



LOCATION DIAGRAM



PERSPECTIVE

638 PITTWATER ROAD  
BROOKVALE

LIST OF DRAWINGS

- A01A LOCATION DIAGRAM
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- A03B B2 BASEMENT FLOOR PLAN
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- A06A FIRST FLOOR PLAN
- A07A SECOND FLOOR PLAN
- A08A ROOF PLAN
- A09A ELEVATIONS
- A10A ELEVATIONS
- A11B SECTIONS
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- A13A SITE ANALYSIS
- A14A DEMOLITION PLAN
- A15A VIEWS FROM SUN
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- A17A DRIVEWAY SECTION
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- A19A MEZZANINE FLOOR PLAN
- A20 THIRD FLOOR PLAN

SURVEY

DEVELOPMENT DATA				
ADDRESS	638 Pittwater Rd Brookvale			
SITE AREA	2662m <sup>2</sup>			
LOT NOs	LOT 1 in DP 1001963			
DA Version		<b>DA 2019_0239 Approved</b>	<b>MOD 2020_0598 Approved</b>	<b>DA L3 Proposed</b>
NUMBER OF DWELLINGS		40 UNITS 1 Bed - 26 2 Bed - 10 3 Bed - 4	No Change	60 UNITS 1 Bed - 39 2 Bed - 15 3 Bed - 6
ADAPTABLE DWELLINGS		4 (10%)	No Change	6 (10%)
LIVABLE DWELLINGS		4 (10%)	No Change	6 (10%)
GFA*	<b>B3</b>	Excluded	No Change	No Change
	<b>B2</b>	Excluded	No Change	No Change
	<b>B1</b>	763m <sup>2</sup>	No Change	No Change
	<b>Ground</b>	1588m <sup>2</sup>	No Change	No Change
	<b>Mezzanine</b>	-	457m <sup>2</sup>	No Change
	<b>First</b>	1369m <sup>2</sup>	No Change	No Change
	<b>Second</b>	1411m <sup>2</sup>	No Change	No Change
	<b>Third</b>	-	-	1411m <sup>2</sup>
	<b>TOTAL</b>	5131m <sup>2</sup>	5588m <sup>2</sup>	6999m <sup>2</sup>
FSR		1.93:1	2.10:1	2.63:1
COS*	<b>Ground</b>	344m <sup>2</sup>	No Change	No Change
	<b>First</b>	368m <sup>2</sup>	No Change	No Change
	<b>TOTAL</b>	712m <sup>2</sup>	No Change	No Change
LANDSCAPING	<b>Ground</b>	178m <sup>2</sup>	No Change	No Change
	<b>First</b>	107m <sup>2</sup>	No Change	No Change
	<b>TOTAL</b>	285m <sup>2</sup>	No Change	No Change
DEEP SOIL (min dim. 3m)		177.6m <sup>2</sup>	No Change	No Change
CAR SPACES (residential/commercial/visitor)	<b>B3</b>	64/0/0 = 64	65/0/0 = 65	No Change
	<b>B2</b>	22/27/9 = 58	22/28/9 = 59	No Change
	<b>B1</b>	0/35/0 = 35	0/28/0 = 28	No Change
	<b>TOTAL</b>	86/62/9 = 157	87/56/9 = 152	No Change

GFA\* - gross floor area calculated as per relevant Planning Instrument  
COS\* - communal open space

LEGEND

ISSUE	DATE	AMENDMENTS
A	05/07/24	DA L3 ISSUE



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Client

**BROOKVALE PROPERTY  
INVESTMENT TRUST**

Project  
**638 PITTWATER RD  
BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**LOCATION DIAGRAM**

Scale NTS Drawn BR

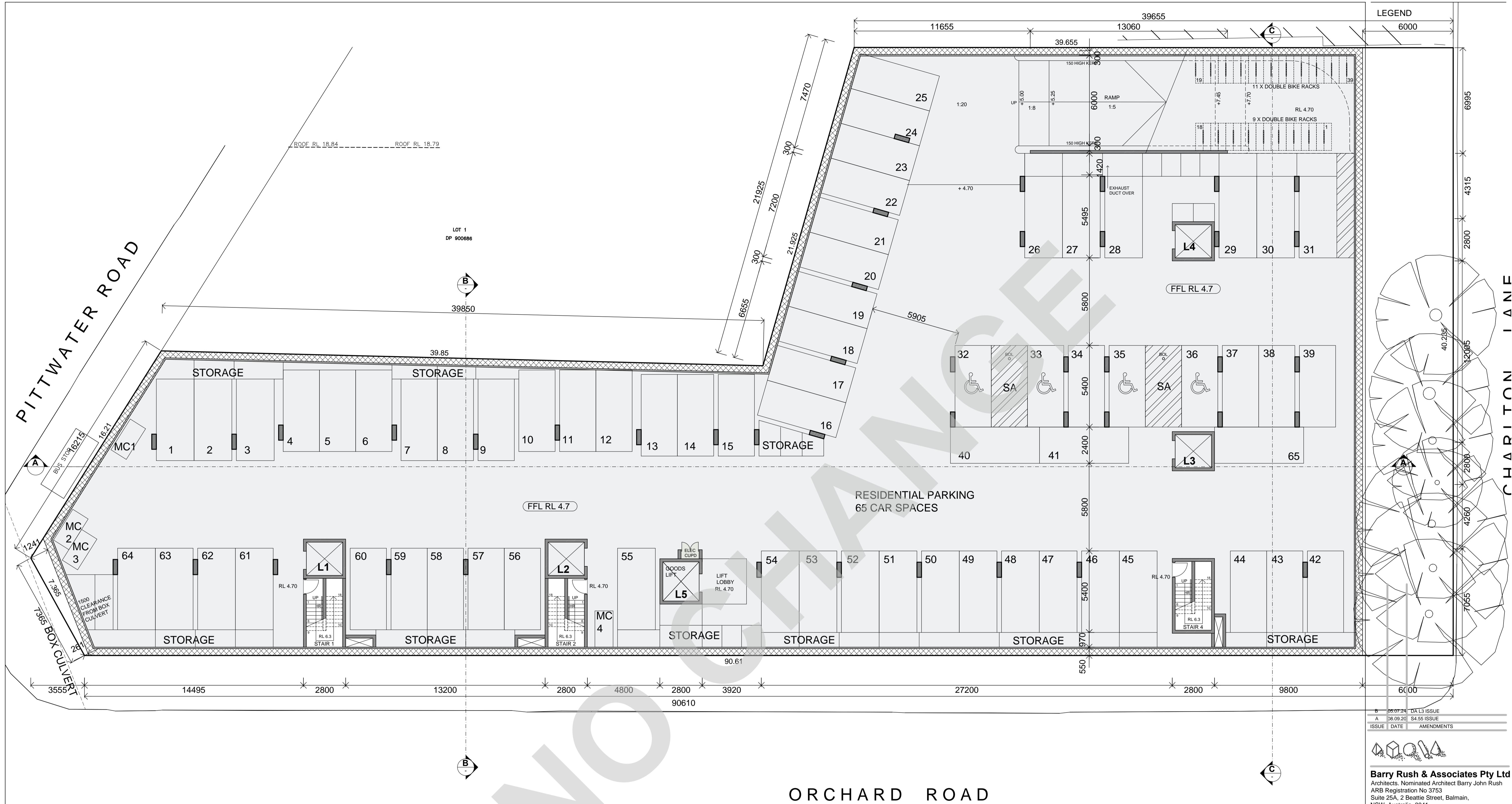
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Plotted 5/07/2024 10:10 AM

Job No 1802 Checked BR

Version DA Drawing No: **A01A**

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LEGEND

Symbol	Description
Circle with cross	MC1
Circle with cross	MC2
Circle with cross	MC3
Circle with cross	MC4
Circle with cross	MC5
Circle with cross	MC6
Circle with cross	MC7
Circle with cross	MC8
Circle with cross	MC9
Circle with cross	MC10
Circle with cross	MC11
Circle with cross	MC12
Circle with cross	MC13
Circle with cross	MC14
Circle with cross	MC15
Circle with cross	MC16
Circle with cross	MC17
Circle with cross	MC18
Circle with cross	MC19
Circle with cross	MC20
Circle with cross	MC21
Circle with cross	MC22
Circle with cross	MC23
Circle with cross	MC24
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Circle with cross	MC26
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Circle with cross	MC29
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Circle with cross	MC34
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Circle with cross	MC36
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Circle with cross	MC38
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Circle with cross	MC40
Circle with cross	MC41
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Circle with cross	MC43
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Circle with cross	MC45
Circle with cross	MC46
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Circle with cross	MC50
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Circle with cross	MC52
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Circle with cross	MC54
Circle with cross	MC55
Circle with cross	MC56
Circle with cross	MC57
Circle with cross	MC58
Circle with cross	MC59
Circle with cross	MC60
Circle with cross	MC61
Circle with cross	MC62
Circle with cross	MC63
Circle with cross	MC64
Circle with cross	MC65

# BASEMENT LEVEL B3 FLOOR PLAN

SCALE (METRES) 1:200 AT A3

ISSUE	DATE	AMENDMENTS
B	05.07.24	DA L3 ISSUE
A	08.09.20	S4 S5 ISSUE



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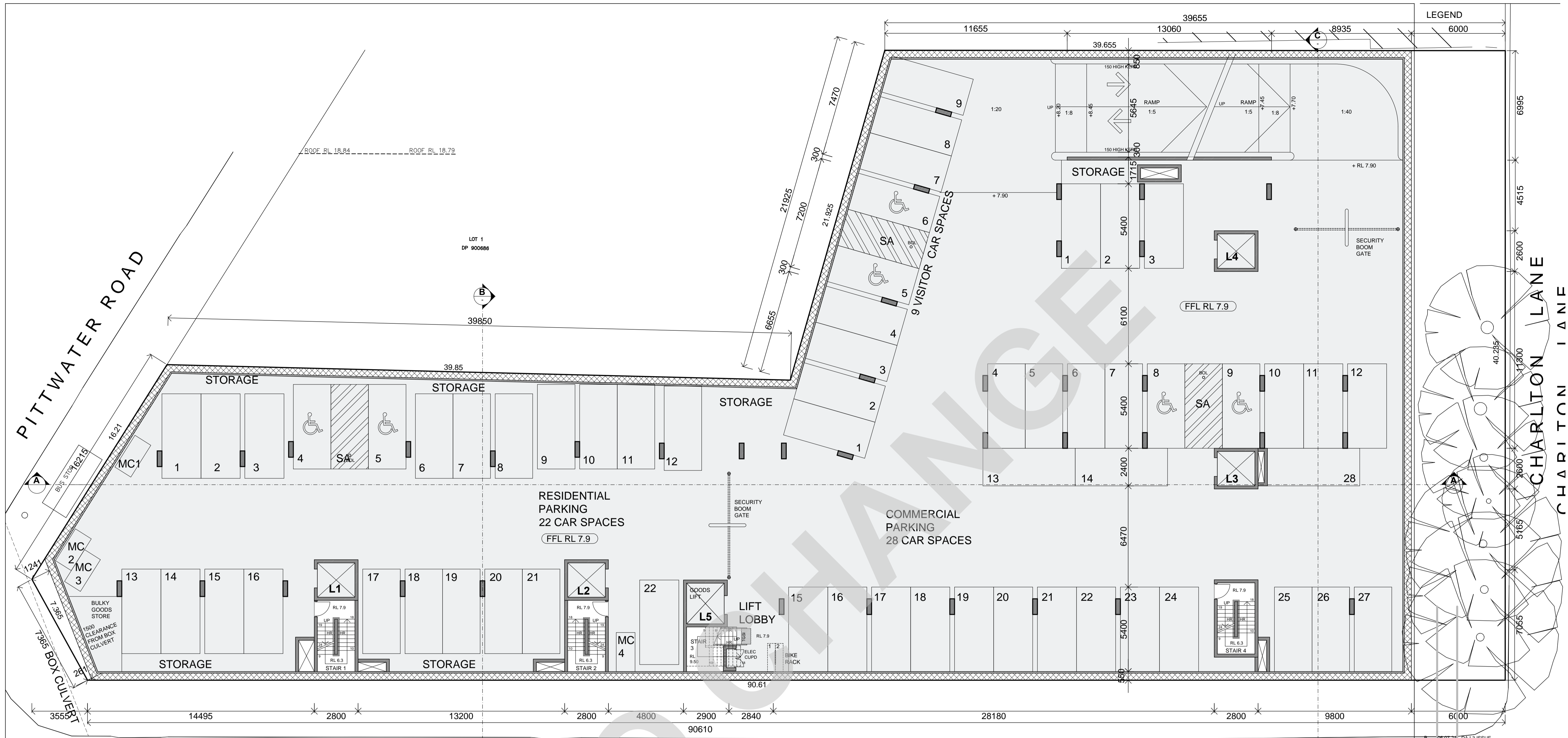
Project  
**638 PITTWATER RD BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**BASEMENT LEVEL B3**

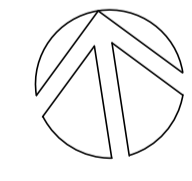
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Version	DA	Drawing No:	<b>A02B</b>

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LEGEND

Symbol	6000
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# BASEMENT LEVEL B2 FLOOR PLAN

SCALE (METRES) 1:200 AT A3  
 0 1 2 3 4 5 10 20

ISSUE	DATE	AMENDMENTS
B	05.07.24	DA L3 ISSUE
A	08.09.20	S4 S5 ISSUE



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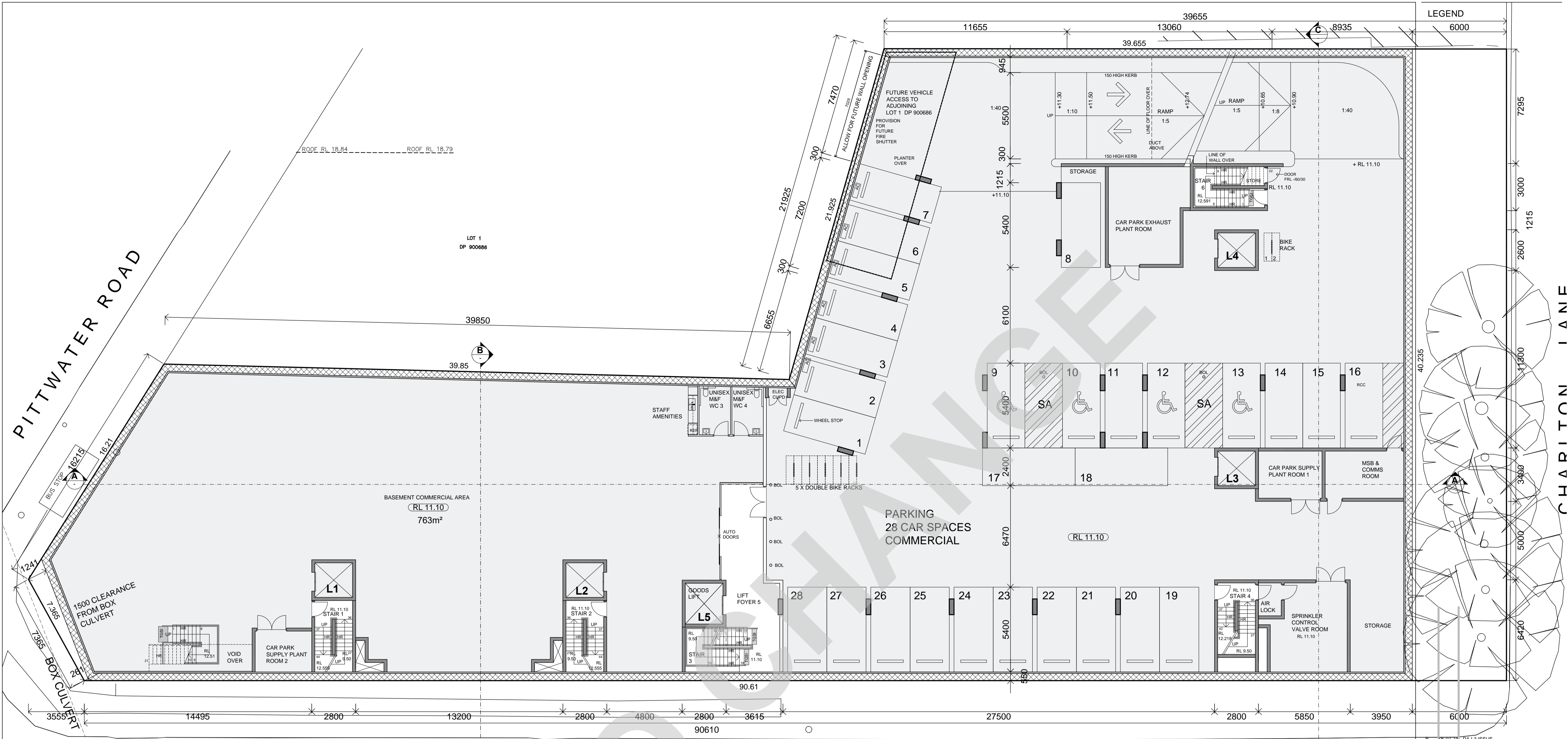
Project  
**638 PITTWATER RD BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**BASEMENT LEVEL B2**

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Job No	1802	Checked	BR
Version	DA	Drawing No:	A03B

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LEGEND

6000	
7295	
3000	
1215	
2600	
11300	
3300	
5000	
6420	

B	05.07.24	DA L3 ISSUE
A	08.09.20	S4 S5 ISSUE
ISSUE	DATE	AMENDMENTS



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**638 PITTWATER RD BROOKVALE**  
 Lot 1 in DP 1001963

Drawing  
**BASEMENT LEVEL B1**

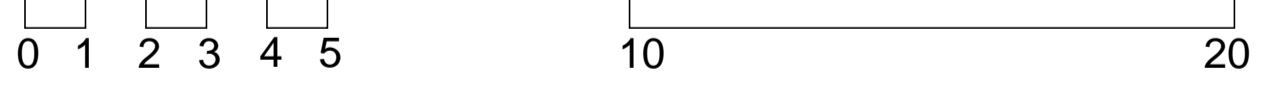
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Version	DA	Drawing No:	<b>A04B</b>

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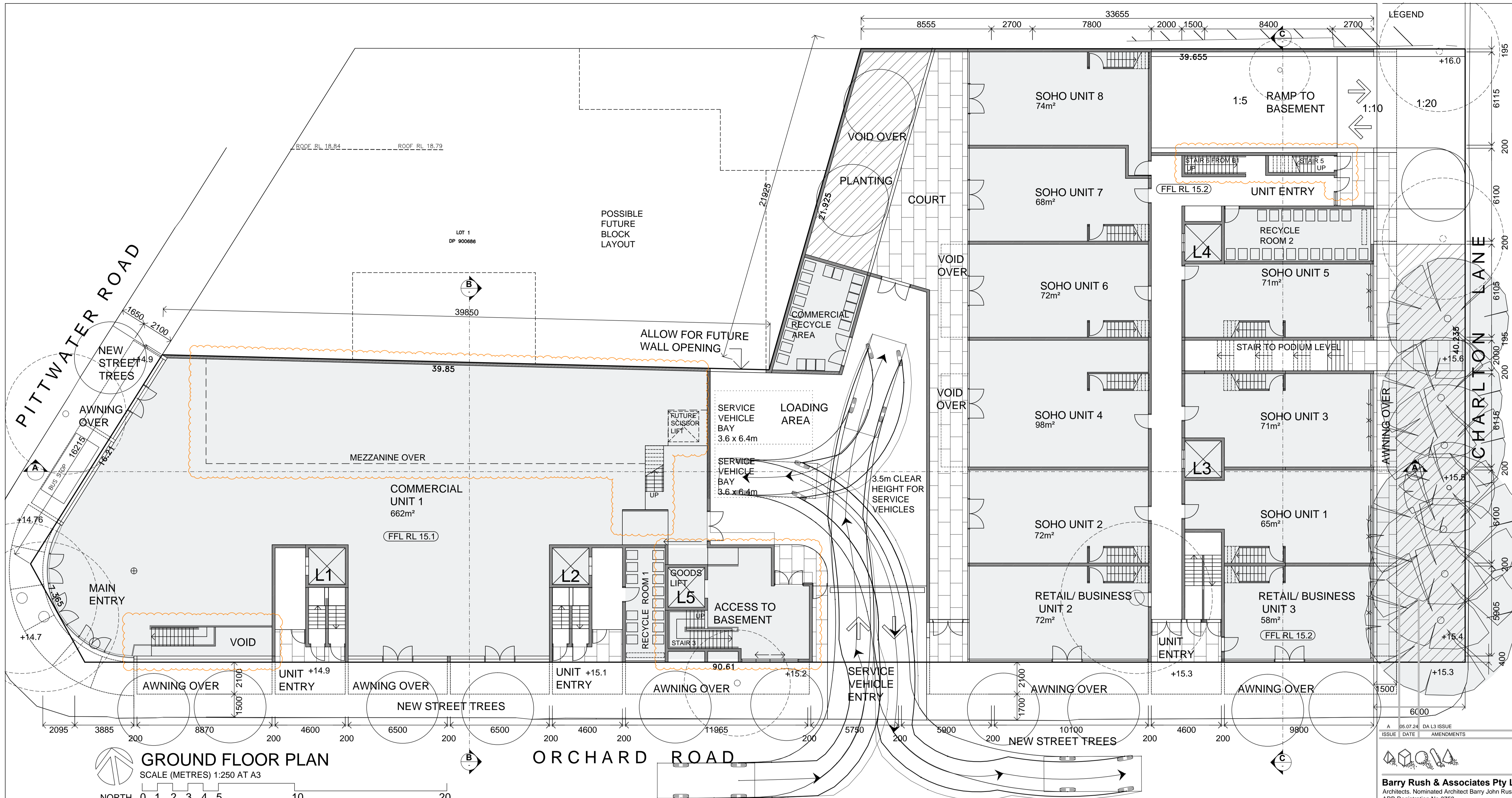


**BASEMENT LEVEL B1 FLOOR PLAN**

SCALE (METRES) 1:200 AT A3



ORCHARD ROAD



**GROUND FLOOR PLAN**  
SCALE (METRES) 1:250 AT A3

-  EXISTING TREE TO REMAIN
-  TREE TO BE REMOVED
-  NEW TREES REFER TO LANDSCAPE FOR DETAILS


COMMON OPEN AREA CALCULATION:	
COMMUNAL OPEN SPACE:	344m <sup>2</sup> (G)+368m <sup>2</sup> (F)
COMMON LANDSCAPE AREA:	178m <sup>2</sup> (G)+107m <sup>2</sup> (F)
DEEP SOIL ZONE:	177.6m <sup>2</sup>

 DEEP SOIL ZONE

**LEGEND**  
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**LEGEND**

05.07.24 DA L3 ISSUE  
ISSUE DATE AMENDMENTS



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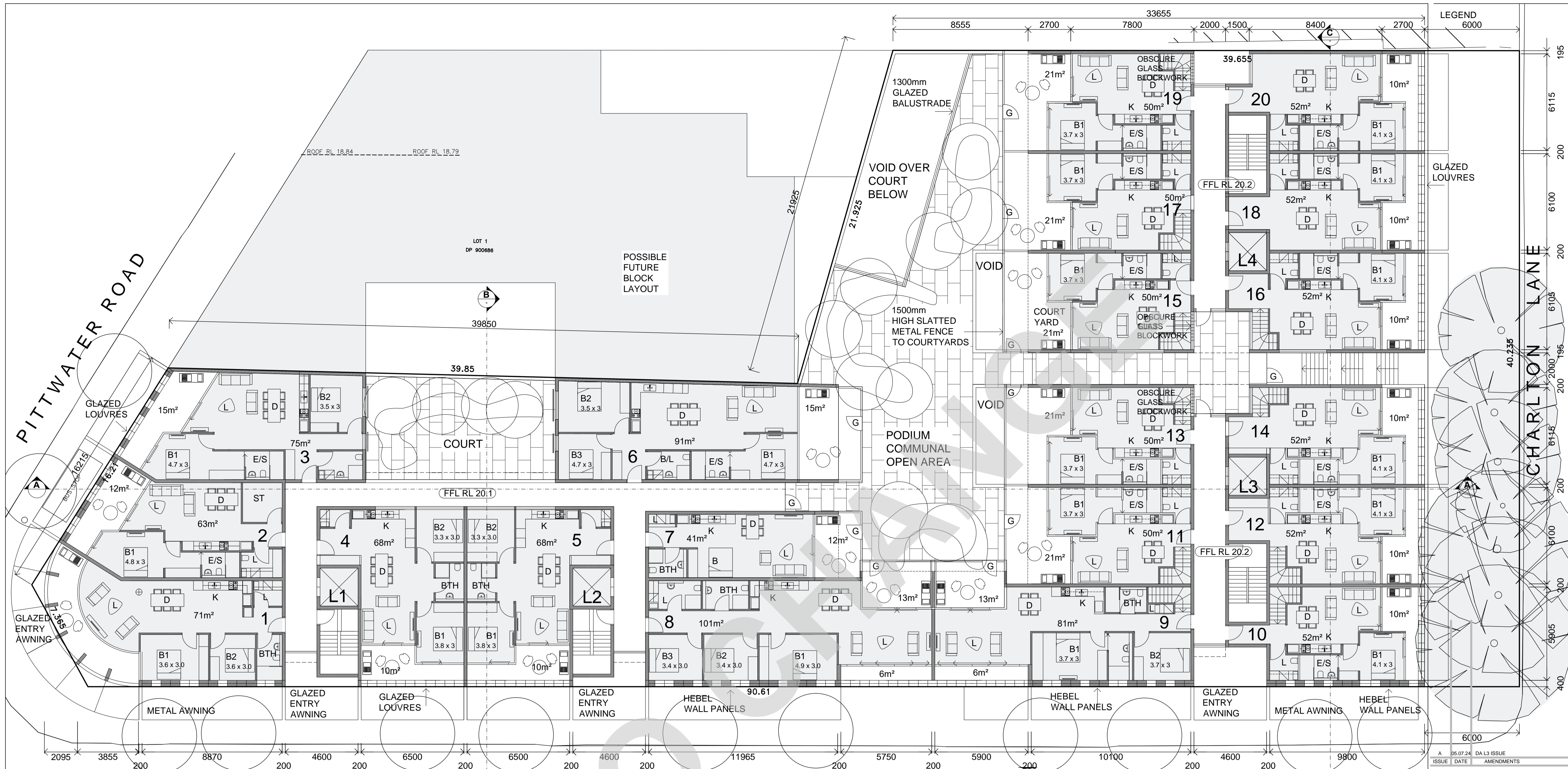
Project  
**638 PITTWATER RD BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**GROUND FLOOR LEVEL**

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Job No 1802 Checked BR  
Version DA Drawing No: **A05A**

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**FIRST FLOOR PLAN**  
SCALE (METRES) 1:250 AT A3

November 2018 BSA Reference: 14135  
 Building Sustainability Assessments Ph: (02) 4962 3439  
 enquiries@buildingsustainability.net.au www.buildingsustainability.net.au

**Important Note**  
 The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification.  
 If different construction elements are applied then the Assessor Certificate is no longer valid.

Thermal Performance Specifications (does not apply to garage)			
<b>External Wall Construction</b>	Added Insulation		
120mm AAC + stud + plasterboard	R2.0		
200mm Concrete + battens + plasterboard	R1.9		
<b>Internal Wall Construction</b>	Added Insulation		
Plasterboard on studs	none		
200mm Concrete + stud + Plasterboard (party walls)	none		
<b>Ceiling Construction</b>	Added Insulation		
Plasterboard	R2.0 to ceilings adjacent to roof space and decks above		
<b>Roof Construction</b>	Colour	Added Insulation	
Concrete	Any	none	
<b>Floor Construction</b>	Covering	Added Insulation	
Concrete	As drawn	R1.0 where open below	
<b>Windows</b>	Glass and frame type	U Value	SHGC Range Area sq m
Performance glazing Type A	5.40	0.44 - 0.54	U1 U13 U20 U28
Performance glazing Type B	4.40	0.52 - 0.64	U1 U13 U20 U28
Performance glazing Type A	4.80	0.46 - 0.56	Units 8.9, 10.15, 16.21, 25.28, 29.33
Performance glazing Type B	4.80	0.53 - 0.65	Units 8.9, 10.15, 16.21, 25.28, 29.33
Performance glazing Type A	4.50	0.45 - 0.55	U24, 35, U36
Performance glazing Type B	4.50	0.55 - 0.67	U24, 35, U36
Performance glazing Type A	4.30	0.42 - 0.52	U30
Performance glazing Type B	4.30	0.48 - 0.58	U30
ALM-001-01 A Alum. Type A Single clear	6.70	0.51 - 0.63	All other glazing
ALM-002-01 A Alum. Type B Single clear	6.70	0.63 - 0.77	All other glazing
Type A windows are awning windows, double doors, casements, 90° turn windows, entry doors, French doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers			
<b>Skylights</b>	Glass and frame type	U Value	SHGC Area sq m
Double glazed Opal in aluminium frames	As drawn		
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified			
<b>External Window Shading</b> (blinds, verandahs, pergolas, awnings etc)			
All shade elements modelled as drawn			
<b>Ceiling Penetrations</b> (downlights, exhaust fans, flues etc)			
No adjustment has been made for losses to insulation arising from ceiling penetrations.			

A 05.07.24 DA L3 ISSUE  
 ISSUE DATE AMENDMENTS



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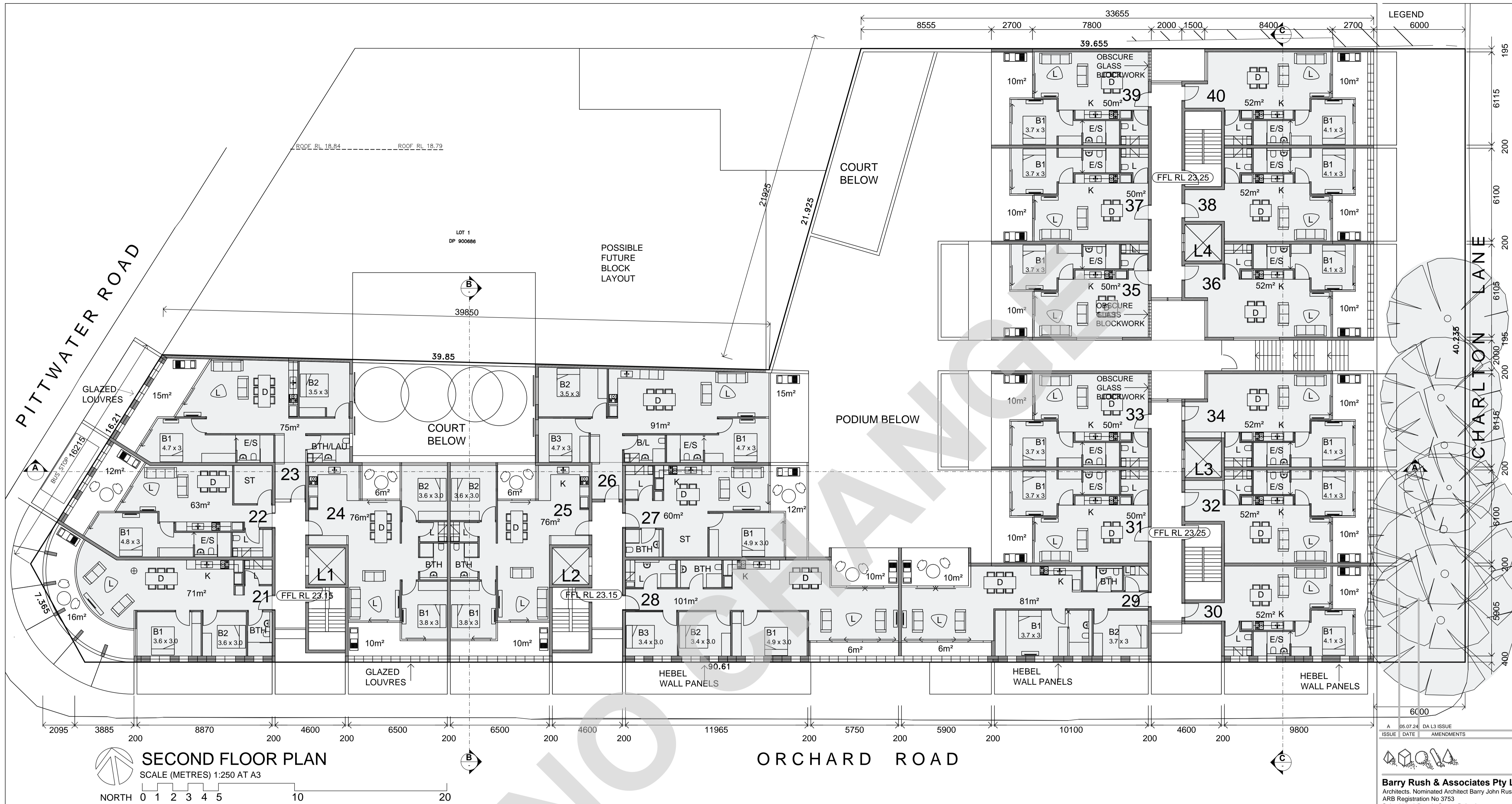
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Project  
**638 PITTWATER RD BROOKVALE**  
 Lot 1 in DP 1001963

Drawing  
**FIRST FLOOR LEVEL**

Scale 1:125 Drawn BR  
 File DA L3c Pittwater Rd Brookvale.dwg  
 Plotted 5/07/2024 10:10 AM  
 Job No 1802 Checked BR  
 Version DA Drawing No: **A06A**

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LEGEND

6000	
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**SECOND FLOOR PLAN**

SCALE (METRES) 1:250 AT A3



ISSUE	DATE	AMENDMENTS
A	05.07.24	DA L3 ISSUE



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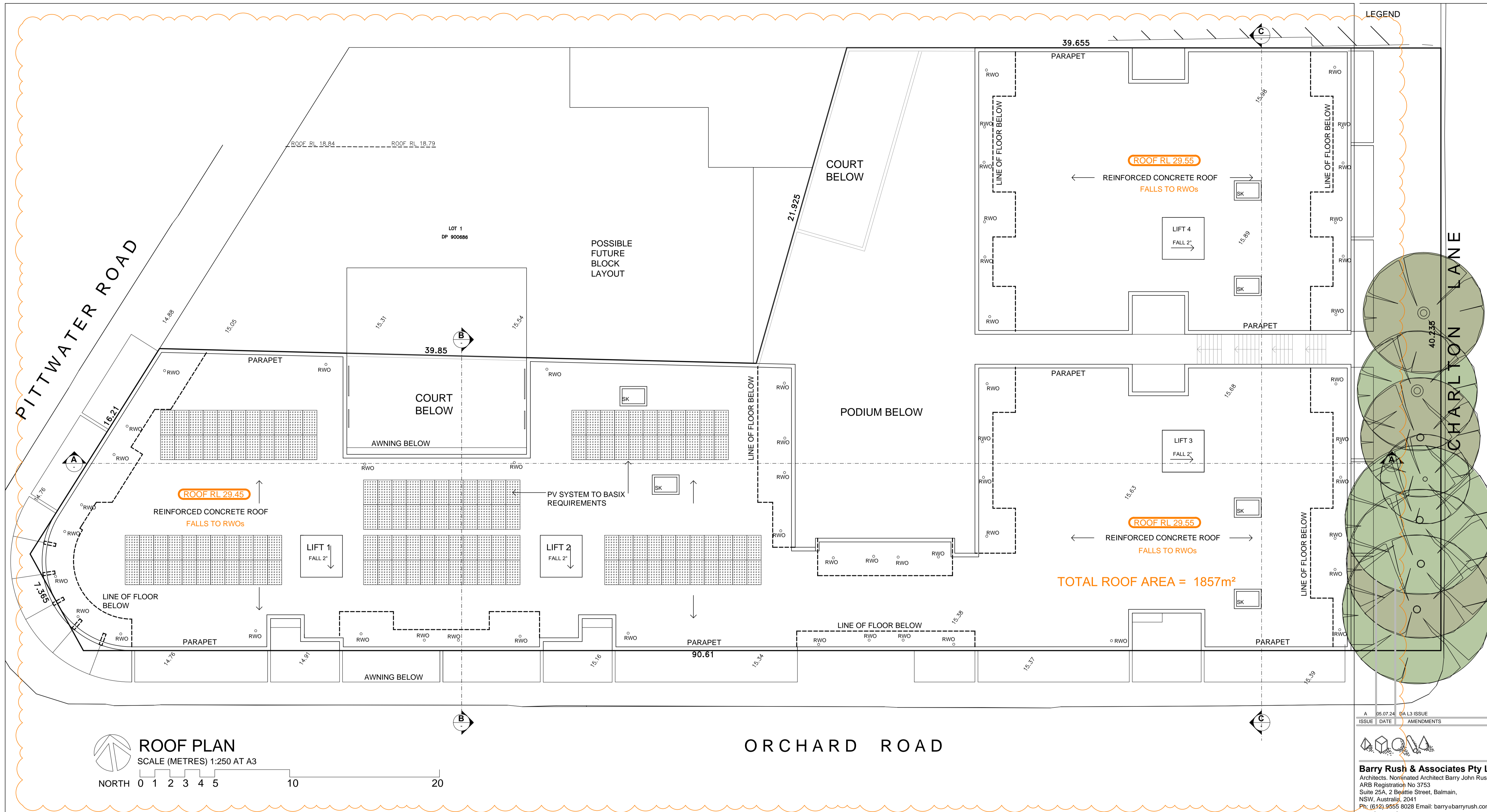
Project  
**638 PITTWATER RD BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**SECOND FLOOR LEVEL**

Scale	1:125	Drawn	BR
File	DA L3c Pittwater Rd Brookvale.dwg		
Plotted	5/07/2024 10:10 AM		
Job No	1802	Checked	BR
Version	DA	Drawing No:	<b>A07A</b>

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**ROOF PLAN**  
 SCALE (METRES) 1:250 AT A3  
 NORTH 0 1 2 3 4 5 10 20

ISSUE	DATE	AMENDMENTS
A	05.07.24	DA L3 ISSUE



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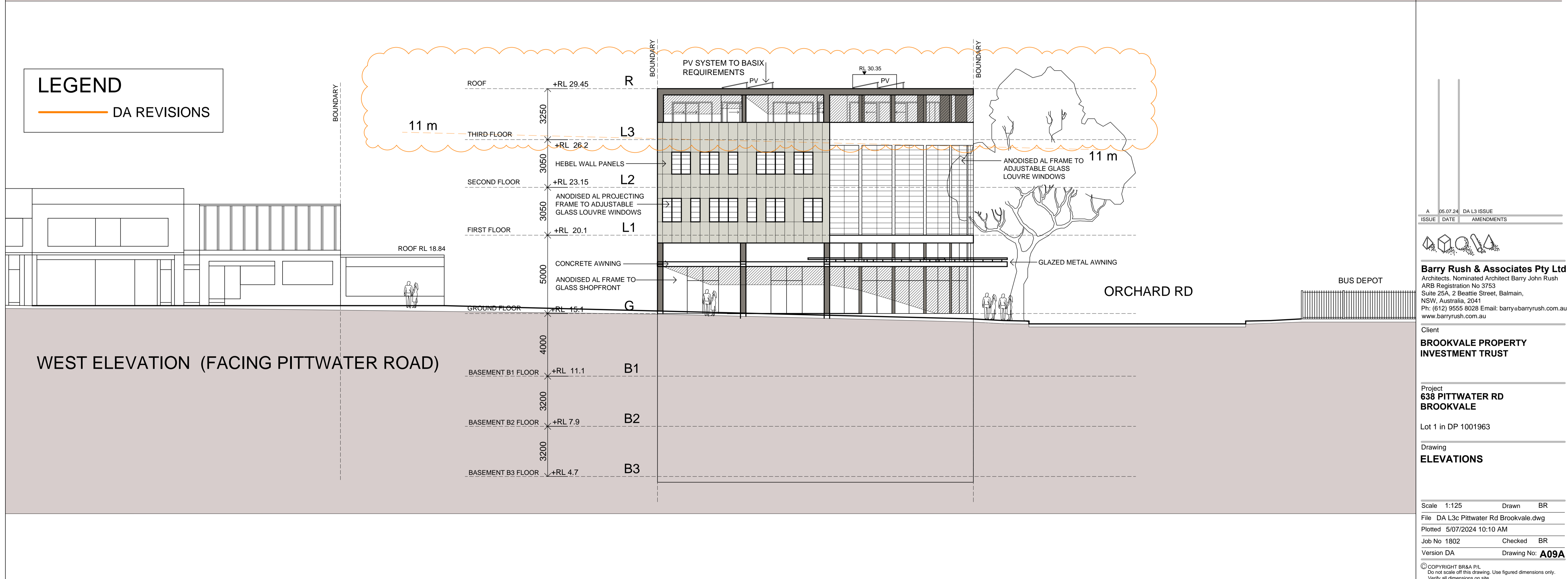
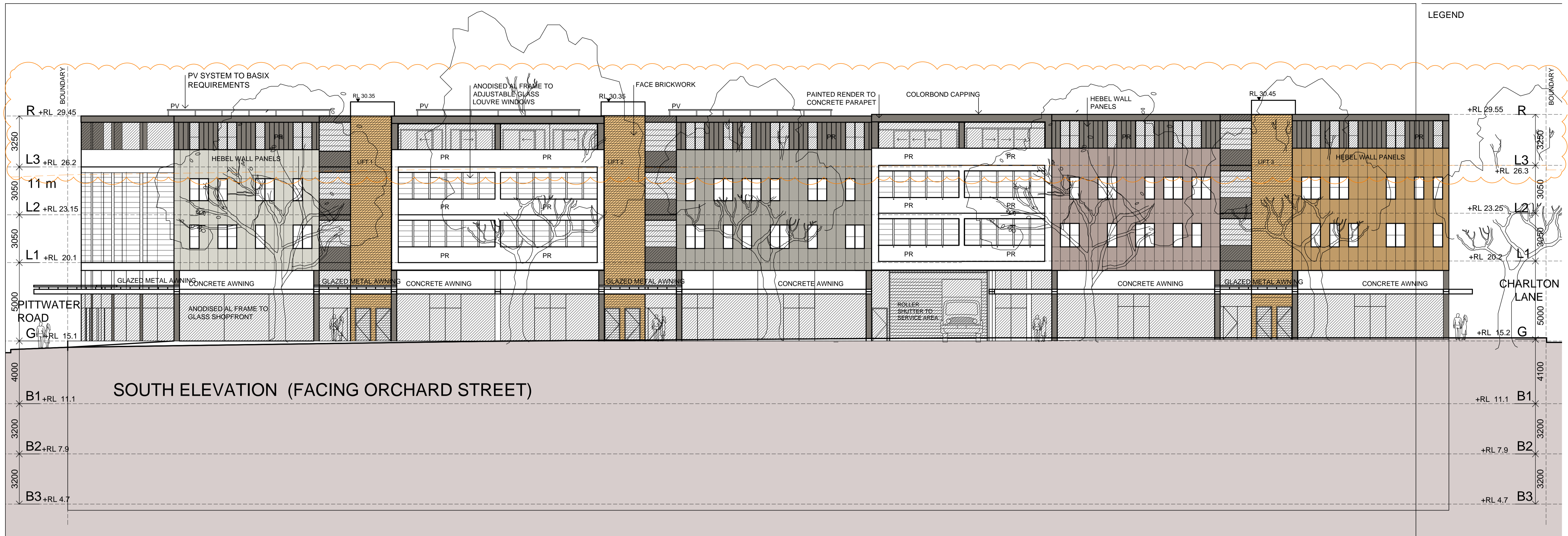
Project  
**638 PITTWATER RD BROOKVALE**  
 Lot 1 in DP 1001963

Drawing  
**ROOF PLAN**

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Version	DA	Drawing No:	<b>A08A</b>

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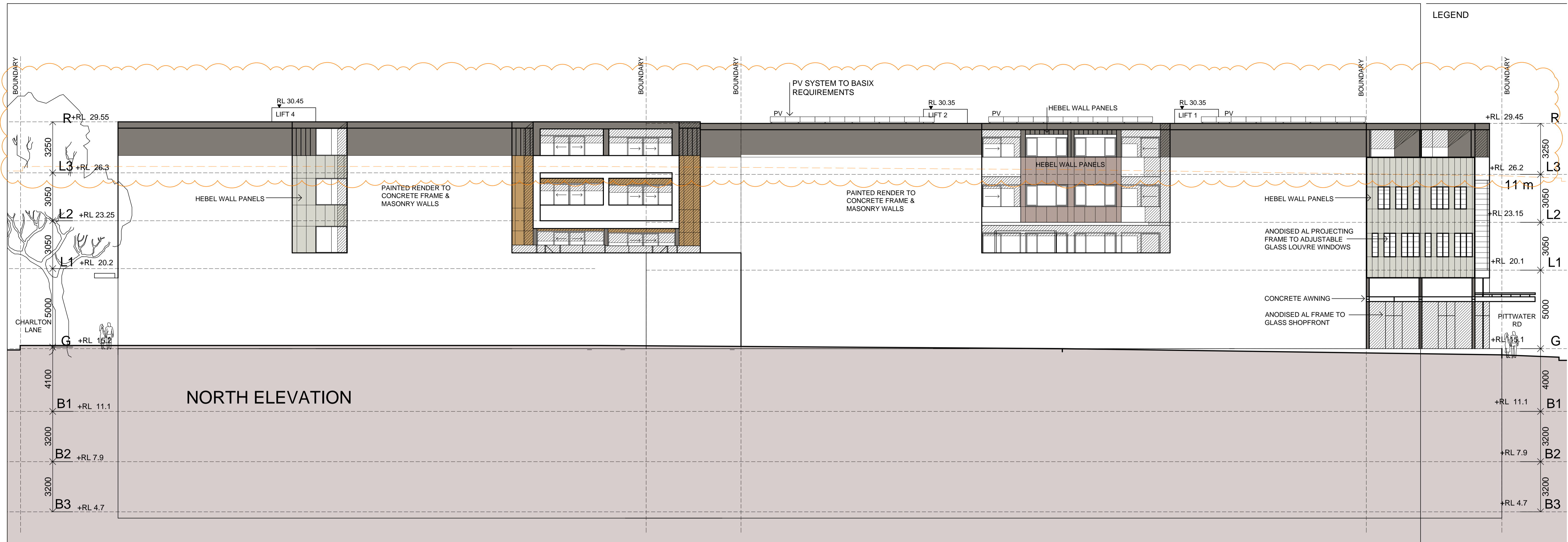
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**638 PITTWATER RD BROOKVALE**  
 Lot 1 in DP 1001963

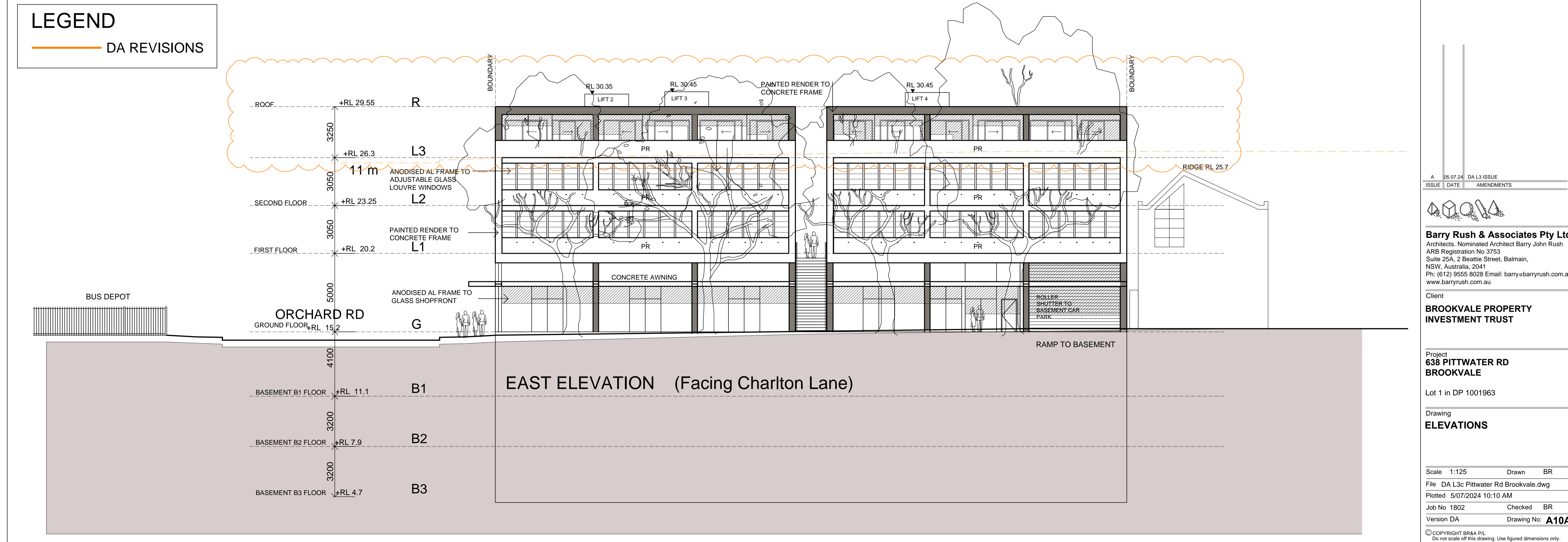
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**ELEVATIONS**

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Version	DA	Drawing No:	<b>A09A</b>

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A	05.07.24	DA L3 ISSUE



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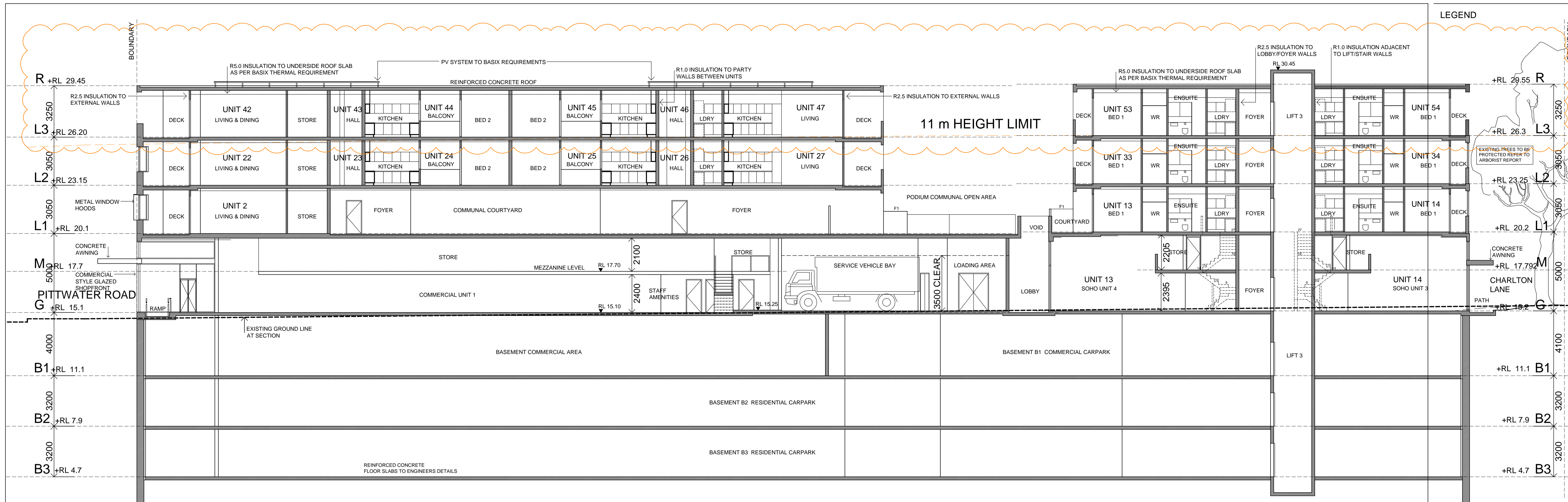
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Project  
**638 PITTWATER RD BROOKVALE**  
 Lot 1 in DP 1001963

Drawing  
**ELEVATIONS**

Scale	1:125	Drawn	BR
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Job No	1802	Checked	BR
Version	DA	Drawing No:	<b>A10A</b>

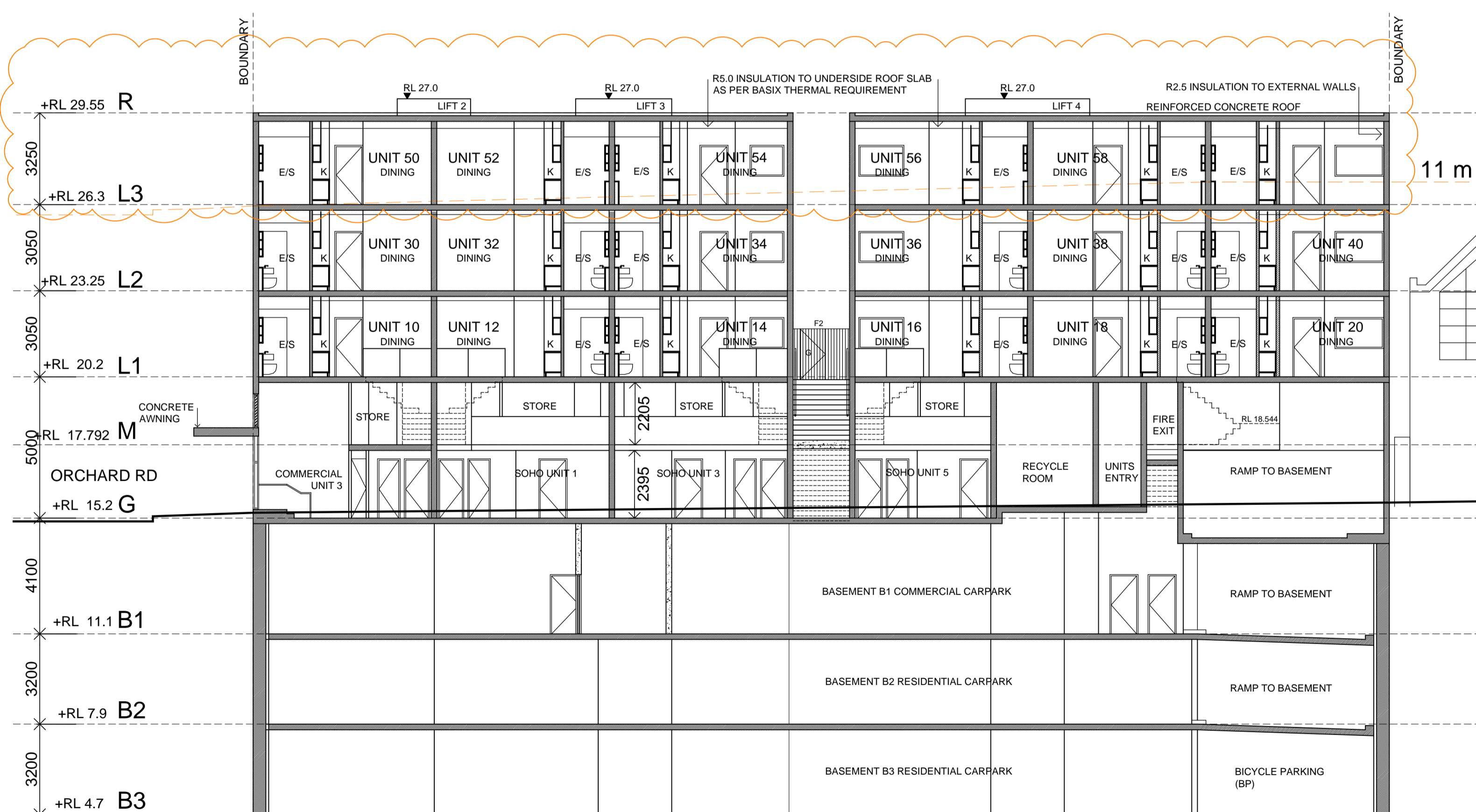
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SECTION AA



SECTION BB



SECTION CC

**LEGEND**

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B	05.07.24	DA L3 ISSUE
A	08.09.20	S4 S5 ISSUE
ISSUE	DATE	AMENDMENTS



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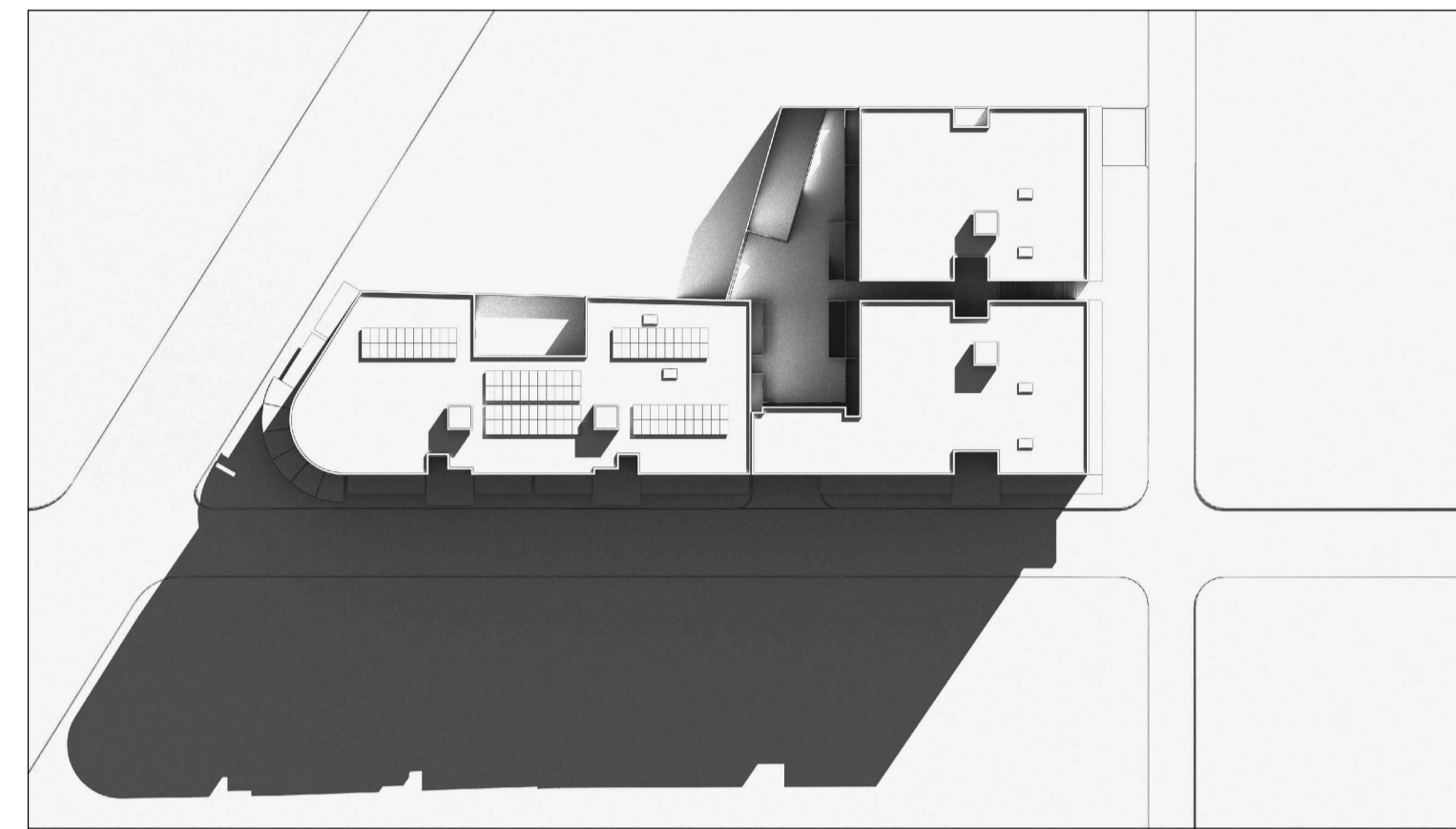
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**638 PITTWATER RD BROOKVALE**  
 Lot 1 in DP 1001963

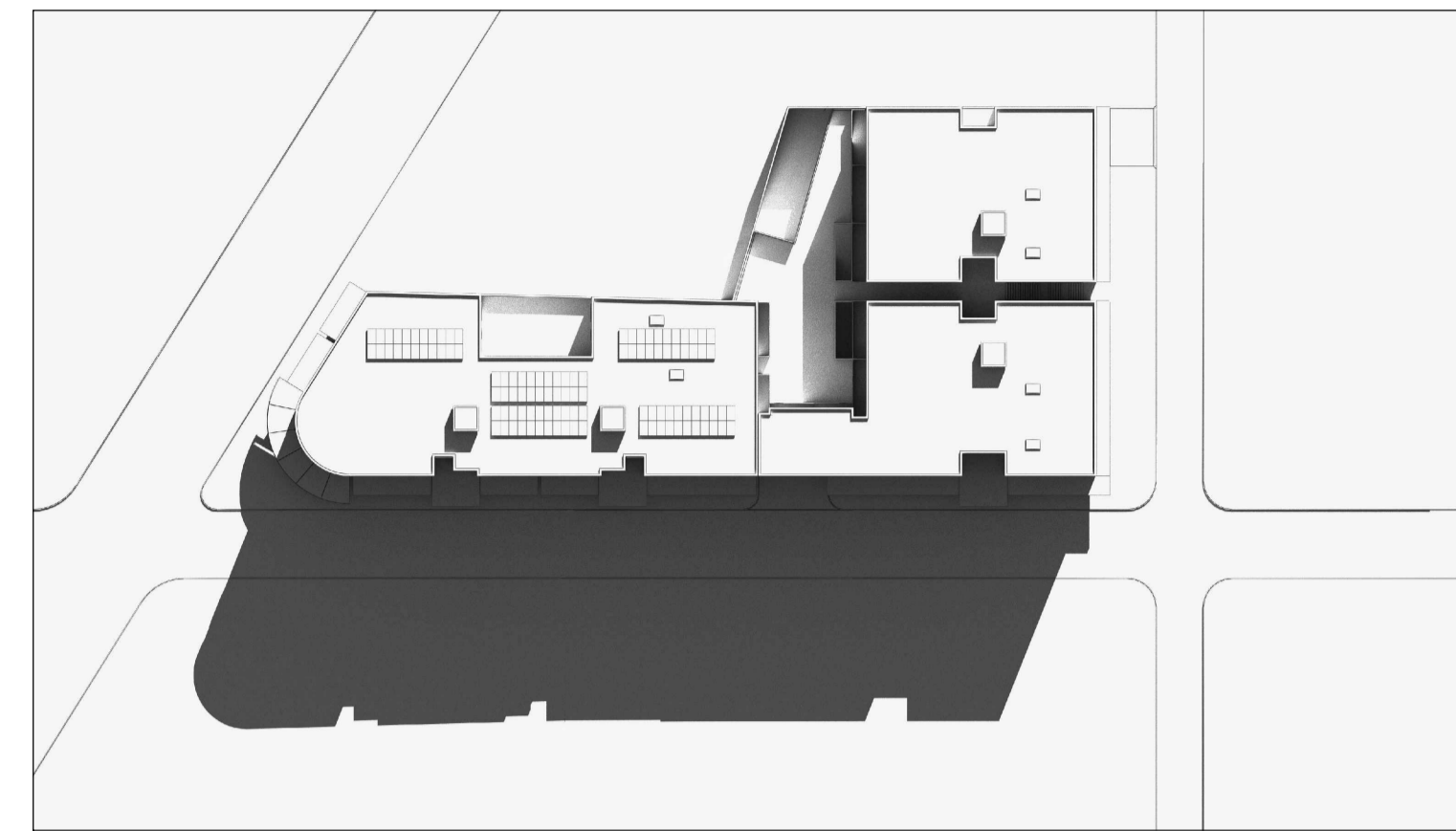
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Version	DA	Drawing No:	<b>A11B</b>

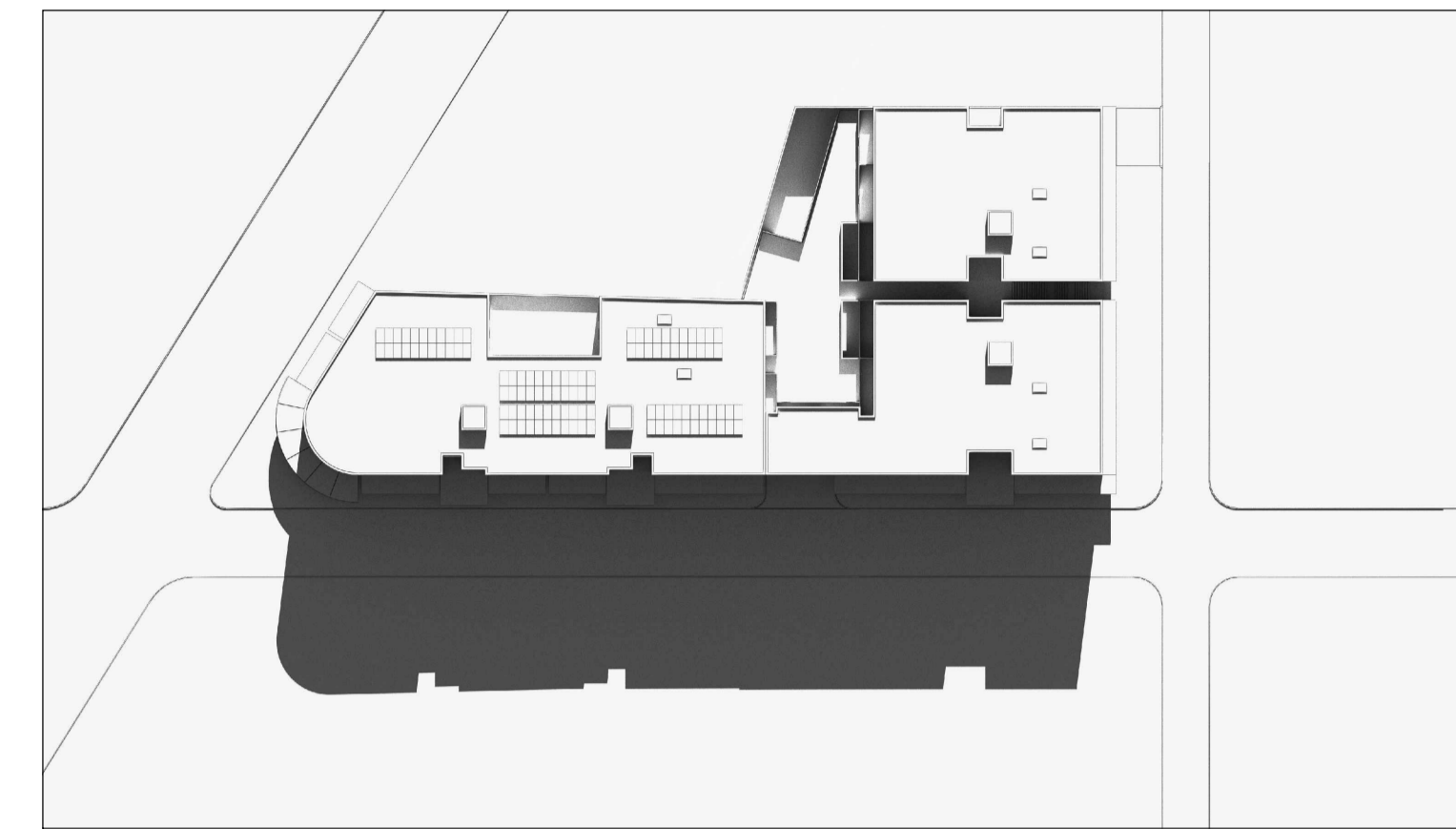
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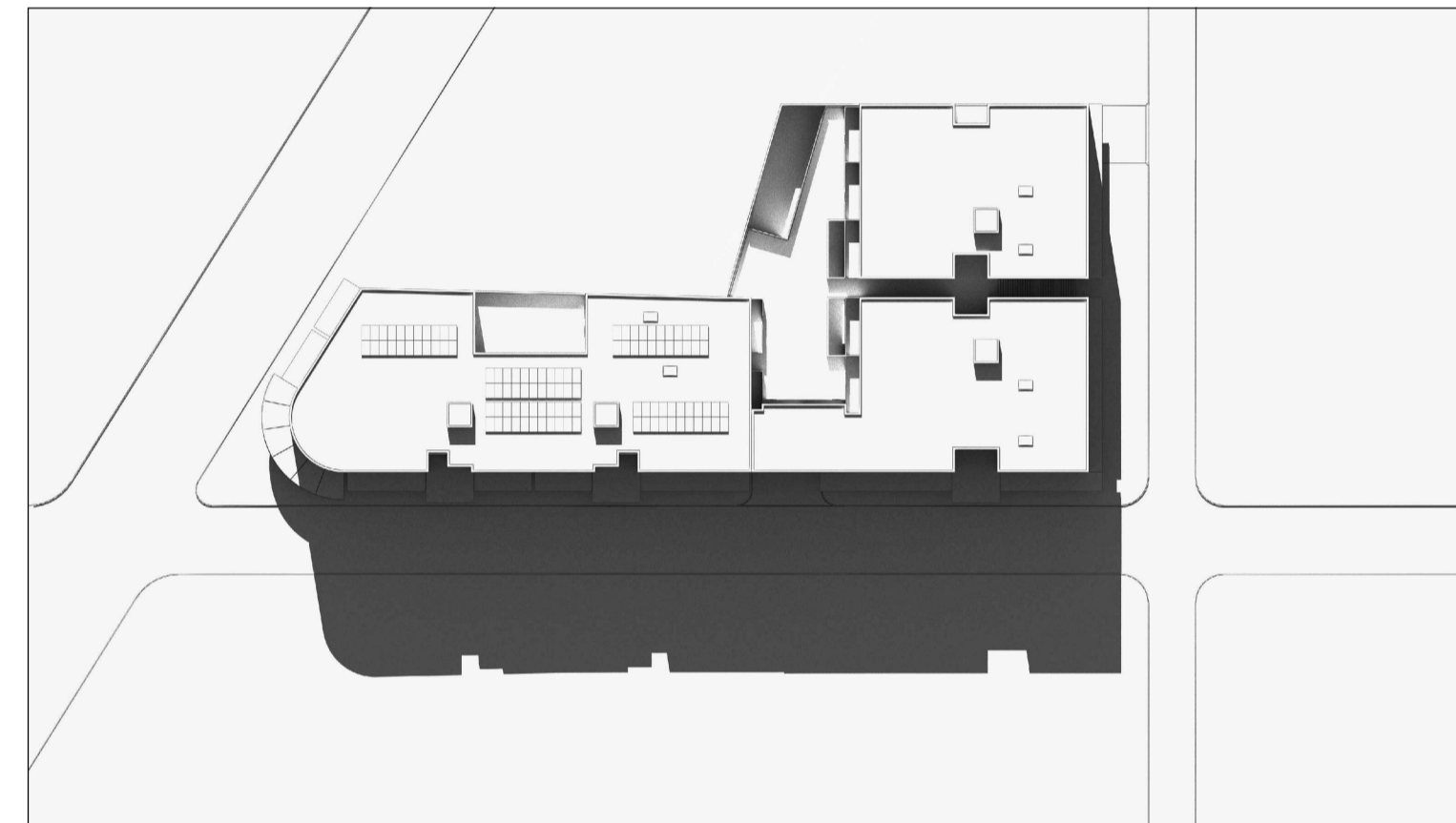
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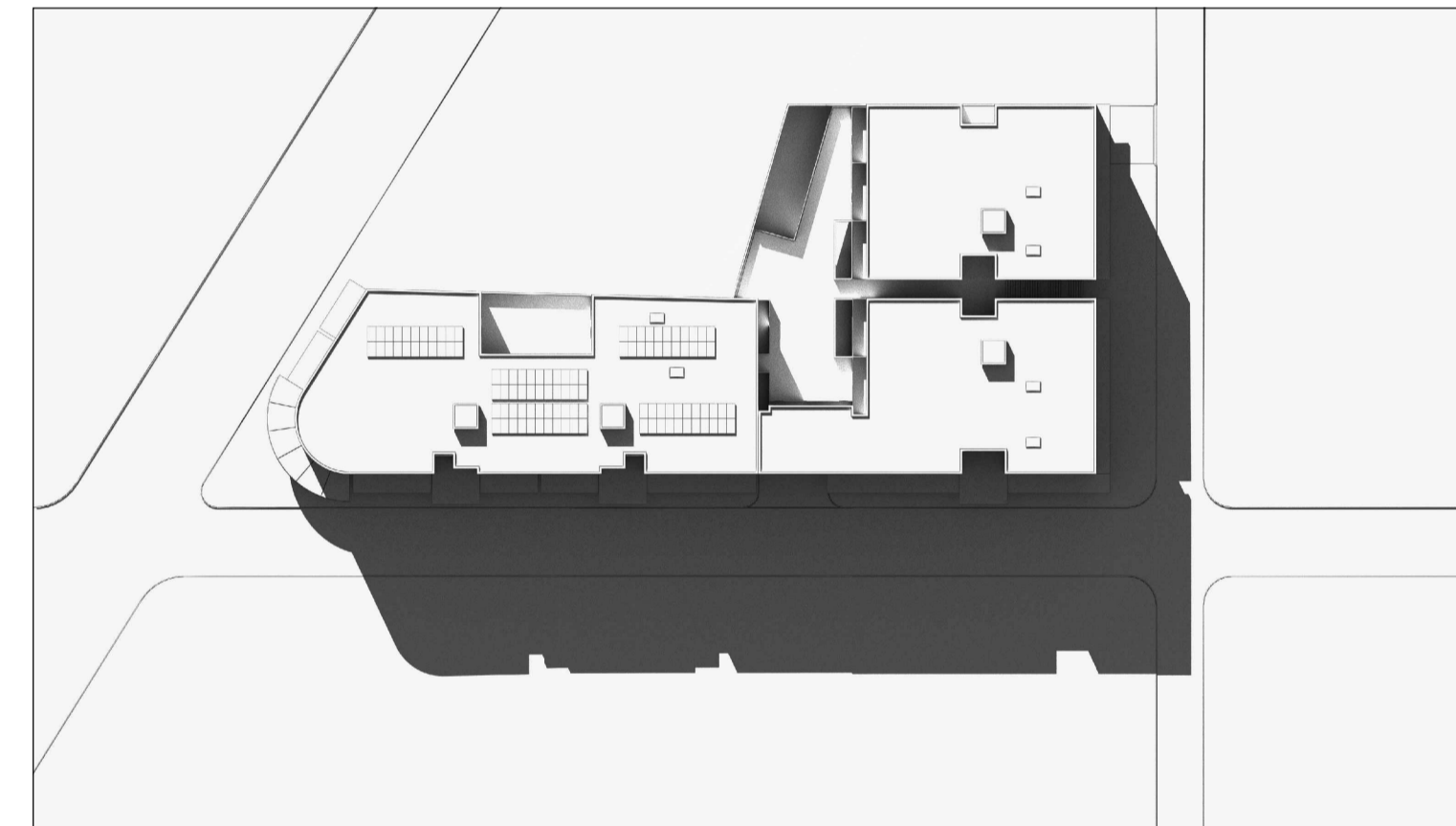
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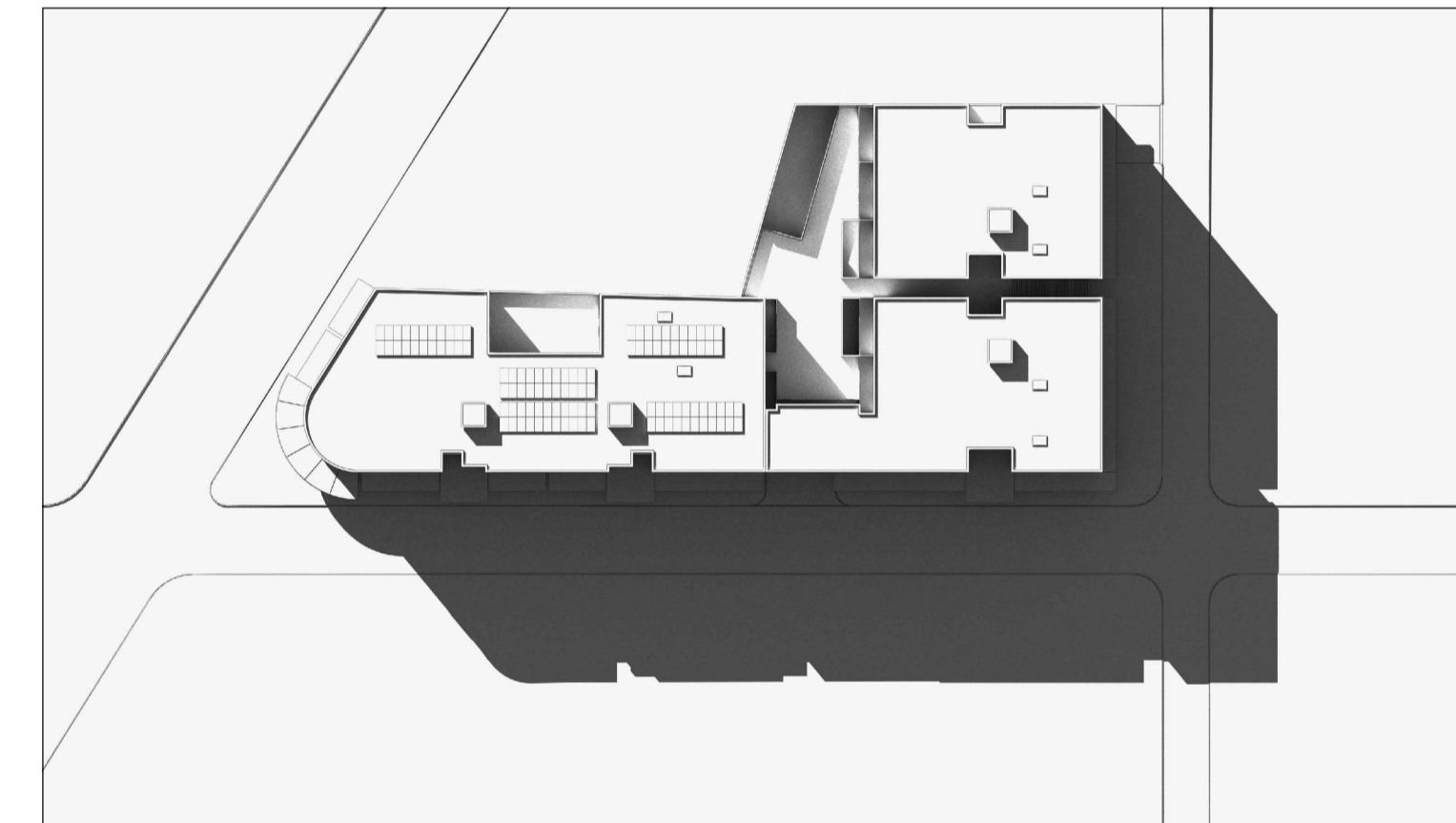
11AM



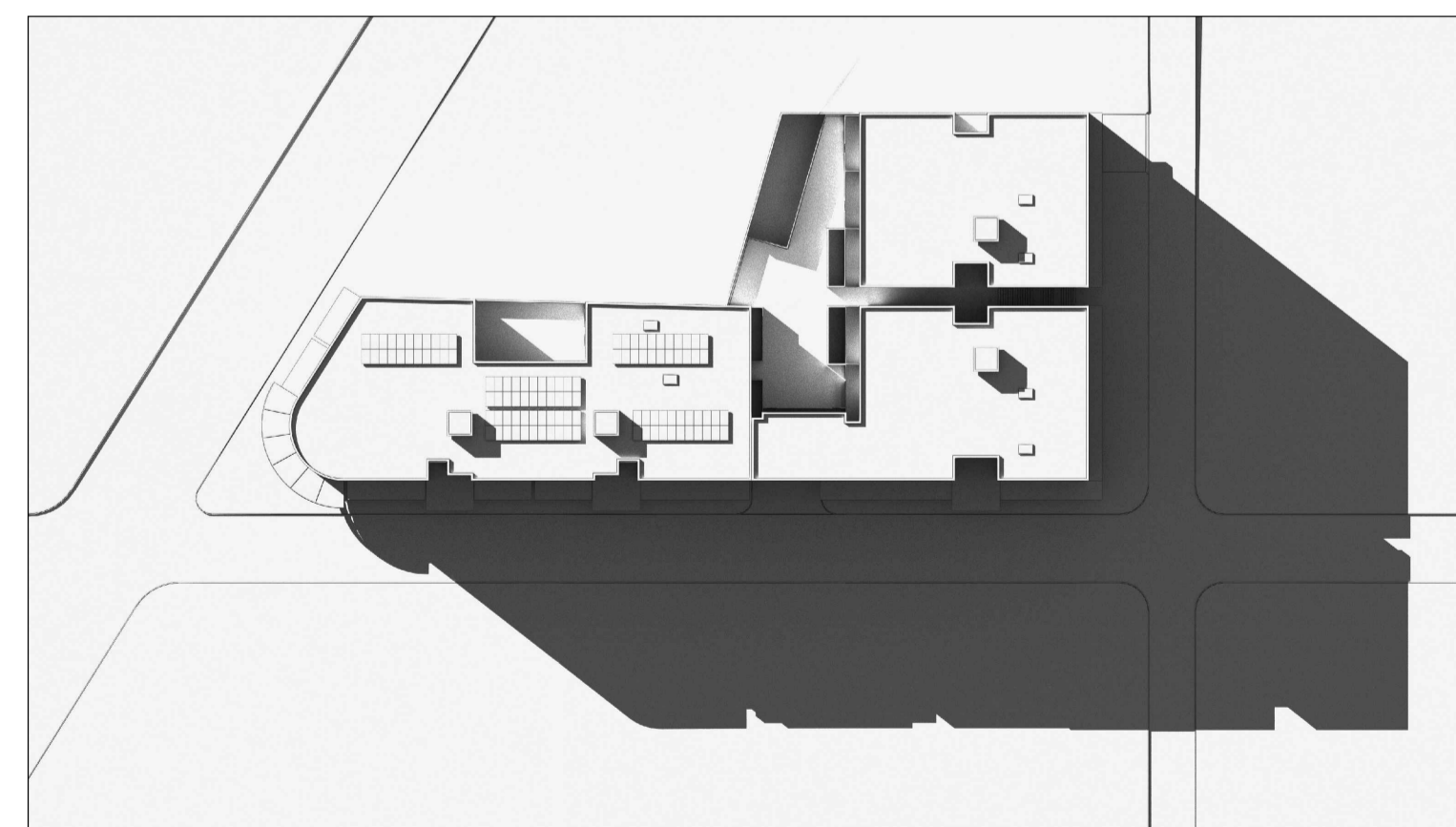
12 NOON



1PM



2PM



3PM



NORTH

APARTMENTS SCHEDULE LEVEL 1					APARTMENTS SCHEDULE LEVEL 2					APARTMENTS SCHEDULE LEVEL 3							
UNIT No	TYPE	SOLAR ACCESS (H) JUNE 21 9am-3pm		CROSS VENTILATION	STORAGE (m <sup>2</sup> ) BASEMENT	UNIT No	TYPE	SOLAR ACCESS (H) JUNE 21 9am-3pm		CROSS VENTILATION	STORAGE (m <sup>2</sup> ) BASEMENT	UNIT No	TYPE	SOLAR ACCESS (H) JUNE 21 9am-3pm		CROSS VENTILATION	STORAGE (m <sup>2</sup> ) BASEMENT
		LIVING ROOM	POS					LIVING ROOM	POS					LIVING ROOM	POS		
1	2 Bed	2	>2	YES	>8	21	2 Bed	2	>2	YES	>8	41	2 Bed	2	>2	YES	>8
2	1 Bed+S	2	>2	-	>8	22	1 Bed+S	>2	>2	-	>8	42	1 Bed+S	>2	>2	-	>8
3	2 Bed	2	>2	YES	>8	23	2 Bed	>2	>2	YES	>8	43	2 Bed	>2	>2	YES	>8
4	2 Bed	>2	-	YES	>8	24	2 Bed	>2	>2	YES	>8	44	2 Bed	>2	>2	YES	>8
5	2 Bed	>2	-	YES	>8	25	2 Bed	>2	>2	YES	>8	45	2 Bed	>2	>2	YES	>8
6	3 Bed	-	1	YES	>8	26	3 Bed	-	1	YES	>8	46	3 Bed	>2	1	YES	>8
7	Studio	-	1	-	>8	27	Studio	-	1	-	>8	47	Studio	>2	1	-	>8
8	3 Bed	>2	>2	YES	>8	28	3 Bed	>2	>2	YES	>8	48	3 Bed	>2	>2	YES	>8
9	2 Bed+O	>2	>2	YES	>8	29	2 Bed	>2	>2	YES	>8	49	2 Bed	>2	>2	YES	>8
10	1 Bed+O	1	2	YES	>8	30	1 Bed	1	2	YES	>8	50	1 Bed	>2	2	YES	>8
11	1 Bed+O	2	>2	-	>8	31	1 Bed	2	>2	-	>8	51	1 Bed	2	>2	-	>8
12	1 Bed+O	1	2	-	>8	32	1 Bed	1	2	-	>8	52	1 Bed	>2	2	-	>8
13	1 Bed+O	2	>2	YES	>8	33	1 Bed	2	>2	YES	>8	53	1 Bed	>2	>2	YES	>8
14	1 Bed+O	2	2	YES	>8	34	1 Bed	2	2	YES	>8	54	1 Bed	>2	2	YES	>8
15	1 Bed+O	2	>2	YES	>8	35	1 Bed	2	>2	YES	>8	55	1 Bed	2	>2	YES	>8
16	1 Bed+O	1	2	YES	>8	36	1 Bed	1	2	YES	>8	56	1 Bed	>2	2	YES	>8
17	1 Bed+O	2	>2	YES	>8	37	1 Bed	2	>2	-	>8	57	1 Bed	2	>2	-	>8
18	1 Bed	1	2	-	>8	38	1 Bed	1	2	-	>8	58	1 Bed	>2	2	-	>8
19	1 Bed+O	>2	>2	YES	>8	39	1 Bed	>2	>2	YES	>8	59	1 Bed	>2	>2	YES	>8
20	1 Bed	>2	2	YES	>8	40	1 Bed	>2	2	YES	>8	60	1 Bed	>2	2	YES	>8
UNIT TOTALS		14	16	15		UNIT TOTALS		14	18	14		UNIT TOTALS		20	18	14	

SOLAR ACCESS SUMMARY		UNIT TOTAL	TOTAL (%)
UNITS WITH MIN 2 HRS TO LIVING ROOM		48	80
UNITS WITH MIN 2 HRS TO POS		52	86

CROSS VENTILATION SUMMARY		UNIT TOTAL	TOTAL (%)
UNITS WITH CROSS VENTILATION		43	71

ISSUE	DATE	AMENDMENTS
B	05.07.24	DA L3 ISSUE
A	07/02/19	SCHEDULE REVISED



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Client

**BROOKVALE PROPERTY INVESTMENT TRUST**

Project  
**638 PITTWATER RD BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**SHADOW DIAGRAMS MID WINTER**

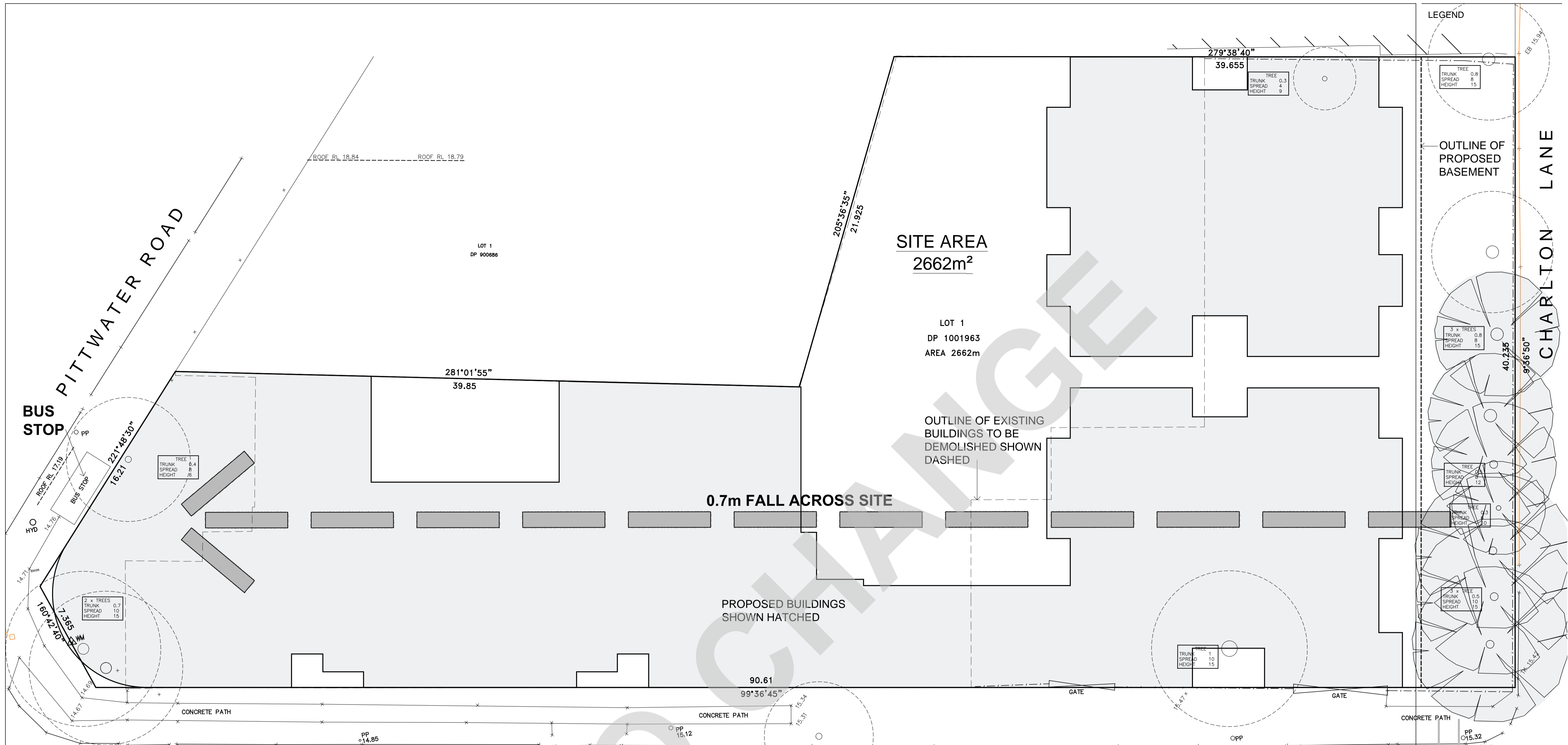
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File DA L3b Pittwater Rd Brookvale Shadows.dwg  
 Plotted 5/07/2024 11:11 AM

Job No 1802 Checked BR

Version DA Drawing No: **A12B**

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**SITE ANALYSIS PLAN**  
SCALE (METRES) 1:250 AT A3

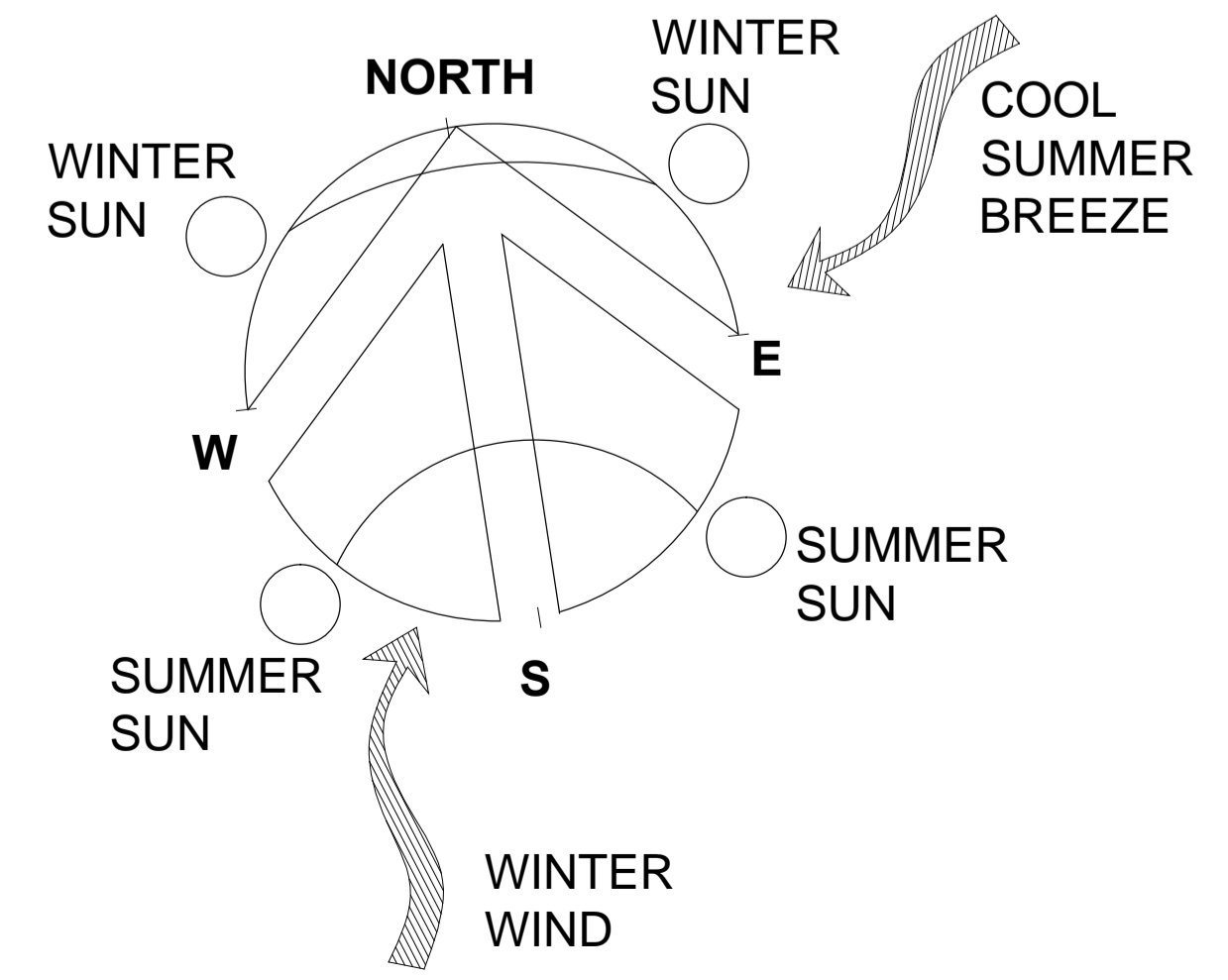


PRIMARY SCHOOL  
approx. 400m

HIGH SCHOOL, BROOKVALE  
OVAL  
approx. 600m

MAJOR SHOPPING CENTRE,  
POST OFFICE  
approx. 550m

BEACH  
approx. 2.9 km



- EXISTING TREE TO REMAIN
- TREE TO BE REMOVED

**LEGEND**

OUTLINE OF PROPOSED BASEMENT

CHARLTON LANE

TRUNK	SPREAD	HEIGHT
0.3	4	9
0.8	8	15
0.4	8	6
0.7	10	15
0.4	8	6
0.8	8	12
0.5	10	15
1	10	15
0.4	7	5

ISSUE DATE AMENDMENTS

A 05.07.24 DA L3 ISSUE

O 15.32

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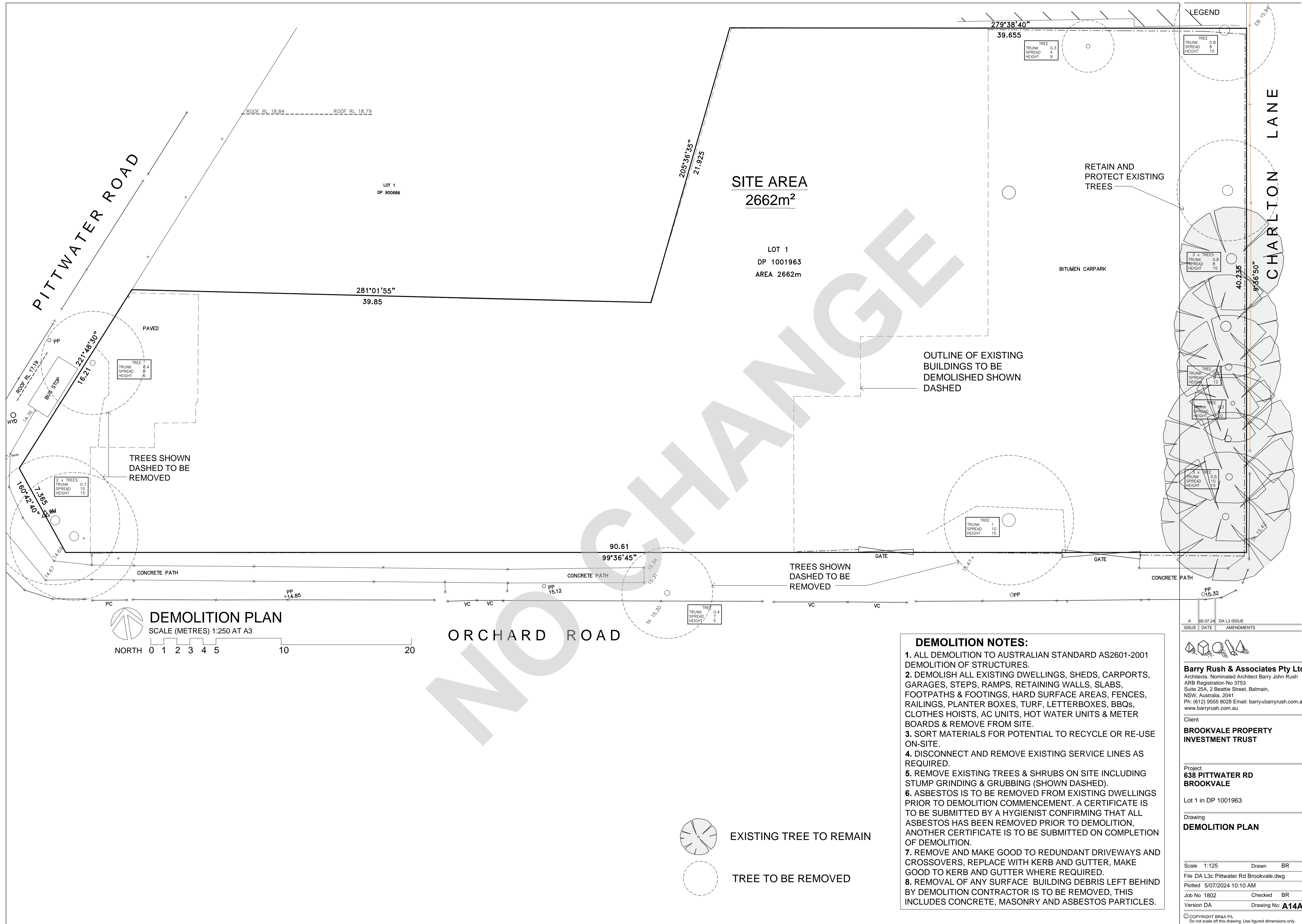
Client  
**BROOKVALE PROPERTY INVESTMENT TRUST**

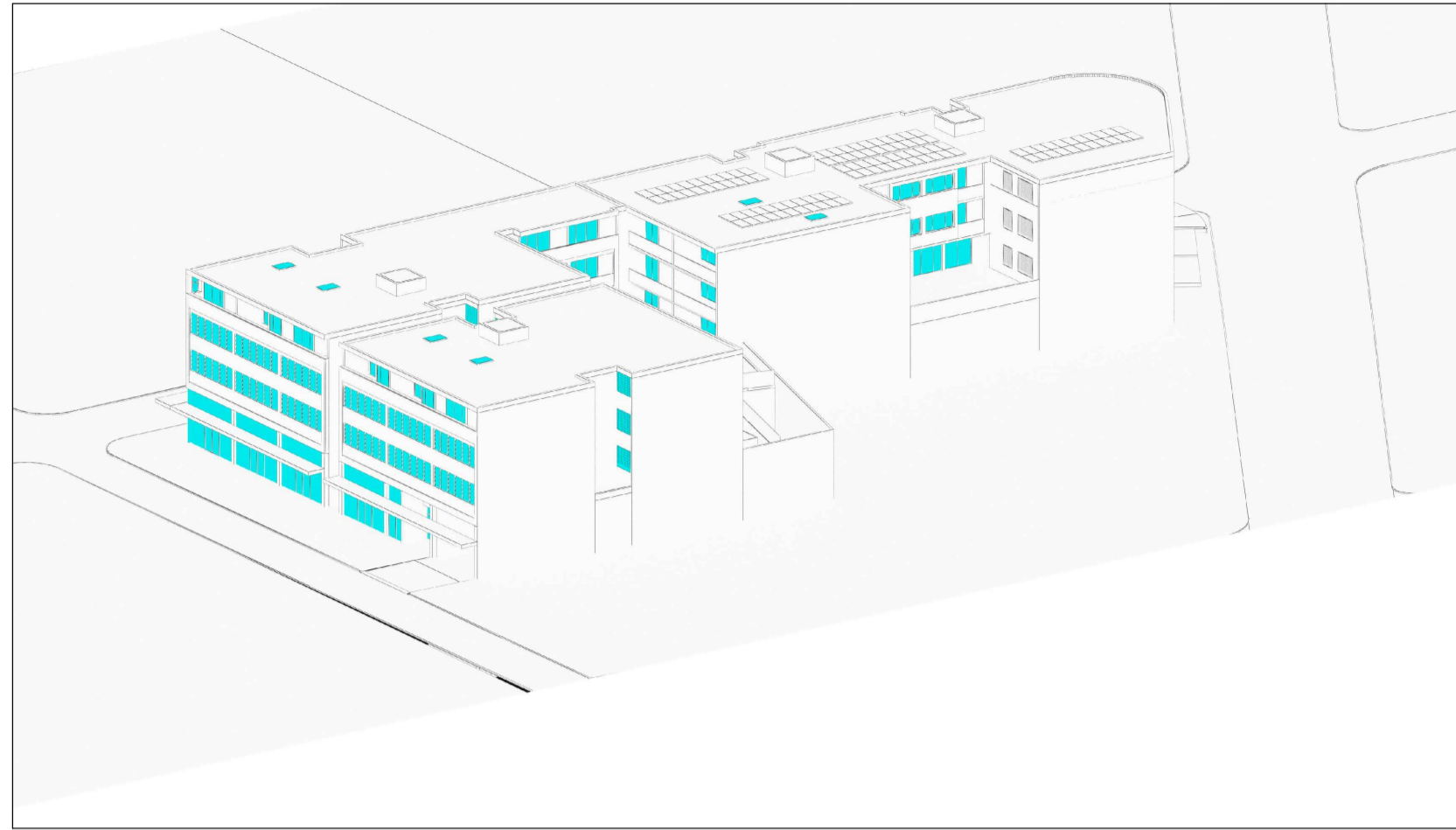
Project  
**638 PITTWATER RD BROOKVALE**  
Lot 1 in DP 1001963

Drawing  
**SITE ANALYSIS PLAN**

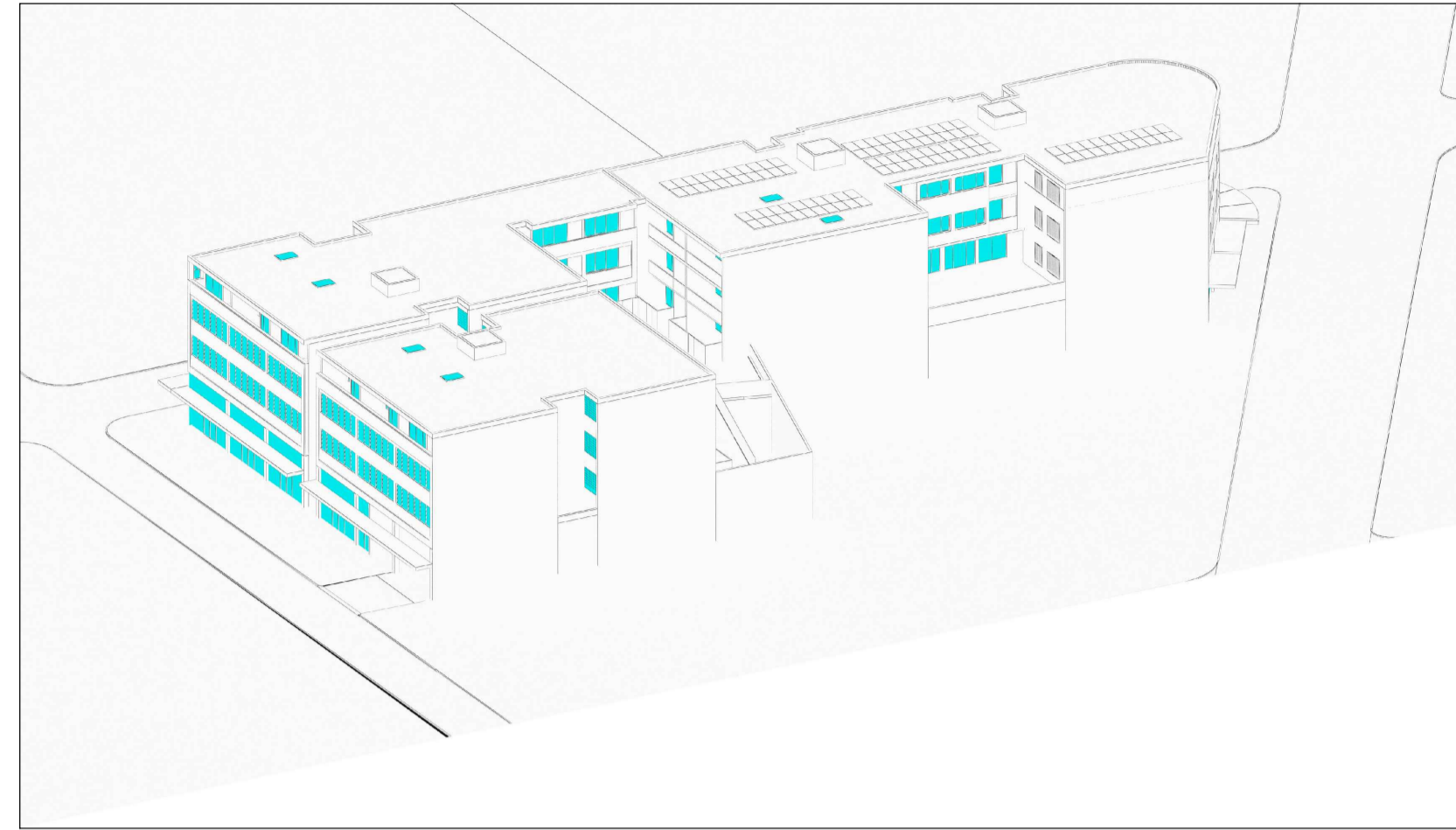
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Version DA Drawing No: **A13A**

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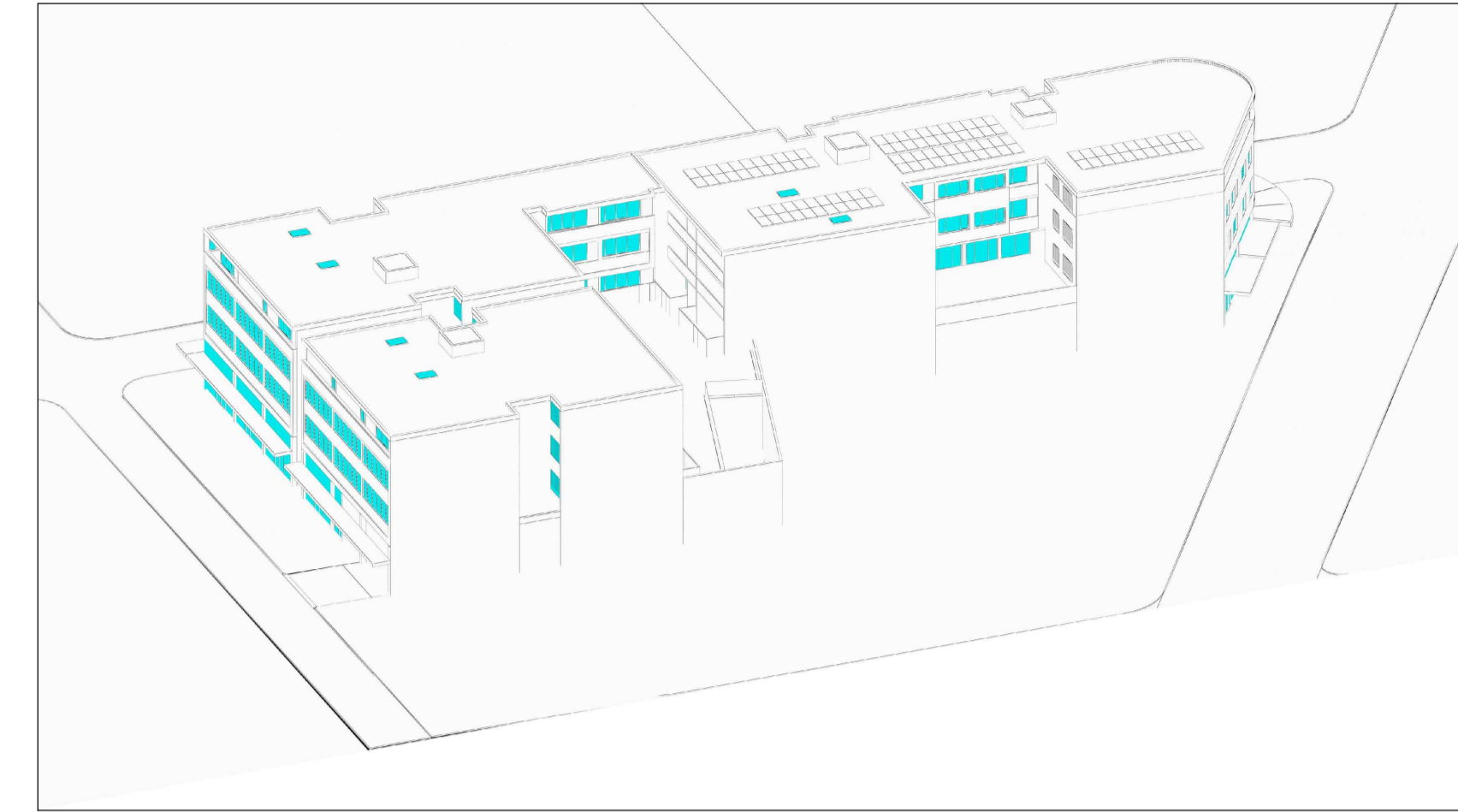




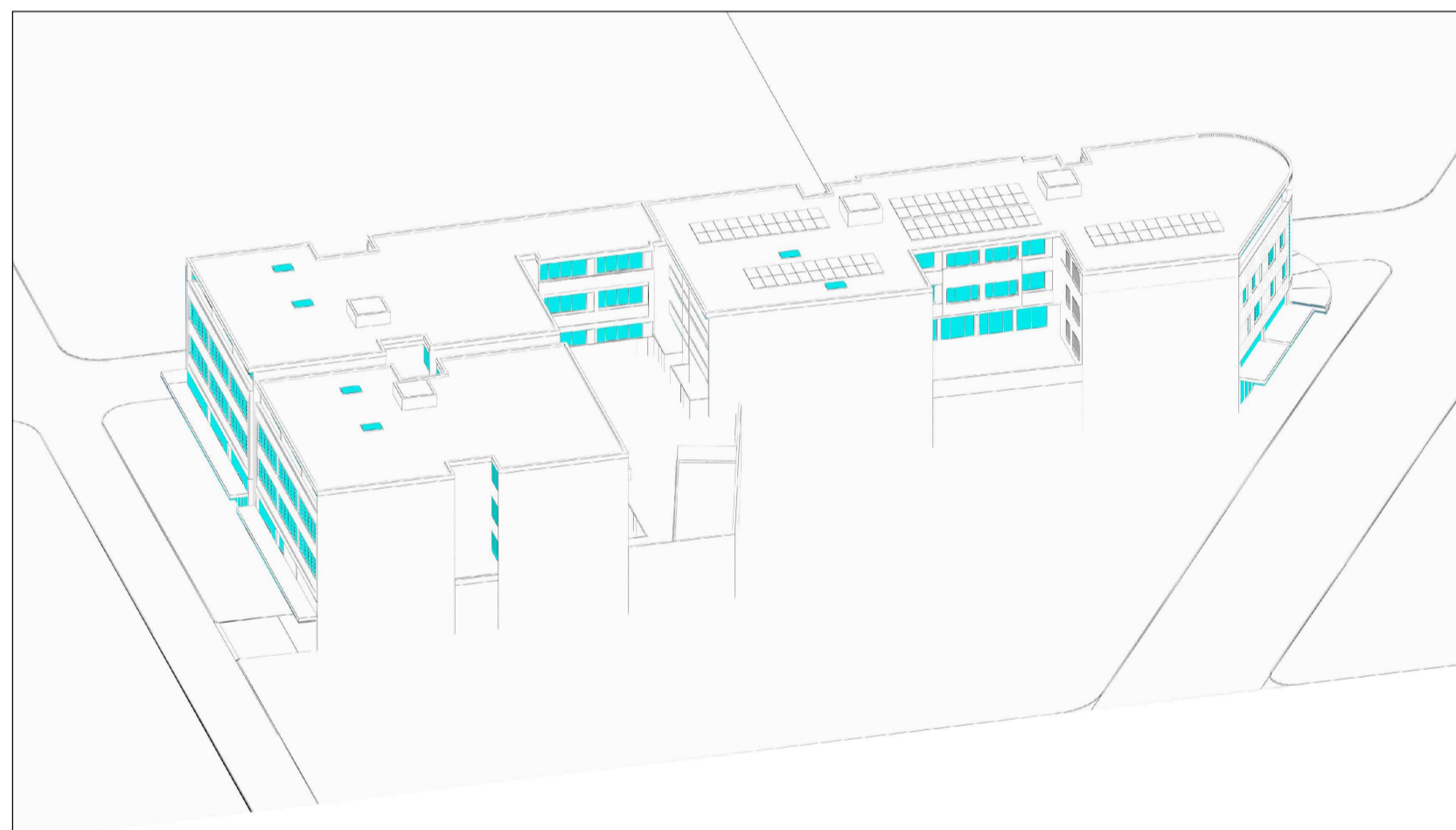
9AM



9:30AM



10AM



10:30AM



11AM



11:30AM

ISSUE	DATE	AMENDMENTS
A	05.07.24	DA L3 ISSUE



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Client  
**BROOKVALE PROPERTY  
 INVESTMENT TRUST**

Project  
**638 PITTWATER RD  
 BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**VIEWS FROM THE SUN  
 MID WINTER 21st JUNE**

Scale NTS Drawn JL

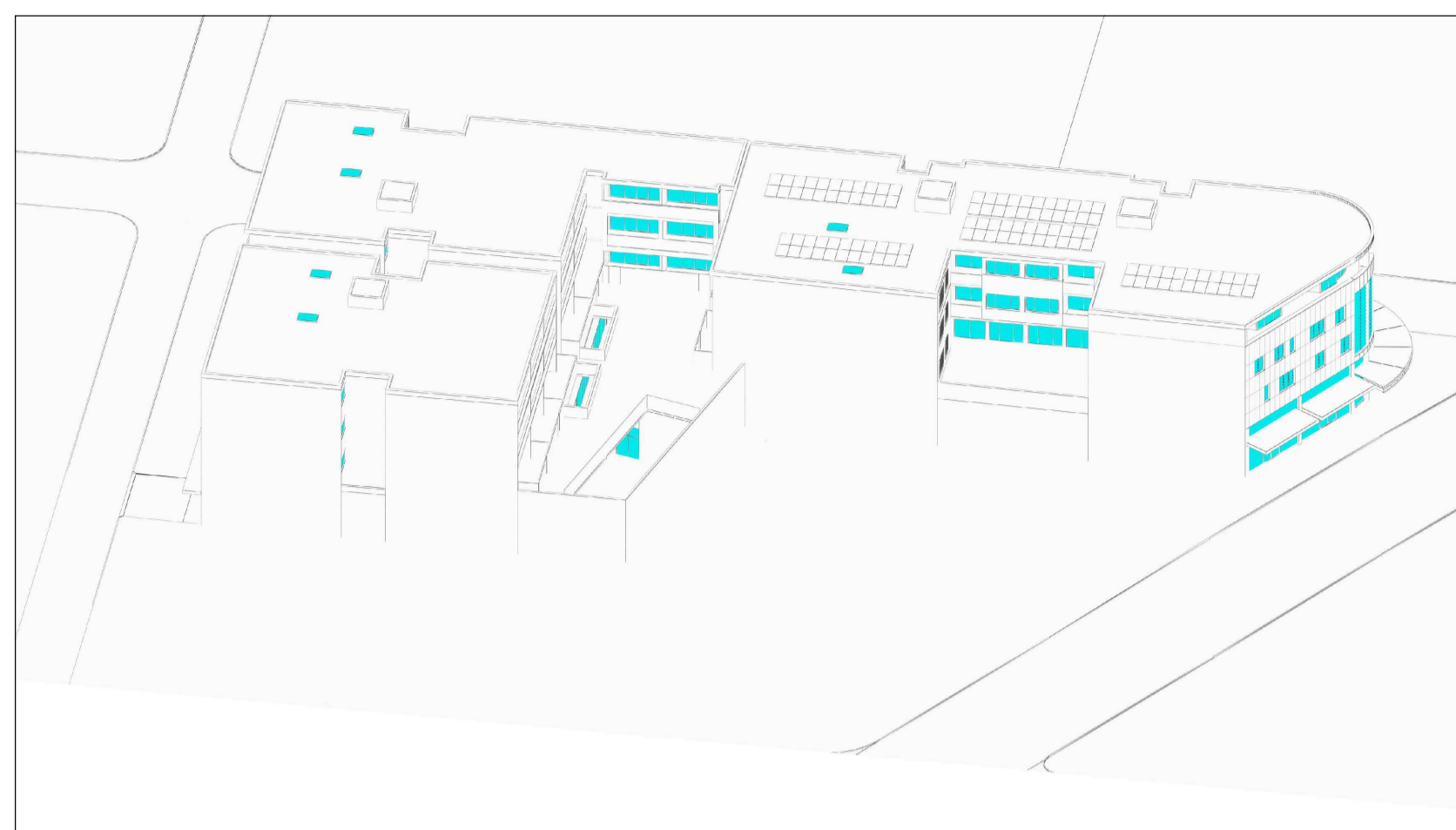
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Plotted 5/07/2024 11:11 AM

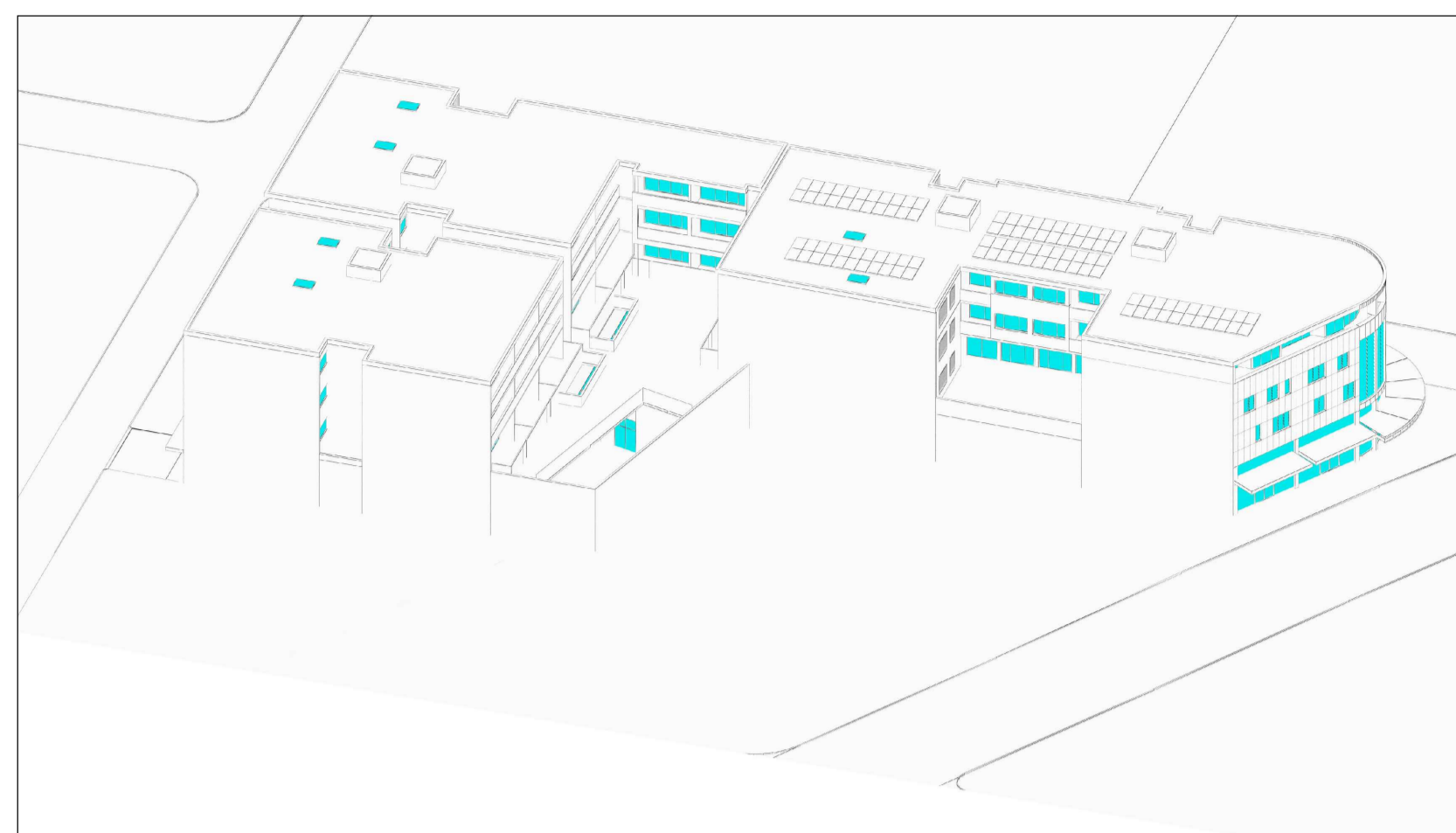
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Version DA Drawing No: **A15A**

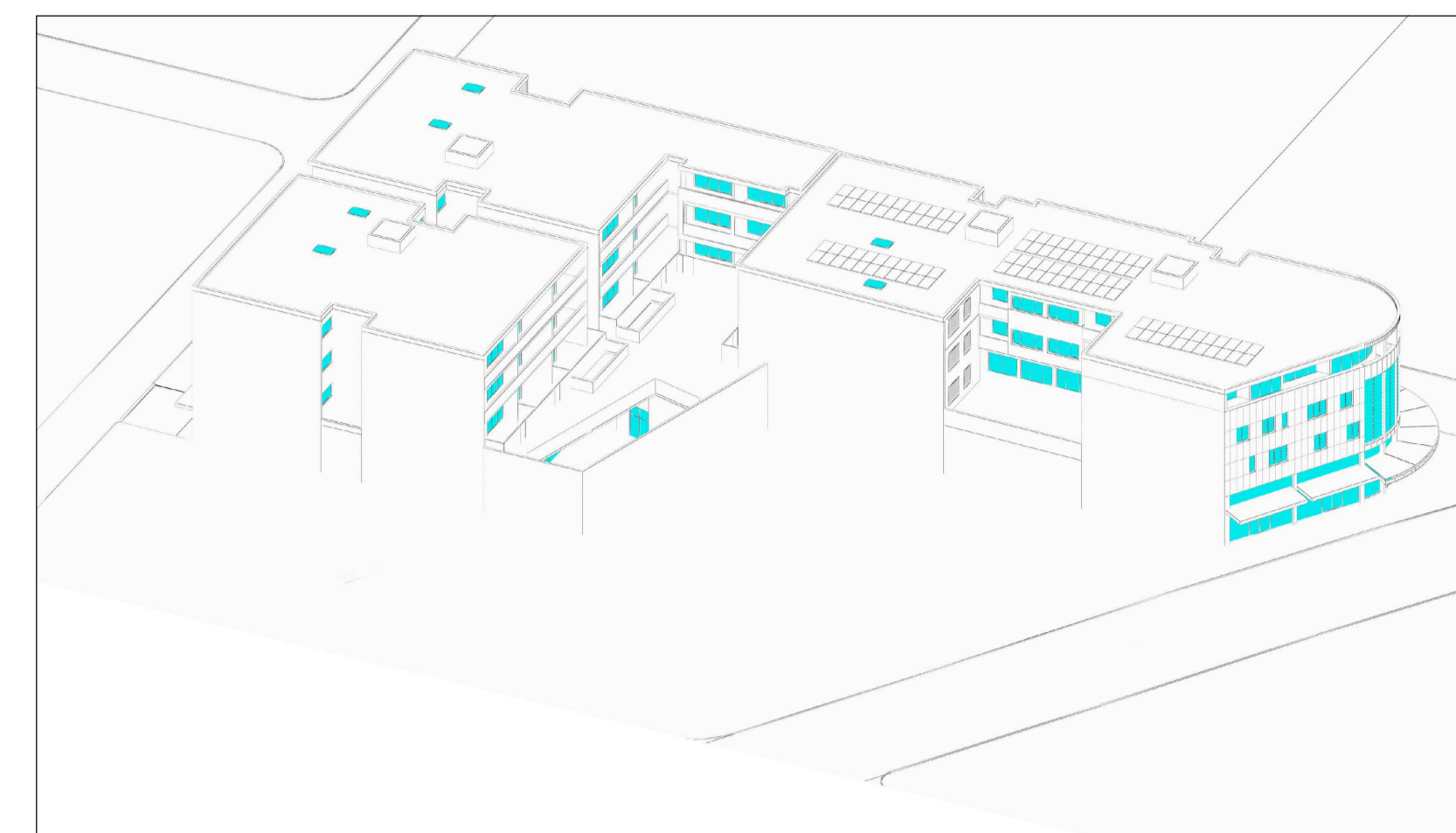
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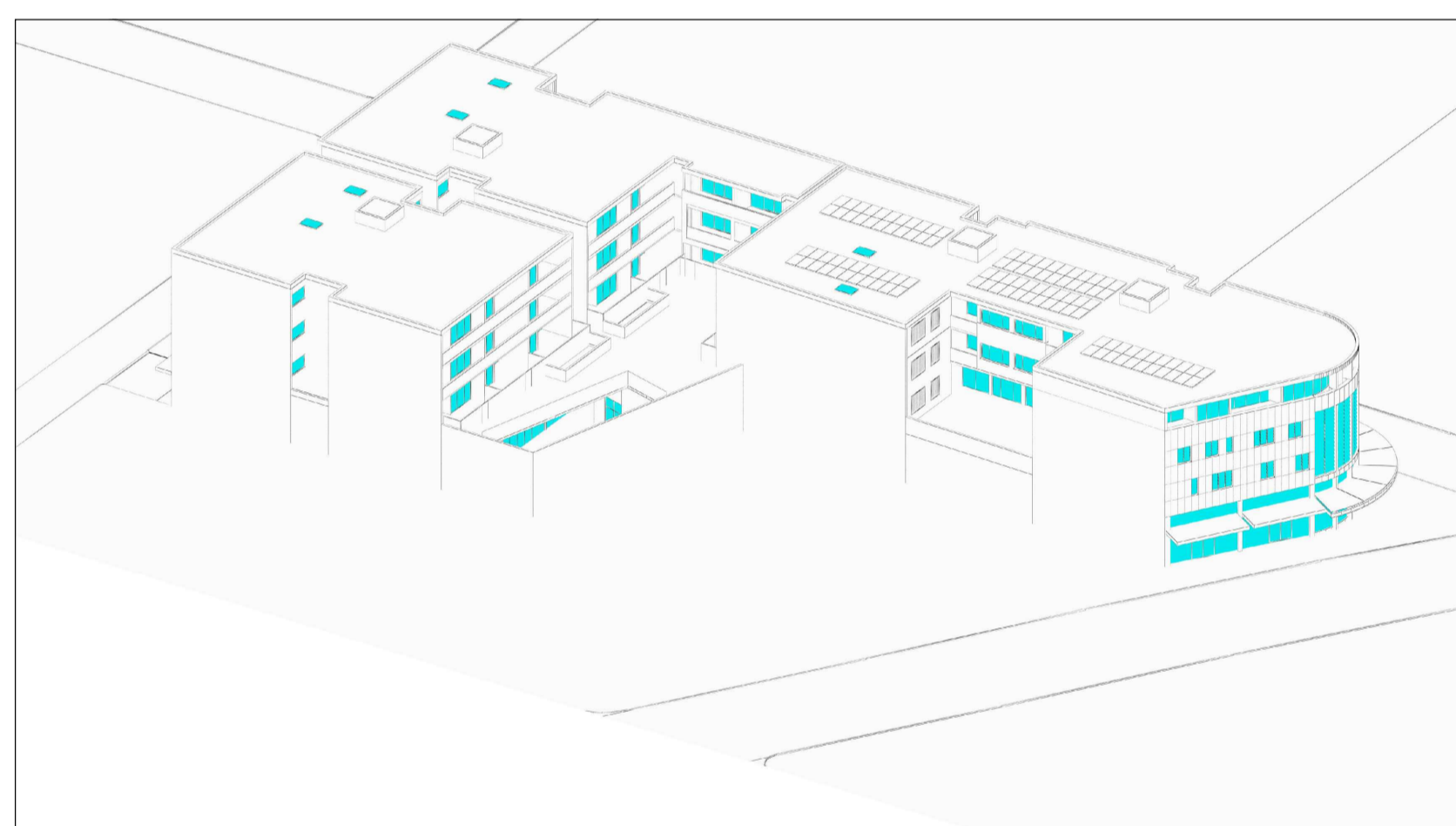
12 NOON



12:30PM



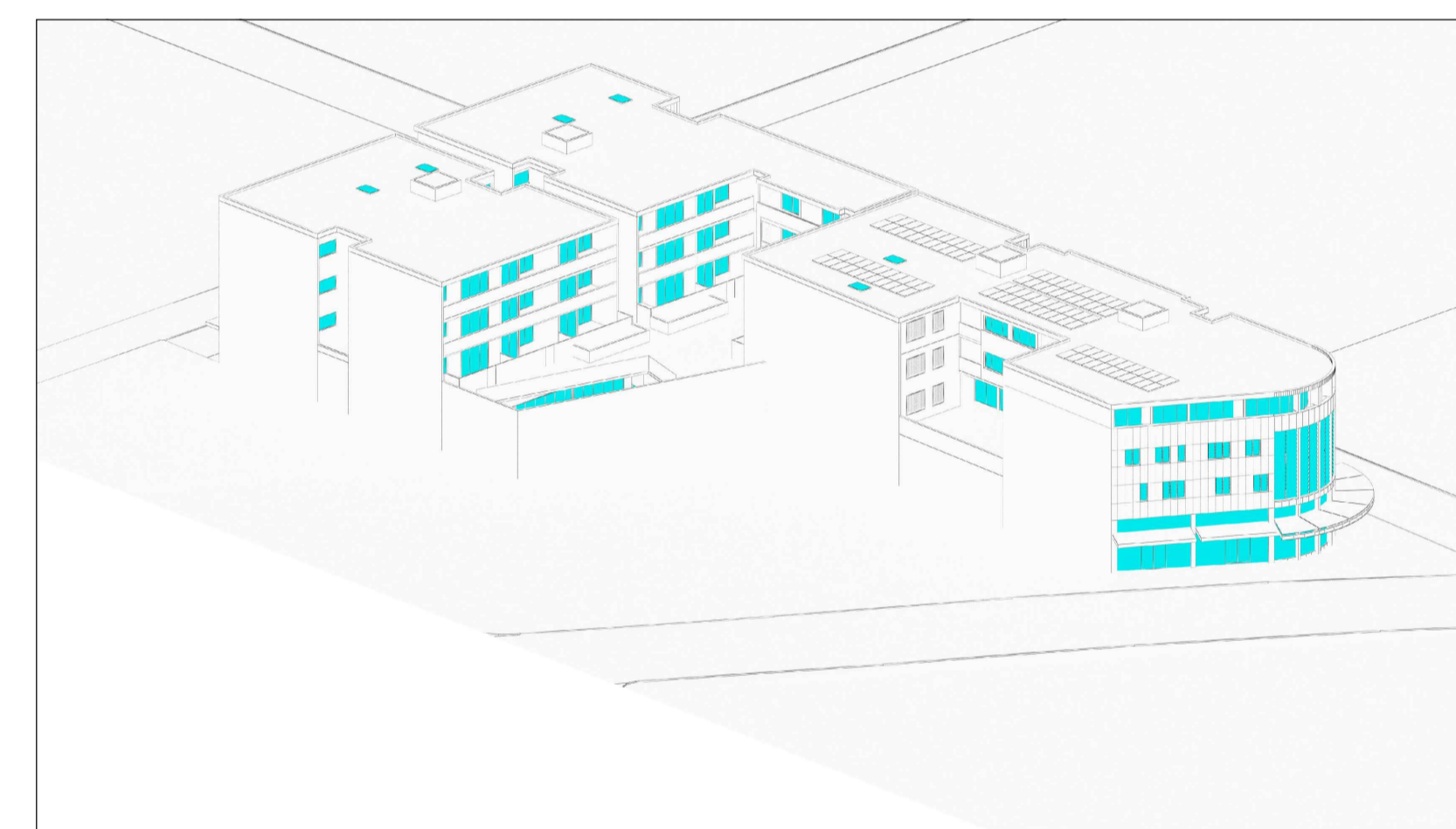
1PM



1:30PM



2PM



2:30PM



3PM

ISSUE	DATE	AMENDMENTS
A	05.07.24	DA L3 ISSUE



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Client  
**BROOKVALE PROPERTY  
 INVESTMENT TRUST**

Project  
**638 PITTWATER RD  
 BROOKVALE**

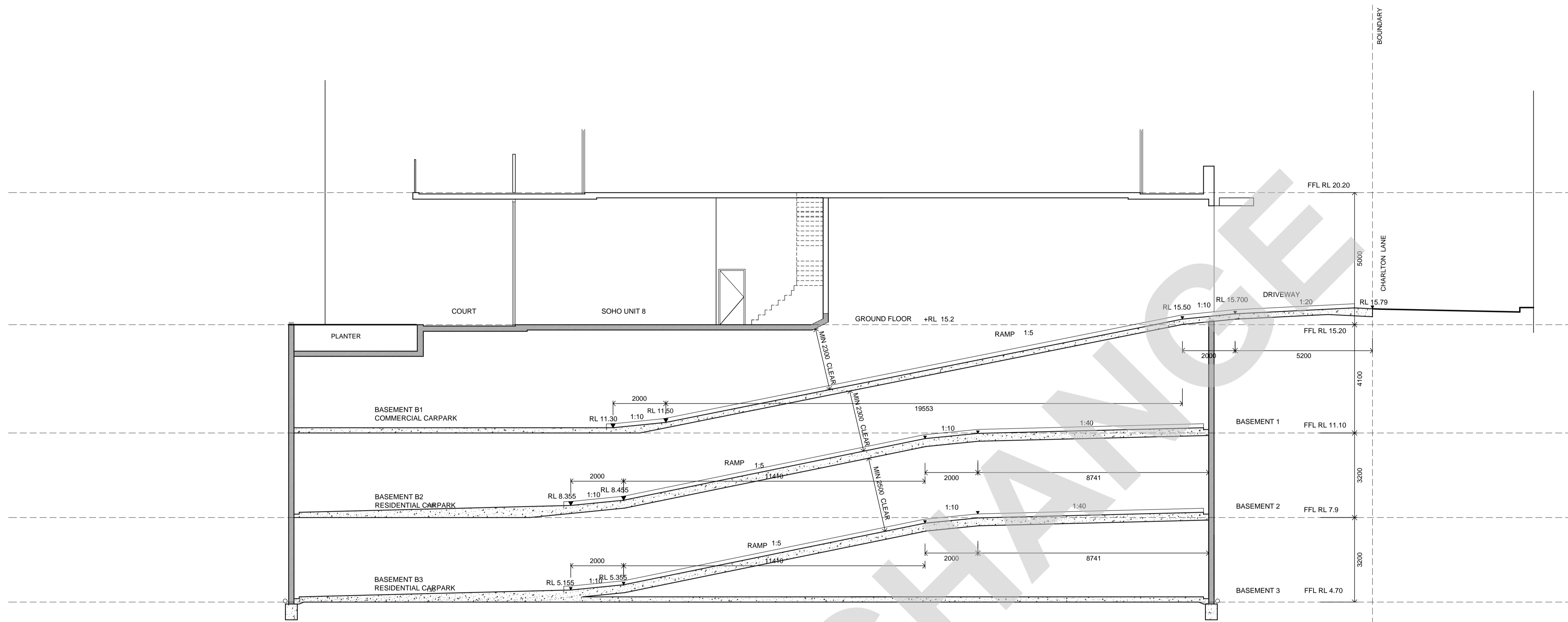
Lot 1 in DP 1001963

Drawing  
**VIEWS FROM THE SUN  
 MID WINTER 21st JUNE**

Scale NTS Drawn JL  
 File DA L3b Pittwater Rd Brookvale Shadows.dwg  
 Plotted 5/07/2024 11:11 AM  
 Job No 1802 Checked BR  
 Version DA Drawing No: **A16A**

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DRIVEWAY/RAMP SECTION 1:50

ISSUE	DATE	AMENDMENTS
A	05.07.24	DA L3 ISSUE



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Client

**BROOKVALE PROPERTY  
 INVESTMENT TRUST**

Project  
**638 PITTWATER RD  
 BROOKVALE**

Lot 1 in DP 1001963

Drawing  
**DRIVEWAY SECTION**

Scale 1:50 Drawn BR

File DA L3c Pittwater Rd Brookvale.dwg

Plotted 5/07/2024 10:10 AM

Job No 1802 Checked BR

Version DA Drawing No: **A17A**

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# LEGEND

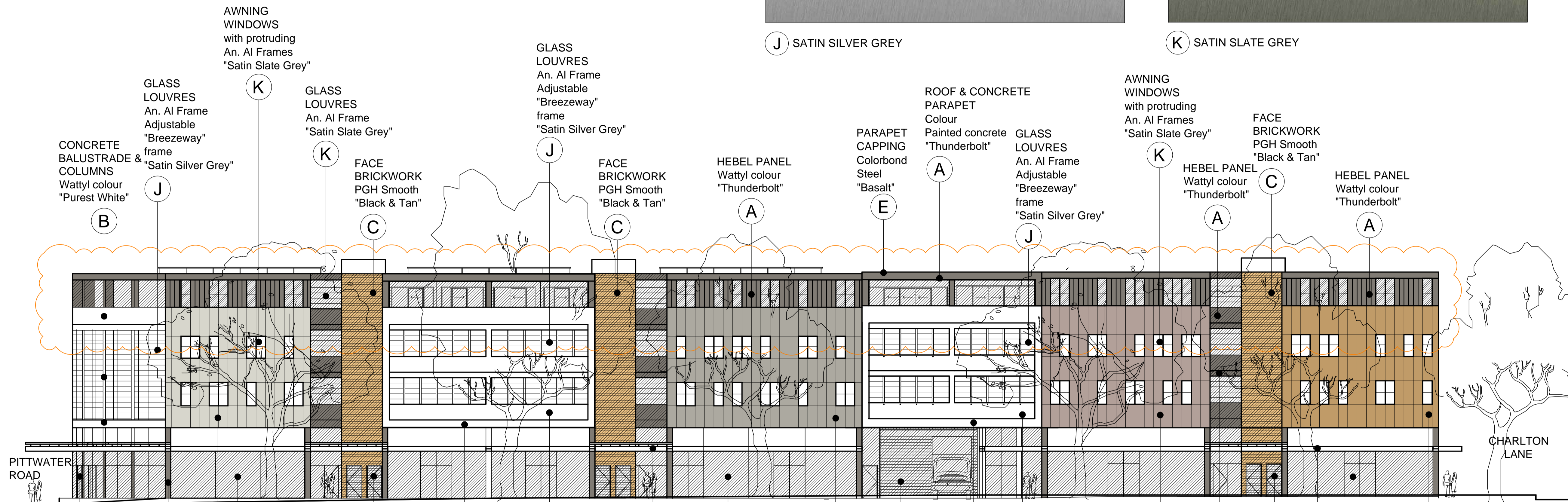
— DA REVISIONS



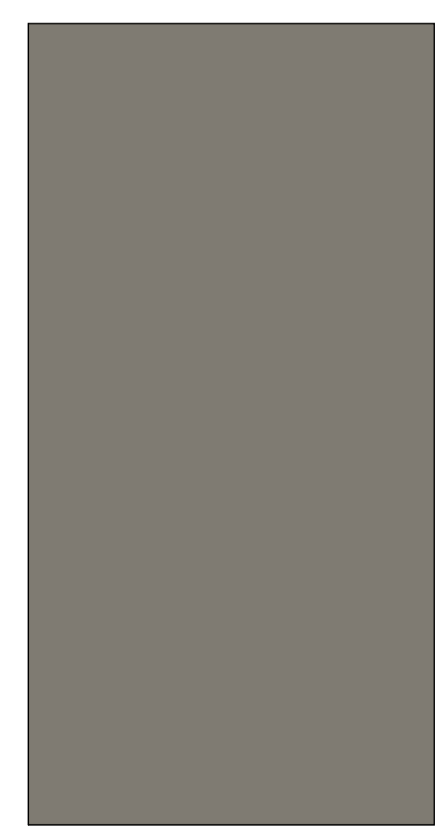
J SATIN SILVER GREY



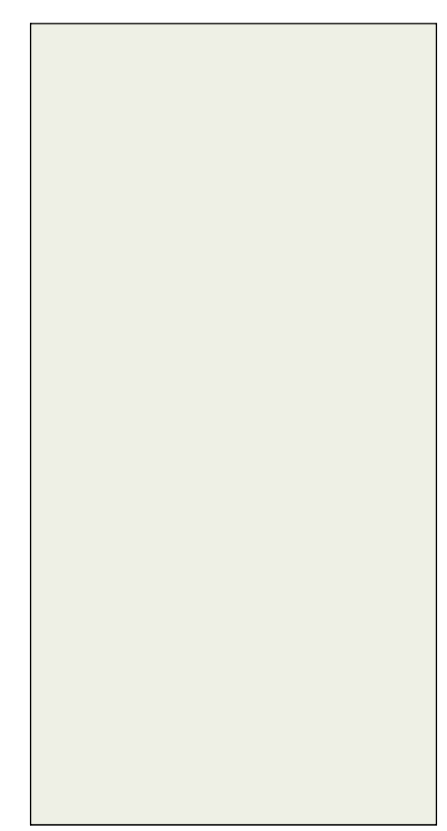
K SATIN SLATE GREY



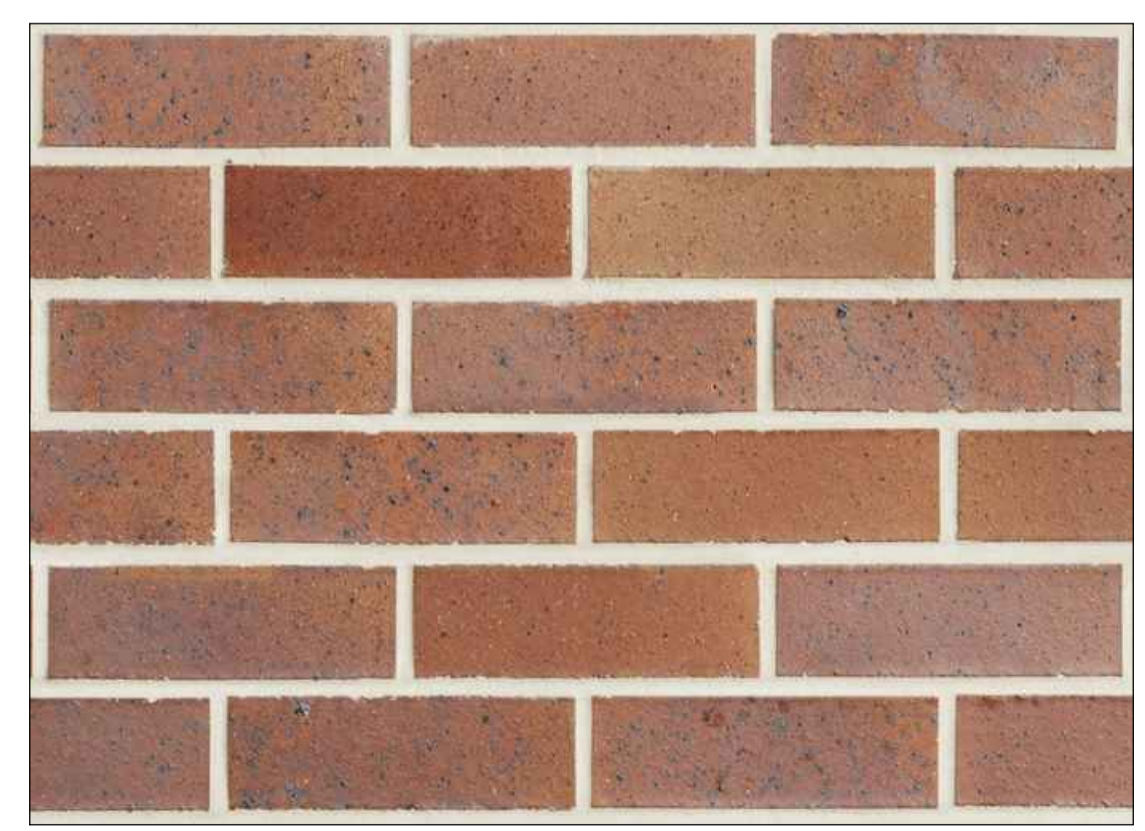
- J GLAZED ENTRY DOORS Frames: An. Aluminium "Satin Silver Grey"
- J GLAZED SHOPFRONT Frames: An. Aluminium "Satin Silver Grey"
- D EXIT DOORS Paint Finish Watty "Baked Brick"
- B CONCRETE BALUSTRADE Watty colour "Purest White"
- J GLAZED SHOPFRONT Frames: An. Aluminium "Satin Silver Grey"
- E ROLLER DOOR Colorbond Steel "Basalt"
- B CONCRETE BALUSTRADE Watty colour "Purest White"
- A CONCRETE WINDOW AWNINGS Painted Render Watty "Thunderbolt"
- D EXIT DOORS Paint Finish Watty "Baked Brick"
- J GLAZED SHOPFRONT Frames: An. Aluminium "Satin Silver Grey"
- A CONCRETE FRAME & COLUMNS Painted Render Watty "Thunderbolt"
- H HEBEL PANEL Watty colour "Surfmist"
- B CONCRETE FRAME Watty colour "Purest White"
- E GLAZED AWNING Steel Frame Colorbond "Basalt"
- F HEBEL PANEL Colorbond colour "Windspray"
- G HEBEL PANEL Dulux colour "Toffee Fingers"
- B CONCRETE AWNING Watty "Purest White"
- I HEBEL PANEL Watty colour "Orange Tiger"



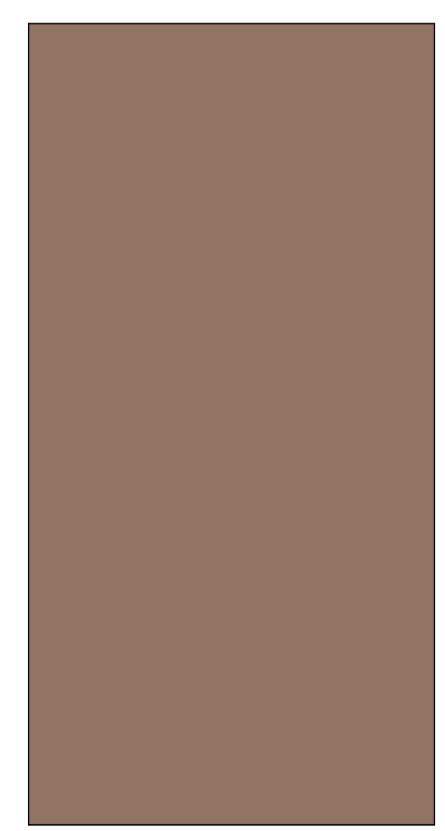
A THUNDERBOLT



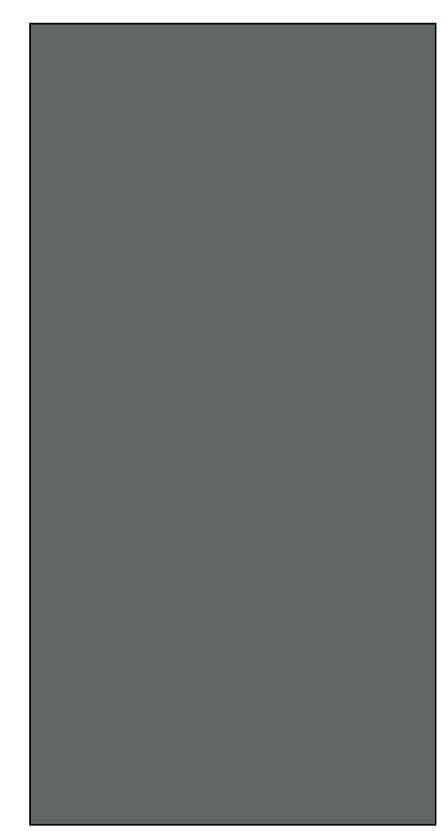
B PUREST WHITE



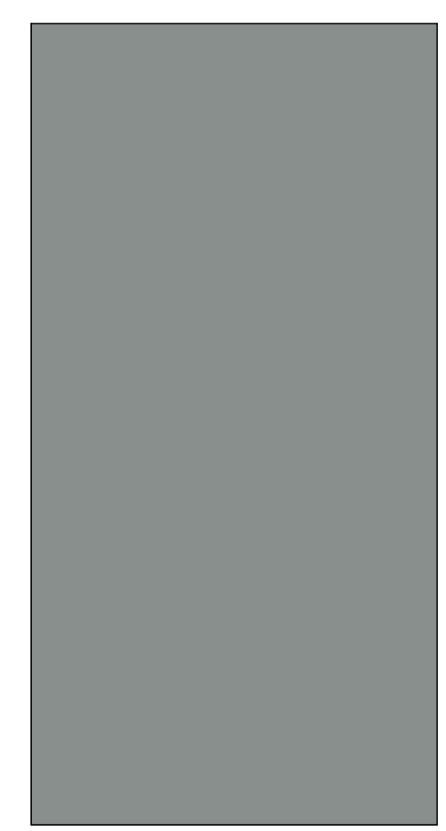
C PGH BLACK & TAN



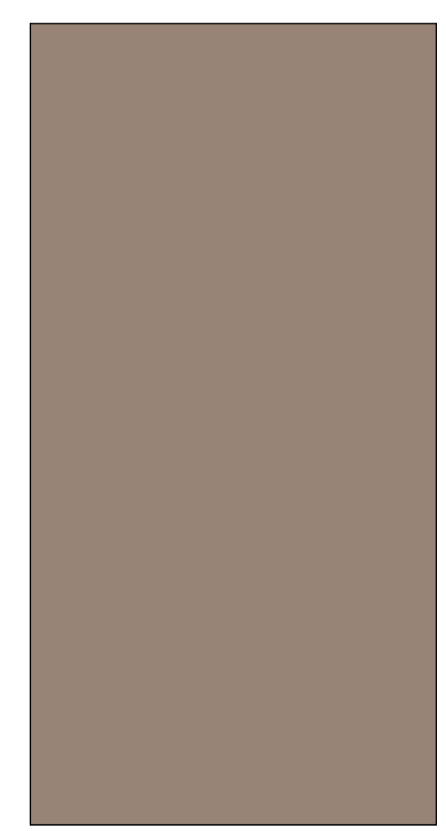
D BAKED BRICK



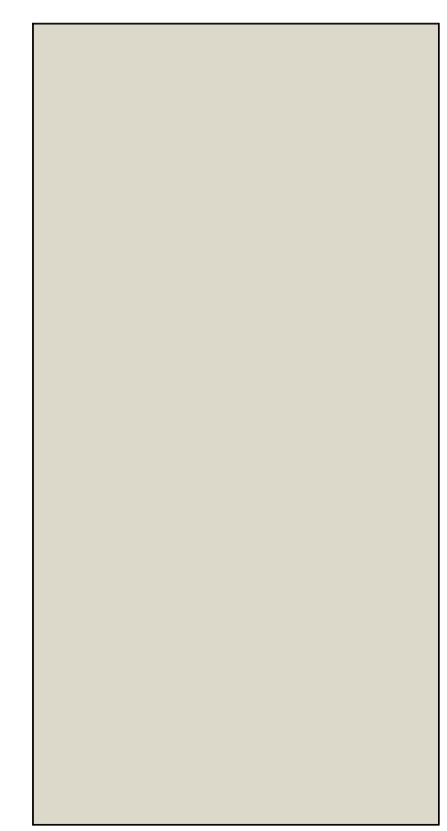
E BASALT



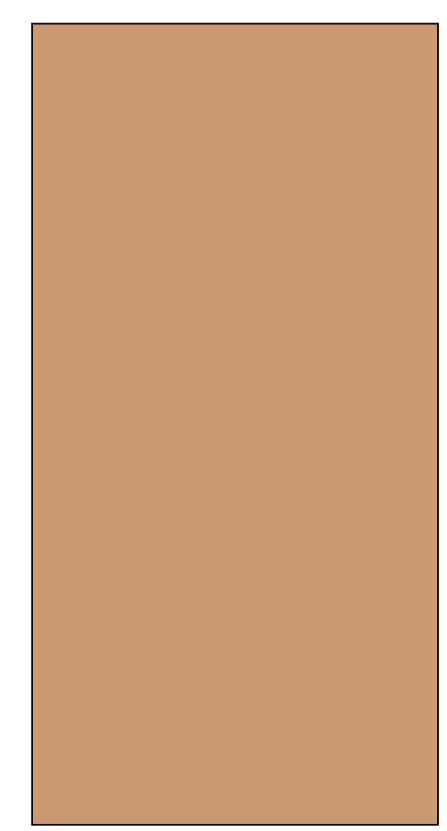
F WINDSPRAY



G TOFFEE FINGERS



H SURFMIST



I ORANGE TIGER

## LEGEND

ISSUE	DATE	AMENDMENTS
A	05.07.24	DA L3 ISSUE



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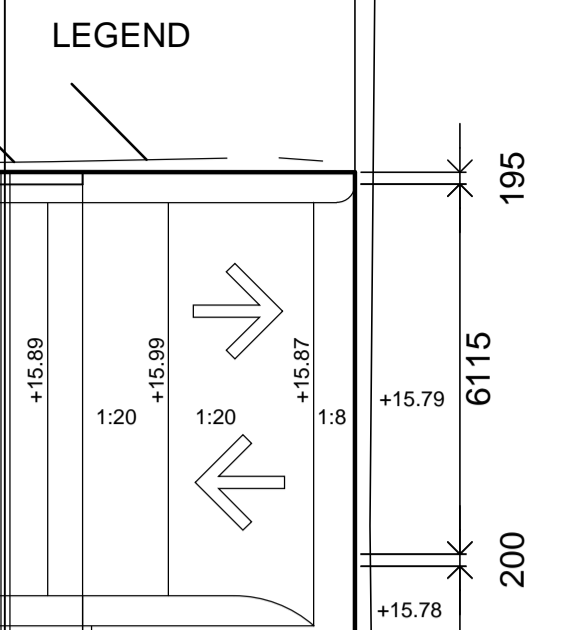
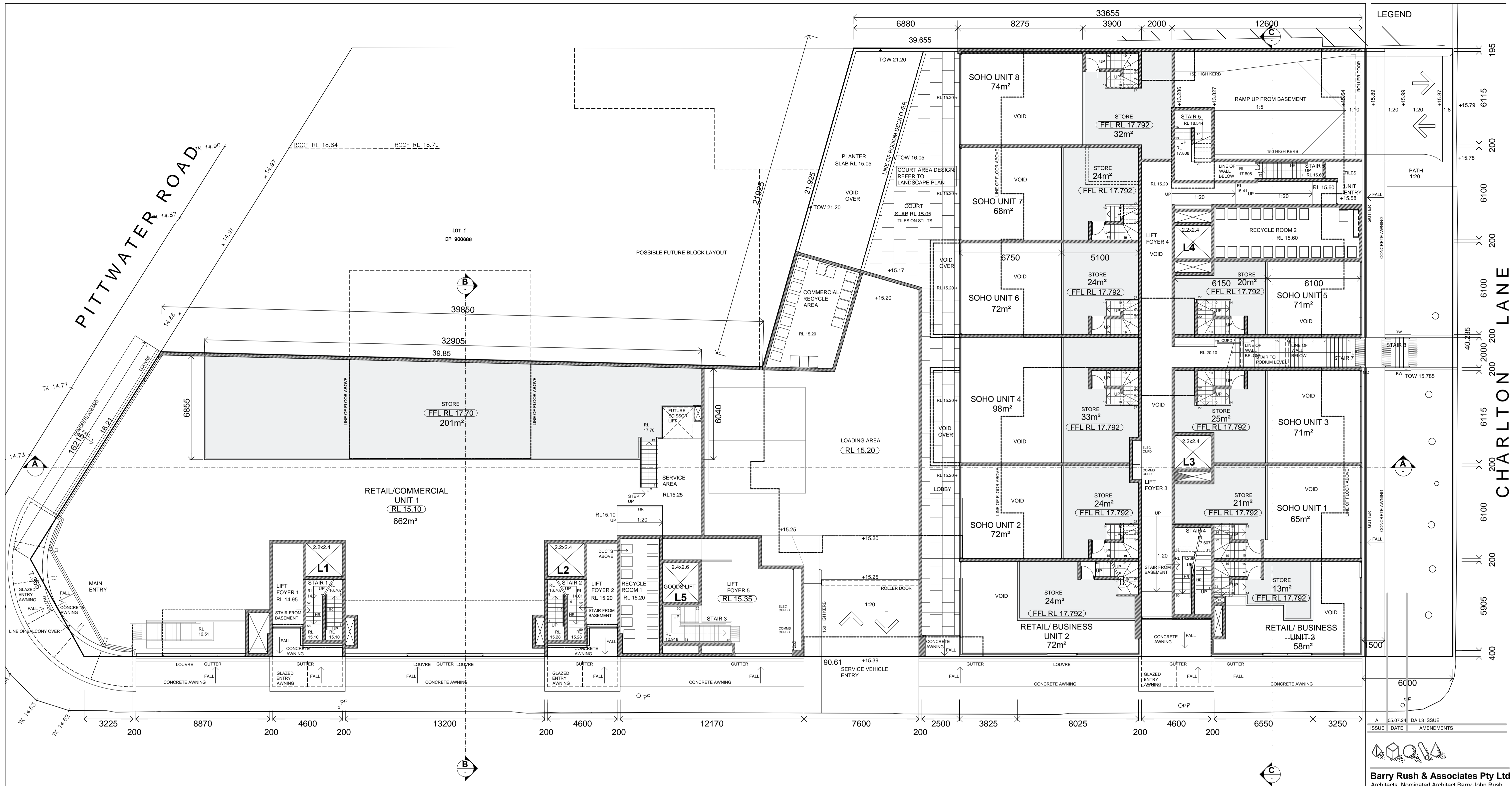
Client  
**BROOKVALE PROPERTY INVESTMENT TRUST**

Project  
**638 PITTWATER RD BROOKVALE**  
 Lot 1 in DP 1001963

Drawing  
**EXTERNAL COLOUR SCHEDULE**

Scale	NTS	Drawn	BR
File	DA L3c Pittwater Rd Brookvale.dwg		
Plotted	5/07/2024 10:10 AM		
Job No	1802	Checked	
Version	DA	Drawing No:	<b>A18A</b>

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**MEZZANINE FLOOR PLAN**  
 SCALE (METRES) 1:200 AT A3

**DATA TABLE**

UNIT	GROUND FLOOR AREA	MEZZANINE FLOOR AREA
RETAIL 1	662m <sup>2</sup>	201m <sup>2</sup>
RETAIL 2	72m <sup>2</sup>	24m <sup>2</sup>
RETAIL 3	58m <sup>2</sup>	13m <sup>2</sup>
SOHO 1	65m <sup>2</sup>	21m <sup>2</sup>
SOHO 2	72m <sup>2</sup>	24m <sup>2</sup>
SOHO 3	71m <sup>2</sup>	25m <sup>2</sup>
SOHO 4	98m <sup>2</sup>	33m <sup>2</sup>
SOHO 5	71m <sup>2</sup>	20m <sup>2</sup>
SOHO 6	72m <sup>2</sup>	24m <sup>2</sup>
SOHO 7	68m <sup>2</sup>	24m <sup>2</sup>
SOHO 8	74m <sup>2</sup>	32m <sup>2</sup>

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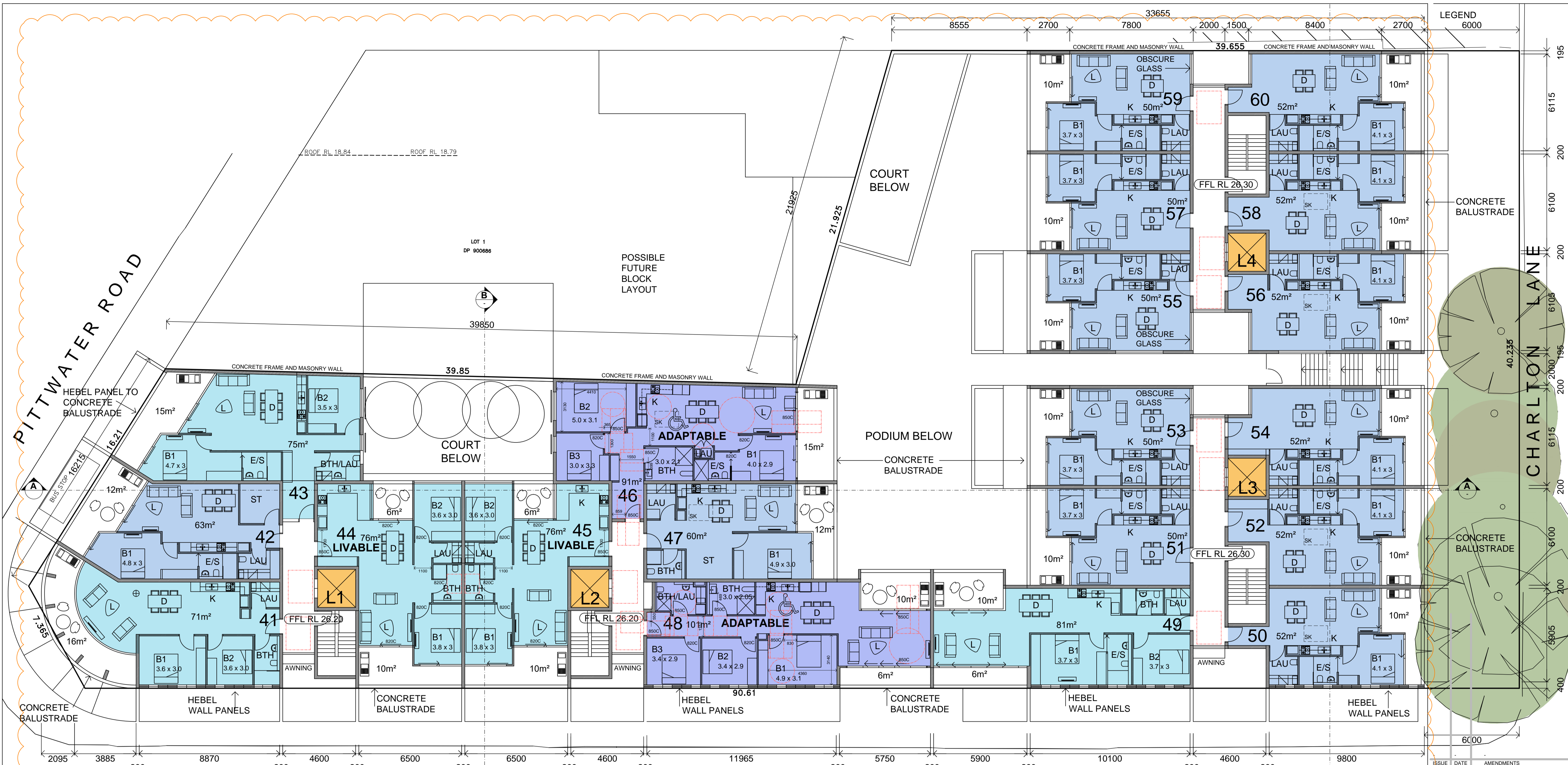
Client  
**BROOKVALE PROPERTY INVESTMENT TRUST**

Project  
**638 PITTWATER RD BROOKVALE**  
 Lot 1 in DP 1001963

Drawing  
**MEZZANINE FLOOR LEVEL**

Scale 1:125 Drawn BR  
 File DA L3c Pittwater Rd Brookvale.dwg  
 Plotted 5/07/2024 10:10 AM  
 Job No 1802 Checked BR  
 Version DA Drawing No: **A19A**

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**THIRD FLOOR PLAN**  
 SCALE (METRES) 1:250 AT A3  
 NORTH 0 1 2 3 4 5 10 20

May 2024 (Units 41 to 60 only) BSA Reference: 14135  
 Building Sustainability Assessments Ph: (02) 4962 3439  
 enquiries@buildingsustainability.net.au www.buildingsustainability.net.au

**Important Note**  
 The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NABERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilators are complied with at construction. Be aware that BASIX does not over-ride the BCA and the NSW variations must be complied with.

**Thermal Performance Specifications (sole occupancy units only)**

External Wall Construction	Added Insulation
75mm AAC on battens + Metal stud frame	R2.5
200mm Concrete + Metal stud frame	R2.5

Internal Wall Construction	Added Insulation
Plasterboard on metal studs (internal to units)	None
75mm AAC on battens + Metal stud frame (adjacent to open lobbies)	R2.5
Concrete + Plasterboard (adjacent to lift/shaft cores)	R1.0
75mm AAC on battens + Metal stud frame (party wall between units)	R1.0

Ceiling Construction	Added Insulation
Plasterboard	R5.0 to ceilings adjacent to concrete roof above

Roof Construction	Colour (Solar Absorbance)	Added Insulation
Concrete	Concrete default (SAG 70)	None

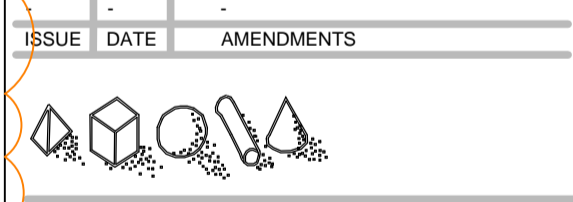
Floor Construction	Covering	Added Insulation
Concrete	As drawn (if not noted default values used)	None

Windows	U value	SHGC Range	Area sq m
Performance glazing Type A	4.50	0.48 - 0.53	Units 41 & 50 Only
Performance glazing Type B	4.50	0.58 - 0.64	Units 41 & 50 Only
Performance glazing Type A	4.80	0.48 - 0.54	Units 44, 45, 48, 50, 55, 56 Only
Performance glazing Type B	4.80	0.56 - 0.62	Units 44, 45, 48, 50, 55, 56 Only
Performance glazing Type A	6.70	0.54 - 0.60	All other units
Performance glazing Type B	6.70	0.67 - 0.74	All other units

Type A windows are awning windows, double doors, casements, 90° turn windows, entry doors, french doors  
 Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers  
 Skylights: Glass and frame type U SHGC Area sq m Detail  
 Double glazed to units 46, 47, 50, 52, 56 & 58 only  
 U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified  
 Shade elements (louvers, verandahs, awnings etc)  
 All shade elements modelled as drawn  
 Ceiling Penetrations (downlights, exhaust fans, flues etc)  
 Downlights are modelled as IC rated with insulation fitted over the fixtures  
 All exhaust fans are modelled as sealed  
 Additional Notes  
 Nil

**LEGEND**  
 — DA REVISIONS



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Client  
**BROOKVALE PROPERTY INVESTMENT TRUST**

Project  
**638 PITTWATER RD BROOKVALE**  
 Lot 1 in DP 1001963

Drawing  
**THIRD FLOOR LEVEL**

Scale 1:125 Drawn BR  
 File DA L3c Pittwater Rd Brookvale.dwg  
 Plotted 5/07/2024 10:10 AM  
 Job No 1802 Checked BR  
 Version DA Drawing No: **A20**

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