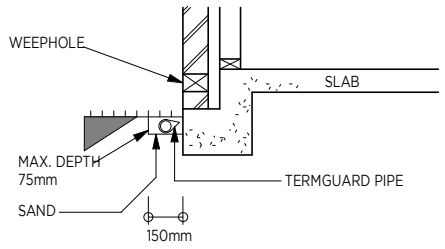


TYPICAL DETAIL OF TERM-GUARD TERMITE PROTECTION

NOTE:
STORMWATER TO BE CONNECTED TO RAINWATER TANK. OVERFLOW TO BE DETERMINED BY HYDRAULICS ENGINEER.

RAINWATER DUAL PLUMBING CONNECTED AS PER BASIX CERTIFICATE

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH REQUIREMENTS SET OUT ON THE BASIX/NATHERS CERTIFICATE

FLOOR COVERING

GROUND FLOOR		FIRST FLOOR	
ENTRY/HALL	HYBRID VINYL	BEDS	HYBRID VINYL
LOUNGE	HYBRID VINYL	HALL	HYBRID VINYL
FAMILY	HYBRID VINYL	UPPER LIVING	HYBRID VINYL
KITCHEN/PTRY	HYBRID VINYL	STAIRS	HARD WOOD
MEALS	HYBRID VINYL		

EXTERNAL COLOUR

ROOF	EXTERNAL WALL
LIGHT/MEDIUM/DARK	LIGHT/MEDIUM/DARK

L.G.A : NORTHERN BEACHES COUNCIL (WARRINGAH DCP) SITE CALCULATIONS

A. TOTAL GROUND FLOOR AREA (NOT INCLUDING EXISTING GARAGE)	140.01 m²
B. TOTAL FIRST FLOOR AREA	114.06 m²
C. TOTAL BUILDING AREA	254.07 m²
D. PORCH AREA	4.11 m²
E. ALFRESCO AREA	12.42 m²
F. EXISTING GARAGE AREA	50.46 m²
G. SITE AREA	398.50 m²
SITE COVERAGE: (A+F) / G	47.80 %
LANDSCAPE (MINUS AREAS UNDER 2m WIDE):	34.18 %

BUILDING ADJACENT TO SEWER

EXISTING HOUSE, PAVING, DRIVEWAY, SHEDS ETC (SHOWN DOTTED) TO BE REMOVED BY OWNER AFTER APPROVAL PRIOR TO CONSTRUCTION

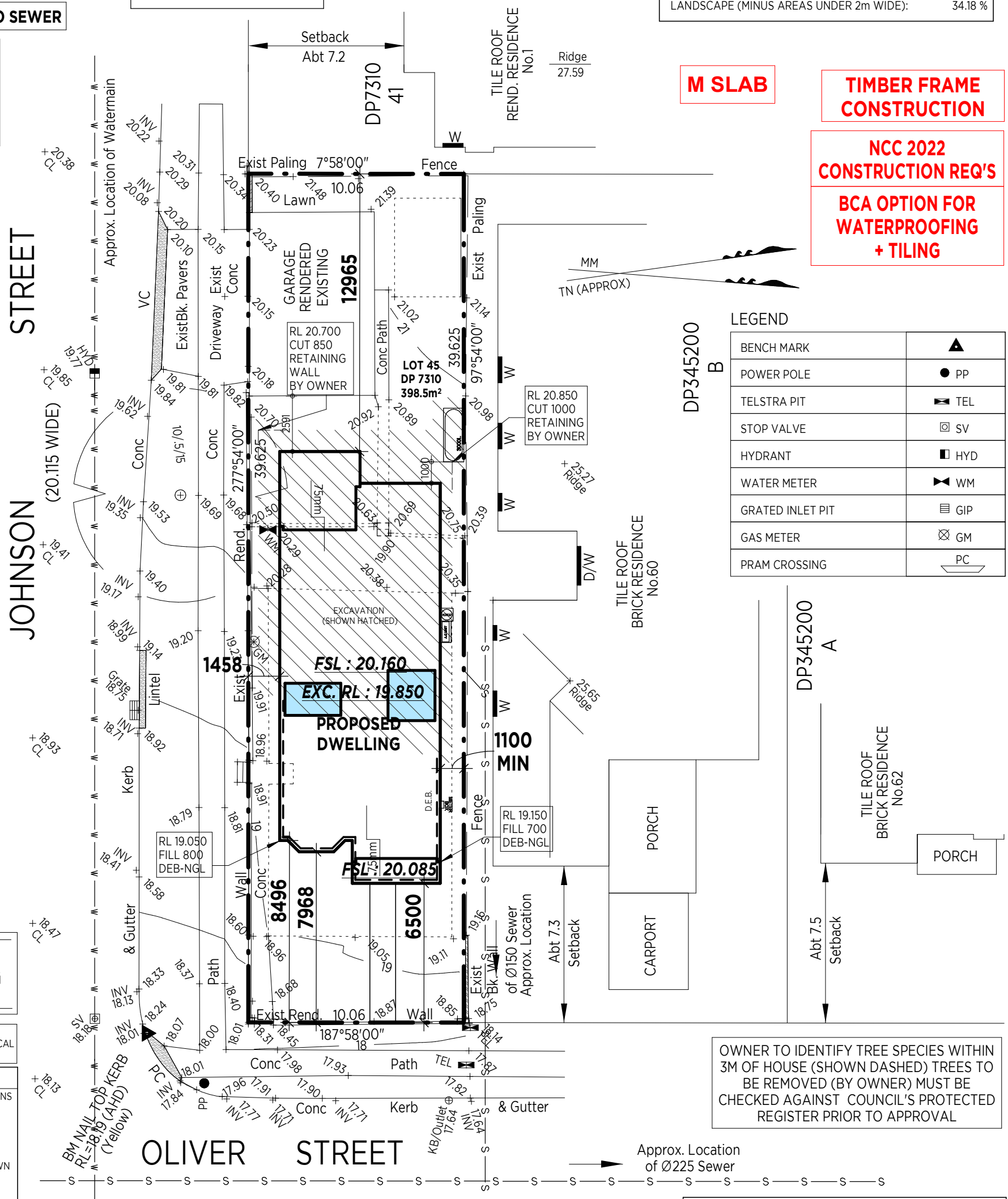
M SLAB

TIMBER FRAME CONSTRUCTION

NCC 2022 CONSTRUCTION REQ'S

BCA OPTION FOR WATERPROOFING + TILING

SEVERE MARINE ENVIRONMENT CONDITIONS: (BY BUILDER)
- EXPOSED STEEL BEAMS AND LINTELS - FINISHED TO R4
- ENCLOSED STEEL BEAMS - FINISHED TO R4
- BRICK TIES & EXPANSION TIES - STAINLESS STEEL
- BRICKS - EXPOSURE GRADE BRICKS AND IRONED JOINT MORTAR ONLY
- MORTAR TYPE/MIX - M4
- EXPOSED NAILS - STAINLESS STEEL
- SARKING TO UNDERSIDE OF ROOF TILES



LEGEND

BENCH MARK	▲
POWER POLE	● PP
TELSTRA PIT	TEL
STOP VALVE	SV
HYDRANT	HYD
WATER METER	WM
GRATED INLET PIT	GIP
GAS METER	GM
PRAM CROSSING	PC

OWNER TO IDENTIFY TREE SPECIES WITHIN 3M OF HOUSE (SHOWN DASHED) TREES TO BE REMOVED (BY OWNER) MUST BE CHECKED AGAINST COUNCIL'S PROTECTED REGISTER PRIOR TO APPROVAL

DIAL BEFORE YOU DIG
www.1100.com.au

NOTE: REFER TO ELECTRICAL PLAN PREPARED BY CLIPSAL FOR ALL ELECTRICAL REQUIREMENTS

OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.
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I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

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I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE
I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

DATE	ISSUE	REVISION
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03.09.24	A (T06)	FIRST DRAW

FOR DURABILITY REQ'S REFER TO ENG'S DETAILS

SITE PLAN

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PROPOSED RESIDENCE	BANNABY AVOCA CUSTOM FAÇADE		
FOR: Mr. & Mrs. JOHNSTON **DP: 7310**	DATE: 03.09.2024	SCALE: 1 : 200	
	DRAWN: DI	CHECKED	
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	SHEET NO: 01	JOB NO: 7630	

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEEN NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

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allcastlehomes.com.au

ALL STEEL TO BE MEASURED (HEIGHT) & FLOORING TO BE CHECKED OVER IF REQUIRED

1-PHASE A'C
MIN. 3.0 / 3.5 E.E.R.

OUTLET & DUCT POSITIONS ARE APPROX. ONLY AND MAY BE MOVED ON SITE, & SQUARE OR RECTANGULAR VENTS MAY BE USED TO SUIT CONST. REQUIREMENTS.

SHOWER ROSES TO BE 1850 OFF FLOOR PRIOR TO TILING FOR STANDARD ADJUSTABLE ROSE (IF FIXED SHOWER ROSE IS SELECTED, MOUNT AT 2000 HIGH)

NOTE: PROVIDE CONTROL JOINT TO ANY UNBROKEN CEILING GREATER THAN 12m IN LENGTH.
** LOCATION OF ANY OTHER CONTROL JOINT IN PLASTERBOARD AS PER MANUFACT. INSTALLATION GUIDE **

IF REQUIRED, BEAMS TO BE PACKED WITH **NON-COMPRESSIBLE MATERIAL** TO ENSURE FLOORS AND FRAMES ARE LEVEL

PROVIDE 300mm FLOOR JOISTS

CEDAR TIMBER DOOR & WINDOWS TO ENTIRE HOUSE

ALL WINDOWS DROP 3 BRICK COURSE(EXCEPT FRONT,PWDR,ENS & MEAL REAR WINDOW)

EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

ALL DOWNPIPES TO BE PVC, CIRCULAR & SET 240MM FROM OUTSIDE OF EDGE TO CENTRELINE OF D.P. UNLESS OTHERWISE INDICATED

SELECTED WALL WRAP TO ALL EXTERNAL FRAMES

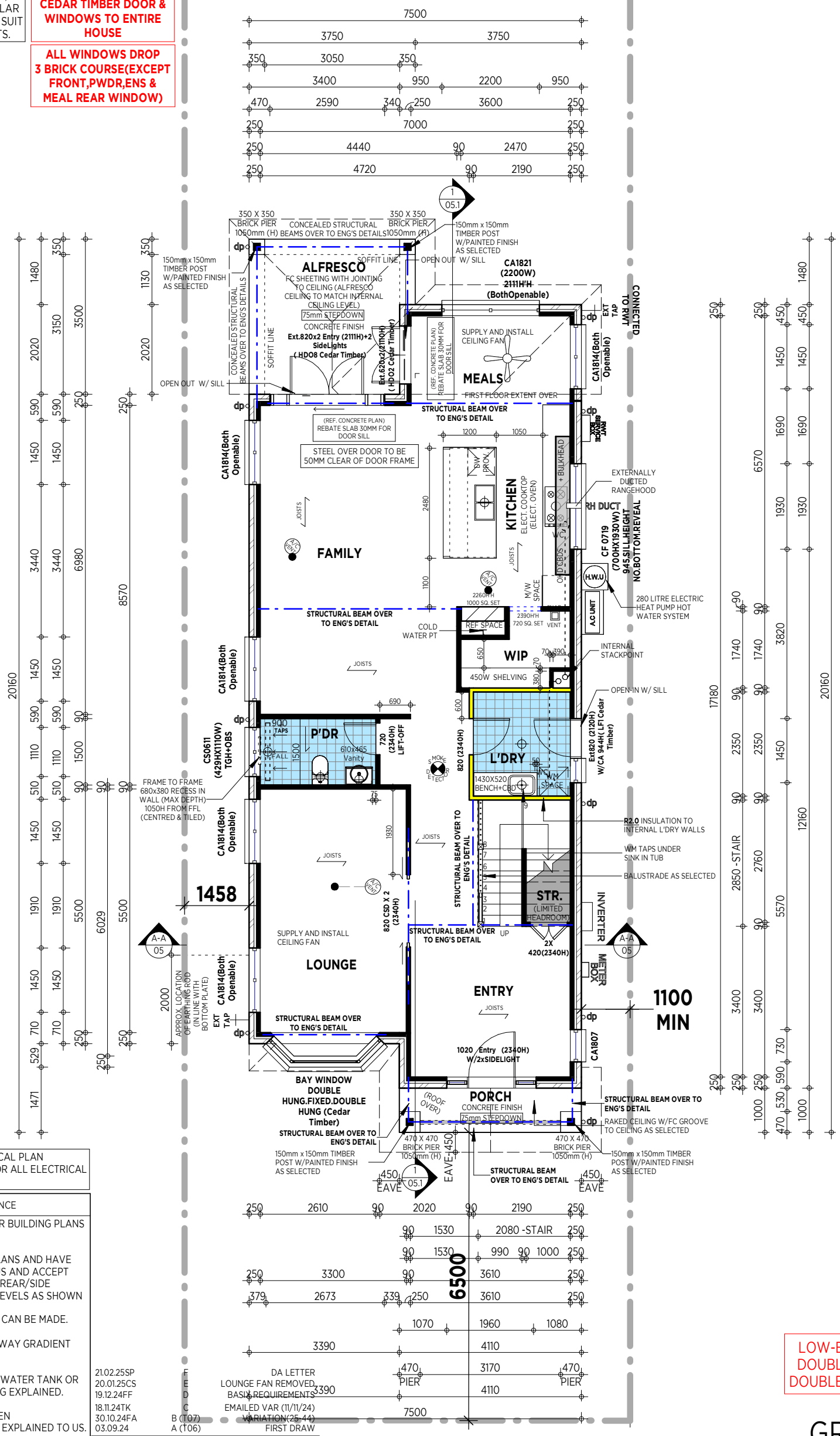
6-STAR RATED WATER EFFICIENCY TO TAPS FOR BASINS AND BATHS
4-STAR TO KITCHEN TAPS
4-STAR TO W.C. CISTERNS
4-STAR SHOWER HEAD FLOW >6 BUT <= 7.5L/min

NOTE: PLUMBER TO KEEP VANITY DRAINAGE POINT MAX. 100MM FROM BOTTOM PLATE

NOTE: WINDOWS MAY NOT BE CENTERED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL

NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.

TIMBER FRAME CONSTRUCTION



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DOUBLE GLAZING TO ALL AWNING WINDOWS
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GROUND FLOOR PLAN

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PROPOSED RESIDENCE	BANNABY AVOCA CUSTOM FAÇADE	
FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1 : 100
	DRAWN: DI	CHECKED
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	SHEET NO: 02	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEEN NSW 2145
PHONE: (02) 9672 7055
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R DENOTES **R**ESTRICTION ON THE WINDOW

NOTE:
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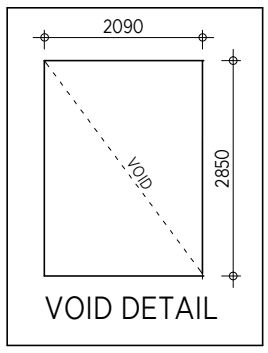
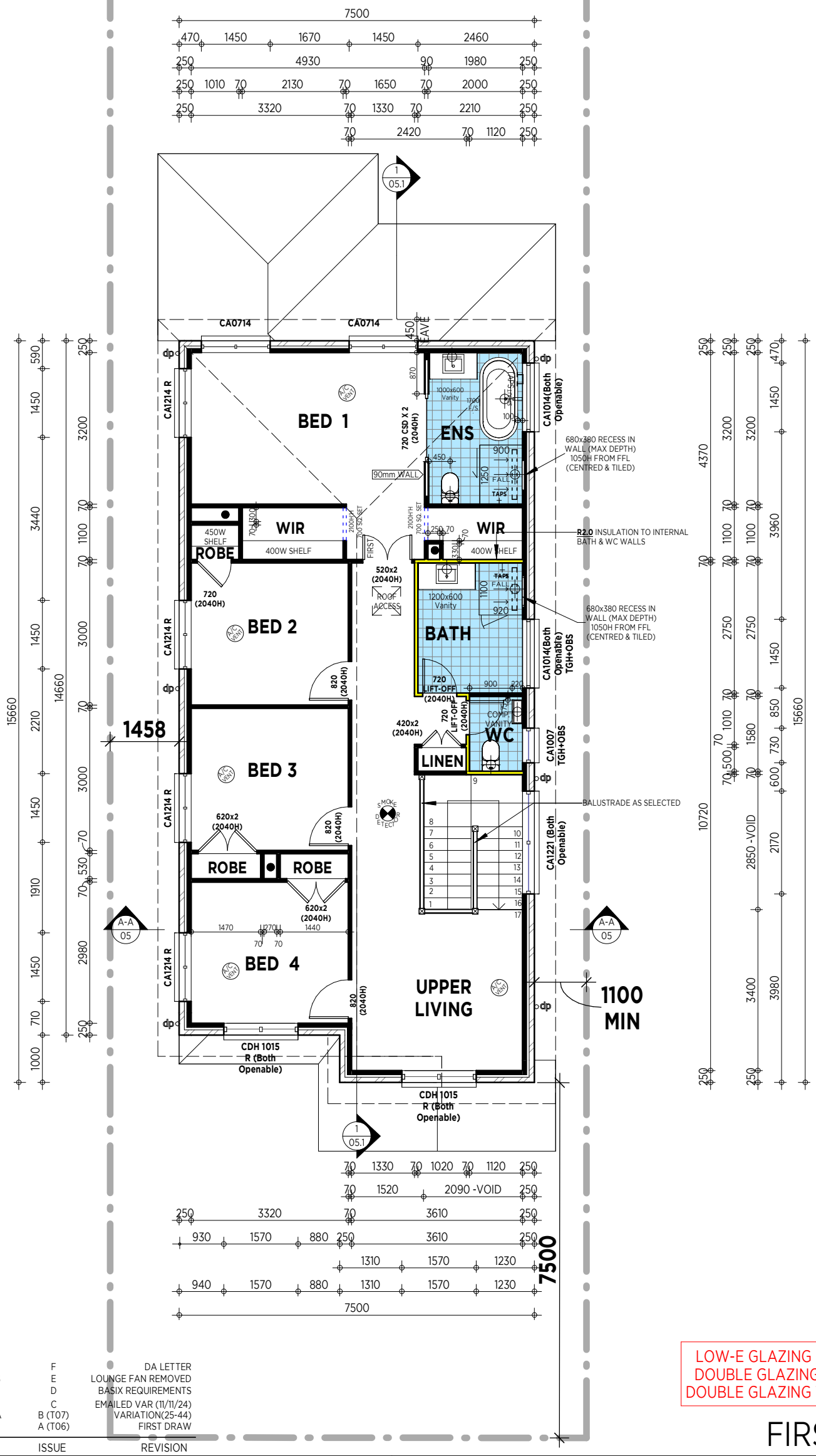


VOID DETAIL



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FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1 : 100	
	DRAWN: DI	CHECKED	
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	SHEET NO: 03	JOB NO: 7630	

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEEN NSW 2145
PHONE: (02) 9672 7055
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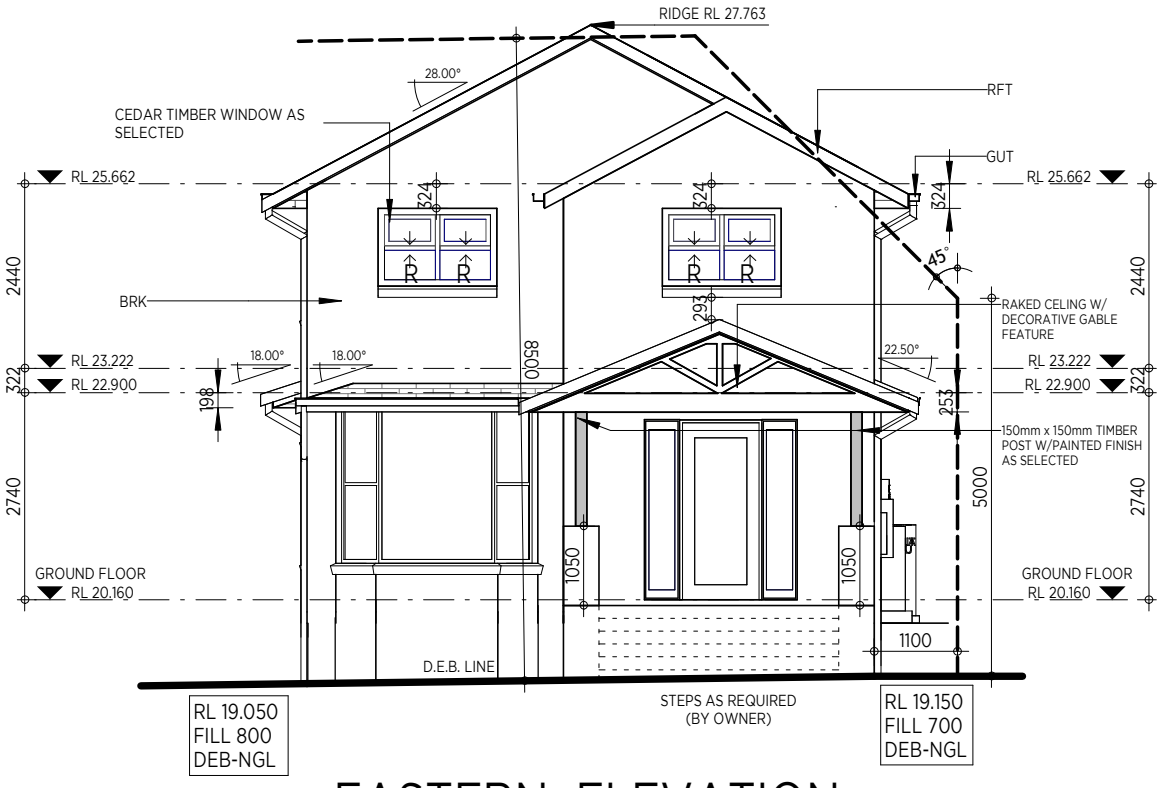
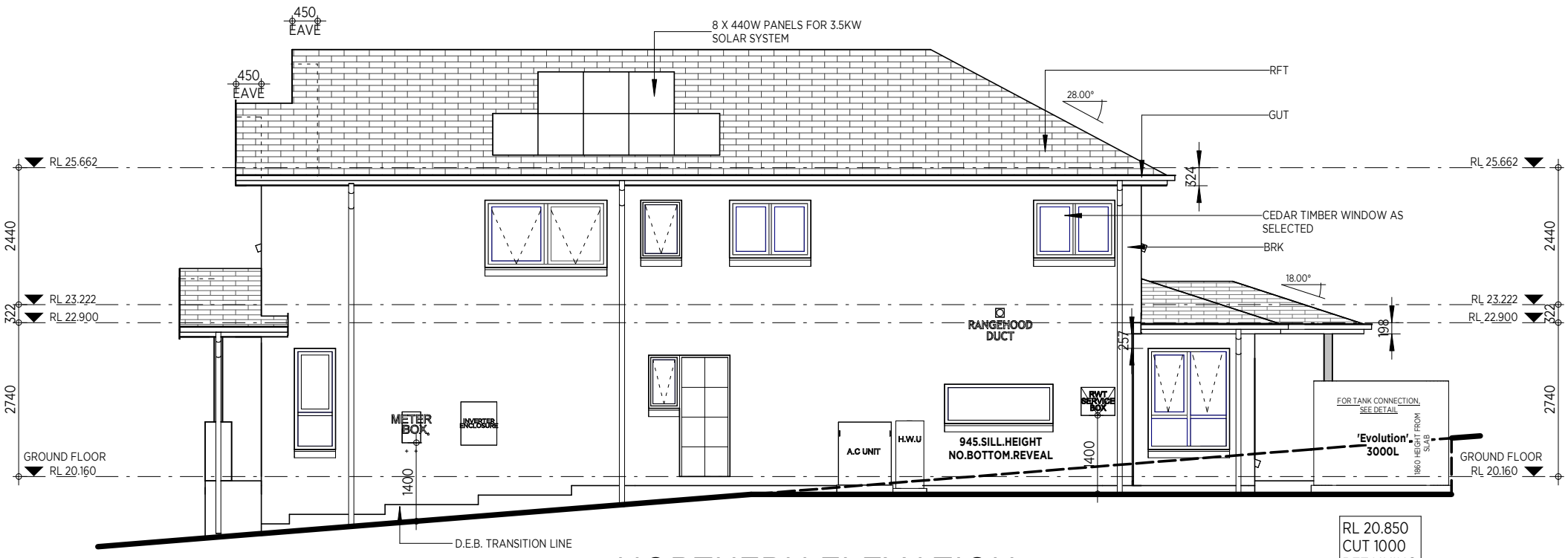


EASTERN ELEVATION



NORTHERN ELEVATION

NOTE:
WINDOWS MAY NOT BE CENTERED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL

FOR FC CLADDING;
1. PROVIDE 105mm REVEALS TO THE WINDOWS
2. CLADDING TO BE FITTED INTO WINDOW FRAMES
3. PROVIDE 110mm PLASTIC ALCOR TO PERIMETER OF WINDOWS
4. PROVIDE SARKING WRAP TO FRAME OF CLADDED AREAS
5. PROVIDE 67mm x 18mm TIMBER ALONG FLASHINGS
6. PROVIDE 13mm x 18mm TIMBER TO PERIMETER OF WINDOWS (FOR DURASHEET ONLY)

PROVIDE 300mm FLOOR JOISTS

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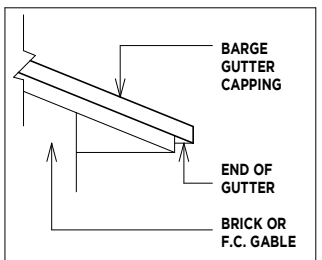

TYPICAL DETAIL OF GABLE GUTTER END CAPPING

Key Value	Keynote Text
BRK	BRICKWORK AS SELECTED
GUT	GUTTER + FASCIA AS SELECTED
RFT	ROOF TILES AS SELECTED

WESTERN ELEVATION

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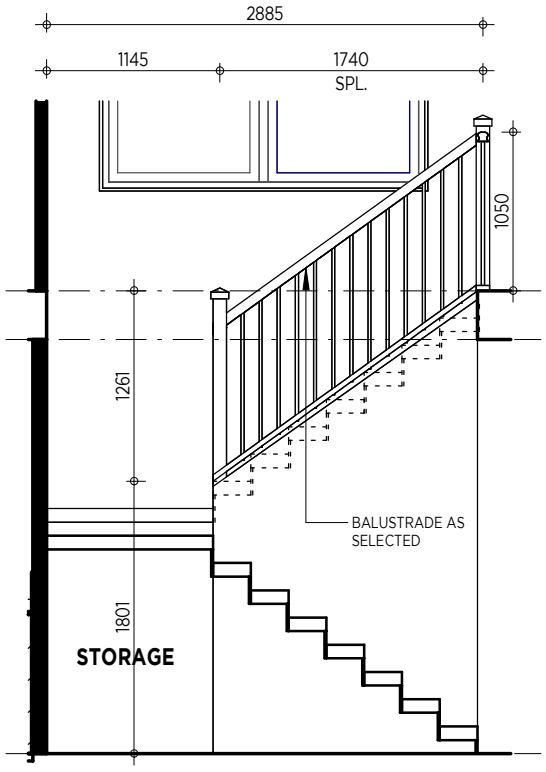
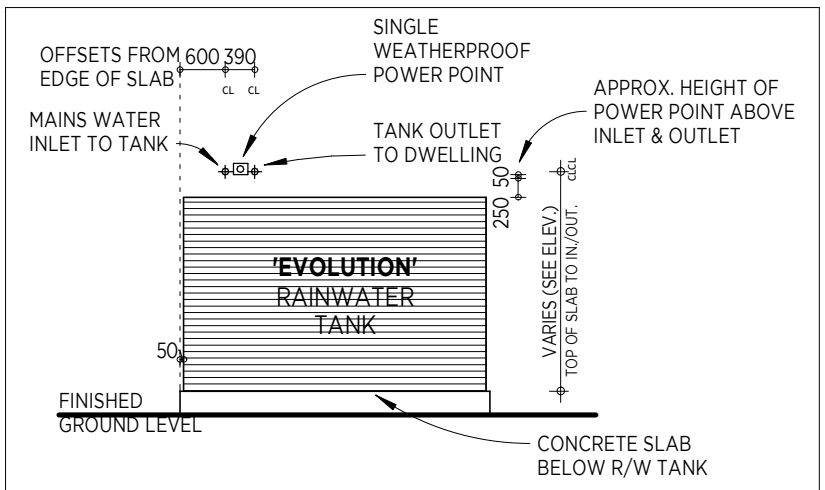
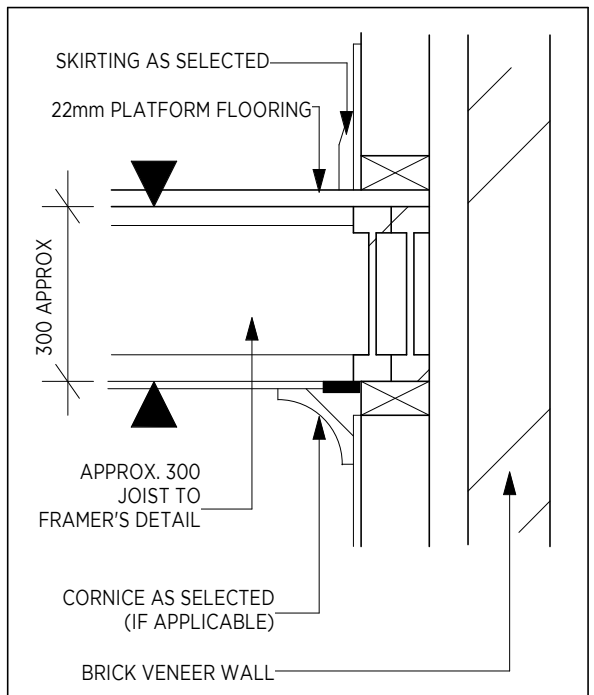
SOUTHERN ELEVATION



STAIR DETAIL



RAINWATER TANK CONNECTIONS DETAIL



300MM FLOOR JOIST DETAIL (BRICK FULL HEIGHT)

EXTERNAL DIMENSIONS OF HOME MAY NOT BE EXACT MULTIPLES OF BRICK AND IN SOME LOCATIONS UNEVEN CUTS TO BRICKS/ STORM MOULDS MAY BE REQUIRED

NOTE: REQUIRED ARTIFICIAL FLUORESCENT LIGHTING AS PER BASIX CERTIFICATE

HEAVY DUTY SARKING TO UNDERSIDE OF ROOFING

90MM CORNICE THROUGHOUT (SQUARE SET TO BATHROOMS)

PROVIDE 300mm FLOOR JOISTS

IF REQUIRED, BEAMS TO BE PACKED WITH **NON-COMPRESSIBLE MATERIAL** TO ENSURE FLOORS AND FRAMES ARE LEVEL

NOTE: WINDOWS MAY NOT BE CENTERED INTERNALLY TO ROOMS DUE TO BRICK SIZING TO EXTERNAL WALL

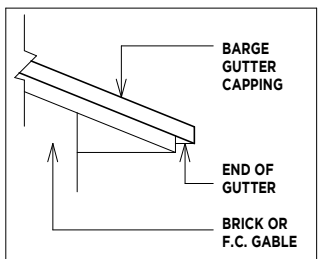
SELECTED WALL SARKING TO ALL EXTERNAL FRAMES

TERMITE-RESISTANT TREATED TIMBER FRAMES & TRUSSES

TIMBER FRAME CONSTRUCTION

CONCRETE ROOF TILES

(UNLESS NOTED OTHERWISE)



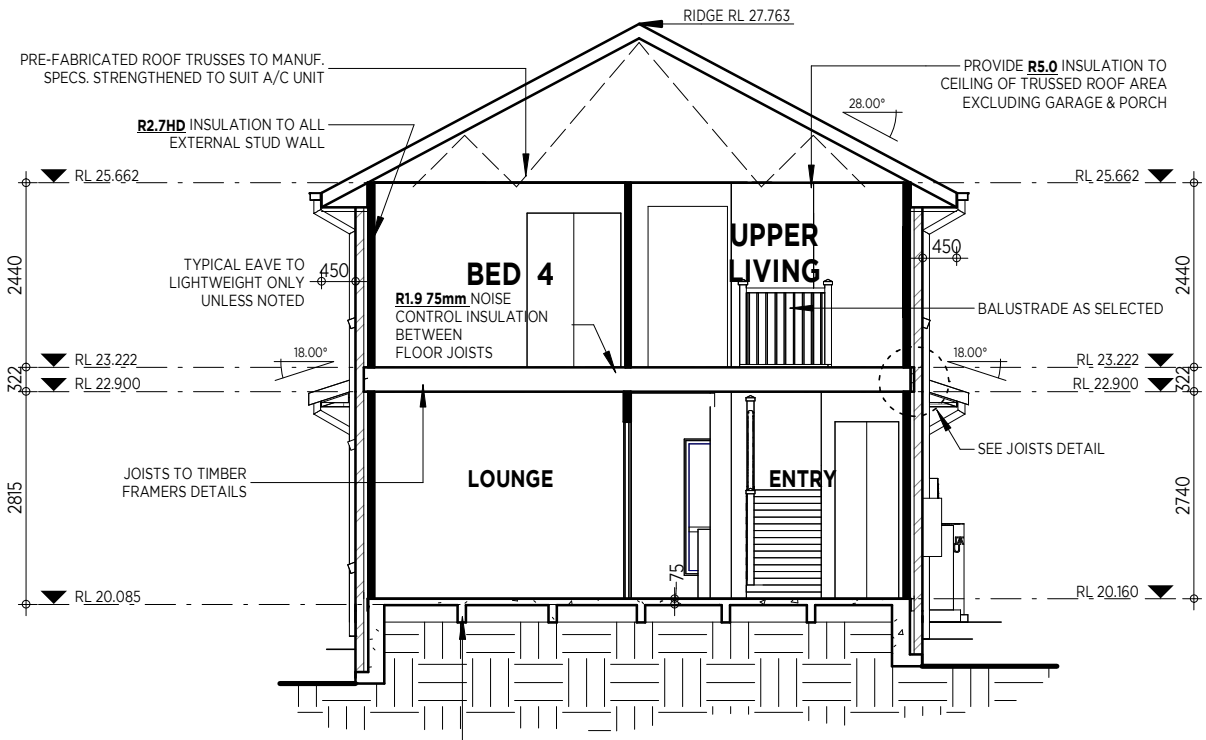
TYPICAL DETAIL OF GABLE GUTTER END CAPPING

NOTE: REFER TO ELECTRICAL PLAN PREPARED BY CLIPSAL FOR ALL ELECTRICAL REQUIREMENTS

NOTE: WHERE FLOOR LEVEL IS >2M ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS <1.7M, ANY OPENABLE WINDOW IN A BEDROOM MUST BE RESTRICTED TO A 125MM OPENING. IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS >4M.

R DENOTES **R**ESTRICTION ON THE WINDOW

Key Value	Keynote Text
BRK	BRICKWORK AS SELECTED
GUT	GUTTER + FASCIA AS SELECTED
RFT	ROOF TILES AS SELECTED



SECTION A-A

ELEVATIONS/SECTION

OWNER(S) ACCEPTANCE

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I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.
I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE
I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

DATE	ISSUE	REVISION
21.02.25SP	F	DA LETTER
20.01.25CS	E	LOUNGE FAN REMOVED
19.12.24FF	D	BASIX REQUIREMENTS
18.11.24TK	C	EMAILED VAR (11/11/24)
30.10.24FA	B (T07)	VARIATION(25-44)
03.09.24	A (T06)	FIRST DRAW

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PROPOSED RESIDENCE

FOR: Mr. & Mrs. JOHNSTON

AT: LOT 45 (#58) OLIVER ST., FRESHWATER

BANNABY AVOCA
CUSTOM FAÇADE

DATE: 03.09.2024	SCALE: As indicated
DRAWN: DI	CHECKED
SHEET NO: 05	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEEN NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

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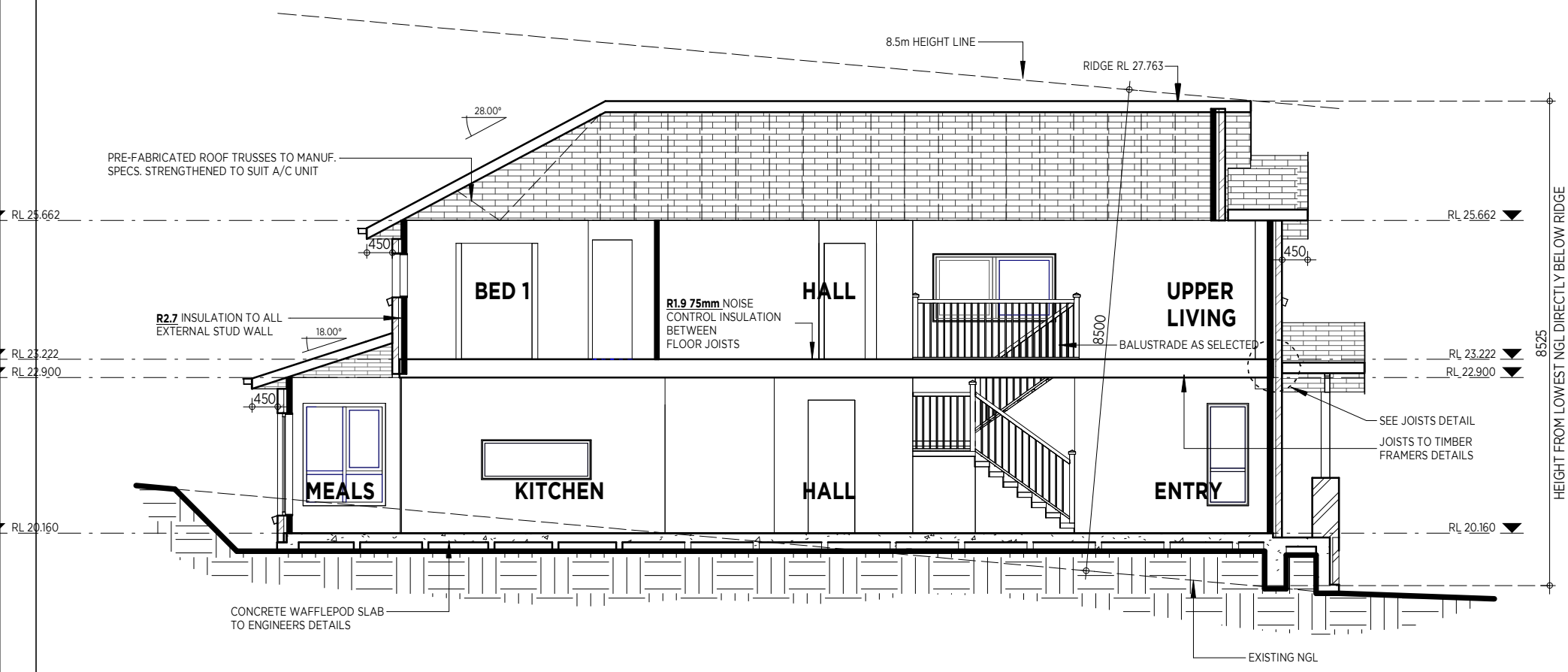

SECTION B-B

OWNER(S) ACCEPTANCE

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30.10.24FA	B (T07)	VARIATION(25-44)
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SECTION

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PROPOSED RESIDENCE

BANNABY AVOCA
CUSTOM FAÇADE

FOR:
Mr. & Mrs. JOHNSTON

AT:
LOT 45 (#58) OLIVER ST., FRESHWATER

DATE: 03.09.2024	SCALE: 1 : 100
DRAWN: DI	CHECKED
SHEET NO: 05.1	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEEN NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

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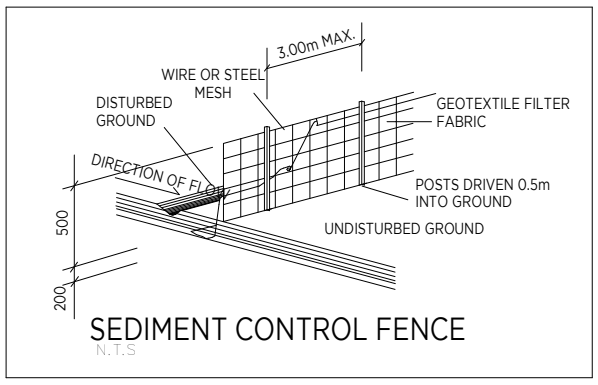
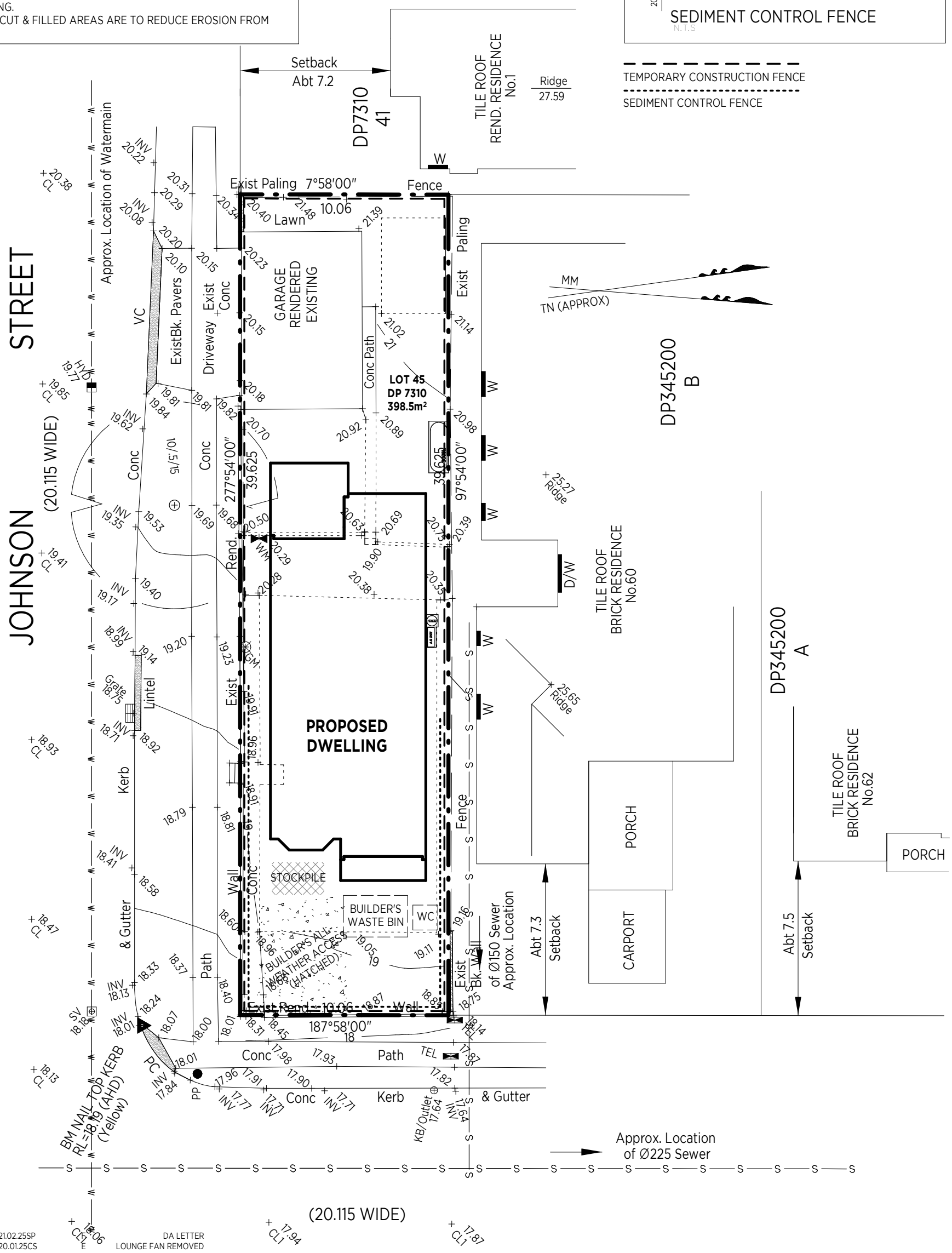
SEDIMENT NOTE:

1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICLE.
6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.
8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.



TEMPORARY CONSTRUCTION FENCE

SEDIMENT CONTROL FENCE



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03.09.24	A (T06)	FIRST DRAW

SEDIMENT CONTROL PLAN

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PROPOSED RESIDENCE	BANNABY AVOCA CUSTOM FAÇADE	
FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1 : 200
	DRAWN: DI	CHECKED
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	SHEET NO: 10	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEEN NSW 2145
PHONE: (02) 9672 7055
FAX: (02) 9672 7033
ABN: 12057761378 BLDG.LIC.39371

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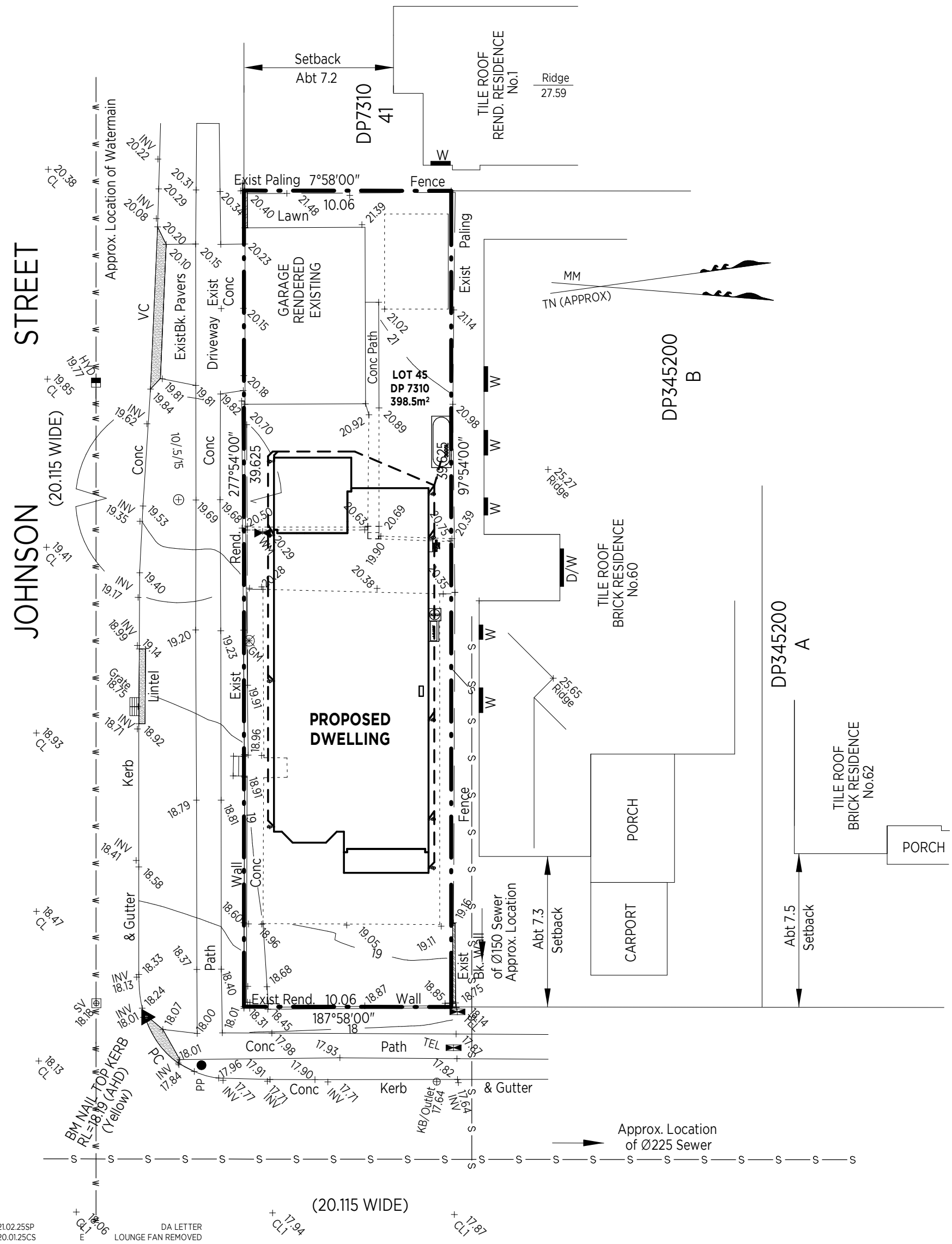
NOTE:
STORMWATER TO BE CONNECTED TO RAINWATER TANK. OVERFLOW TO BE DETERMINED BY HYDRAULICS ENGINEER.

RAINWATER DUAL PLUMBING CONNECTED AS PER BASIX CERTIFICATE

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH REQUIREMENTS SET OUT ON THE BASIX/NATHERS CERTIFICATE

ALL DOWNPIPES TO BE SET 240MM FROM OUTSIDE OF EDGE TO CENTRELINE OF D.P. UNLESS OTHERWISE INDICATED

RAINWATER TANK TO BE INSTALLED TO ALL REGULATORY REQUIREMENTS



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CONCEPT DRAINAGE PLAN

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FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1 : 200
	DRAWN: DI	CHECKED
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	SHEET NO: 11	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
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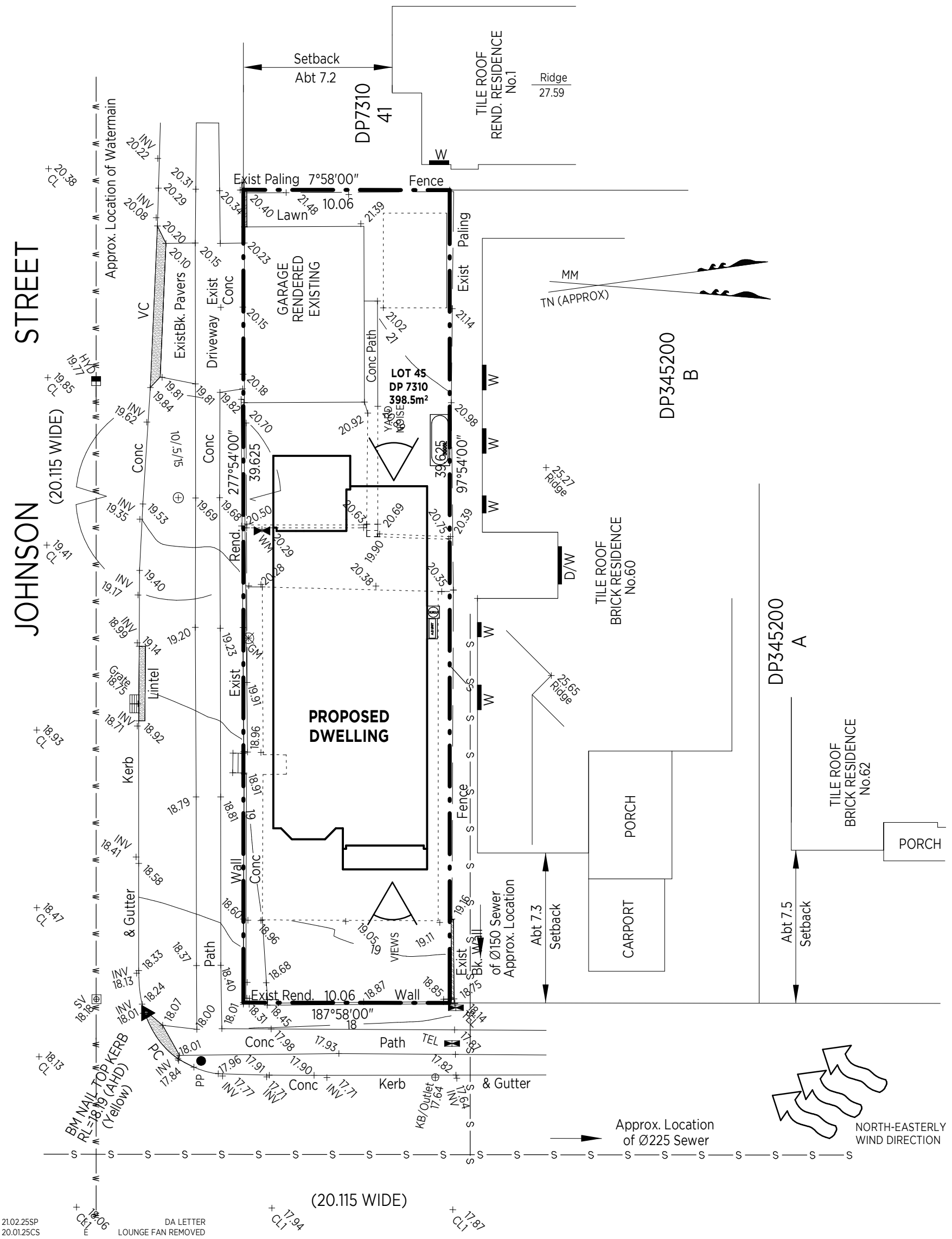

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SITE ANALYSIS

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PROPOSED RESIDENCE	BANNABY AVOCA CUSTOM FAÇADE	
FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1 : 200
	DRAWN: DI	CHECKED
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	SHEET NO: 20	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
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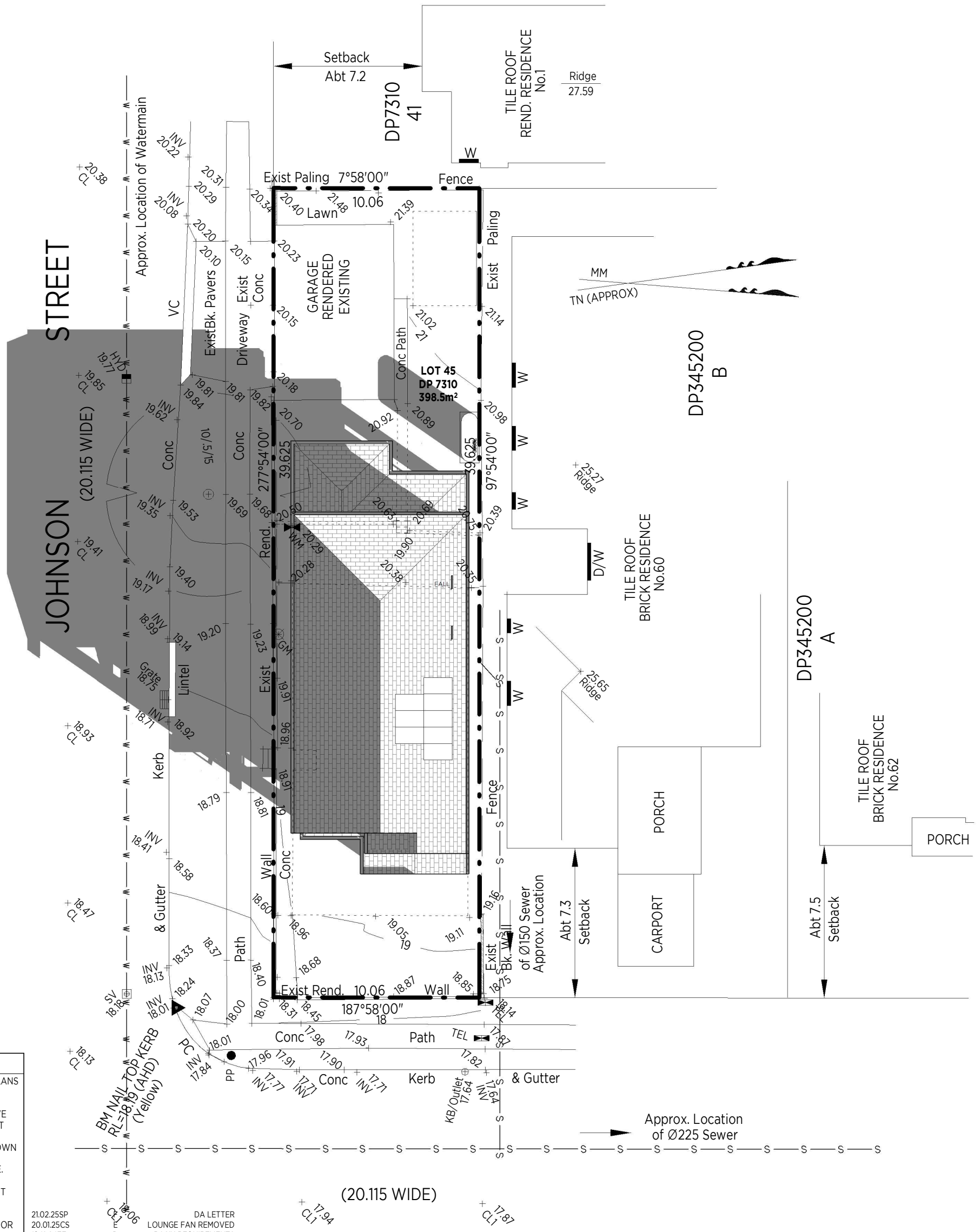

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PROPOSED RESIDENCE	BANNABY AVOCA CUSTOM FAÇADE	
FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1 : 200
	DRAWN: DI	CHECKED
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	SHEET NO: 21.1	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEEN NSW 2145
PHONE: (02) 9672 7055
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ABN: 12057761378 BLDG.LIC.39371

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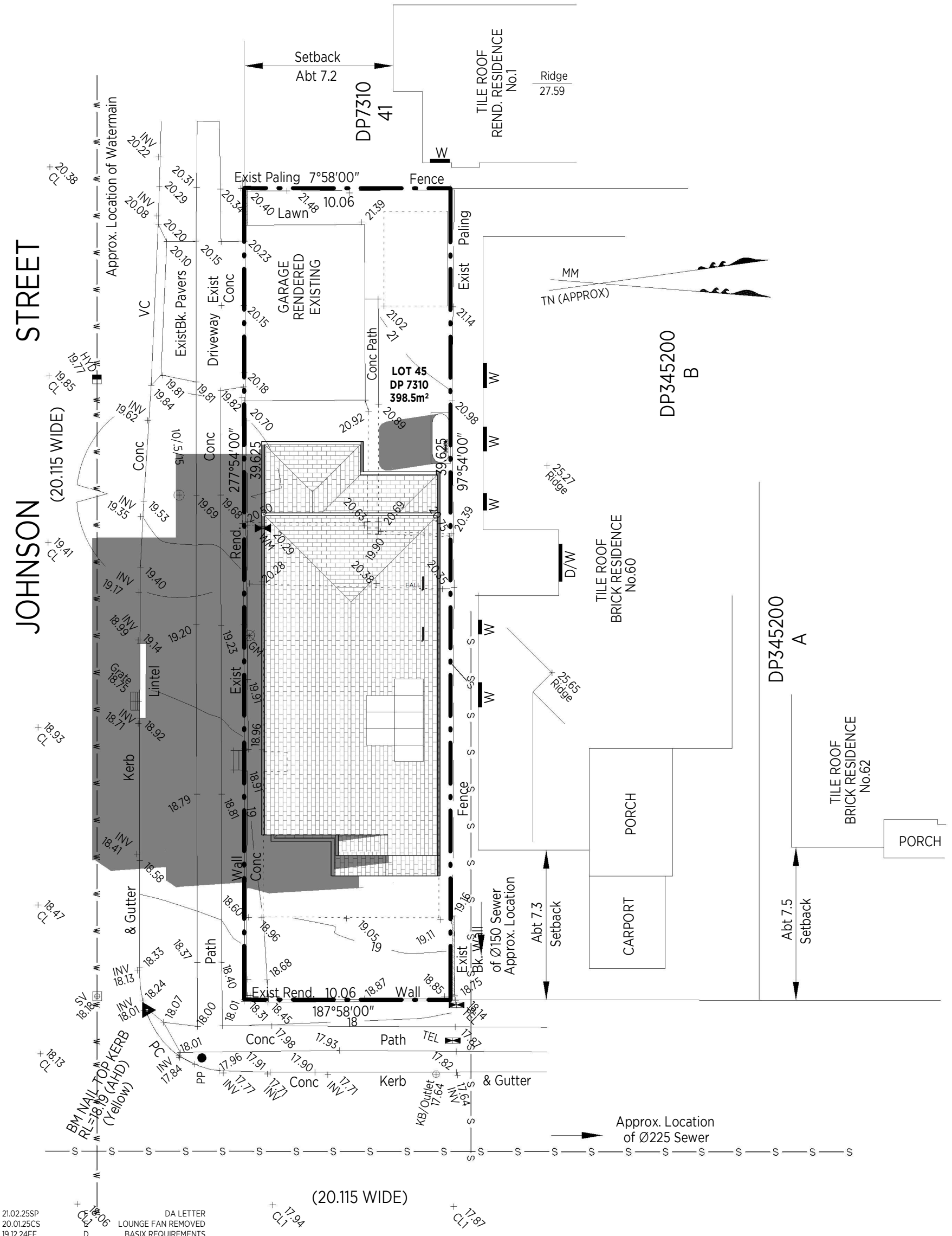

OWNER(S) ACCEPTANCE

I/WE HEREBY APPROVE OUR BUILDING PLANS TO BE BUILT ON OUR LAND.

I/WE HAVE STUDIED THE PLANS AND HAVE HAD THEM EXPLAINED TO US AND ACCEPT AND APPROVE THE FRONT/REAR/SIDE SETBACKS AND CUT/FILL LEVELS AS SHOWN ON THE PLAN.
I/WE ACCEPT NO CHANGES CAN BE MADE.

I/WE HAVE HAD THE DRIVEWAY GRADIENT EXPLAINED.

I/WE HAVE HAD THE BASIX WATER TANK OR THE DUAL WATER PLUMBING EXPLAINED.

I/WE HAVE HAD OUR CHOSEN ALTERATIONS/VARIATIONS EXPLAINED TO US.

I/WE HEREBY APPROVE OUR PLANS AND GIVE CONSENT TO ALLCASTLE HOMES P/L TO LODGE OUR PLANS TO APPROVING AUTHORITY FOR A DEVELOPMENT APPLICATION.

I/WE UNDERSTAND THAT NO FURTHER PHYSICAL CHANGES CAN BE MADE
I/WE UNDERSTAND THAT DUE TO CONSTRUCTION CONSTRAINTS, THE BUILDER MAY VARY PLANS ON SITE TO SUIT.

I/WE UNDERSTAND ANY SURFACE DRAINAGE OR RETAINING WALLS REQUIRED BY APPROVING AUTHORITY ARE TO BE COMPLETED WITH LANDSCAPING BY OWNER

OWNER OWNER DATE

DATE	ISSUE	REVISION
21.02.25SP		DA LETTER
20.01.25CS	E	LOUNGE FAN REMOVED
19.12.24FF	D	BASIX REQUIREMENTS
18.11.24TK	C	EMAILED VAR (11/11/24)
30.10.24FA	B (T07)	VARIATIONS (25-44)
03.09.24	A (T06)	FIRST DRAW

12 NOON-JUNE 21-SHADOW

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- ABN 12057 761 378

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PROPOSED RESIDENCE	BANNABY AVOCA CUSTOM FAÇADE	
FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1 : 200
	DRAWN: DI	CHECKED
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	SHEET NO: 21.2	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
HEAD OFFICE: 96-100 TOONGABBIE ROAD, GIRRAWEEN NSW 2145
PHONE: (02) 9672 7055
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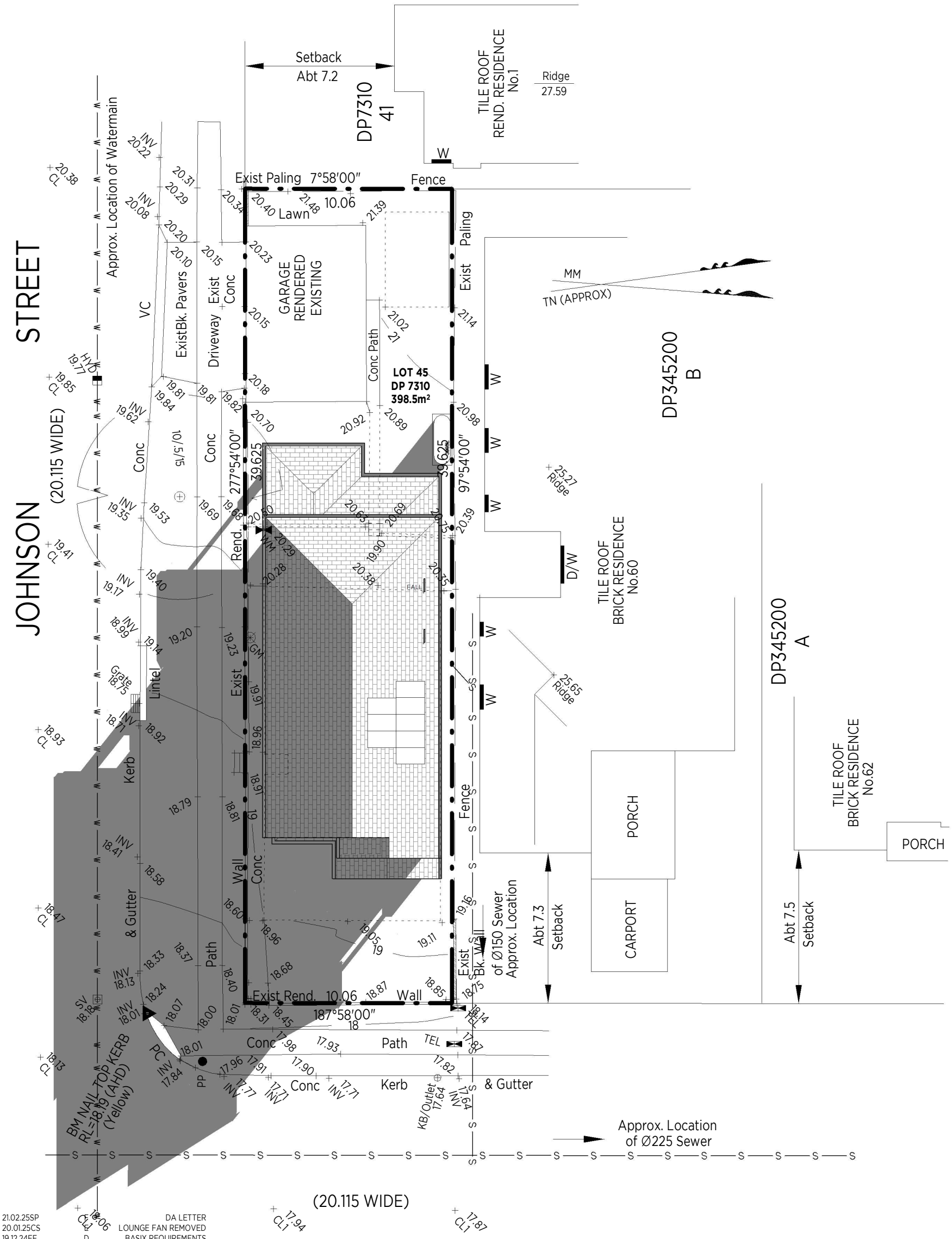

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FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: 1 : 200
	DRAWN: DI	CHECKED
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	SHEET NO: 21.3	JOB NO: 7630

SALES: PHONE: (02) 9629 4772
FAX: (02) 9629 5813
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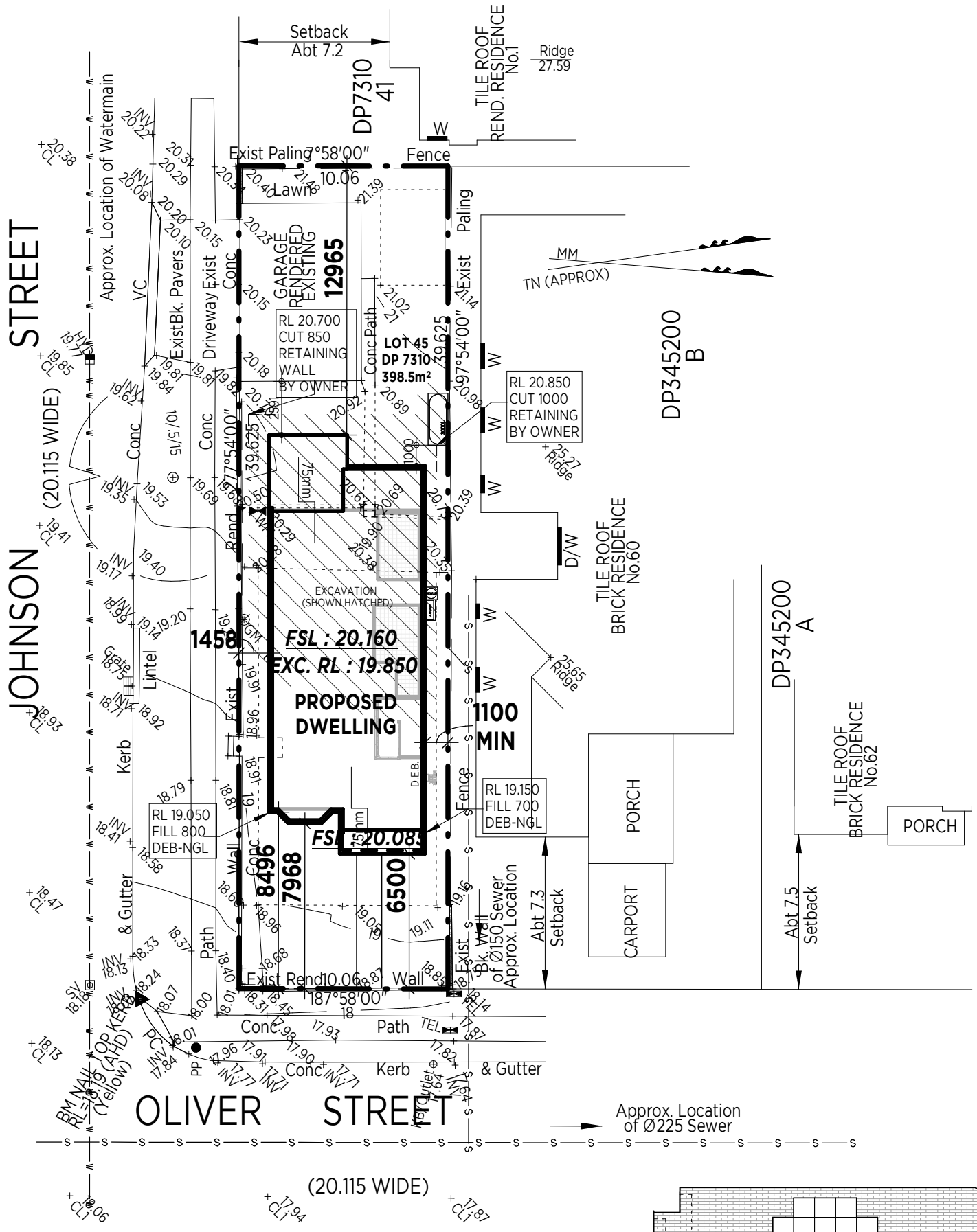

SITE PLAN NOTIFICATION

EASTERN ELEVATION

WESTERN ELEVATION

NORTHERN ELEVATION

SOUTHERN ELEVATION

NOTIFICATION PLAN

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FOR: Mr. & Mrs. JOHNSTON	DATE: 03.09.2024	SCALE: As indicated	
	DRAWN: DI	CHECKED	
AT: LOT 45 (#58) OLIVER ST., FRESHWATER	SHEET NO: 22	JOB NO: 7630	

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