June 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Thomas Residence - Allambie Heights_03
Street address	6 Coolalie Place Allambie Heights 2100
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 223822
Lot number	29
Section number	-
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	buckandsimple
ABN (if applicable):	96408653621

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)		
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		
floor above existing dwelling or building.	nil		
external wall: cavity brick	nil		
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	dark (solar absorptance > 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Windows and glazed doors					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓		
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓		
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓		
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓		
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓		
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓		
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓		
Windows and glazed doors glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m) Shading device Frame and glass type		
WL01	S	1600	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
WG01	N	1.5	3.5 3.5	none	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type			
WG.02	N	1.5	3.5 3.5	none	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)			
WG.03	N	1.5	3.5 3.5	none	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)			
WG.04	E	4.5	2 0.5	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG.05	S	3	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG.06	E	5.1	0 0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG.07	E	6.3	16 8	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG.08	S	1.8	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG.09	S	1.8	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG.10	S	1	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG.11	W	2.8	17 8	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG.12	N	1.2	0 0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG.13	W	9.7	17 8	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
WG.14	W	0.5	17 8	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type			
WG.15	W	0.5	17 8	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.01	N	0.4	0 0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.02	N	0.8	0 0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.03	N	0.4	0 0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.04	N	1.2	0 0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.05	N	1.2	0 0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.06	N	1.2	0 0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.07	E	6.6	0 0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.08	S	3	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.09	E	3.9	8 9	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.10	E	3.9	8 9	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.11	S	1.8	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.12	S	0.6	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type			
W1.13	S	1.8	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.14	W	4.5	14 8	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.15	W	5	0 0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.16	W	2.7	0 0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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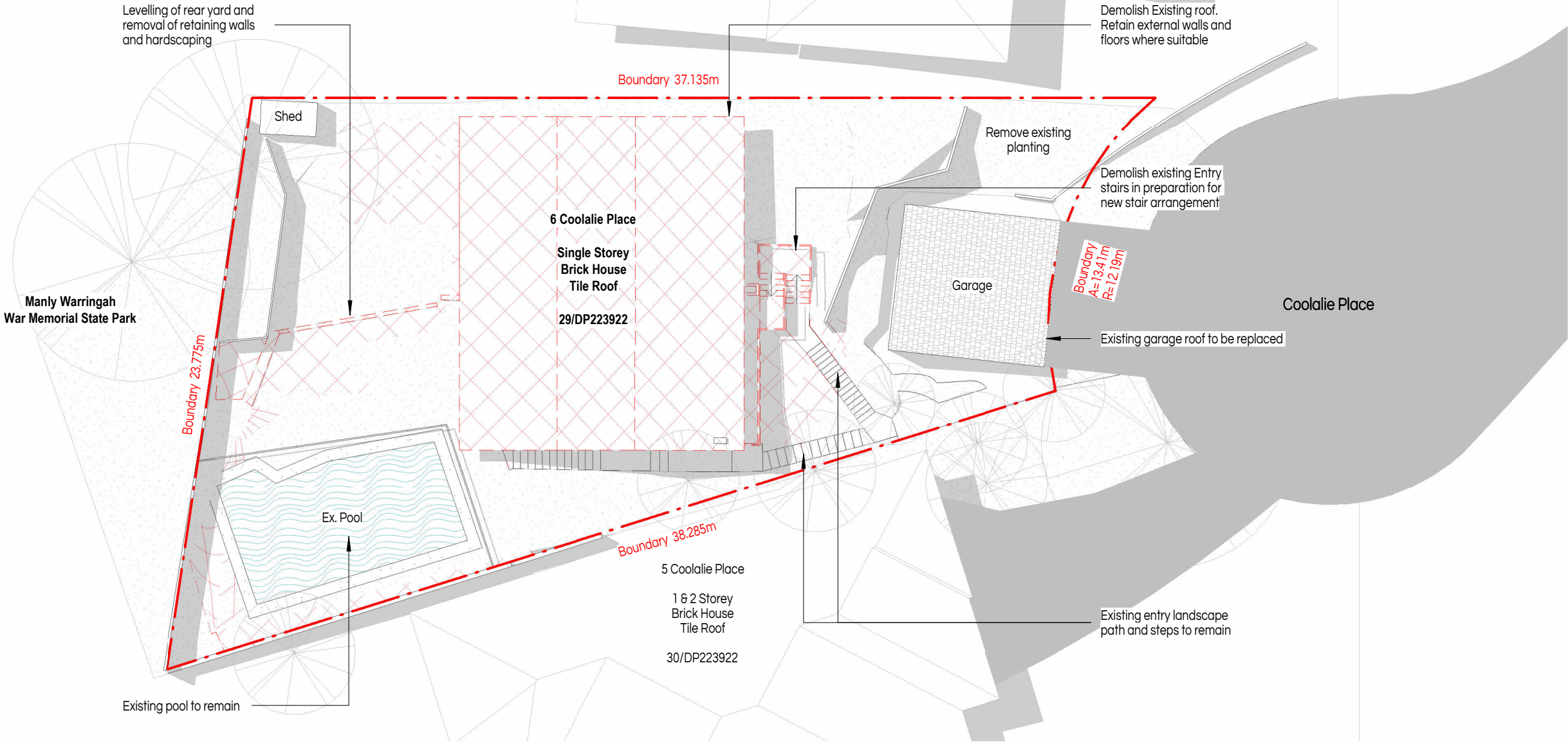
Contact: info@buckandsimple.com
ABN : 86 106 604 025
NSW #8631 VIC #19664
www.buckandsimple.com
Development Application

No.	Description	Date
1	Issue for DA	16.08.2022
2	Issue for DA	16.12.2022

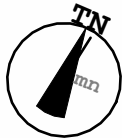
Project 6 Coolalie Place
Location 6 Coolalie Place, Alambie Heights NSW 2100
Client Ryan & Nicole Thomas
Drawing BASIX Commitments

Scale @ A3	Drawn by BS	Checked by BS
Project Issue Date Issue Date	Sheet Issue Date 16.12.2022	
Project number 1228	Drawing # D002	Revision 2

- Key:**
- Existing building fabric to be demolished
 - Existing building fabric to remain (cut)
 - Existing area - No works proposed
 - Ground plane and soft landscaping (cut)
 - Site Boundary



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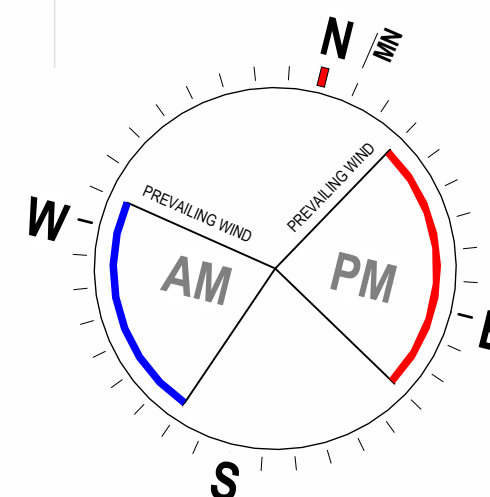
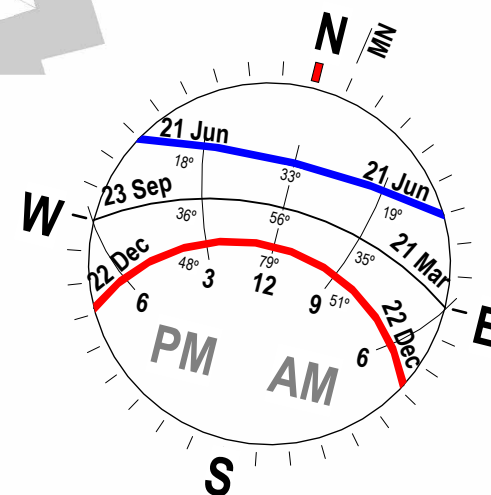
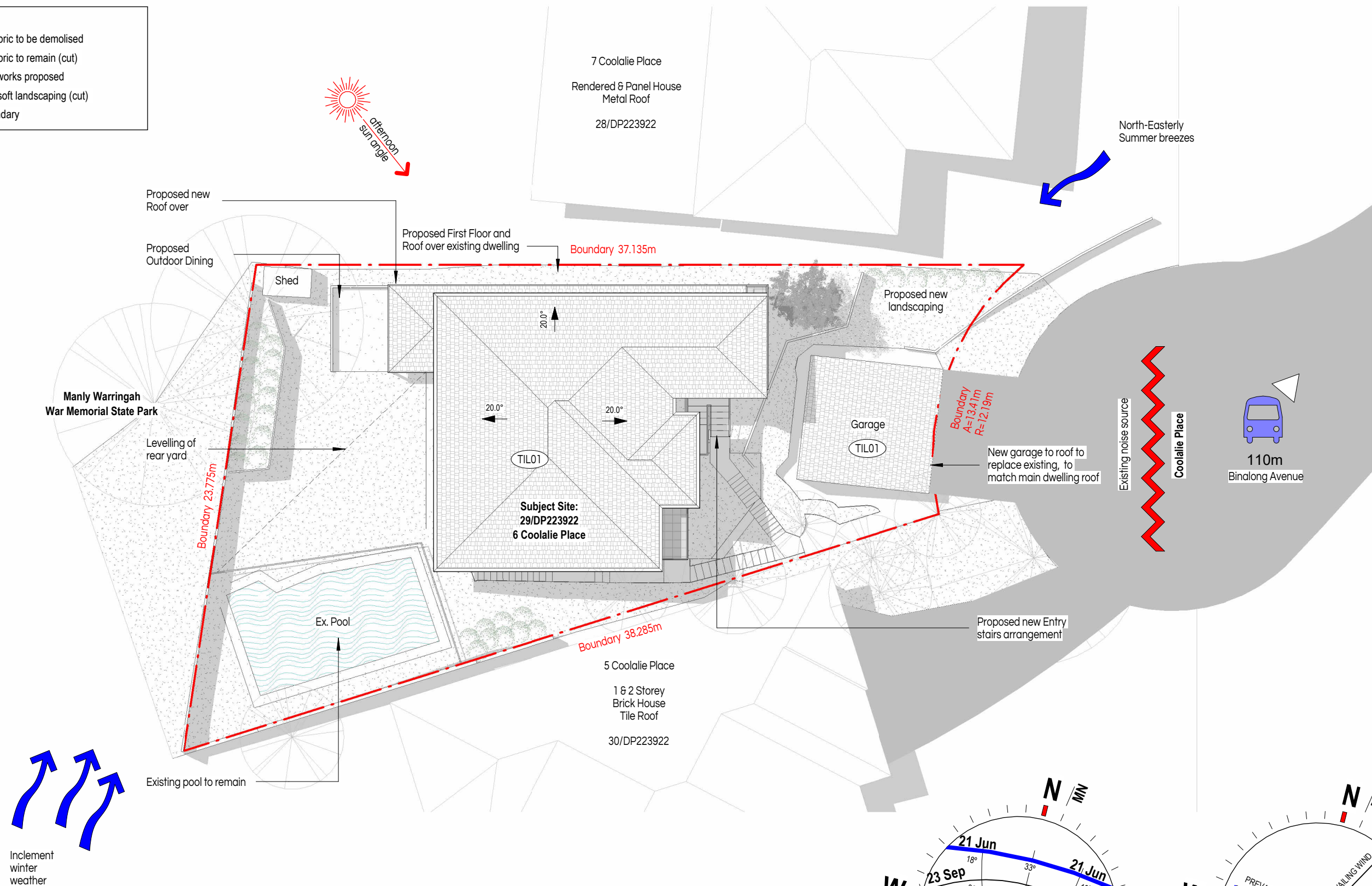
Contact: info@buckandsimple.com
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Development Application

No.	Description	Date
1	Issue for DA	16.08.2022
2	Issue for DA	16.12.2022

Project	6 Coolalie Place
Location	6 Coolalie Place, Alambie Heights NSW 2100
Client	Ryan & Nicole Thomas
Drawing	Site Layout - Existing & Demolished

Scale @ A3	As indicated	Drawn by	BS	Checked by	BS
Project Issue Date	Issue Date	Sheet Issue Date	16.12.2022		
Project number	Drawing #	Revision	1228	D010	2

 - Existing building fabric to be demolished
 - Existing building fabric to remain (cut)
 - Existing area - No works proposed
 - Ground plane and soft landscaping (cut)
 - Site Boundary

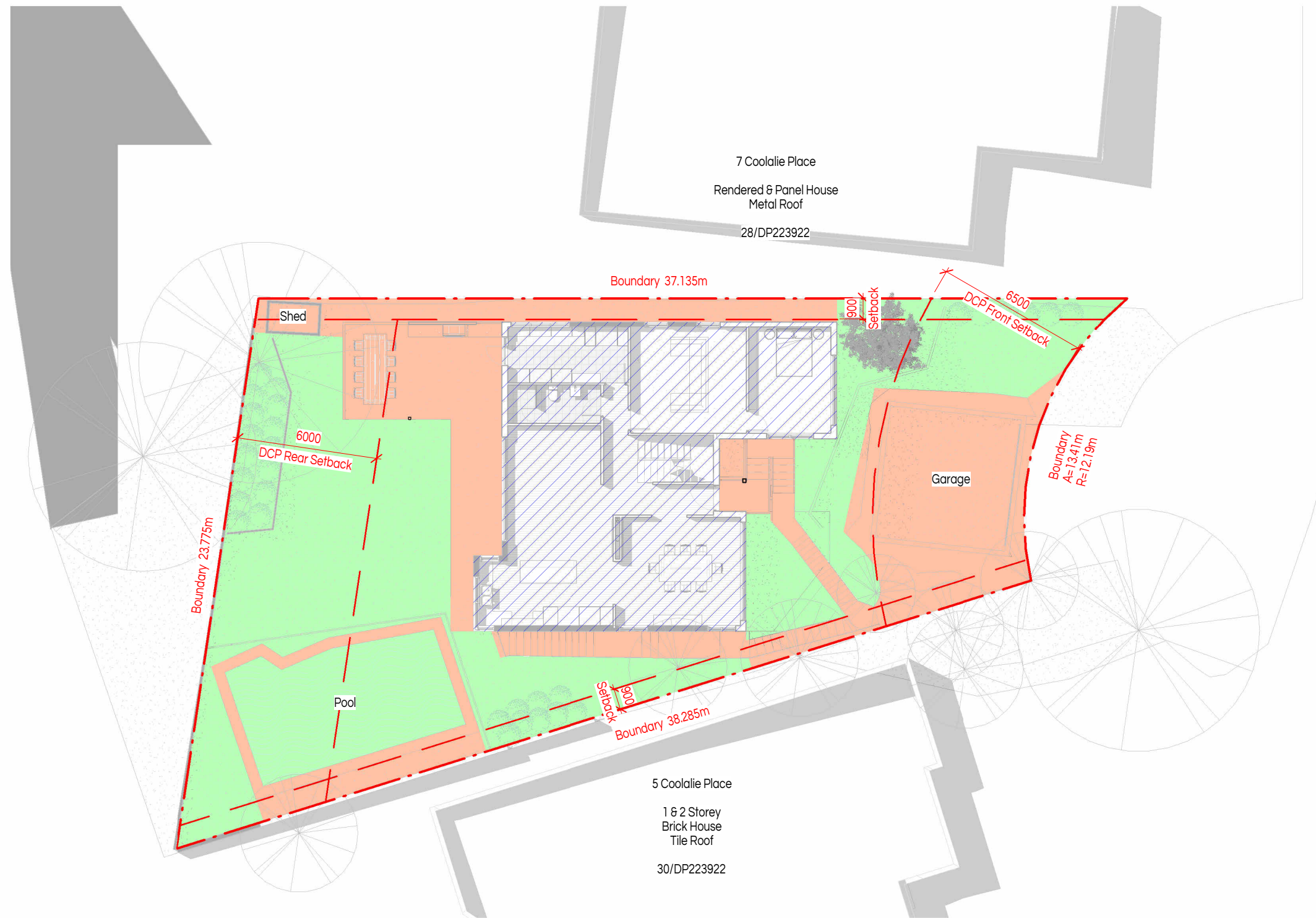


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General Notes		No.	Description	Date	Project 6 Coolalie Place	Scale @ A3 As indicated	Drawn by BS	Checked by BS
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		2	Issue for DA	16.12.2022	Client Ryan & Nicole Thomas	Project number 1228	Drawing # D011	Revision 2
					Drawing Site Layout & Site Analysis - Proposed			

16/12/2022 11:41:44 AM



1 Compliance Plan
1:200

Legend		Calculation		D1 - Landscaped Open Space and Bushland Setting - Warringah DCP 2011	
	Soft Landscaping	267 m ²	43 %	Required Landscaped Open Space and Bushland Setting = 40% (247m ²) Proposed: 43% (267m ²)	YES
	Hard Landscaping	193 m ²	31 %		
	Site Coverage	158 m ²	26 %		
	Site Area	618 m ²			



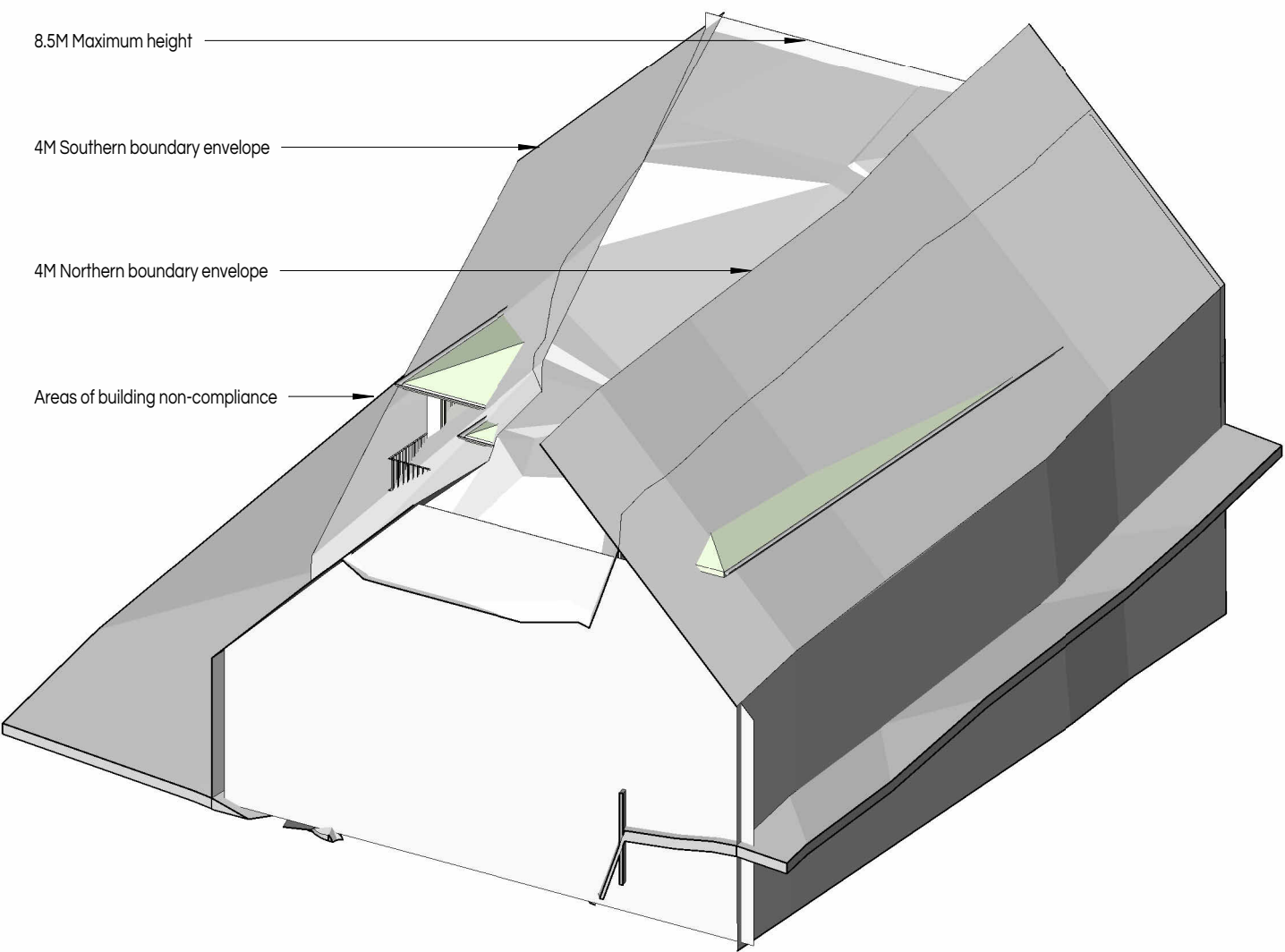
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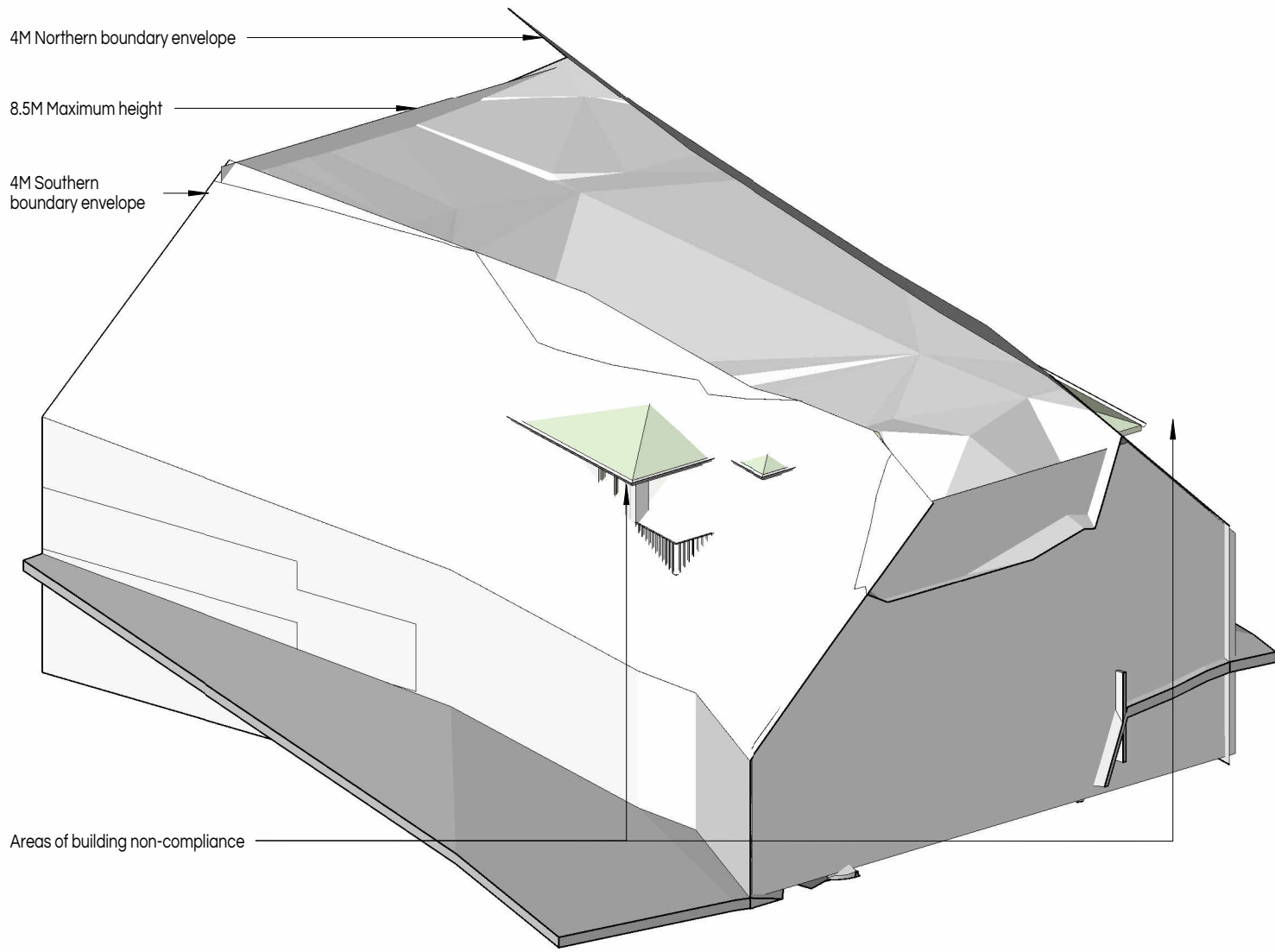
No.	Description	Date
1	Issue for DA	16.08.2022
2	Issue for DA	16.12.2022

Project 6 Coolalie Place
Location 6 Coolalie Place, Alambie Heights NSW 2100
Client Ryan & Nicole Thomas
Drawing Compliance Plan

Scale @ A3 As indicated	Drawn by BS	Checked by BS
Project Issue Date Issue Date	Sheet Issue Date 16.12.2022	
Project number 1228	Drawing # D050	Revision 2

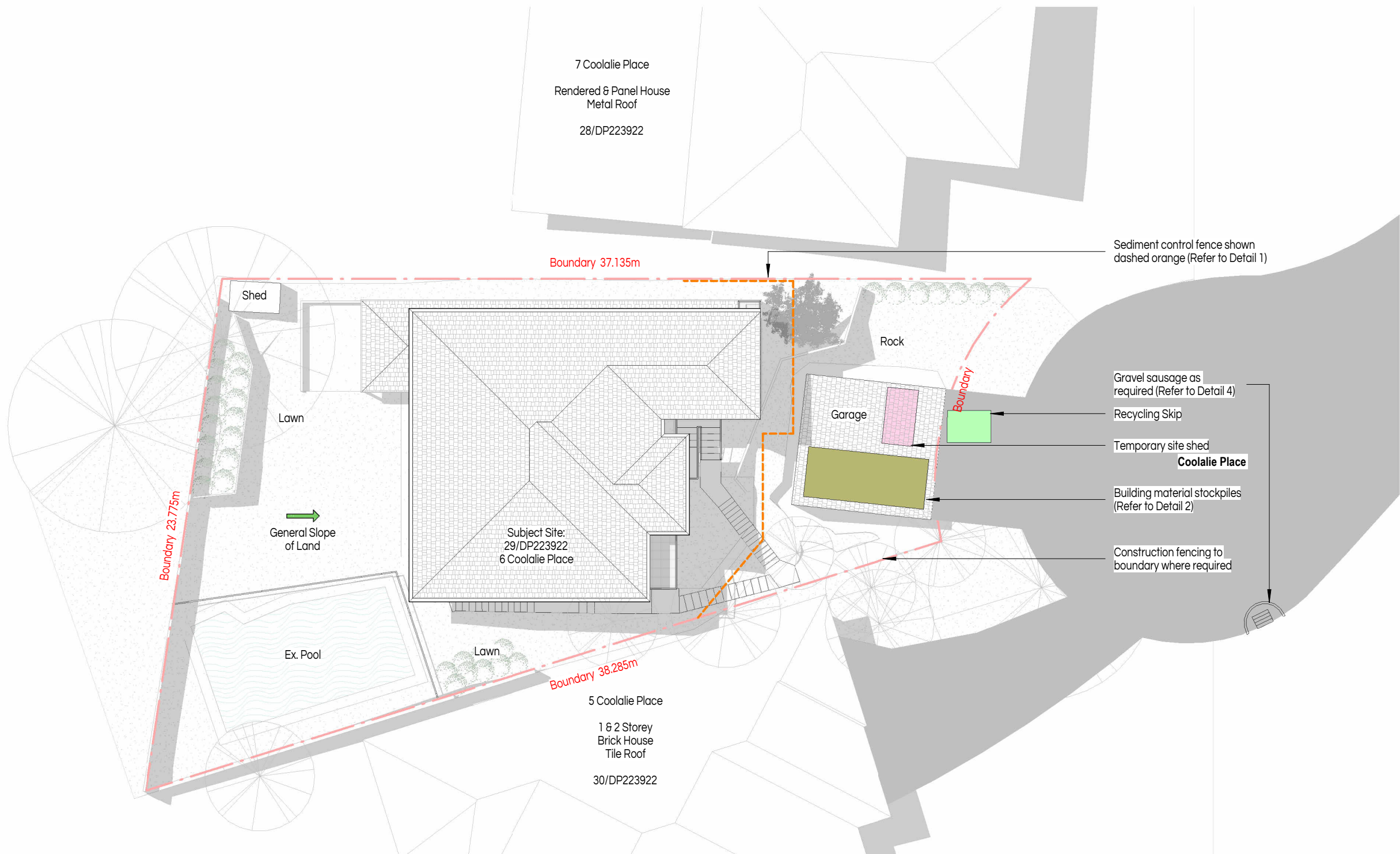


1 Perspective - Side Building Envelope Non-Compliance - North East View

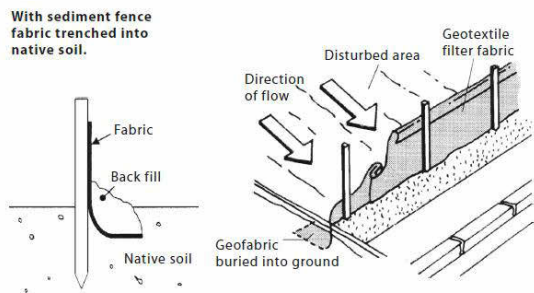


2 Perspective - Side Building Envelope Non-Compliance - South East View

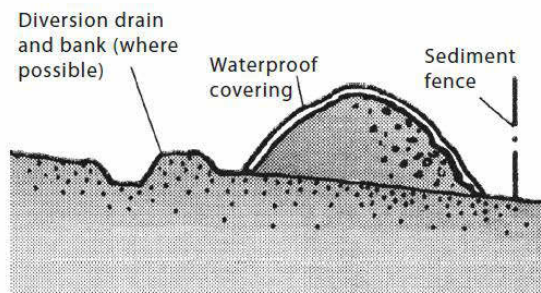
General Notes				No. Description Date		Project		Scale @ A3		Drawn by		Checked by	
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				2 Issue for DA		16.12.2022		Location				Sheet Issue Date	
								6 Coolalie Place, Alambie Heights NSW 2100		Issue Date		16.12.2022	
								Client				Revision	
						Ryan & Nicole Thomas		Project number		Drawing #		2	
						Drawing		1228		D051			
						Compliance - Side Boundary Envelope							



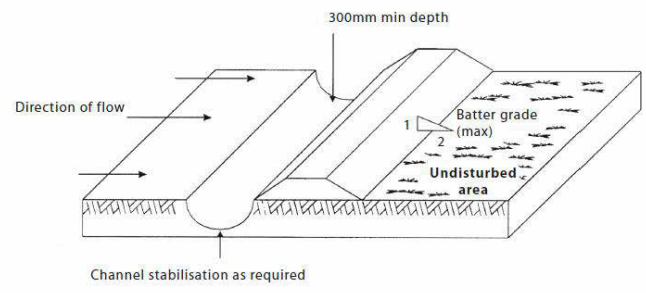
Note:
Gravel sausage to be used if there is any evidence of untreated runoff entering nearby stormwater inlets during construction (Refer to Detail 4)



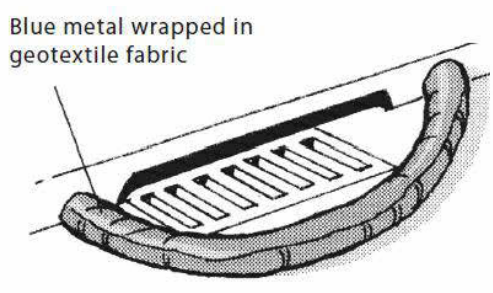
Detail 1 - Sediment Control Fence



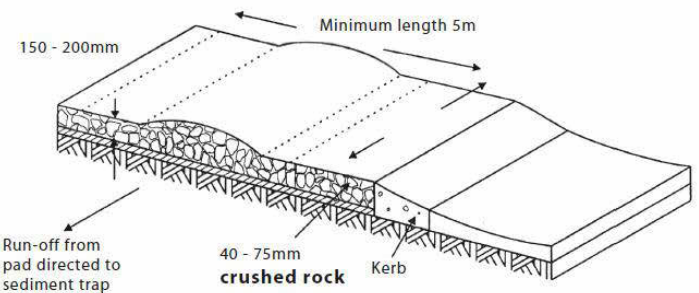
Detail 2 - Building Material Stockpiles



Detail 3 - Diversion Drain



Detail 4 - Gravel Sausage



Detail 5 - Stabilised Channel

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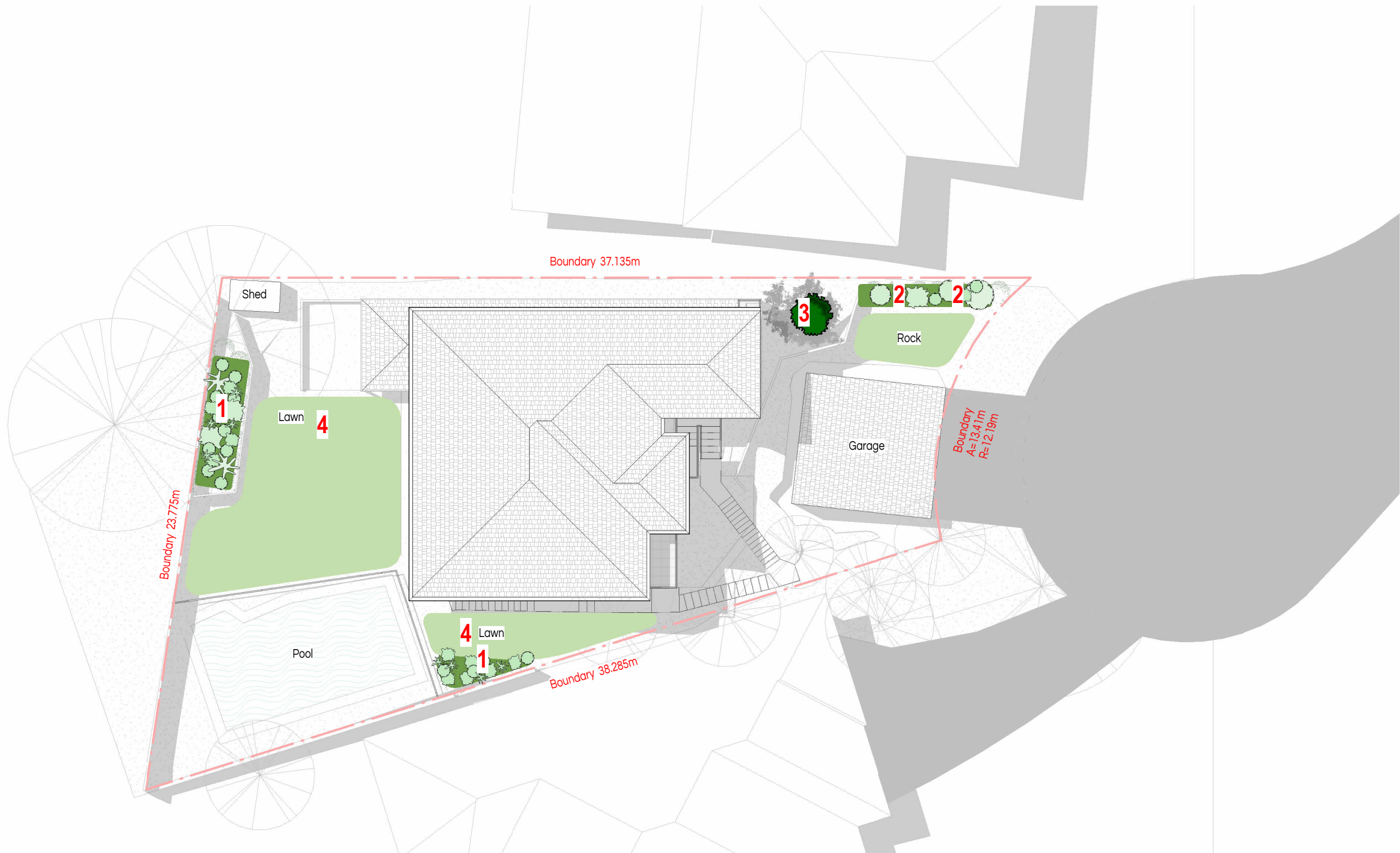
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Development Application

No.	Description	Date
1	Issue for DA	16.08.2022
2	Issue for DA	16.12.2022

Project	6 Coolalie Place
Location	6 Coolalie Place, Alambie Heights NSW 2100
Client	Ryan & Nicole Thomas
Drawing	Erosion, Sediment, Stormwater Control & Waste Management Plan

Scale @ A3	As indicated	Drawn by	BS	Checked by	BS
Project Issue Date	Issue Date	Sheet Issue Date	16.12.2022		
Project number	Drawing #	Revision	1228	D060	2



1)
Native Grasses (0.5-0.9m):
Mix of Poa Poiformis (left)
Lomandra Tanika (middle)
Lomandra Longifolia
(right), or similar



2)
Native Shurbs (1.5m):
Mix of Correa Alba (left),
Westringia Fruticosa
(right) or similar



3)
Native Feature Trees (3-4m):
Eucalyptus Pauciflora (left):
Banksia integrifolia (Coastal
Banksia) (right)



4)
Buffalo grass or
similar



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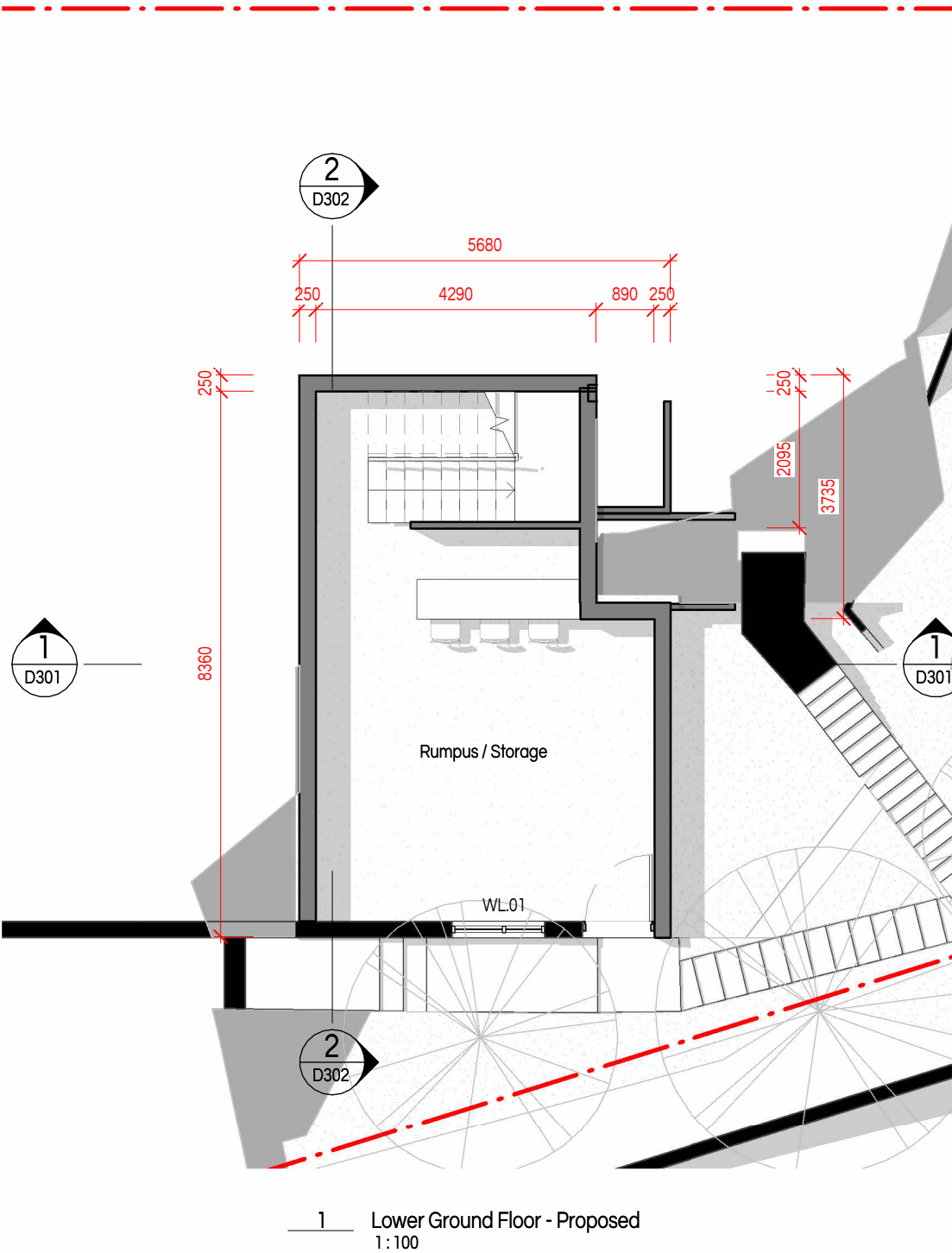
Development Application

No.	Description	Date
1	Issue for DA	16.08.2022
2	Issue for DA	16.12.2022

Project 6 Coolalie Place
Location 6 Coolalie Place, Alambie Heights NSW 2100
Client Ryan & Nicole Thomas
Drawing Landscape Plan

Scale @ A3 As indicated	Drawn by BS	Checked by BS
Project Issue Date Issue Date	Sheet Issue Date 16.12.2022	
Project number 1228	Drawing # D070	Revision 2

- Key:**
- Existing building fabric to be demolished
 - Existing building fabric to remain (cut)
 - Existing area - No works proposed
 - Ground plane and soft landscaping (cut)
 - Site Boundary



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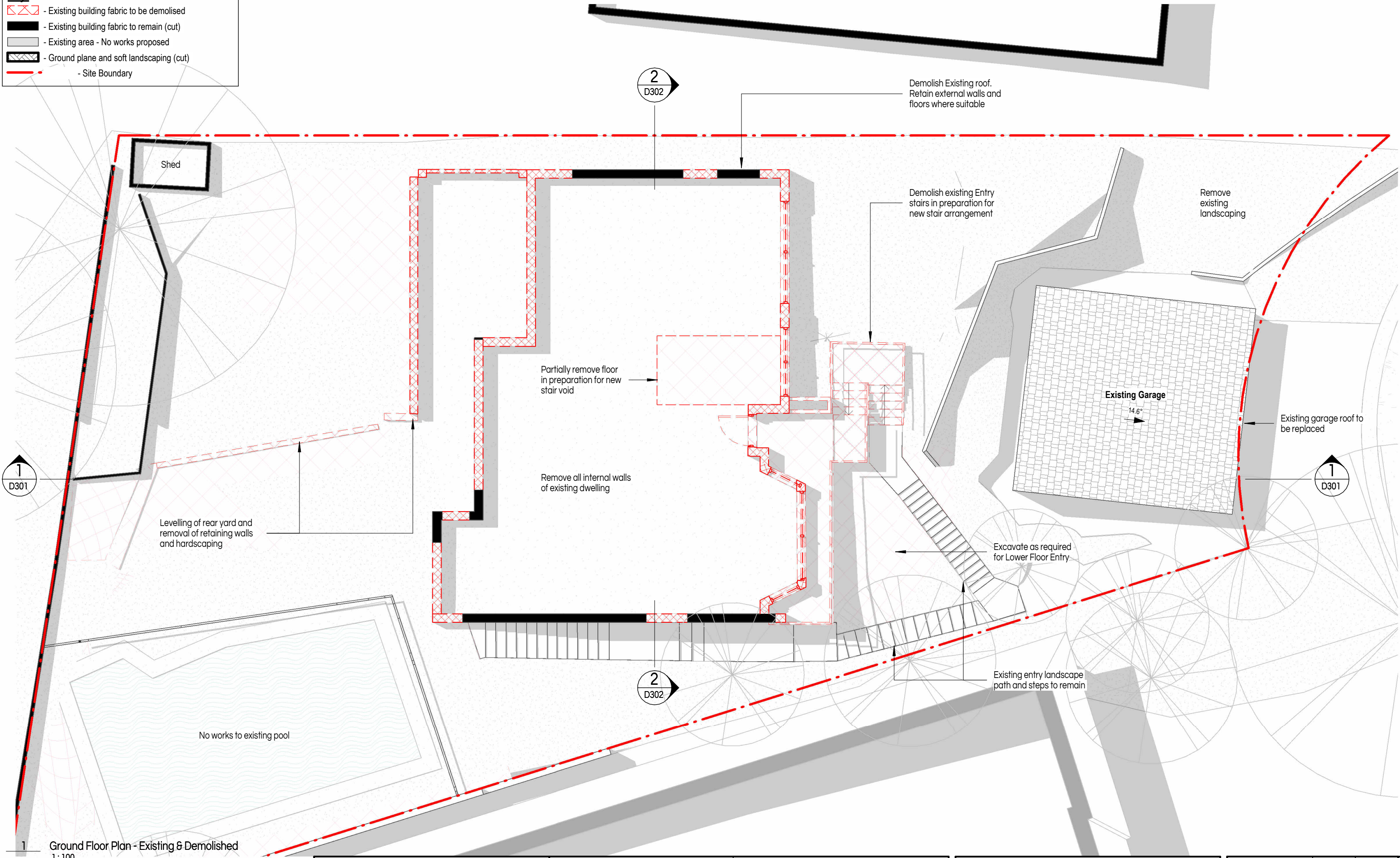
No.	Description	Date
1	Issue for DA	16.08.2022
2	Issue for DA	16.12.2022

Project	6 Coolalie Place
Location	6 Coolalie Place, Alambie Heights NSW 2100
Client	Ryan & Nicole Thomas
Drawing	Lower Ground Floor Plan - Proposed

Scale @ A3	1 : 100	Drawn by	BS	Checked by	BS
Project Issue Date	Issue Date	Sheet Issue Date	16.12.2022		
Project number	1228	Drawing #	D100	Revision	2

Key:

- Existing building fabric to be demolished
- Existing building fabric to remain (cut)
- Existing area - No works proposed
- Ground plane and soft landscaping (cut)
- Site Boundary



1 Ground Floor Plan - Existing & Demolished
1 : 100

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Development Application

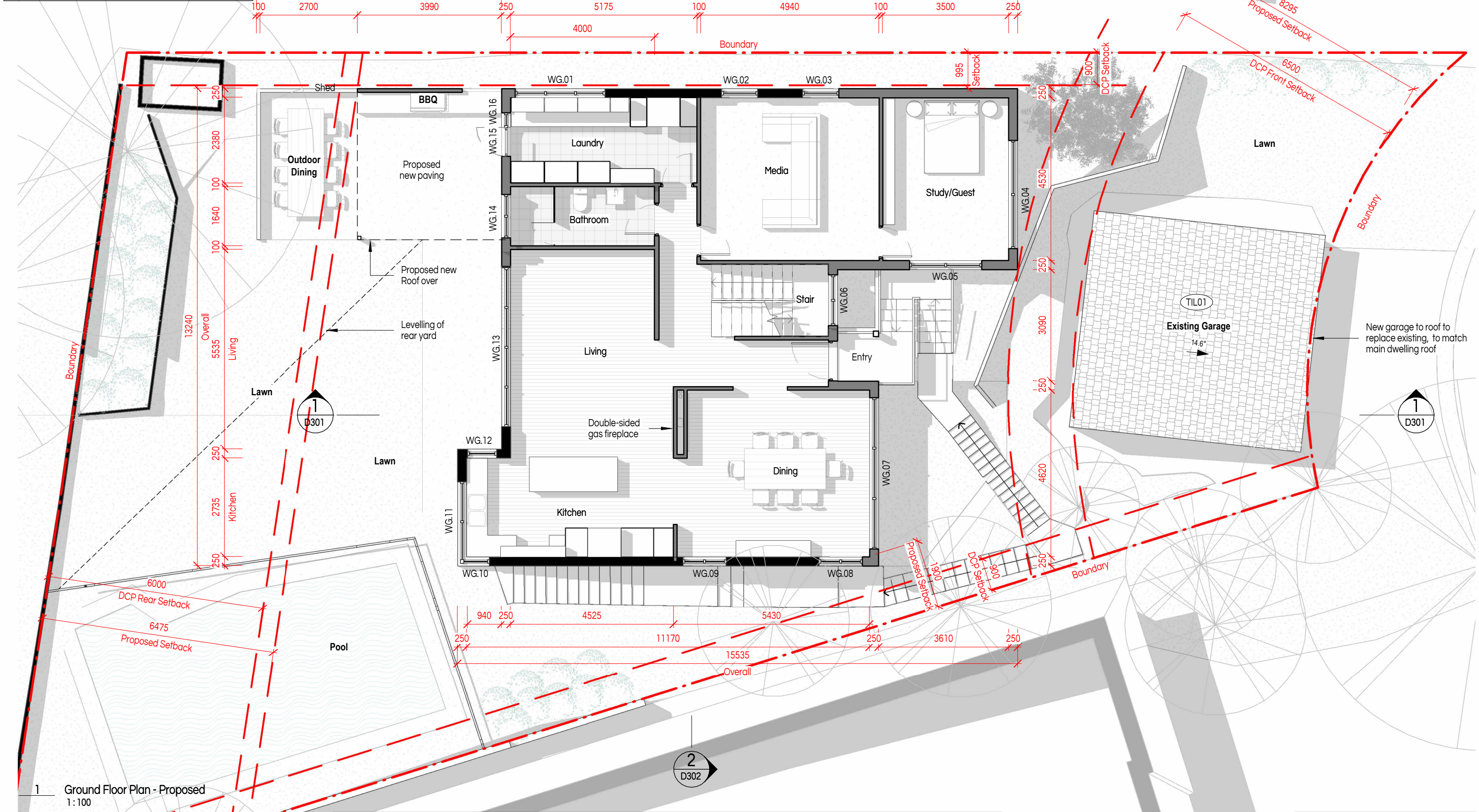
No.	Description	Date
1	Issue for DA	16.08.2022
2	Issue for DA	16.12.2022

Project 6 Coolalie Place
Location 6 Coolalie Place, Alambie Heights NSW 2100
Client Ryan & Nicole Thomas
Drawing Ground Floor Plan - Existing & Demolition

Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date Issue Date	Sheet Issue Date 16.12.2022	
Project number 1228	Drawing # D101	Revision 2

Key:

- Existing building fabric to be demolished
- Existing building fabric to remain (cut)
- Existing area - No works proposed
- Ground plane and soft landscaping (cut)
- Site Boundary



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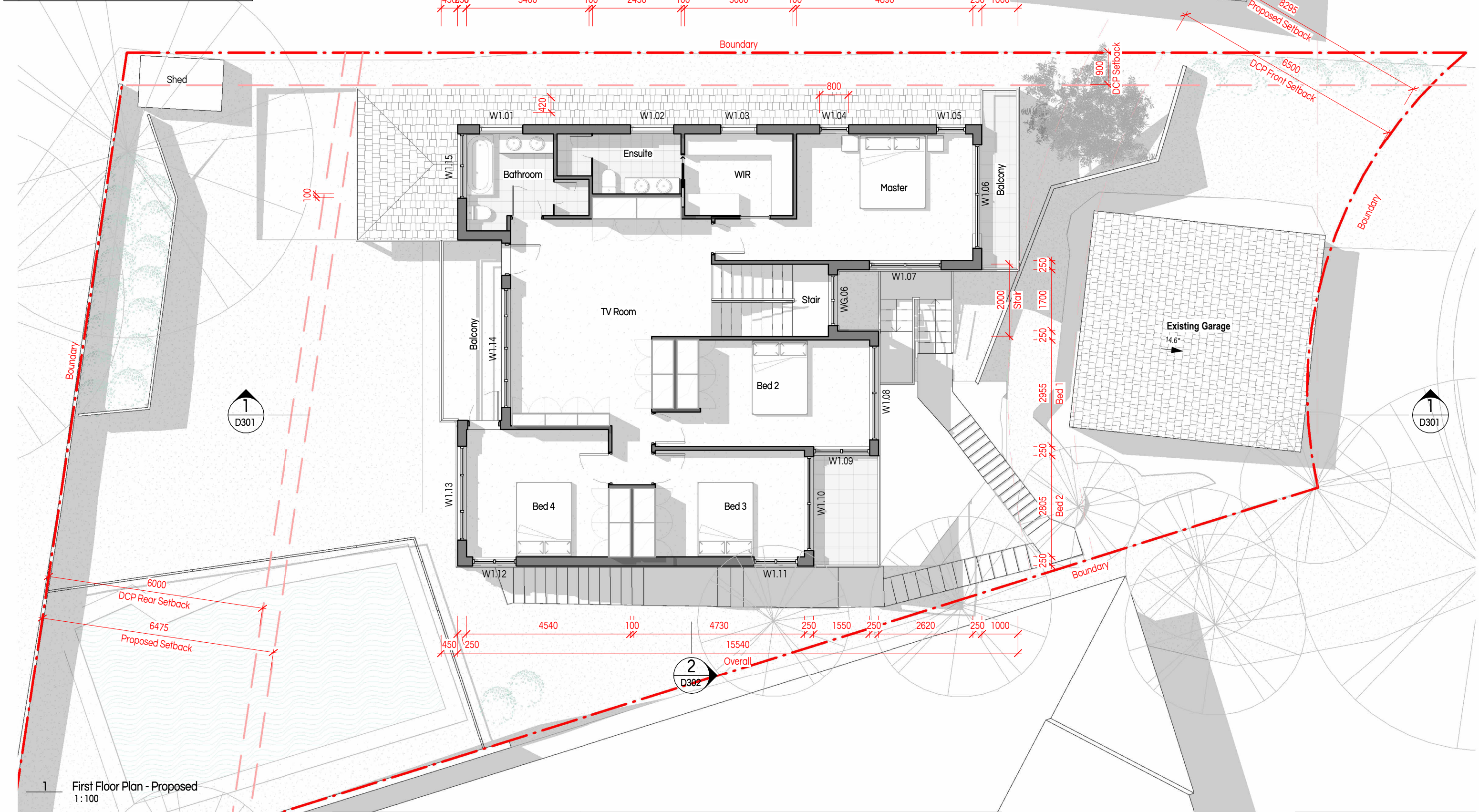
No.	Description	Date
1	Issue for DA	16.08.2022
2	Issue for DA	16.12.2022

Project	6 Coolalie Place
Location	6 Coolalie Place, Alambie Heights NSW 2100
Client	Ryan & Nicole Thomas
Drawing	Ground Floor Plan - Proposed

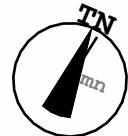
Scale @ A3	1 : 100	Drawn by	BS	Checked by	BS
Project Issue Date	Issue Date	Sheet Issue Date	16.12.2022		
Project number	Drawing #	Revision	1228	D102	2

Key:

- Existing building fabric to be demolished
- Existing building fabric to remain (cut)
- Existing area - No works proposed
- Ground plane and soft landscaping (cut)
- Site Boundary



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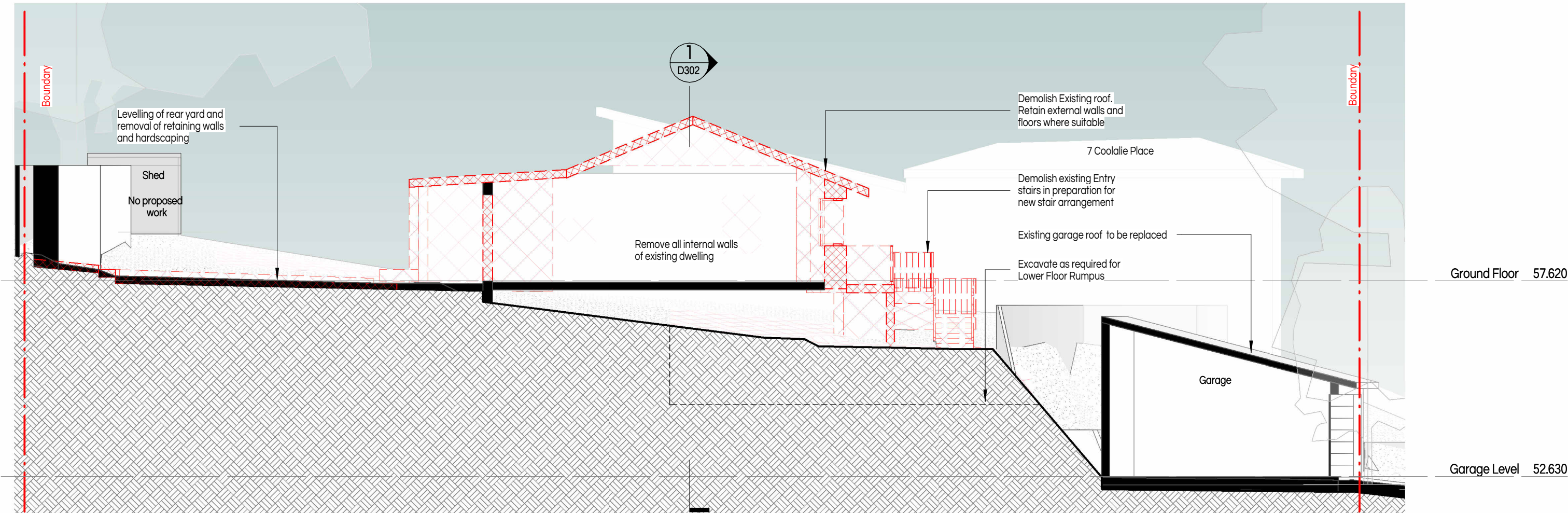
Contact: info@buckandsimple.com
ABN : 86 106 604 025
NSW #8631 VIC #19664
www.buckandsimple.com
Development Application

No.	Description	Date
1	Issue for DA	16.08.2022
2	Issue for DA	16.12.2022

Project	6 Coolalie Place
Location	6 Coolalie Place, Alambie Heights NSW 2100
Client	Ryan & Nicole Thomas
Drawing	First Floor Plan - Proposed

Scale @ A3	1 : 100	Drawn by	BS	Checked by	BS
Project Issue Date	Issue Date	Sheet Issue Date	16.12.2022		
Project number	Drawing #	Revision	1228	D103	2

- Key:**
- Existing building fabric to be demolished
 - Existing building fabric to remain (cut)
 - Existing area - No works proposed
 - Ground plane and soft landscaping (cut)
 - Site Boundary

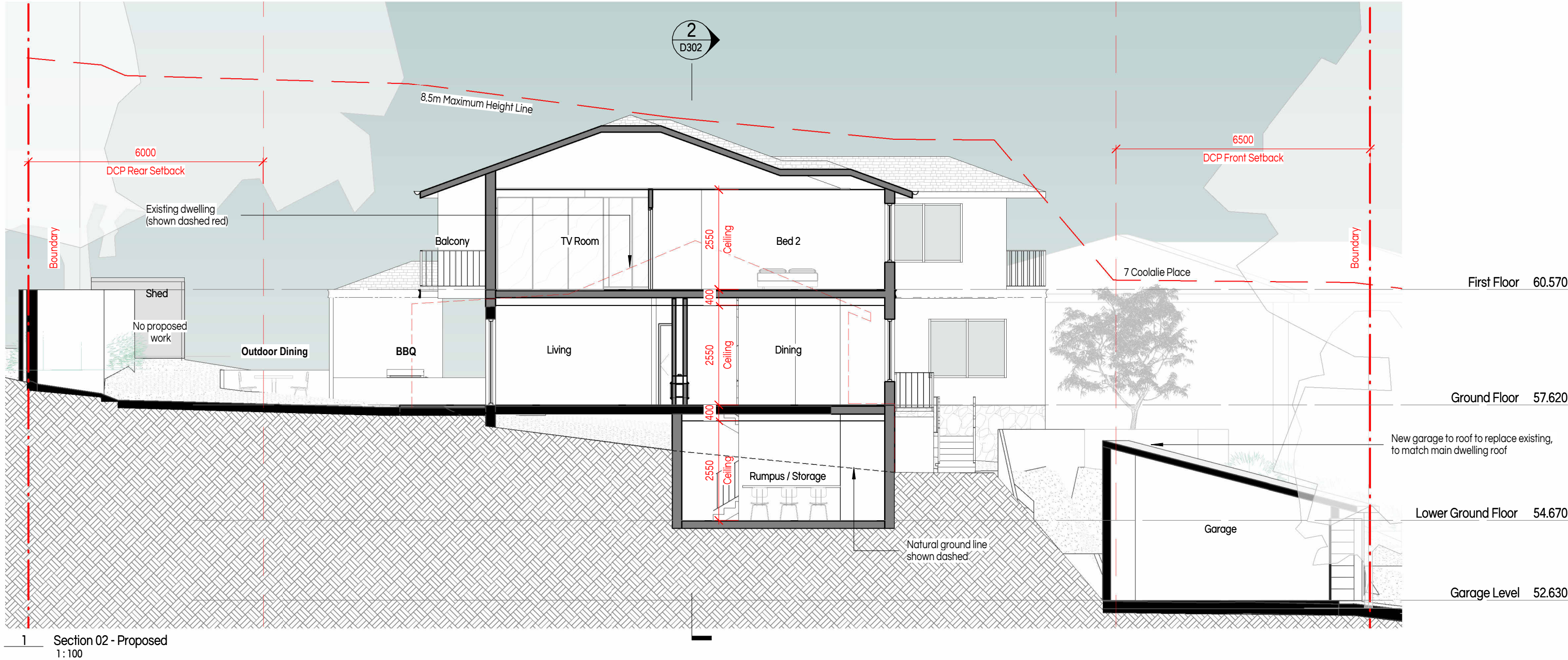


1 Section 01 - Existing & Demolition
1:100

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General Notes		Project		Scale @ A3		Drawn by		Checked by	
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		ABN : 86 106 604 025		Project Issue Date		Sheet Issue Date			
		NSW #8631 VIC #19664		Issue Date		16.12.2022			
		www.buckandsimple.com		Project number		Drawing #		Revision	
		Development Application		1228		D300		2	
		No. Description		Date		6 Coolalie Place			
		1 Issue for DA		16.08.2022		Location			
		2 Issue for DA		16.12.2022		6 Coolalie Place, Alambie Heights NSW 2100			
						Client			
						Ryan & Nicole Thomas			
						Drawing			
						Sections			

- Key:**
- Existing building fabric to be demolished
 - Existing building fabric to remain (cut)
 - Existing area - No works proposed
 - Ground plane and soft landscaping (cut)
 - Site Boundary



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General Notes				No. Description		Date		Project			Scale @ A3		Drawn by		Checked by	
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				2 Issue for DA		16.12.2022		Location			Project Issue Date		Sheet Issue Date			
								6 Coolalie Place, Alambie Heights NSW 2100			Issue Date		16.12.2022			
										Client			Project number		Drawing #	
								Ryan & Nicole Thomas			1228		D301		2	
		Development Application						Drawing								
								Sections								

Boundary

1
D300

Existing dwell (shown dashed)

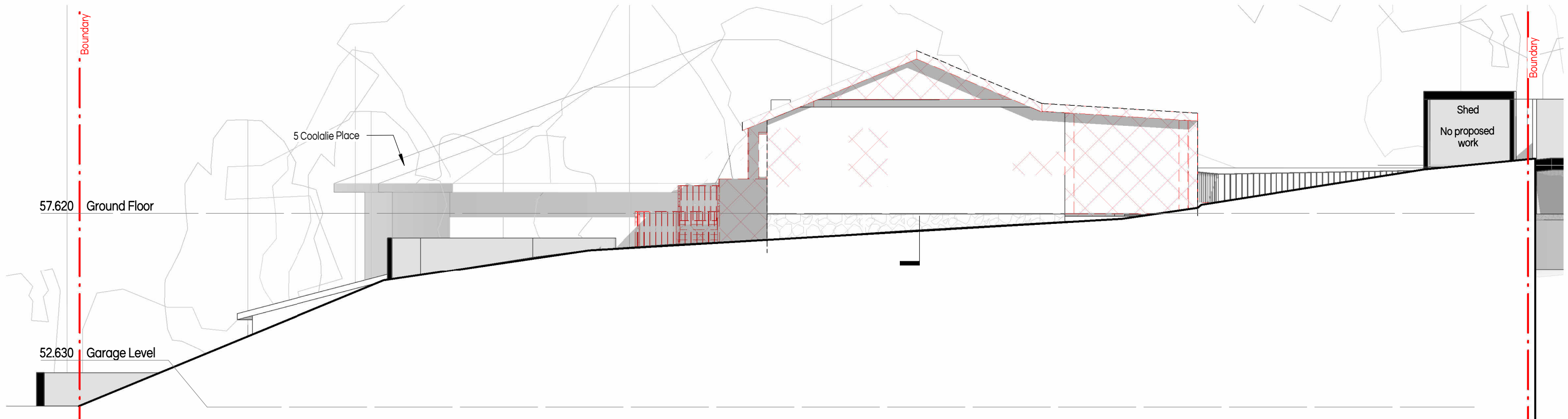
Ground Floor 57.620

Garage Level 52.630

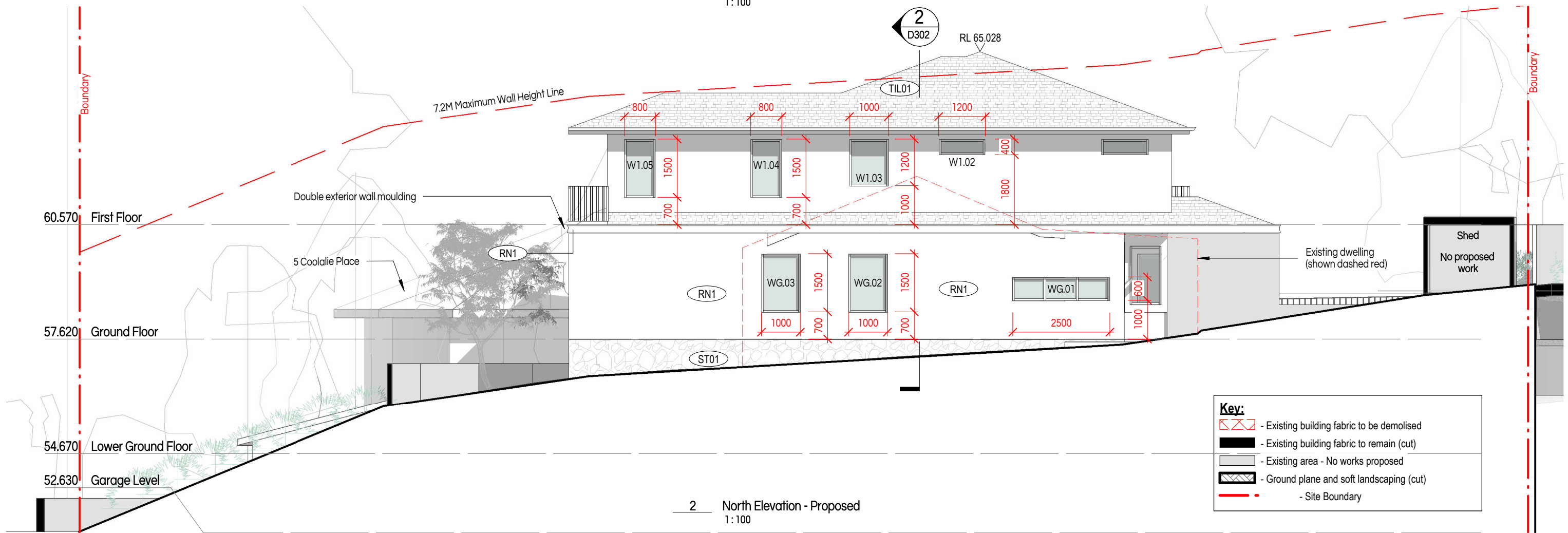
This architectural section drawing illustrates a three-story residential building with a gabled roof. The building is situated on a sloping site, with the natural ground line indicated by a dashed line. The drawing includes the following details:

- Setbacks and Boundaries:**
 - Left setbacks: 995 (Setback) and 900 (DCP Setback).
 - Right setbacks: 3270 (Setback).
 - Boundary lines are marked on both sides.
 - An 8.5m Maximum Height Line is shown at the top.
 - 45.00° slope angles are indicated on the left and right sides.
- Floor Levels:**
 - First Floor: 60.570
 - Ground Floor: 57.620
 - Lower Ground Floor: 54.670
 - Garage Level: 52.630
- Internal Layout and Dimensions:**
 - First Floor:** Includes a WIR (Walk-in Robe), TV Room, Bed 2, and Bed 3. Room heights are 2550 (Ceiling) for the TV Room and 400 for the bedrooms.
 - Ground Floor:** Includes a Laundry, a central staircase, and a Dining area. Room heights are 2550 (Ceiling) for the Dining area and 400 for the central area.
 - Lower Ground Floor:** Includes a Rumpus / Storage area with a height of 2550 (Ceiling).
 - Overall building envelope heights are marked as 4000 on both the left and right sides.
- Other Features:**
 - A circular feature labeled D301 is located above the roofline.
 - The natural ground line is shown as a dashed line.

16/12/2022 11:42:33 AM



1 North Elevation - Existing & Demolition
1:100



2 North Elevation - Proposed
1:100

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Development Application

No. Description

1 Issue for DA
2 Issue for DA

Date

16.08.2022
16.12.2022

Project

6 Coolalie Place

Location

6 Coolalie Place, Alambie Heights NSW 2100

Client

Ryan & Nicole Thomas

Drawing

North Elevations - Existing, Demo & Proposed

Scale @ A3

1:100

Project Issue Date

Issue Date

Project number

1228

Drawn by

BS

Sheet Issue Date

16.12.2022

Drawing #

D400

Checked by

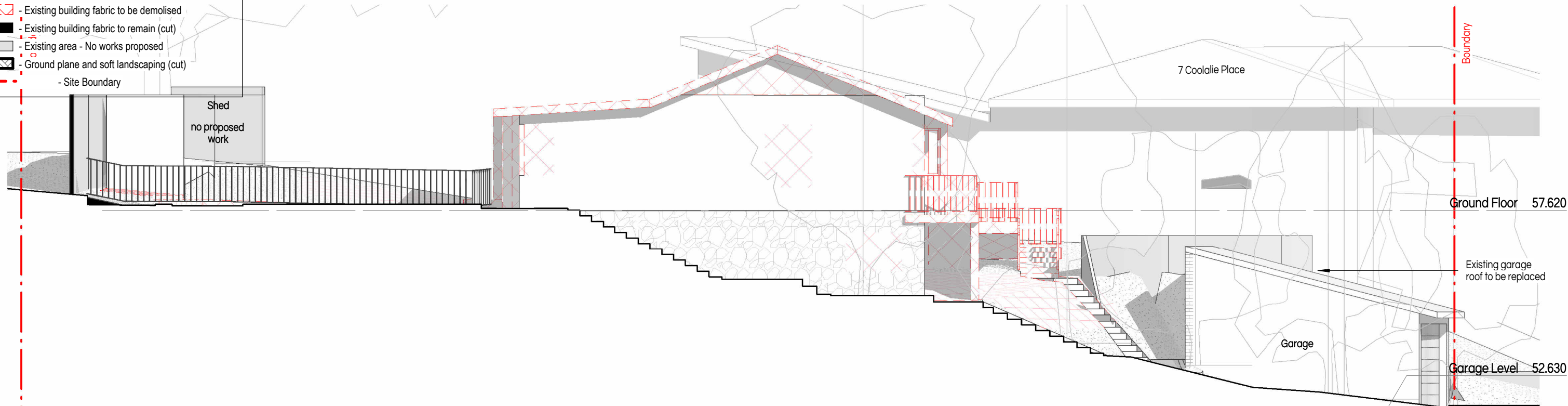
BS

Revision

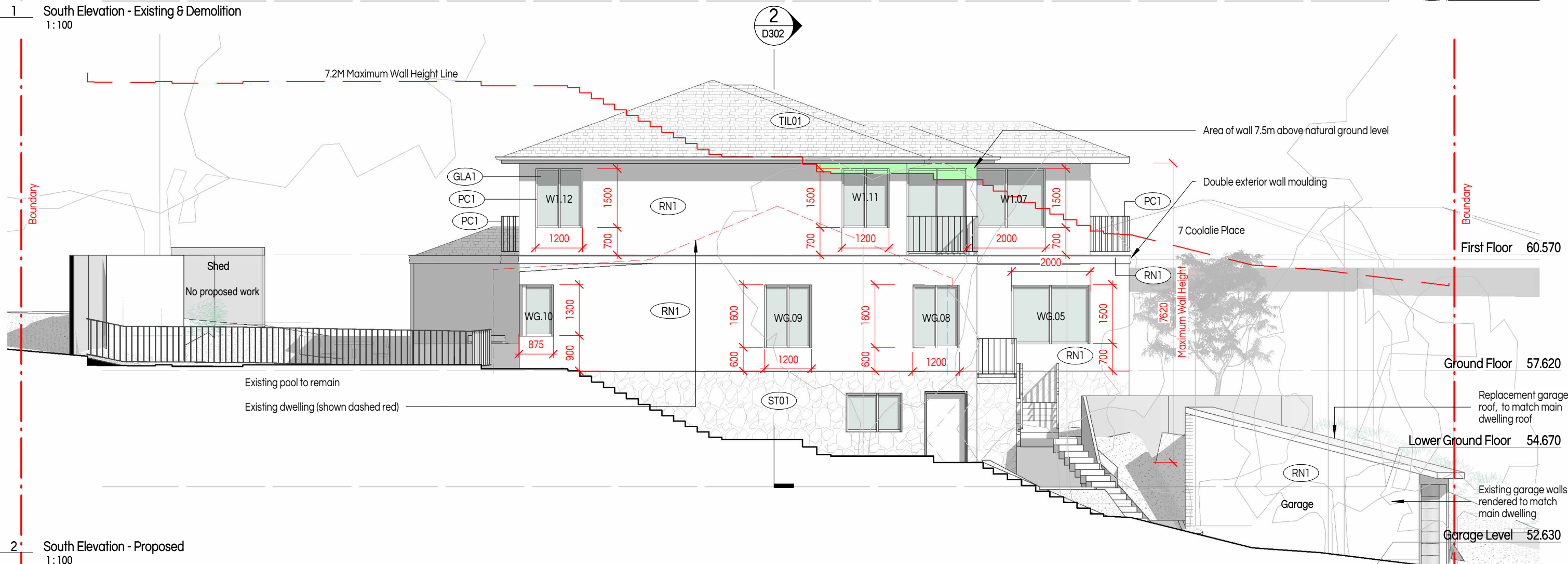
2

Key:

- Existing building fabric to be demolished
- Existing building fabric to remain (cut)
- Existing area - No works proposed
- Ground plane and soft landscaping (cut)
- Site Boundary








1 South Elevation - Existing & Demolition
1:100

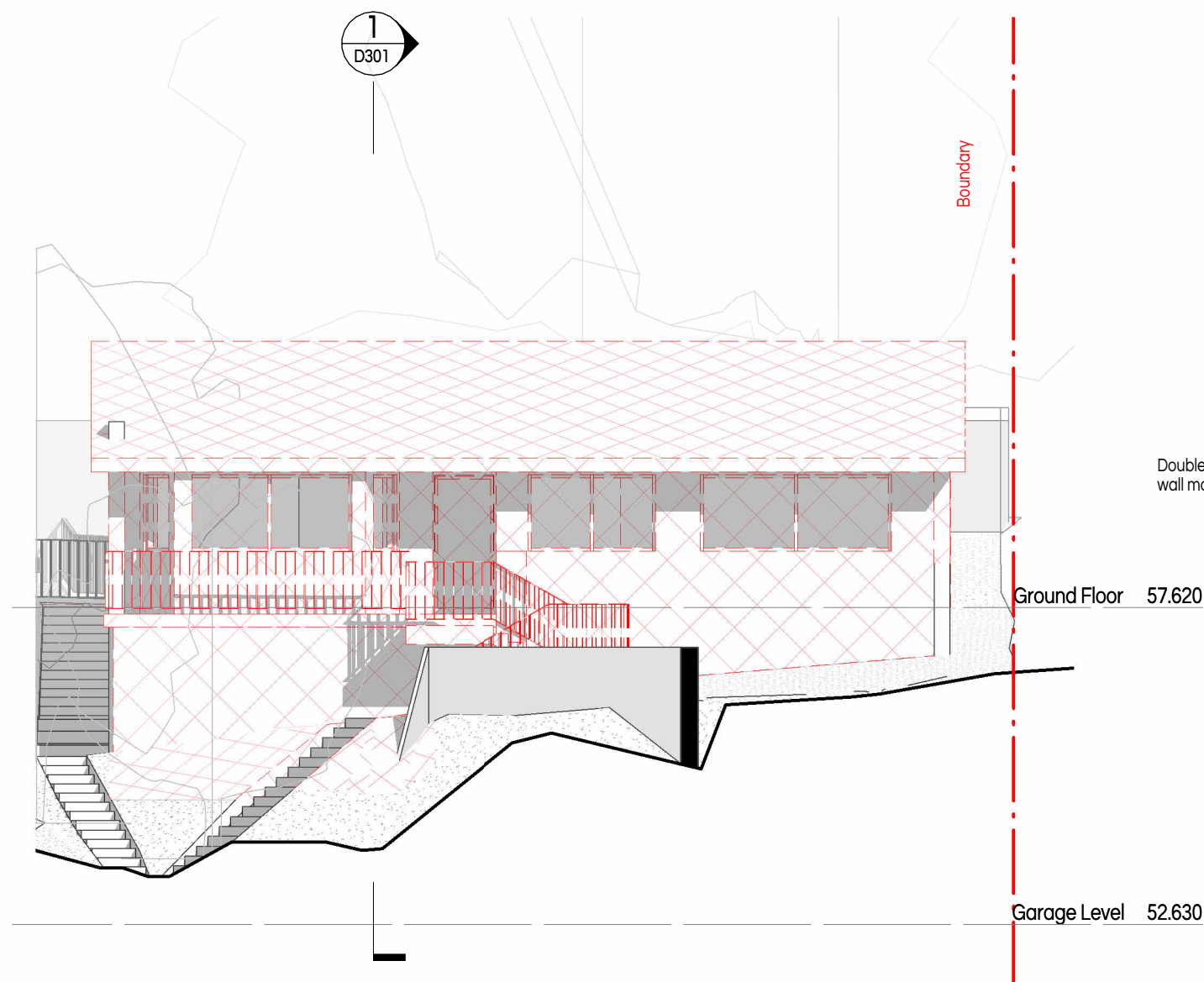


2 South Elevation - Proposed
1:100

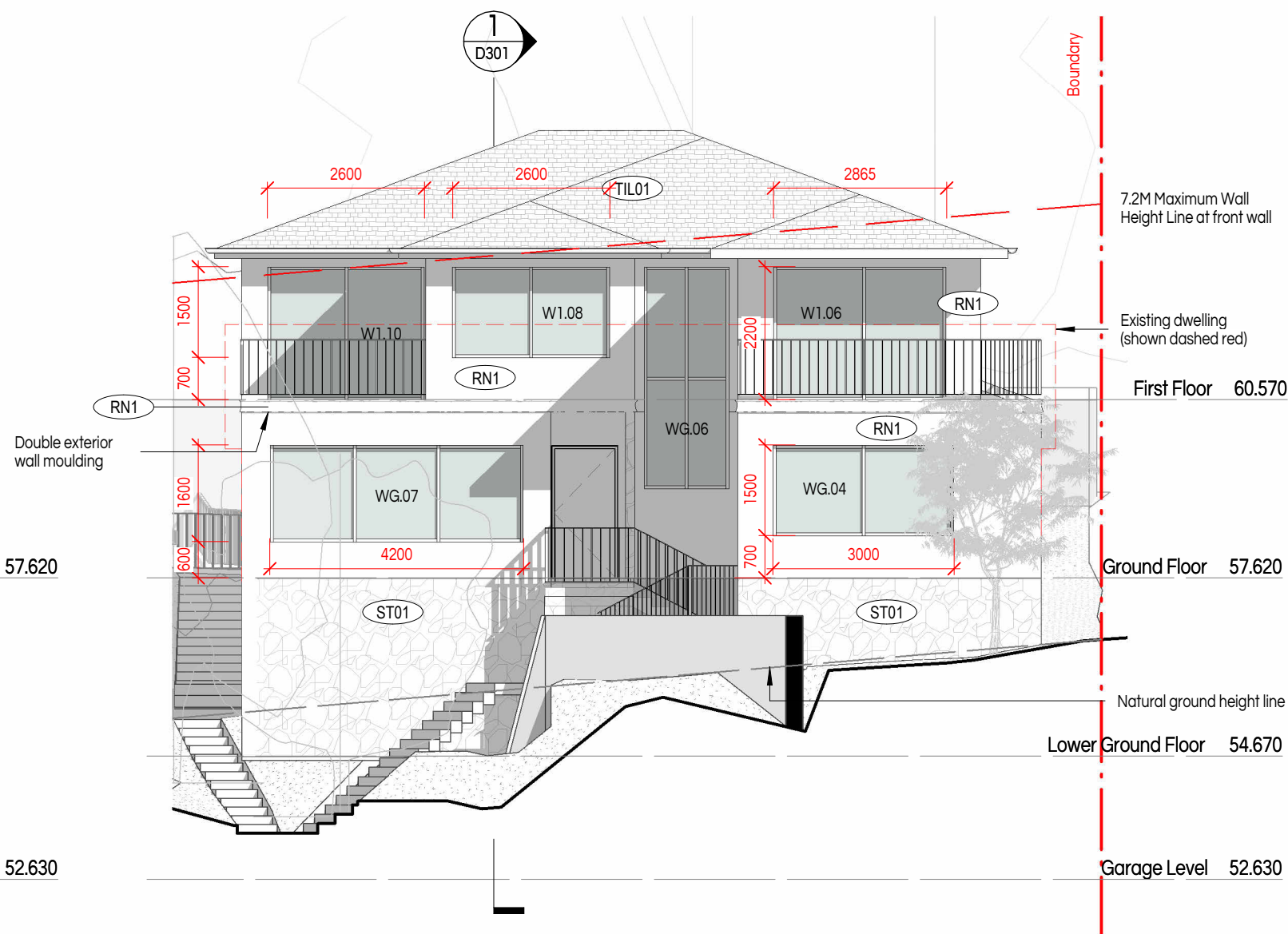
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General Notes		No.	Description	Date	Project	Scale @ A3	Drawn by	Checked by	
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		2	Issue for DA	16.12.2022	Location	Project Issue Date	Sheet Issue Date		
					6 Coolalie Place, Alambie Heights NSW 2100	Issue Date	16.12.2022		
					Client	Project number	Drawing #	Revision	
					Ryan & Nicole Thomas	1228	D401	2	
			Drawing	South Elevations - Existing, Demo & Proposed					

 - Existing building fabric to be demolished
 - Existing building fabric to remain (cut)
 - Existing area - No works proposed
 - Ground plane and soft landscaping (cut)
 - Site Boundary



1 East Elevation - Existing & Demolition
1:100

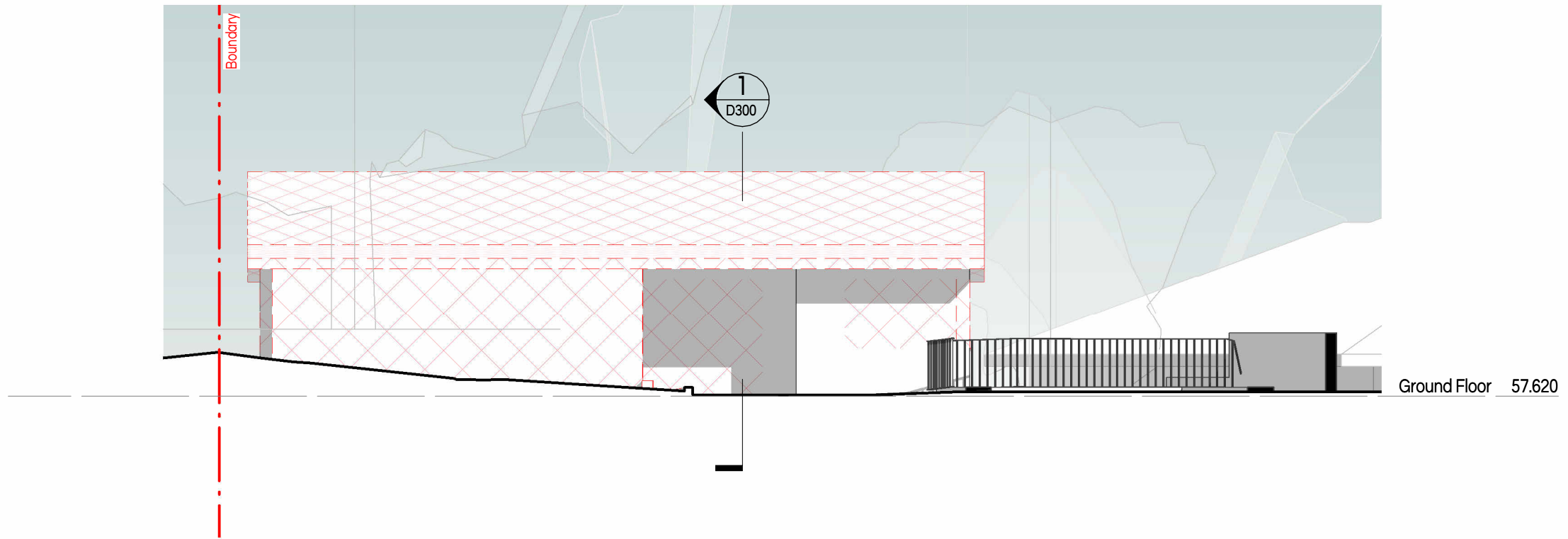


2 East Elevation - Proposed
1:100

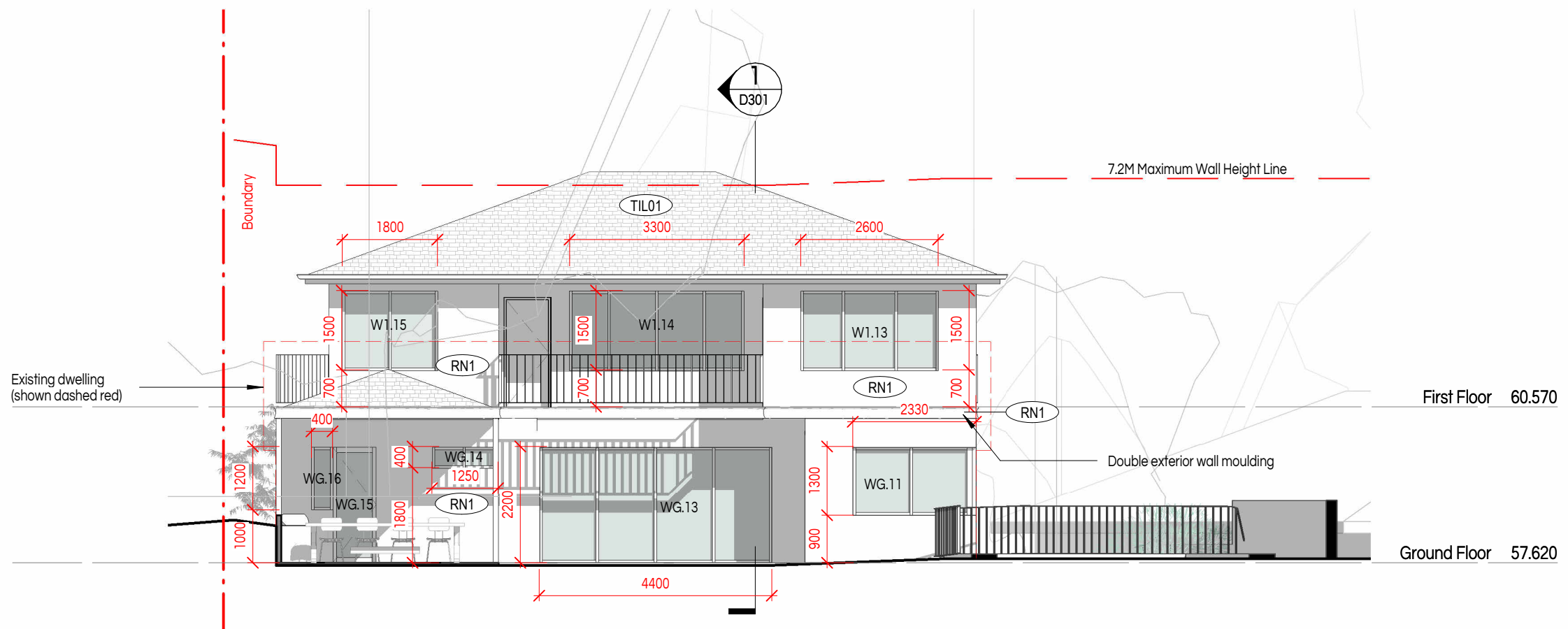
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General Notes		No.	Description	Date	Project 6 Coolalie Place	Scale @ A3 1 : 100	Drawn by BS	Checked by B
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	ABN : 86 106 604 025	2	Issue for DA	16.12.2022	Client Ryan & Nicole Thomas	Project number 1228	Drawing # D402	Revision 2
	NSW #8631 VIC #19664				Drawing East Elevations - Existing, Demo & Proposed			
	www.buckandsimple.com							
	Development Application							

16/12/2022 11:43:02 AM



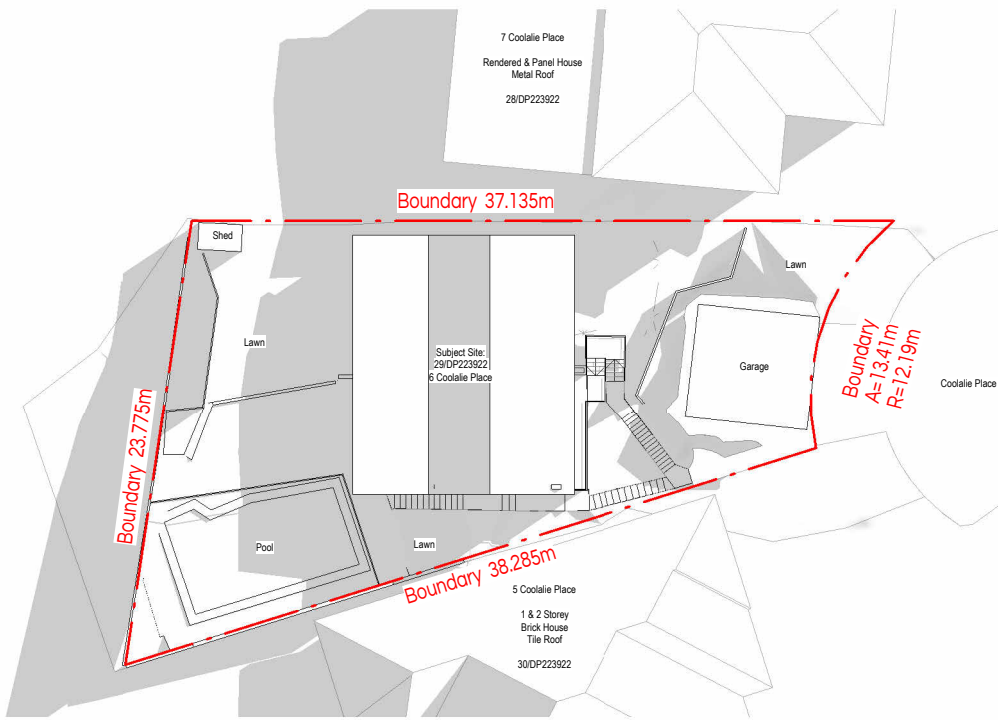
1 West Elevation - Existing & Demolition
1:100



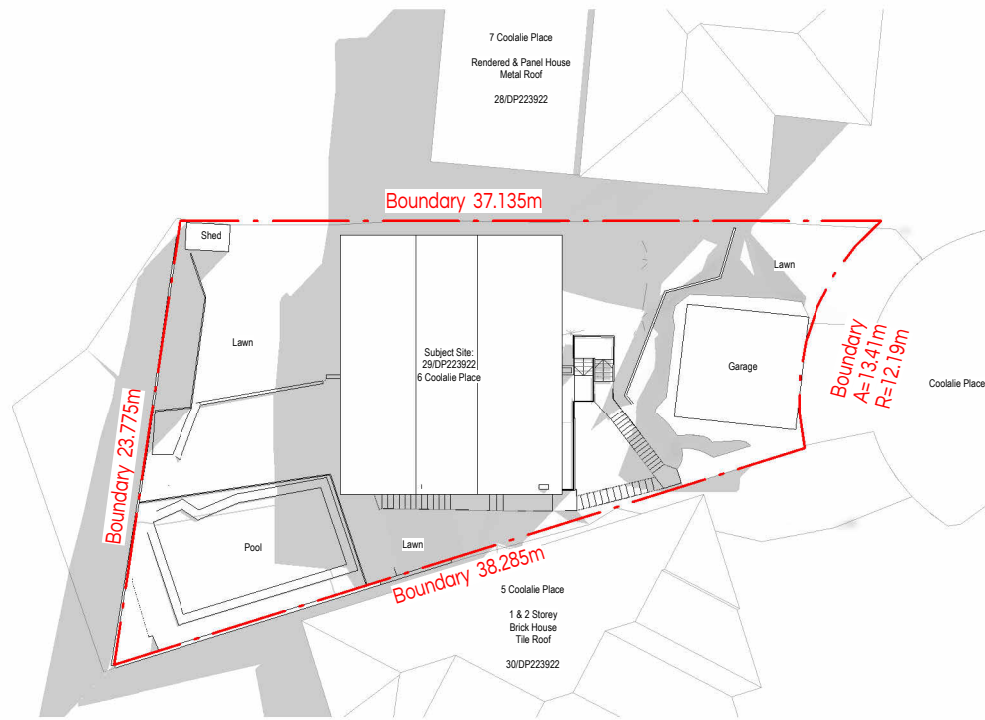
2 West Elevation - Proposed
1:100

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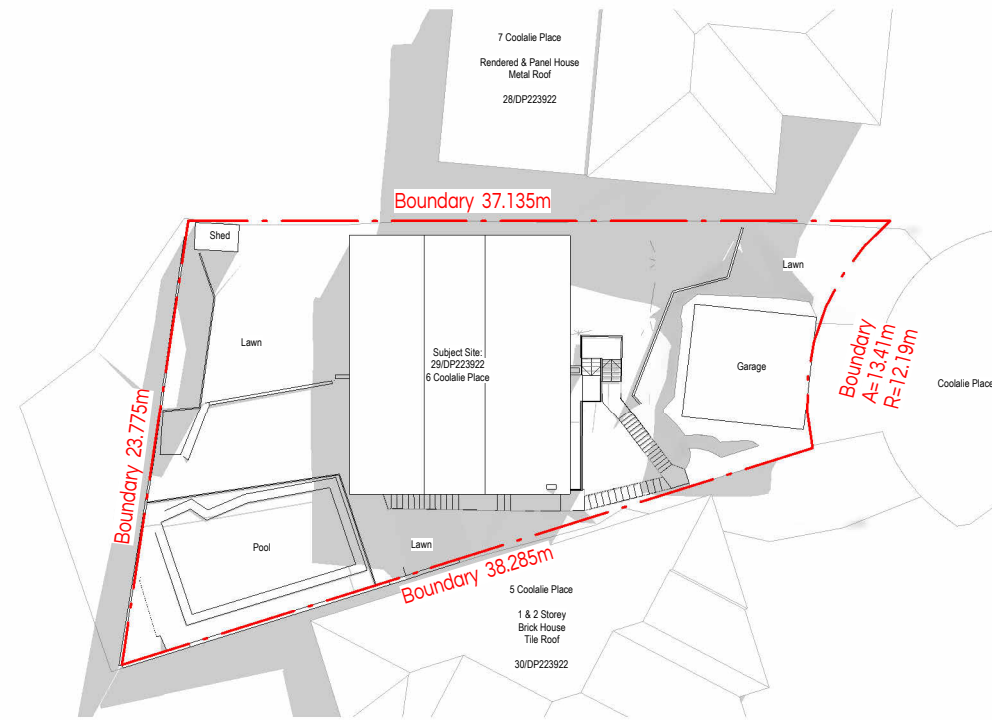
General Notes		No.	Description	Date	Project	Scale @ A3	Drawn by	Checked by
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	ABN : 86 106 604 025	2	Issue for DA	16.12.2022	Location			
	NSW #8631 VIC #19664				6 Coolalie Place, Alambie Heights NSW 2100	Project Issue Date	Sheet Issue Date	
	www.buckandsimple.com				Client	Issue Date	16.12.2022	
	Development Application				Ryan & Nicole Thomas	Project number	Drawing #	Revision
					Drawing	1228	D403	2
					West Elevations - Existing, Demo & Proposed			



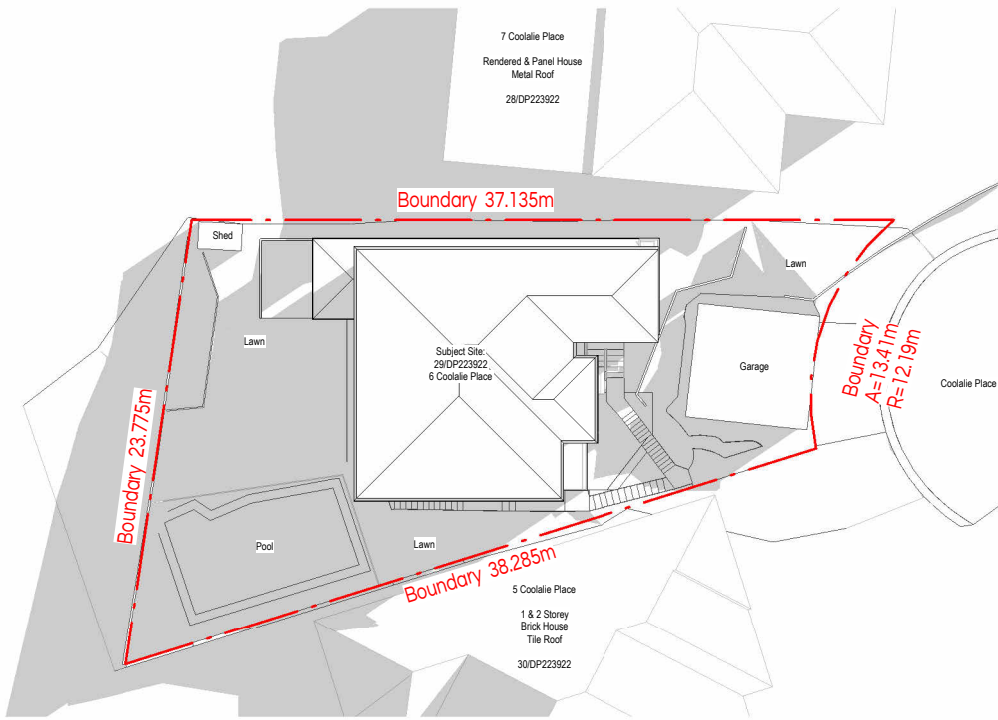
1 Existing Shadows - 9am June 21



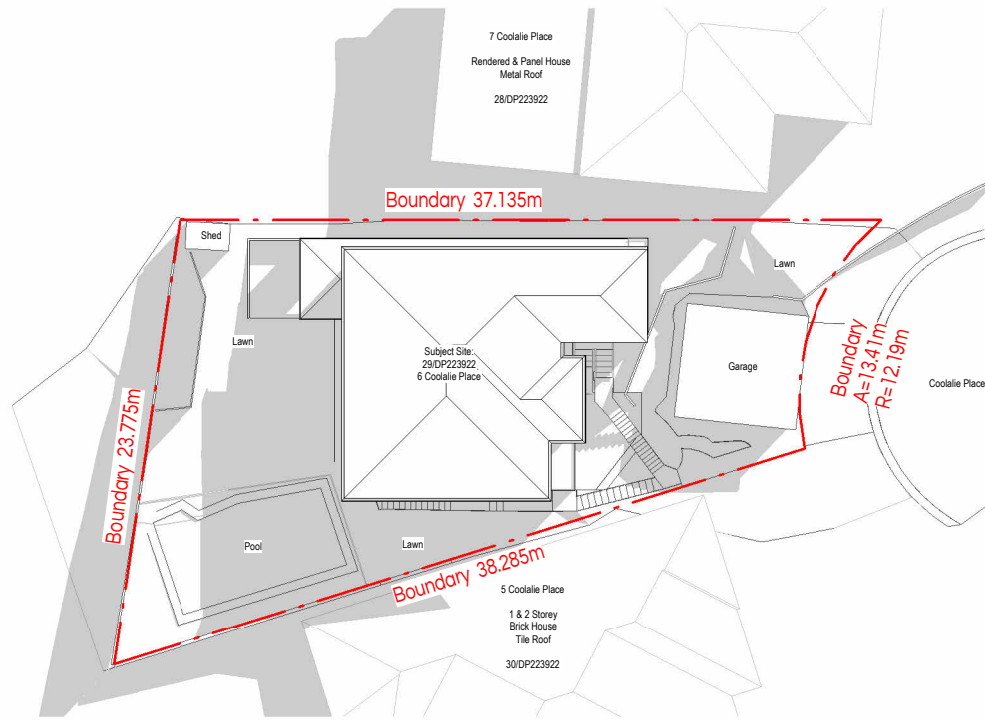
2 Existing Shadows - 10am June 21



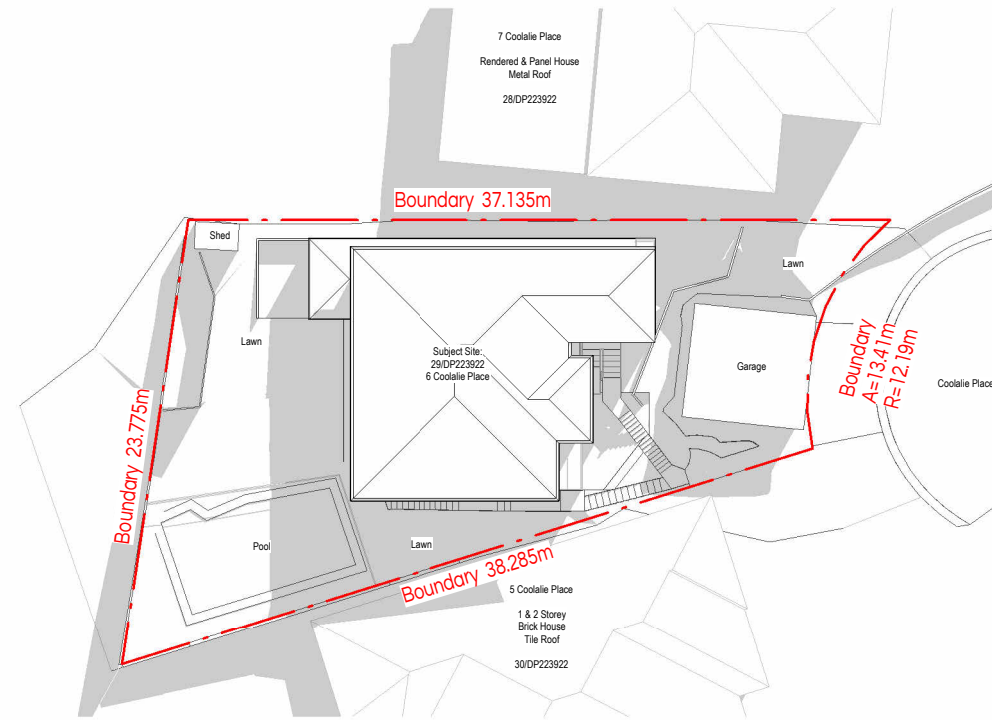
3 Existing Shadows - 11am June 21



4 Proposed Shadows - 9am June 21



5 Proposed Shadows - 10am June 21



6 Proposed Shadows - 11am June 21

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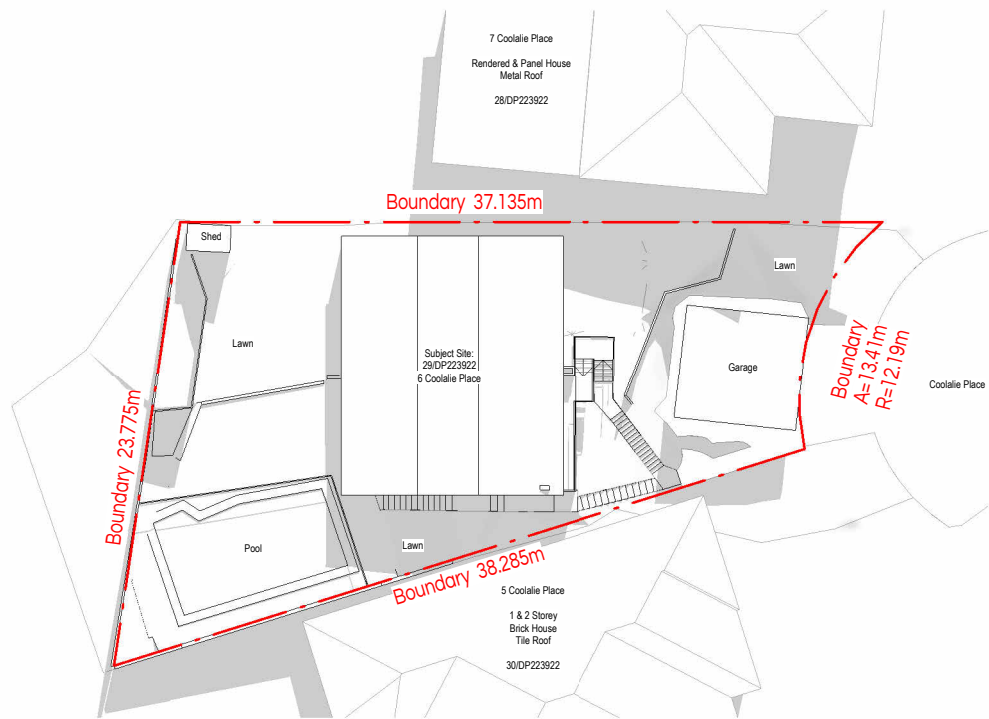
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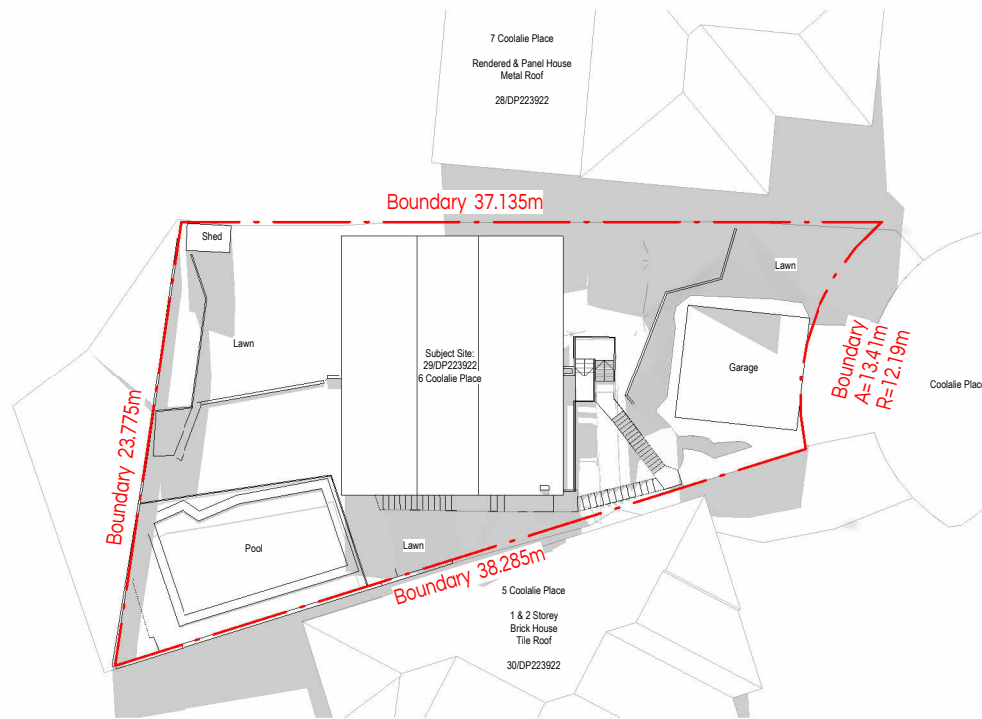
No.	Description	Date
1	Issue for DA	16.08.2022
2	Issue for DA	16.12.2022

Project 6 Coolalie Place
Location 6 Coolalie Place, Alambie Heights NSW 2100
Client Ryan & Nicole Thomas
Drawing Shadow Diagrams - 9am to 11am

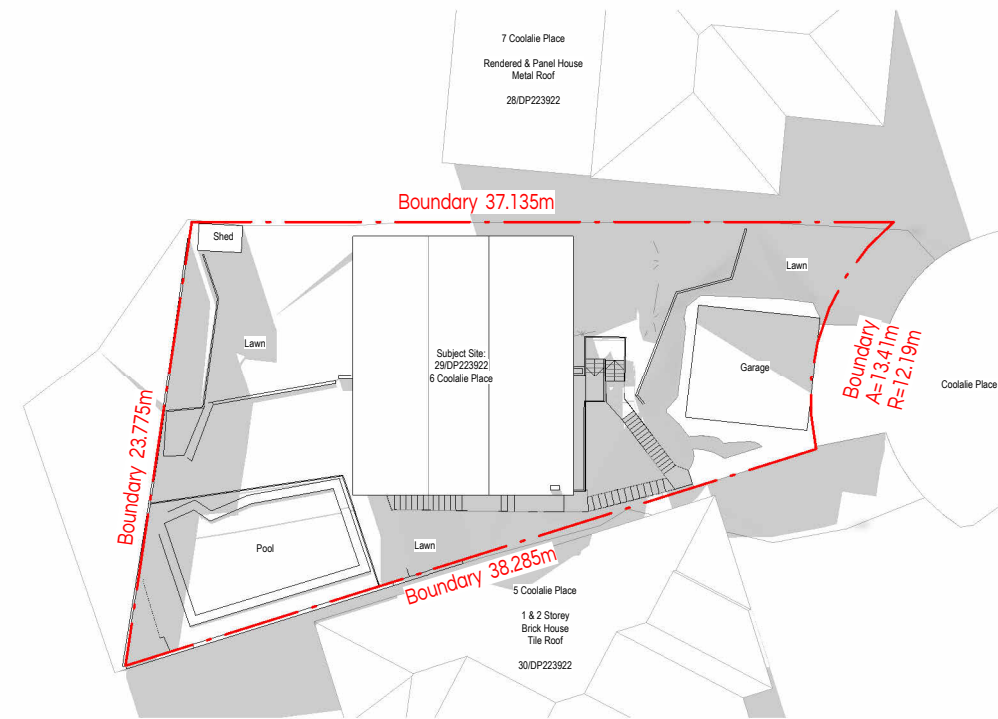
Scale @ A3 NTS	Drawn by BS	Checked by BS
Project Issue Date Issue Date	Sheet Issue Date 16.12.2022	
Project number 1228	Drawing # D900	Revision 2



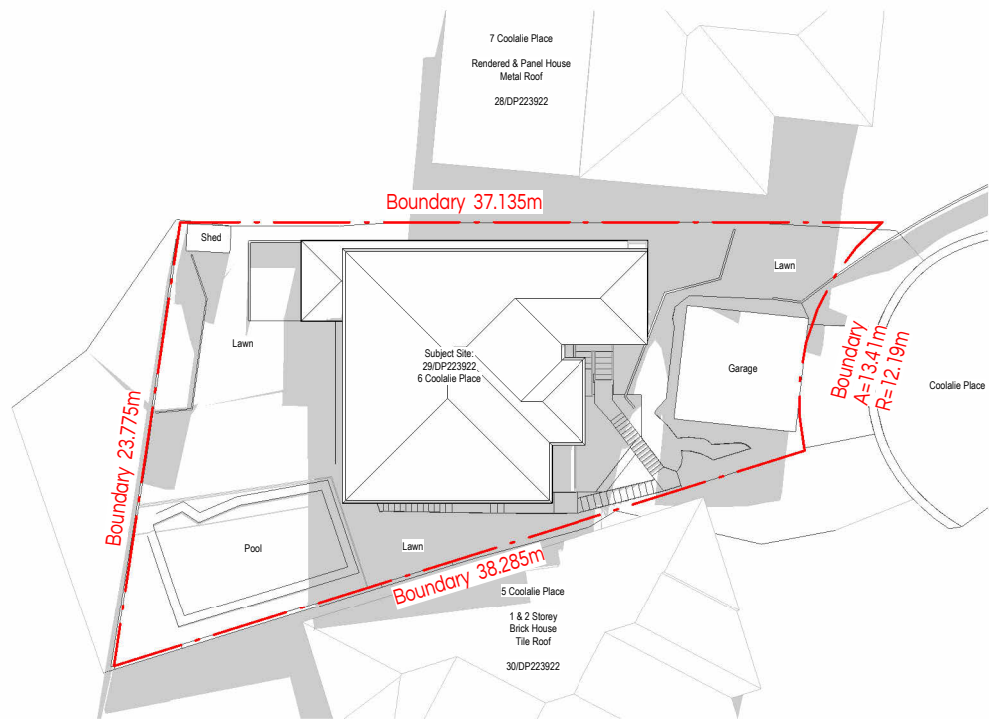
1 Existing Shadows - 12pm June 21



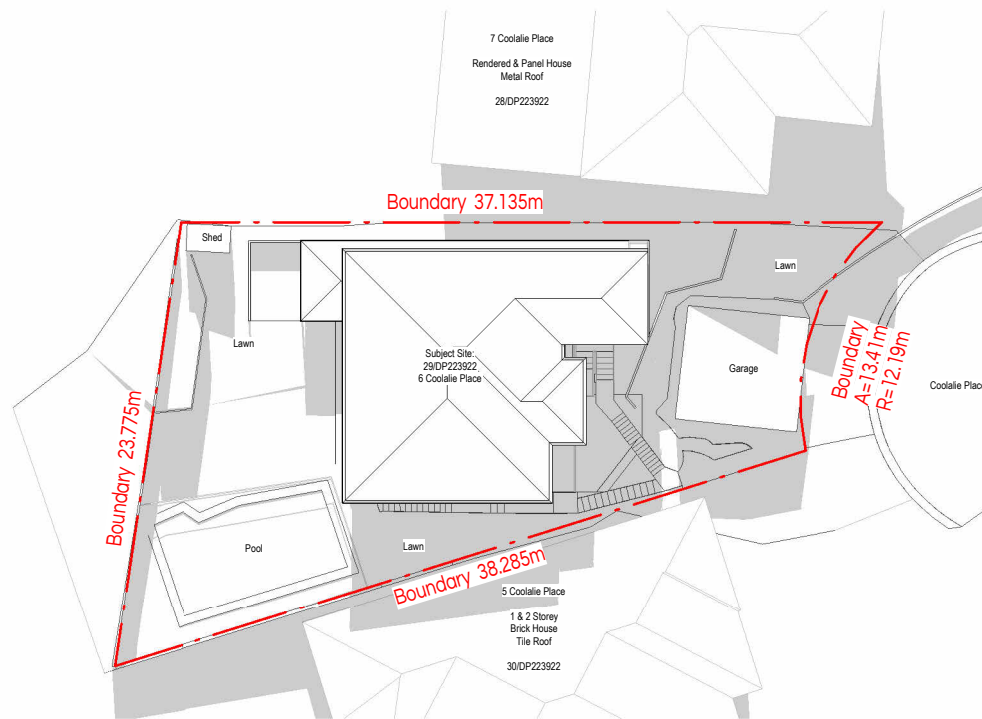
2 Existing Shadows - 1pm June 21



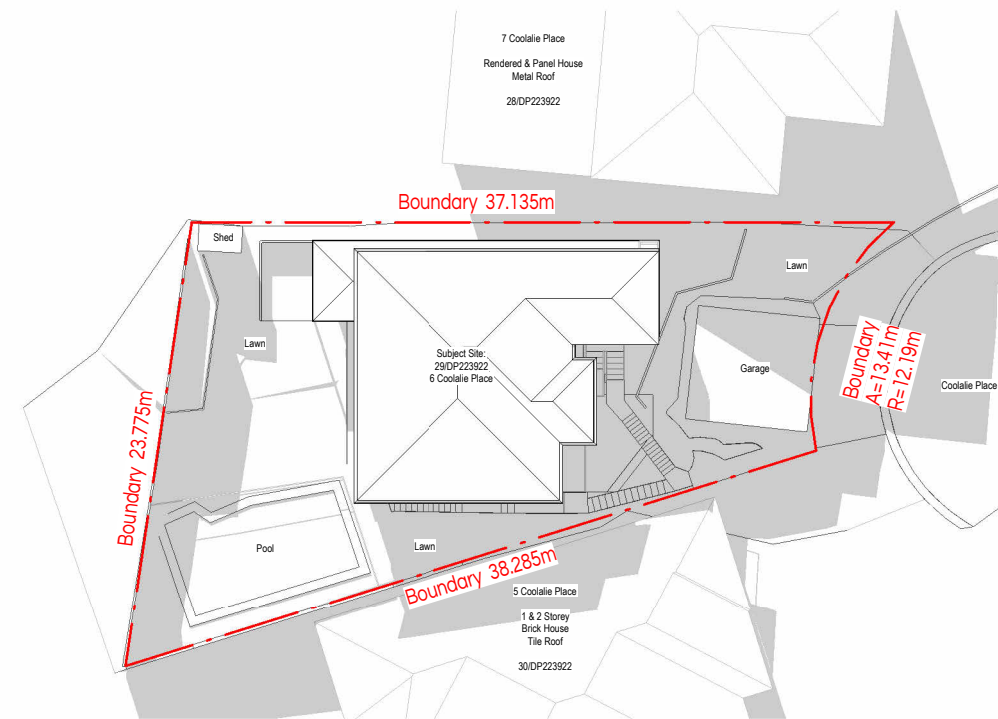
3 Existing Shadows - 2pm June 21



4 Proposed Shadows - 12pm June 21

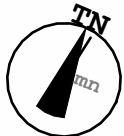


5 Proposed Shadows - 1pm June 21



6 Proposed Shadows - 2pm June 21

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Development Application

No.	Description	Date
1	Issue for DA	16.08.2022
2	Issue for DA	16.12.2022

Project	6 Coolalie Place
Location	6 Coolalie Place, Alambie Heights NSW 2100
Client	Ryan & Nicole Thomas
Drawing	Shadow Diagrams - 12pm to 2pm

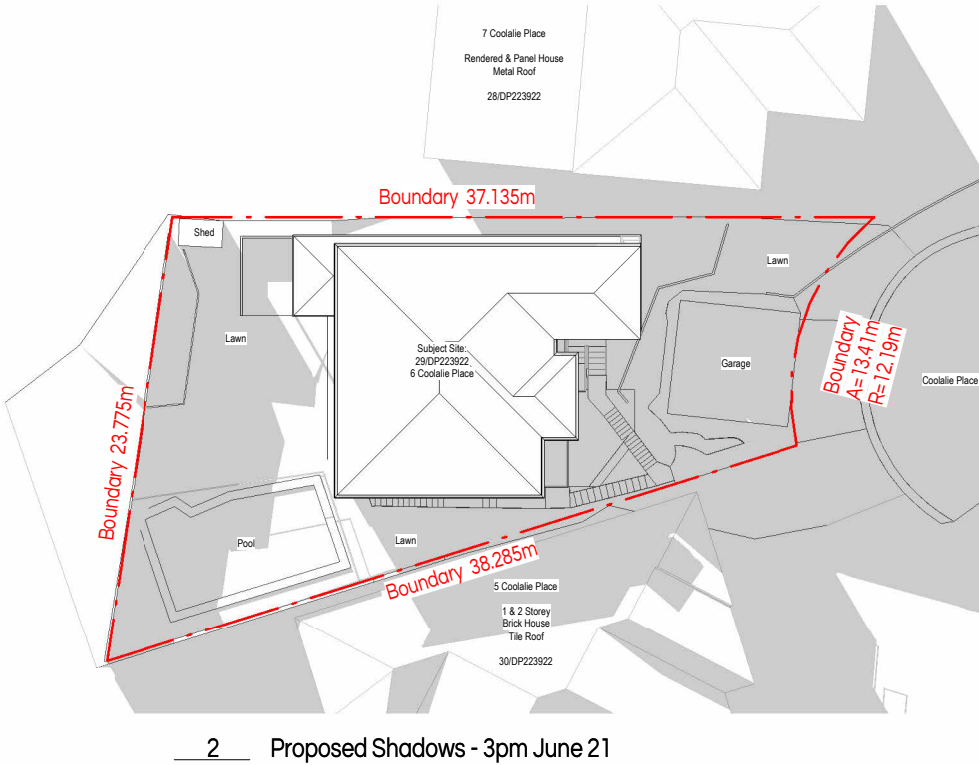
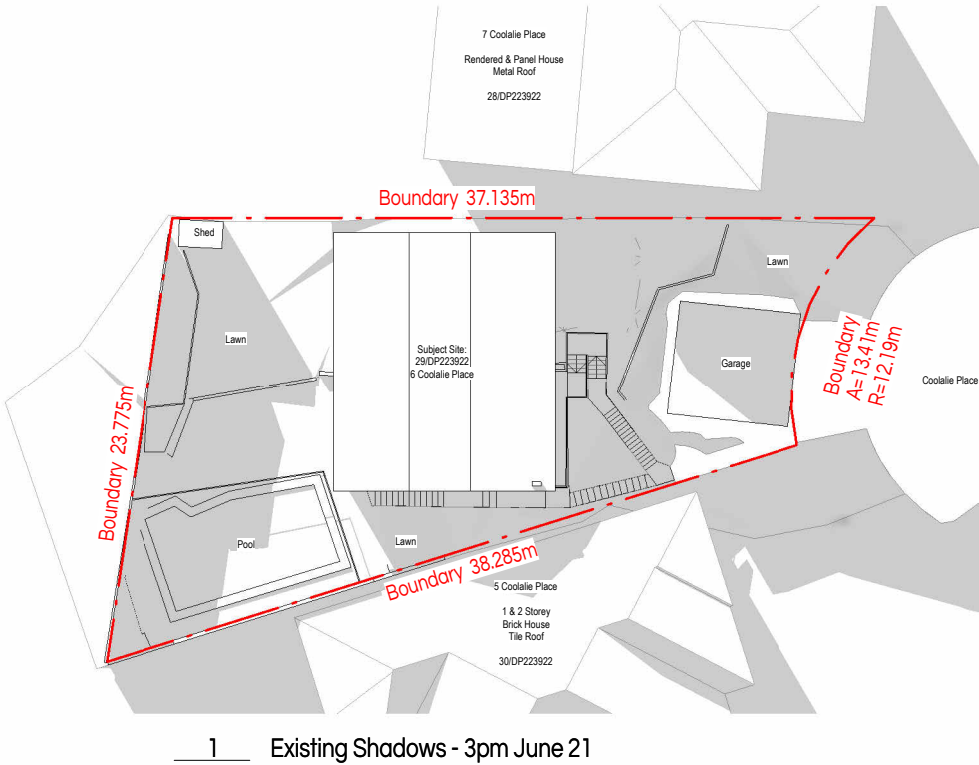
Scale @ A3	Drawn by	Checked by
NTS	BS	BS
Project Issue Date	Sheet Issue Date	
Issue Date	16.12.2022	
Project number	Drawing #	Revision
1228	D901	2



General Notes		No.	Description	Date
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	ABN : 86 106 604 025	2	Issue for DA	16.12.2022
	NSW #8631 VIC #19664			
	www.buckandsimple.com			
	Development Application			

Project	6 Coolalie Place
Location	6 Coolalie Place, Alambie Heights NSW 2100
Client	Ryan & Nicole Thomas
Drawing	Shadow Diagrams - 3pm

Scale @ A3	Drawn by	Checked by
NTS	BS	BS
Project Issue Date	Sheet Issue Date	
Issue Date	16.12.2022	
Project number	Drawing #	Revision
1228	D902	2





1 Elevated Street Perspective



2 Rear yard Perspective

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General Notes				No. Description		Date		Project				Scale @ A3		Drawn by		Checked by	
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				2 Issue for DA		16.12.2022		Location				Project Issue Date		Sheet Issue Date			
								6 Coolalie Place, Alambie Heights NSW 2100				Issue Date		16.12.2022			
								Client				Project number		Drawing #		Revision	
								Ryan & Nicole Thomas				1228		D905		2	
								Drawing									
								Perspectives & Materials									