

the certification group
enhancing building performance

26 May 2008

Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/Madam,

Re *Development Application No N0427/07*
Our Construction Certificate No 150/2008
Premises 1753 Pittwater Road, Mona Vale

Please find attached a copy of the following -

- Construction Certificate, stamped approved plans and relevant documentation
- Notice to Commence Building Work
- Appointment of a Principal Certifying Authority

In accordance with the regulations we have enclosed a cheque for the sum of \$30.00 for the submission of the Part 4A certificate

Should you have any further enquiries please do not hesitate to contact us and we will be pleased to assist you

**NB (Please forward receipt for the above \$30.00 fee to The Certification Group P/L
PO Box 870 Narrabeen NSW 2101)**

Yours faithfully,

Wayne Treble - Director
The Certification Group P/L

Unit 3/6 Wilmette Place Mona Vale NSW 2103 PO Box 870 Narrabeen NSW 2101
tel 9944 8222 fax 9944 6330 email info@thecgroup.com.au www.thecgroup.com.au acn 111 092 632

Accredited Certifiers - Principal Certifying Authority (PCA) - Critical Stage Inspections - Local Council Consultant Services - Building Code & Planning Consultants



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COUNCIL COPY

CONSTRUCTION CERTIFICATE DETERMINATION

Issued under the Environmental Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

CONSTRUCTION CERTIFICATE NO	150/2008
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DETERMINATION

Decision	Approved
Date of Decision	26 May 2008

SUBJECT LAND

Address	1753 Pittwater Road, Mona Vale
Lot No, DP	Lot 1 DP 715158

DESCRIPTION OF DEVELOPMENT	Replace metal roof with concrete roof
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APPLICANT

Name	Kethel (Investments) P/L
Address	1792 Pittwater Road, Mona Vale
Contact Number (tel)	tel 9979 6404

OWNER

Name	Kethel (Investments) P/L
Address	1792 Pittwater Road, Mona Vale
Contact Number (tel)	tel 9979 6404

BUILDER OR OWNER/BUILDER

Contractor	Delmege Constructions
License No	40617S

Unit 3/6 Wilmette Place Mona Vale NSW 2103 PO Box 870 Narrabeen NSW 2101
tel 9944 8222 fax 9944 6330 email info@thecgroup.com.au www.thecgroup.com.au acn 111 092 632

Accredited Certifiers · Principal Certifying Authority (PCA) · Critical Stage Inspections · Local Council Consultant Services · Building Code & Planning Consultants

PLANS AND SPECIFICATIONS

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with "The Certification Group" stamp

DRAWING NUMBER

DATE

Architectural Plan No's 823 - CA 01 A, dated 18/10/07, DB 01 C, dated 3/12/07, DC 01 B, dated 3/12/07, prepared by Drew Dickson architect	See dated
---	-----------

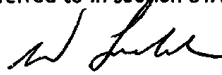
ATTACHMENTS

Structural Plan No's SY08 0070 - S1 00 A, S2 00 C, S3 00 C, S3 01 C, S3 02 B, S4 00 B prepared by Acor Consultants	27 February 2008
Structural Certification, prepared by Acor Consultants	12 March 2008
Fire Safety Schedule	19 May 2007
Sydney Water Building Plan Approval, prepared by Byrne & Associates Pty Ltd (and Plan no 's 823 003 and 823 201, dated 14 March 2008, prepared by Drew Dickson Architects)	5 May 2008
Accessibility Report, prepared by Accessibility Solutions (NSW) P/L	12 May 2008
Long Service Levy Receipt No 238882 (\$187 00)	26 May 2008
Construction Certificate Application Form	5 May 2008

CERTIFICATE

I certify that work completed in accordance with documentation accompanying the application for this certificate (with such modifications as verified by the undersigned as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, as are referred to in section 81A(5) of the Environmental Planning and Assessment Act, 1979

SIGNATURE



DATE OF ENDORSEMENT

26 May 2008

CERTIFICATE NO

150/2008

CERTIFYING AUTHORITY

Name of Certifying Authority
Name of Accredited Certifier
Registration No
Contact No
Address

THE CERTIFICATION GROUP P/L
Wayne Treble
BPB0413 - Building Professionals Board
PH (02) 9944 8222, FAX (02) 9944 6330
PO BOX 870 NARRABEEN NSW 2101

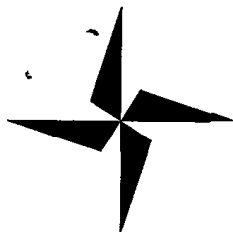
DEVELOPMENT CONSENT

Council
Development Consent No
Date of Determination

Pittwater Council
N0427/07
29/10/2007, modified 30/1/2008

BUILDING CODE OF AUSTRALIA CLASSIFICATION

5 and 6



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enhancing building performance

COUNCIL COPY

~~FILE COPY~~

APPLICATION FORM

Made under the Environmental Planning and Assessment Act 1979 Sections 81A(2)(4) 84A 85A & 109C (1)(b)

Environmental Planning and Assessment Regulation 2000 clauses 126(1) 139(1) or 157(1)

To complete this form please place a cross in the boxes and fill out the white sections as appropriate

Application Sought

☐ Complying Development Certificate

☒ Construction Certificate

☒ Occupation Certificate

☒ Principal Certifying Authority

Subject Land

Address 1753 PITWATER ROAD MONA VALE

Lot No DP SP vol/fol Etc LOT 1 DP 715158

Details of the applicant

Name /Company KETHEL (INVESTMENTS) P/L

Contact Person _____

Postal Address 1792 PITWATER RD, MONA VALE

Postcode 2103 State NSW

E mail _____ Daytime telephone _____

Fax _____ Mobile _____

Applicant Signature [Signature]

Date 5/5/08

Consent of Owner(s)

I/We as the owner/s of the above property authorise for either Mark Wysman or Wayne Treble to provide Construction Certification and to act as the Principal Certifying Authority for the subject building works including site inspections and to lodge the Notice of Commencement / Appointment of the Principal Certifying Authority with the relevant Council

Name(s)/ Company KETHEL (INVESTMENTS) P/L

Address 1792 PITWATER RD MONA VALE Postcode 2103 State NSW

Phone No 9979 6404 Mobile _____ Fax _____

Signature of Registered owner(s) Company stamp or seal to be affixed if applicable

[Signature]

Date 5/5/08

Description of the work proposed

Type of work proposed

☐ New Building ☒ Additions / Alterations

Class of Building under Building Code of Australia

5+6

Description of the work

REPLACE METAL ROOF WITH CONCRETE ROOF

Construction Cost of Works \$

53,400-00

Details of Builder

Contact Person

BRETT DELMEGE

Name / Company

DELMERGE CONSTRUCTIONS

Fax

9922 2997

Mobile

0408 432 687

Daytime telephone

9922 2999

Email

brette.delmege.com.au

Builders address

5/90 MOUNT ST NORTH SYDNEY

Postcode

2060

Details of the relevant Development Consent granted

Consent No

N0427/07

Date the consent was granted

29/10/07

MODIFIED 30/1/08

Applicant Checklist

☒ Complete Application Form – Pages 1 & 2☒ Attach supporting documentation as nominated on Page 3☒ Complete statistical Return on Page 4

Private Policy

The information you provide in this notice is required under the Environmental Planning and Assessment Act 1979 if you are going to erect a building. If you do not provide the information to the consent authority you cannot commence the work. The information will be held by the consent authority and by the council (if the council is not the consent authority). Please contact the certification group if the information you have provided in this notice is incorrect or changes.

Date of receipt (To be completed by Certifying Authority)

Date

5/5/08

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the site area of land?	Area in square meters	1167
Gross floor area of existing building or no existing building write NIL	Area in square meters	959
What is the existing building or site used for at present?	Main Use	Commercial
	Other Use	Office
Does the site contain dual occupancy?	☐ Yes ☒ No	
Gross floor area of proposed building	Area in square meters	1167
What will the proposed building be used for?	Main Use	Commercial
	Other Use	Office
How many dwellings?		
Are there existing dwellings on the property?	Dwellings	NIL
Are there proposed to be demolished dwellings?	Dwellings	NIL
Are there proposed to be constructed dwellings?	Dwellings	NIL
Are there attached to an existing building?	Dwellings	NIL
Are there attached to a proposed building?	Dwellings	NIL
How many storeys will the building consist of?	Storeys	Two

What are the main building materials? (Please tick appropriate boxes)

WALLS

- ☒ Full Brick
☐ Brick Veneer
☐ Concrete or Stone
☐ Steel
☐ Fibrous Cement
☐ Timber/weatherboard
☐ Cladding- aluminium
☐ Curtain glass
☐ Other
☐ Unknown

ROOF

- ☐ Aluminium
☒ Concrete or Slate
☐ Tile
☐ Fibrous Cement
☒ Steel
☐ Other
☐ Unknown

FLOOR

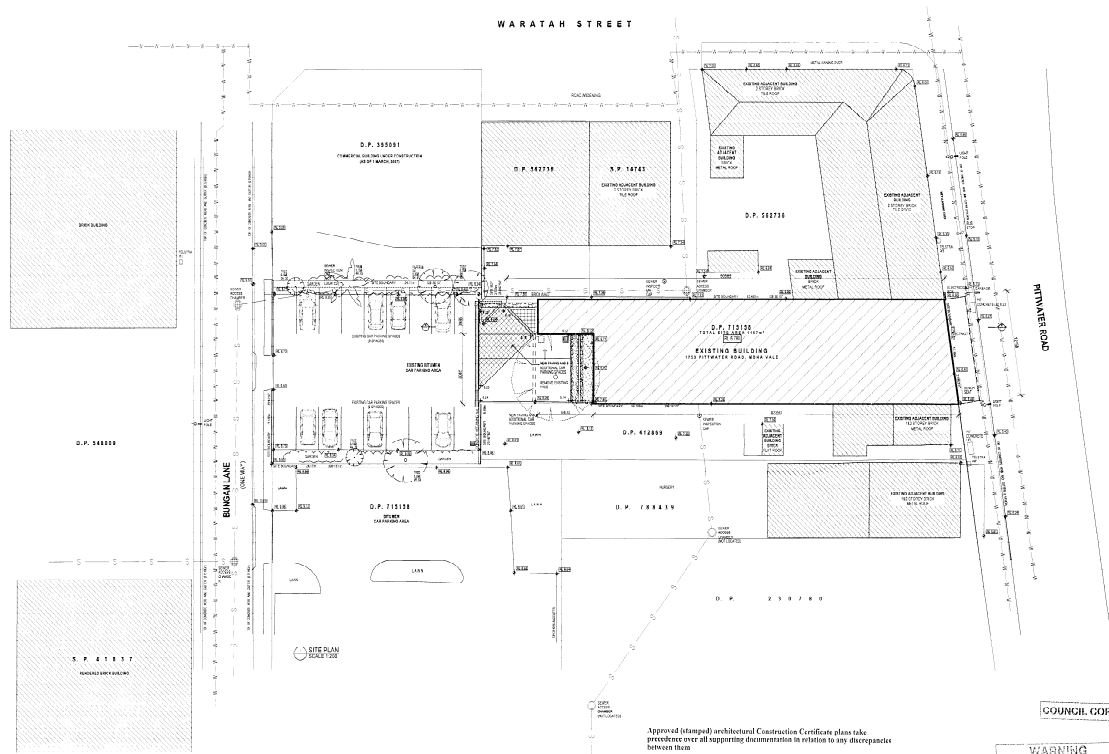
- ☒ Concrete or slate
☐ Timber
☐ Other
☐ Unknown

FRAME

- ☐ Timber
☒ Steel
☐ Aluminium
☐ Other
☐ Unknown

THE CERTIFICATION GROUP [REDACTED] PO Box 870 Narrabeen NSW 2101
tel 9944 8222 fax 9944 6330 email info@thecgroup.com.au www.thecgroup.com.au acn 111 092 632

WARATAH STREET



Approved (stamped) architectural Construction Certificate plans take precedence over all supporting documentation in relation to any discrepancies between them.

This construction certificate is only for the replacement of the metal roof with a new concrete roof and the necessary associated structural elements only as shown on plan.

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WARNING

DISCOTEK: The making of a party and
 Confession: Gail does not believe the
 audience necessarily to obtain something from
 Shirley Woot or other Authority or in any other
 way, in person or by any means.

DIAL REPORTS YOU DUG 1100

THE CERTIFICATION GROUP INC. 1800
CONSTRUCTION CERTIFICATE NO. 12005
Original No. 100247/01 Dated 29.10.2007
Please see below variation associated with this issue of
the Certificate for the Trade
36/5/02

KETHEL (INVESTMENTS) PTY. LTD.
1782 PITTSWATER ROAD, RAYVIEW, NSW, 2108

1753 FITZWATER ROAD MONA VALE NSW 2103

SITE PLAN

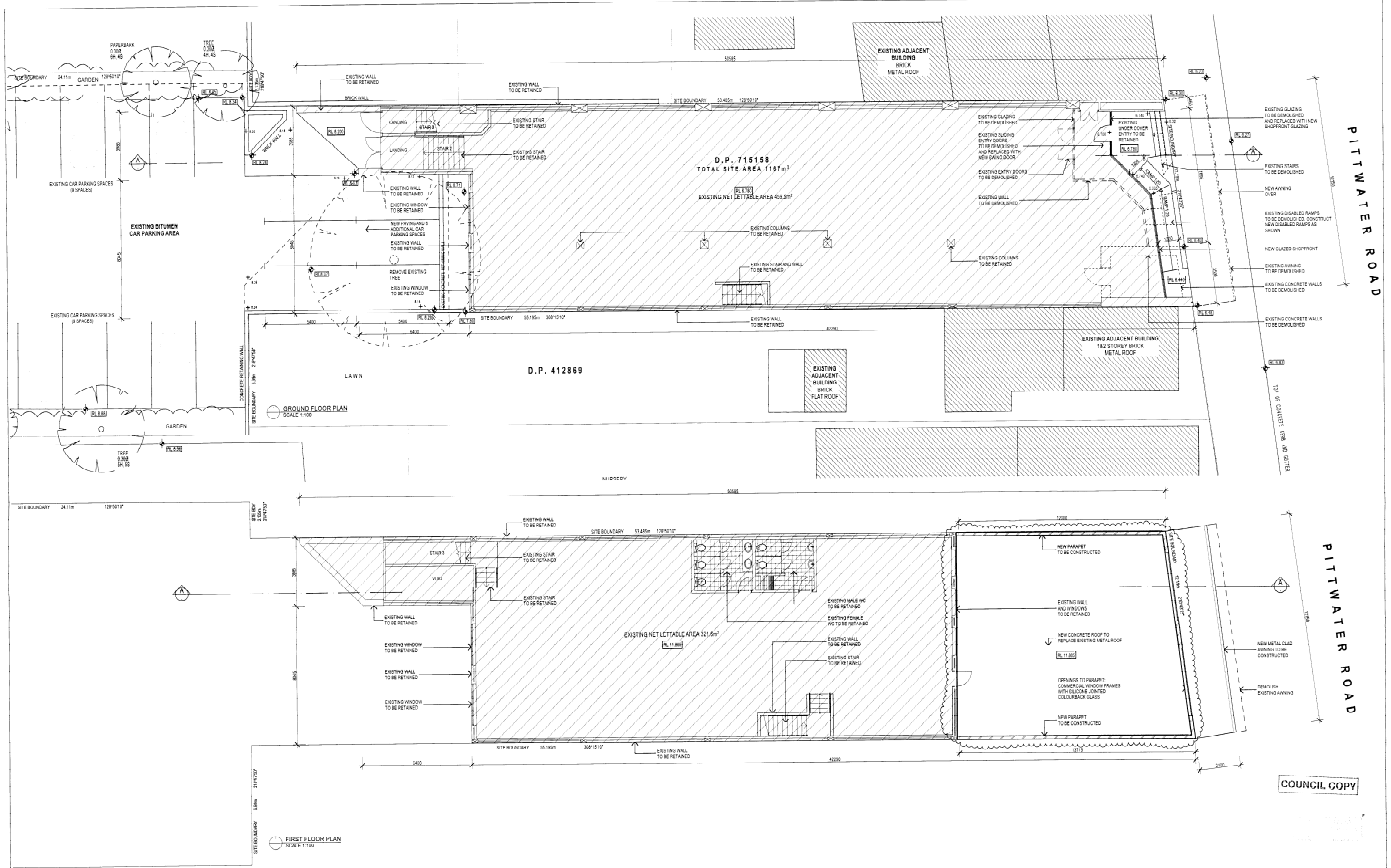
PROJECT No.
823

DATE	26/07/07
AMOUNT	£

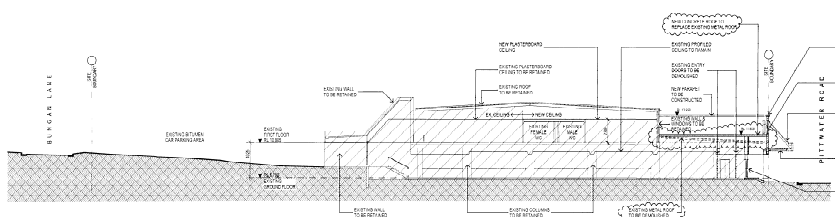
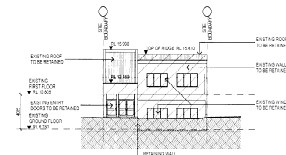
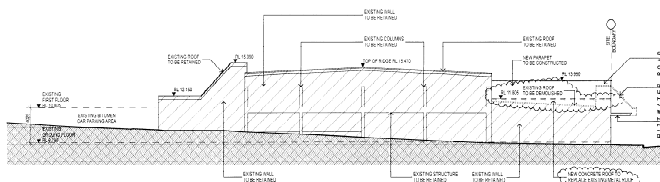
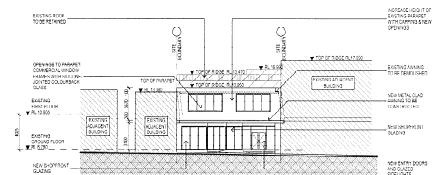
Scale	Case No. (100)
1:200	CA-01

PO BOX 87 ST LOUIS MO 63102
TEL: 314/435-1470 FAX: 314/261-0444

www.ddp.com.au



KETHEL (INVESTMENTS) PTY LTD 100/100 PITTWATER ROAD, PITTWATER NSW 2114		DATE: 11/11/14	PROJECT: 823
ALTERATIONS TO EXISTING COMMERCIAL DEVELOPMENT 100/100 PITTWATER ROAD, PITTWATER NSW 2114		DATE: 11/11/14	PROJECT: C
GROUND & FIRST FLOOR PLANS		SCALE: 1:100	PROJECT: DB-01



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www.ddp.com.au



CLIENT KETHEL (INVESTMENTS) PTY LTD
1750 PITKOTTER ROAD BAYVIEW NSW 2104

PROJECT ALTERATIONS TO EXISTING COMMERCIAL DEVELOPMENT
1550 PITKOTTER ROAD BAYVIEW NSW 2104

DRAWING ELEVATIONS & SECTION

DRAWN BY	PROJECT No
TVH	823
DATE	AMENDMENT
26/07/07	B
SCALE	DRAWING No
1:200	DC-01

875 NW 53rd ST OCAWEEK, MN 55050
TEL 612/932-1463 FAX 612/982-3099
www.oca-week.com

COUNCIL COPY

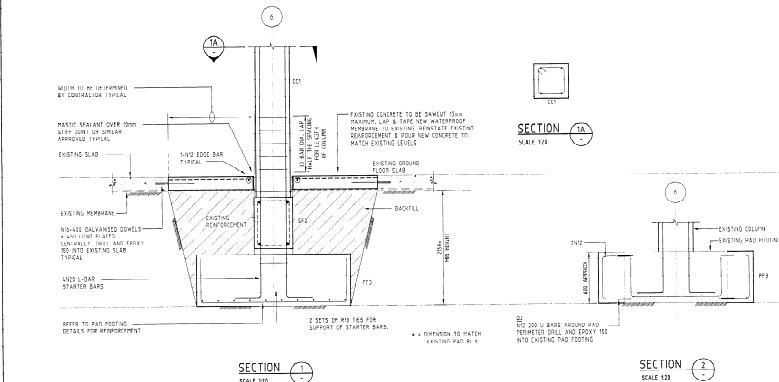
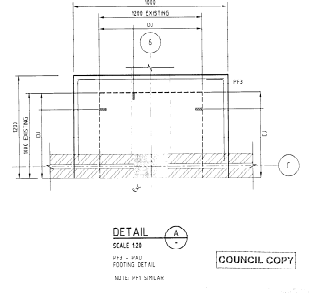
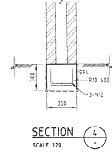
- WARNING**
 ATT: A comprehensive check of the
 design has not been carried out. The
 design is the intellectual property of
 the client. The design is not to be
 used for any other purpose without
 the client's permission.

 DELMEGE CONSTRUCTIONS SUITE 501 LEVEL 5 80 MCLEOD STREET NORTH SYDNEY NSW 2060 Phone: (02) 9692 7782 Fax: (02) 9692 2665  DREW DICKSON ARCHITECTS LEVEL 2 75 KITCHEN STREET OT LEONARD NSW 2055 PHONE: (02) 9438 8400 FAX: (02) 9432 2655  ACOR CONSULTANTS ENGINEERS MANAGED INFRASTRUCTURE PLANNERS Level 24 Pacific Centre 100 Market Street Sydney NSW 2000 Phone: +61 2 9243 0000 Fax: +61 2 9243 0000 Acor is a registered company in NSW Australia										ALTERATIONS & ADDITIONS 1743 PITTWATER ROAD MONA VILLE STRUCTURAL NOTES									
 ISSUED FOR: CC Drawn: [Signature] Date: 12/08/2018 Scale: 1:50mm										Sheet: 1/1 DATE: FEB 08 DESIGN: [Signature] CHECK: [Signature] APPROVED: [Signature] SY08 2008 Drawn: [Signature] Date: 12/08/2018 Scale: 1:50mm									
Project: [Blank] Client: [Blank] Location: [Blank] Drawn: [Blank] Check: [Blank] Approved: [Blank] SY08 2008 Drawn: [Blank] Date: [Blank] Scale: [Blank]										Project: [Blank] Client: [Blank] Location: [Blank] Drawn: [Blank] Check: [Blank] Approved: [Blank] SY08 2008 Drawn: [Blank] Date: [Blank] Scale: [Blank]									

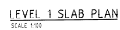
MEMORANDUM SCHEDULE		
TYPE	ONE	REMARKS
SLAB FINISH		
SF1	150 DEEP x 400 WIDE STRIP FOOTING	EXISTING
SF2	150 DEEP x 400 WIDE STRIP FOOTING	EXISTING
SF3	150 DEEP x 400 WIDE STRIP FOOTING	EXISTING
SF4	150 DEEP x 350 WIDE STRIP FOOTING	EXISTING
COLUMNS		
CC1	400 DIA	EXISTING
CC2	400 DIA	EXISTING
FLOOR FINISH		
FF1	150 DEEP x 400 WIDE STRIP FOOTING	EXISTING
FF2	150 DEEP x 400 WIDE STRIP FOOTING	EXISTING
FF3	150 DEEP x 400 WIDE STRIP FOOTING	EXISTING

GROUND FLOOR LEVEL PLAN

SCALE 1:50
 EX - EXISTING
 CFT - CONCRETE FOOTING



DELMEGE CONSTRUCTIONS SUITE 101, LEVEL 1 80 MOUNT STREET NORTH SYDNEY NSW 2060 PHONE: (02) 9522 7702 FAX: (02) 9522 2000		DREW DICKSON ARCHITECTS LEVEL 2 16 ATCHISON STREET ST. PETERSBURG NSW 2205 PHONE: (02) 9470 2400 FAX: (02) 9470 2400		ACOR CONSULTANTS ENGINEERS MANUFACTURING INFRASTRUCTURE PLANNING Level 1, 100 Pacific Street PO Box 100 Cronulla NSW 2230 Tel: 02 9550 0000 Fax: 02 9550 0000 www.acor.com.au		ALTERATIONS & ADDITIONS 1753 PITT ROAD MONA VALE		GROUND FLOOR SLAB PLAN Date: JPT Issued: FEB 08 Status: NOTED Project: SY08 0070 Drawn: 22.00 Check: C	
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HOW TO USE THE CONCRETE LEVELS
REFER TO ANCHORING DETAILS

E/C = DENOTES EXISTING
CONCRETE COLUMN

E/SB = DENOTES EXISTING
SLAB

250 DENOTES 250 THICK SLAB
REINFORCEMENT SHOWN UNLESS NOTED OTHERWISE

 DENOTES INFILL SLAB

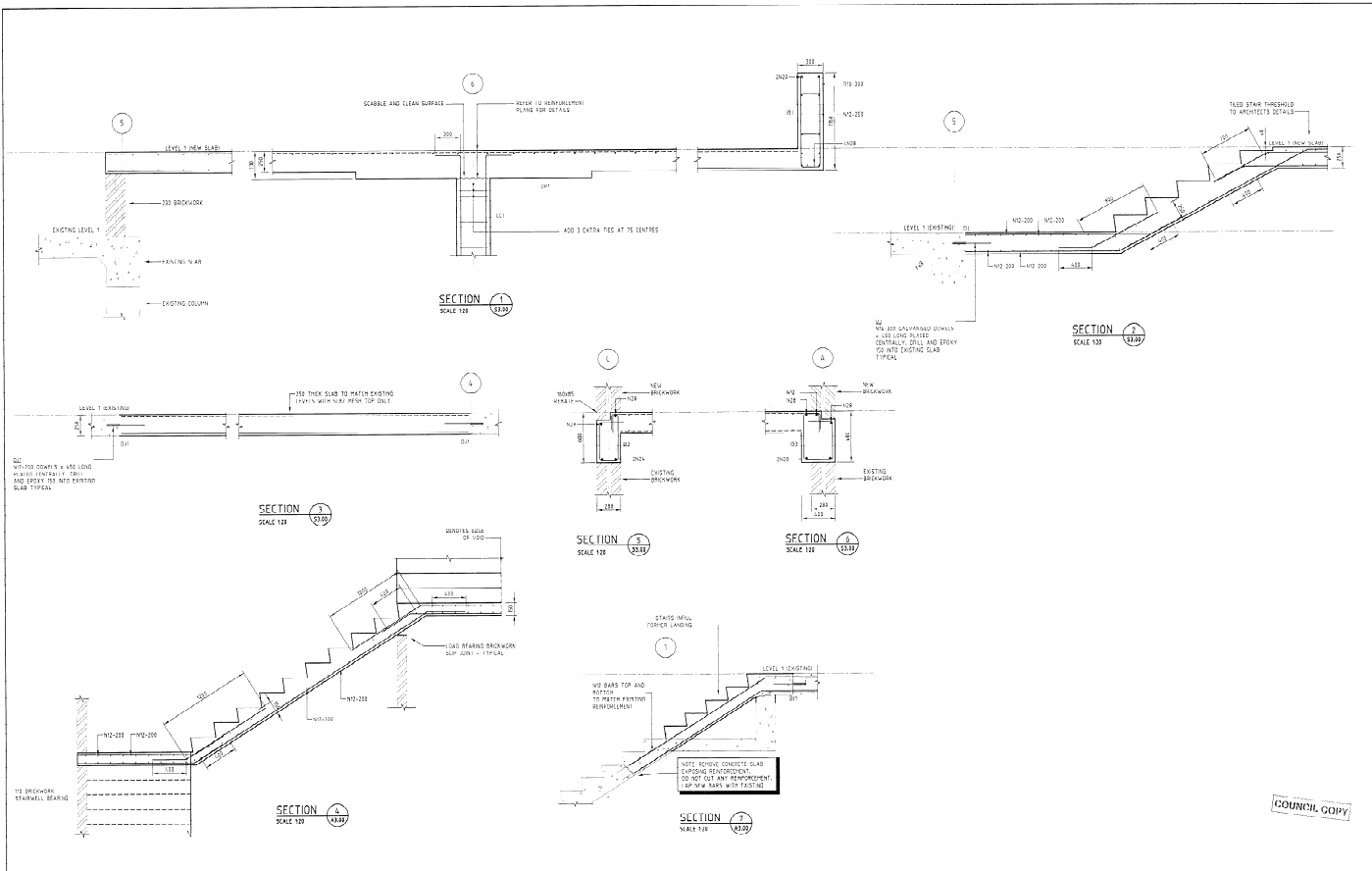
DJ = NY-303 GALVANIZED DOWELS = 450 LONG
PLACED CENTRALLY, DRILL AND EPOXY INTO
HOLE EXISTING SLAB - TYPICAL

DJ1 = NY-250 DOWELS = 450 LONG PLACED
CENTRALLY, DRILL AND EPOXY INTO HOLE
EXISTING SLAB - TYPICAL

DJ2 = 4 x NY-200 DOWELS, DRILL AND EPOXY INTO
HOLE EXISTING SLAB - TYPICAL

COUNCIL COPY

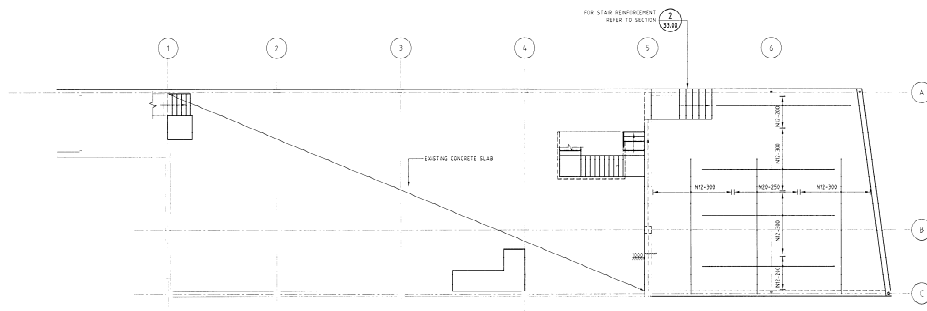
Drawing Title					
LEVEL 1 SLAB PLAN					
Project IST	Date FEB 08	Notes NOTED	At	U.S. Units	Drawn
Checked ASH	Project No. SY08 0070		Using File		Scale 33.00



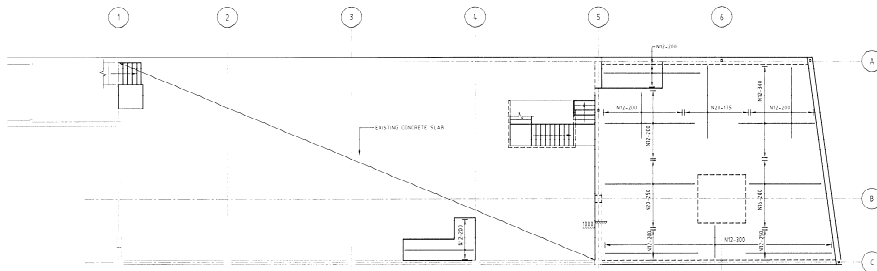
COUNCIL COPY

REVISIONS				DATE		BY		CHK	
C	ISSUED FOR DC	17.02.18	JAT	AM					
B	ISSUED FOR REVIEW	25.02.18	JAT	AM					
A	ISSUED FOR INFORMATION	18.02.08	JAT	AM					
DRAWN				DATE	BY	CHK			

DELMEGE CONSTRUCTIONS SUITE 101, LEVEL 9 80 MOUNT STREET NORTH SYDNEY NSW 2060 PHONE: (02) 9622 1122 FAX: (02) 9622 3900		DREW DICKSON ARCHITECTS 18 PITCHER STREET RT 1 PCHMANT NSW 2065 PHONE: (02) 9622 2405 FAX: (02) 9622 2405		ACOR CONSULTANTS ENGINEERING MANAGEMENT INFRASTRUCTURE PLANNERS Level 1, 181 Pittwater Road Mona Vale NSW 1506 Phone: (02) 9368 0000 Fax: (02) 9368 0000 Email: info@acor.com.au		ALTERATIONS & ADDITIONS 1752 PITTWATER ROAD MONA VALE		LEVEL 1 SECTIONS Drawn: JAT Date: 18.02.18 Checked: JAT Date: 25.02.18 Project No: SY08 0070 Sheet No: S3.01 Scale: C	
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LEVEL 1 - TOP REINFORCEMENT PLAN
SCALE 1:100



LEVEL 1 - BOTTOM REINFORCEMENT PLAN
SCALE 1:100

COUNCIL COPY

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR CC	21.02.05	PT	AT
2	ISSUED FOR INFORMATION	25.02.05	PT	AT
3	Drawn	25.02.05	CH	



DELMEGE CONSTRUCTIONS
SUITE 101, 1 PULP 1
50 MOUNT STREET
NORTH SYDNEY NSW 2060
PHONE: (02) 9522 5722
FAX: (02) 9522 3000

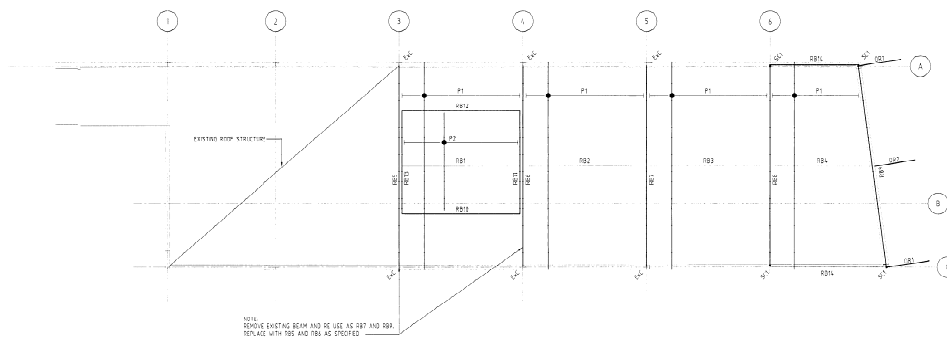
DREW DICKSON ARCHITECTS
1 PULP 2
16 ATCHISON STREET
ST LEONARDS NSW 2060
PHONE: (02) 9432 2405
FAX: (02) 9432 2405



ACOR CONSULTANTS
ENGINEERING
MANAGEMENT
INFRASTRUCTURE
PLANNERS
Level 1, 17 Pulp 1
50 Mount Street
North Sydney NSW 2060
Ph: (02) 9432 2405
Fax: (02) 9432 2405
Email: acor@acor.com.au

ALTERATIONS & ADDITIONS
171A RYDMAN STREET
MONA VALE

Drawing Title				
LEVEL 1 SLAB REINFORCEMENT PLAN				
NO.	DATE	BY	CHECKED	SCALE
1	21.02.05	PT	AT	
2	25.02.05	PT	AT	
3	25.02.05	CH		



ROOF STEELWORK LAYOUT

SCALE: 1:100
S/C = DIMENSION EXISTING CONCRETE COLUMN

MEMBER SCHEDULE

MARK	TYPE	REMARKS
BEAMS		
P1	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P2	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
COLS		
P3	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P4	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P5	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P6	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P7	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P8	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P9	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P10	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P11	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P12	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P13	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P14	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P15	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P16	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P17	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P18	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P19	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P20	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P21	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P22	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P23	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P24	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P25	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P26	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P27	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P28	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P29	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P30	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P31	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P32	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P33	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P34	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P35	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P36	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P37	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P38	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P39	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P40	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P41	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P42	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P43	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P44	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P45	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P46	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P47	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P48	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P49	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P50	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P51	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P52	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P53	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P54	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P55	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
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P60	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
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P74	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P75	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
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P99	200x150x10	MAX 100% L/S - 1 ROW BRIDGING
P100	200x150x10	MAX 100% L/S - 1 ROW BRIDGING

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NO	DATE	BY	CHK
1	22.02.16	PT	AK
2	25.02.16	PT	AK
3	25.02.16	PT	AK
4	25.02.16	PT	AK
5	25.02.16	PT	AK
6	25.02.16	PT	AK
7	25.02.16	PT	AK
8	25.02.16	PT	AK
9	25.02.16	PT	AK
10	25.02.16	PT	AK



DELMEGE CONSTRUCTIONS
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FAX: (02) 9552 1000

DREW DICKSON ARCHITECTS
LEVEL 2
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ST LEONARDS NSW 2068
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WWW.ACORCONSULTANTS.COM

ALTERATIONS & ADDITIONS
1780 PITT WATER ROAD
MONA VUE

ROOF STEELWORK LAYOUT

Sheet	Rev	Date	Drawn	Check
101	1	22.02.16	PT	AK
Project	Design	Drawn	Check	Scale
101	SY08 0070			\$4.00

FIRE SAFETY SCHEDULE

Environmental Planning & Assessment Regulation 2000

Schedule No 1**DA No: N0427/07, CC No: 150/2008**

The Fire Safety measures to be installed and maintained in relation to the premises

Property Address: 1753 Pittwater Road, Mona Vale**Description of Development: Replace metal roof with concrete roof**

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DOCUMENTATION

No	Fire Safety Measures	Standard	BCA Clause(s)	Existing fire safety Measures	Proposed fire safety Measures
005	Emergency lighting	AS/NZS 2293 1 - 2005	E4 4	☐	☒
008	Exit signs	AS/NZS 2293 1 - 2005	E4 8, E4 5	☐	☒
012	Fire hydrant systems	AS 2419 1 - 2005	E1 3	☐	☒
016	Hose reel systems	AS 2441 - 2005	E1 4	☐	☒
018	Mechanical air handling systems	AS 1668 1 & 2 - 1991	F4 5, F4 11, F4 12	☐	☒
020	Portable fire extinguishers	AS 2444 - 2001	E1 6	☐	☒
030	Fire Hazard Properties		Clause C1 10 & Spec C1 10	☐	☒

Notes

- 1 On completion of the building work the owner must furnish Council with a Fire Safety Certificate that states that each essential fire safety measure specified in the current fire safety schedule to which the Certificate relates
 - (a) has been assessed by a properly qualified person and
 - (b) was found when it was assessed to be capable of performing to a standard not less than that required by the current fire safety schedule for the building for which the certificate is issued
- 2 The assessment must have been carried out within the period of three (3) months prior to the date on which the final fire safety certificate was issued
- 3 The choice of person to carry out the assessment is up to the owner of the building
- 4 The person who carried out the assessment
 - (a) must inspect and verify the performance of each fire safety measure being assessed and
 - (b) must test the operation of each new item of equipment installed in the building premises that is included in the current fire safety schedule for the building
- 5 As soon as practicable after a final fire safety certificate is issued the owner of the building to which it relates
 - (a) must cause a copy of the certificate (together with a copy of the current fire safety schedule) to be given to the Commissioner of New South Wales Fire Brigades and
 - (b) must cause a further copy of the certificate (together with a copy of the current fire safety schedule) to be prominently displayed in the building
- 6
 - (a) Each year the owner of a building to which an essential fire safety measure is applicable must cause the Council to be given an annual fire safety statement for the building
 - (b) An annual fire safety statement for a building
 - (1) must deal with each essential fire safety measure in the building premises and
 - (2) must be given
 - (i) within twelve (12) months after the last such statement was given, or
 - (ii) if no such statement has previously been given within twelve (12) months after a final fire safety certificate was first issued for the building
 - (c) As soon as practicable after an annual fire safety statement is issued the owner of the building to which it relates
 - (1) must cause a copy of the statement (together with a copy of the current fire safety schedule) to be given to the Commissioner of New South Wales Fire Brigades and
 - (2) must cause a further copy of the statement (together with a copy of the current fire safety schedule) to be prominently displayed in the building
 - (d) Subclause (6)(b) ceases to apply to an annual fire safety statement only when every essential fire safety measure with which it deals has become the subject of a later fire safety certificate or fire safety statement

Dated 19 May 2008



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Our Reference **SY080070**

12 March 2008

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DOCUMENTATION

The Certification Group
Unit 3/6 Wilmette Place
Mona Vale NSW 2103

Attn Wayne Treble

Re Certification of 1753 Pittwater Road Mona Vale

Dear Sir

This is to certify that the structural drawings on SY080070 sheets S1 00 S2 00 S3 00 S3 01 S3 02, S4 00 were design in accordance with relevant Australian Standards and BCA clauses

In particular the external brick walls will have a minimum FRL of 90/90/90 as there are non load bearing walls

Should you have any queries feel free to contact the undersigned

Yours sincerely
ACOR Consultants Pty Ltd

Andrew Hastie
Structural Engineer
BE (Structural)

ACOR CONSULTANTS PTY LTD

ENGINEERS

MANAGERS

INFRASTRUCTURE PLANNERS

SYDNEY BRISBANE NEWCASTLE

ACN 079 306 246

ABN 26 622 454 721

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FAX 02 9438 5398

acor@acor.com.au

This document and its contents are intended for the Addressee only and contains opinions held by the Author based on material available at the time and expresses for the purposes of consideration by the Addressee and not for general publication without written consent

ACOR Consultants Pty Ltd

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Page 1 of 1

LONGSERVICE
BUILDING & CONSTRUCTION



THE CERTIFICATION GROUP P/LTD
APPROVED CONSTRUCTION CERTIFICATE

LEVY PAYMENT FORM

**SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS**

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APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION

Dolfin No D07/8-10434

Quick Check Ref No 2256464

e-Developer Case No

Property Location

Street No 1753

Lot No 1

Street Name MONA VALE ROAD

Suburb MONA VALE

Building/Structure Description ALTERATIONS & ADDITIONS TO COMMERCIAL BUILDING

Building Plan No 823-003 Engineers Plan No 823-201

Proposed building/structure is **APPROVED** to construct ~~OVER/ADJACENT TO~~ a Sydney Water sewer/asset, subject to the following requirements
(NB Delete non applicable requirements)

- ~~1 The foundations/piers are to be founded below _____ zone of influence _____ strata~~
- ~~2 No part of the building/structure or its foundations to be less than a minimum _____ metre horizontal distance from the centreline of the sewer~~
- ~~3 No part of the swimming pool or its foundations to be less than a minimum _____ metre horizontal distance from the centreline of the sewer to the outer edge of the pool coping~~
- ~~4 No part of the building/structure or swimming pool coping to be less than 1 m horizontal distance from outside edge of maintenance hole rim / maintenance shaft rim / lamphole rim / vertical rim / redding point or edge of ventshaft~~
- ~~5 No piercing of building/structure to be less than 2 m horizontal distance from centreline of maintenance hole to edge of piers~~
- ~~6 Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water~~
- ~~7 All foundations/piers are to be founded to below the zone of influence or to solid rock~~
- ~~8 Indemnity letter to be signed by owner/s of property and returned to Water Servicing Coordinator prior to issue of building plan approval~~
- ~~9 Concrete encase approximately _____ metres of sewer. Concrete encasement to be carried out by an Accredited Constructor of Minor Works (Sewer) / Constructor and a Minor Works Agreement signed prior to commencement of works~~
- ~~10 Concrete encasement must extend a minimum of 600 mm past the external walls of the building/structure~~
- ~~11 Minimum of _____ mm vertical clearance between top of concrete encasement to underside of concrete slab~~
- ~~12 Minimum of _____ mm of compressible membrane between top of concrete encasement to underside of concrete slab~~
- ~~13 Property connection point (junction) to be inserted under Minor Works Agreement~~
- ~~14 All works are to be completed in accordance with Case No _____~~

SPECIAL REQUIREMENTS

General Indemnity to be signed by owners and returned to WSC prior to release of approved building plans

NOTE

Above requirements must be inspected/supervised by an Accredited Supplier or Sydney Water to enable the issue of a satisfactory compliance letter

Permits are required to fill all new swimming pools with a capacity greater than 10,000 litres To arrange for a permit please contact Sydney Water on 13 20 92 during business hours Fines will apply for filling swimming pools without a permit

APPROVED BY

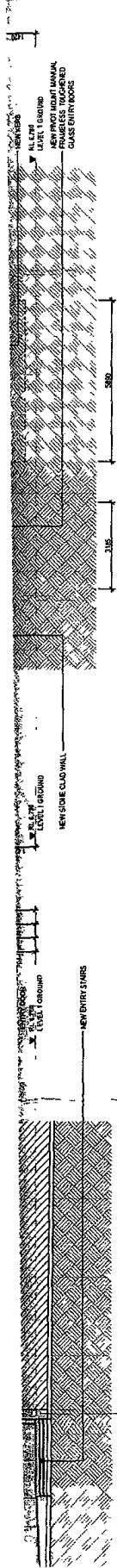
WSC Company Name BYRNE & ASSOCIATES PTY LTD

Name of Key Personnel D GLENDENNING

Signature of Key Personnel



Date 5, 5, 08

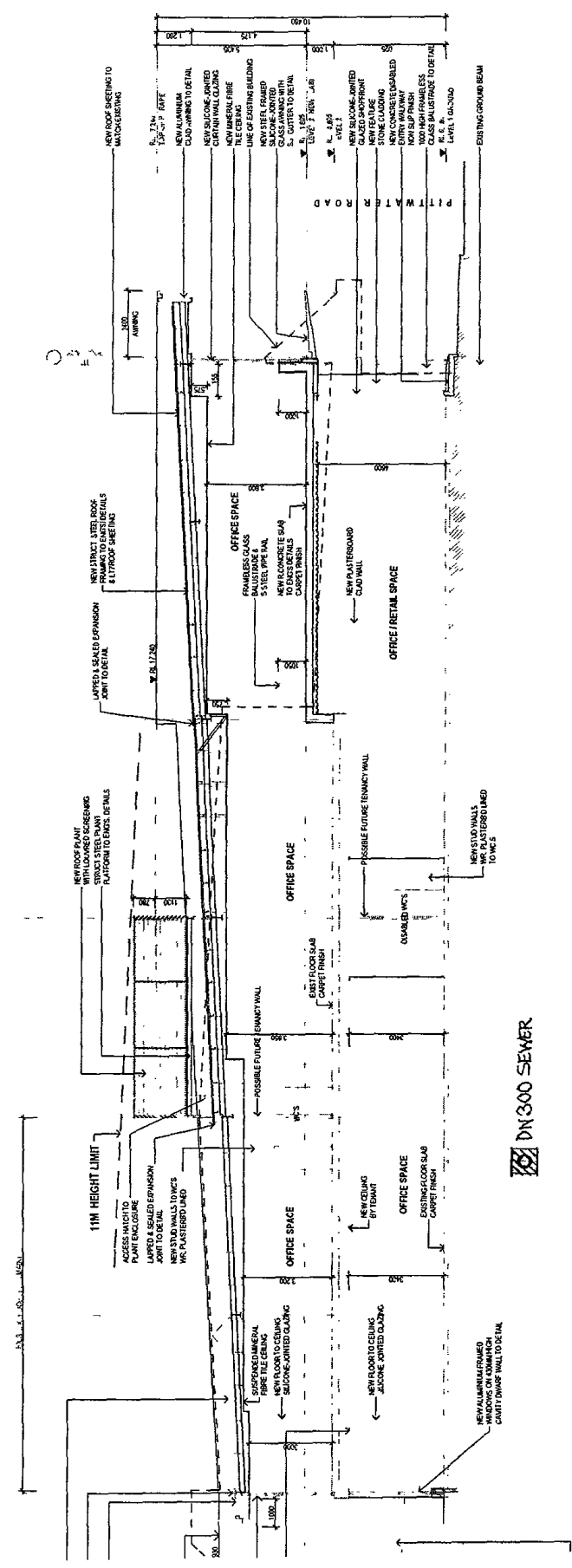


WEST ELEVATION
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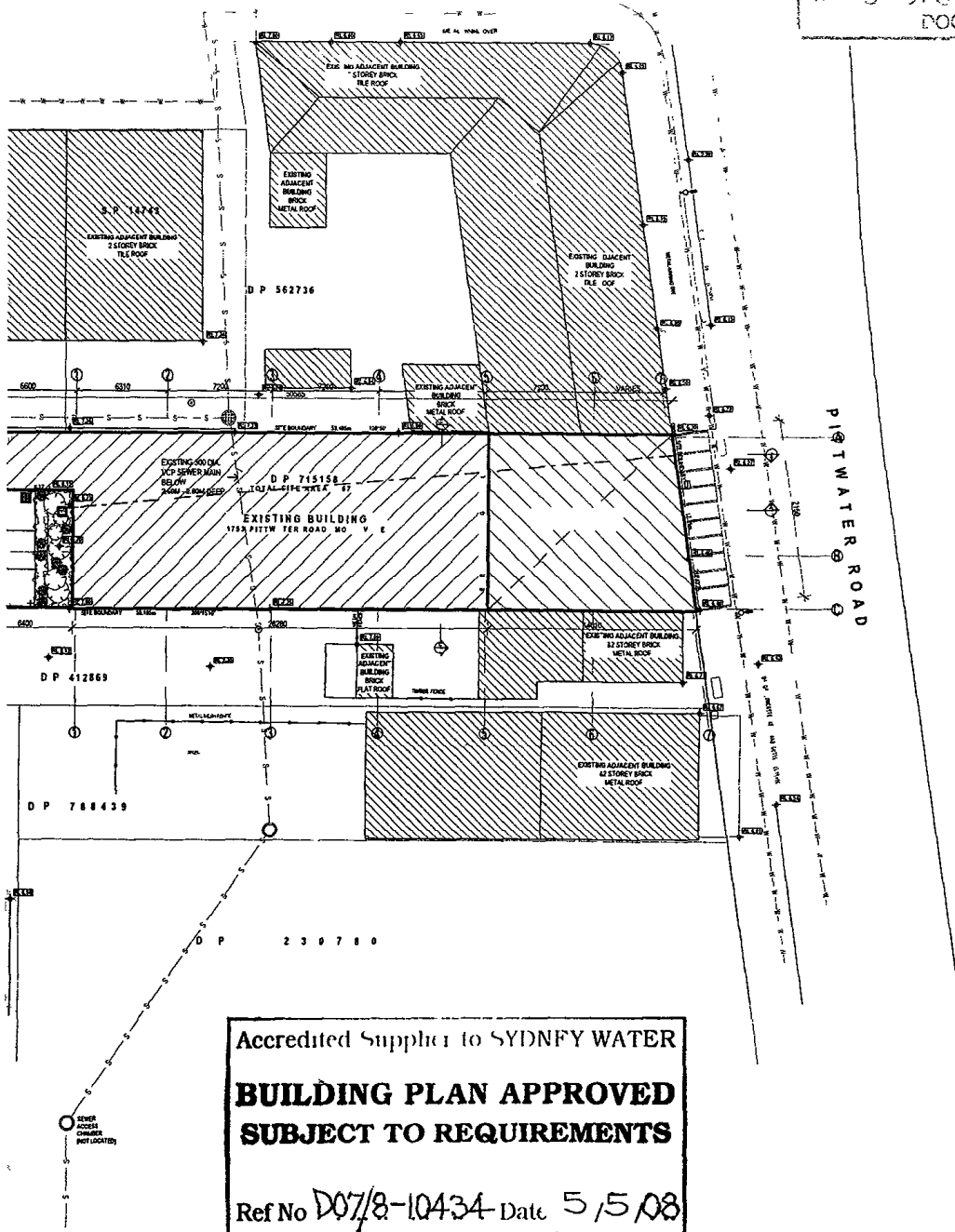
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KETHEL (INVESTMENTS) PTY LTD 1755 PITWATER ROAD, DRYDEN NSW 2104		MUL	823
ALTERATIONS TO EXISTING COMMERCIAL DEVELOPMENT 1755 PITWATER ROAD, MONA VALE NSW 2103			
ELEVATIONS & SECTION			
CONSTRUCTION CERTIFICATE		1:100	201
AMENDMENTS			
DREW DICKSON ARCHITECTS			
www.d d d .com.au			

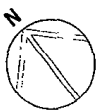
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DOCUMENTATION



AMENDMENTS



KETHEL (INVESTMENTS) PTY LTD
1792 PITTWATER ROAD BAYVIEW NSW 2104

MJL 823

ALTERATIONS TO EXISTING COMMERCIAL DEVELOPMENT
1753 PITTWATER ROAD MONA VALE NSW 2103

14/03/2008

SITE PLAN

1200

003

CONSTRUCTION CERTIFICATE

com au



DREW DICKSON ARCHITECTS

1/1/2007 87/LEIGHWORTH NSW 1000
TEL: 0402 2960 FAX: 02 988 8644
www.drewdickson.com.au
Approved: Accredited Drew Dickson Architects Registration no. 021

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APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION

**1753 PITTWATER ROAD
MONA VALE**

**ACCESSIBILITY REPORT
FOR
DEVELOPMENT APPLICATION**

12th May 2008

Prepared by

**accessibility
solutions** (NSW) PTY LTD

Accessibility Solutions (NSW) PTY LTD ABN 20 105 200 128 | 467 Beauchamp Road MAROUBRA NSW 2035
Tel 9661-1945 Fax 9661-1982 Mob 0417-467-007 Email markreiff@bigpond.com



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Introduction

This Accessibility Assessment Report has been prepared to assess compliance of the proposed alterations and additions to a retail/commercial development at 1753 Pittwater Road Mona Vale with the **accessibility** requirements of Pittwater Council's DCP No 21. In particular

Part C2 6 – Accessibility

Convenient and safe access for all people, including people with a disability, older people, and people with prams, must be provided to and within all buildings to which the general public have access

The siting and design of a building to which the general public has access shall comply with AS1428 Design for Access and Mobility, and shall incorporate the following

- (i) *continuous accessible path of travel to all areas that the public or a section of the public is entitled or allowed to enter or use, and*
- (ii) *walkways, ramps and landings at a reasonable gradient and width, with handrails and kerbs provided on all ramps, and slip-resistant materials on all floor surfaces, and*
- (iii) *accessible toilet facilities, tactile ground surface indicators, effective signage and illumination, and adequate circulation space through passageways and doorways, and*
- (iv) *carparking for people with a disability*

Part B6 5 – Parking - (iv) Parking for People with Disabilities

- *Provision of accessible parking spaces for people with disabilities appropriately signposted must be at the rate of 3% of required carparking spaces or part thereof minimum 1 space*
- *For development where carpark spaces exceed 200 spaces, accessible parking space for people with disabilities may be varied to comply with the guidelines as set out in AS 2890-1 Part 1 Off-Street Parking*
- *Parking spaces for people with disabilities must have the following minimum widths*
 - *1st space – 4.2m wide to accommodate side loading vans*
 - *All other spaces – 3.5m wide*

Achievement of the above listed requirements will also realise compliance with Parts D3-Access and F2 4 – Toilets of the BCA

Development shall include the design and construction of works in the public domain to ensure accessibility for the full frontage of the site to any public road and to ensure access to the site from the public domain

Development Application Plans

The plans relied upon for this accessibility assessment include the following

Drawing No	Issue	Description
823 – DA 01	C	Site Plan
823 – DB 01	D	Ground & First Floor Plans
823 – DC 01	B	Elevations
823 – DC 02	B	Elevations & Sections
823 – DD 01	B	Sections
823 – DS 01	A	Mid Winter Shadow Studies

Executive Summary

The scope of the proposed alterations includes

- Modified ground floor entries incorporating a new ramp and stairway and new entry doors, which will be detailed in accordance with AS1428.1 and AS1428.4 to satisfy Parts D3.2 and D3.3 of the BCA
- New accessible unisex toilets on the ground floor and ambulant toilets on the first floor, which will be detailed in accordance with AS1428.1 to satisfy Part F2.4 of the BCA
- New stairways to the first floor commercial office 4 tenancy adjoining Pittwater Road and stairway alterations from the rear carpark to the first floor commercial tenancy 3 which will be detailed in accordance with AS1428.1 and AS1428.4 to satisfy Part D3.3 of the BCA. It is noted that the existing first floor level provides stairway access only, which remains unchanged in this proposal
- Modified doorway entry from the rear carpark area into the ground floor tenancy

The subject works do not propose any changes to the outdoor carpark at the rear of the building

In summary, given the scope of the limited alterations to the ground floor level to modify the existing ramp, construct accessible toilets and upgrade stairways that the overall building works will comply with the requirements of Parts D3.2, D3.3, D3.8 and F2.4 of the BCA and the Pittwater P21 DCP



Mark Relf,
Access Consultant (ACAA)

Access Assessment

The access assessment provides an appraisal of the retail/commercial areas of the "new building works" within the subject development (class 5 / 6 of the BCA) and the common principle entrances

As required by Part D3 of the BCA and P21 DCP the assessment considers the following aspects as they relate to the "new building works"

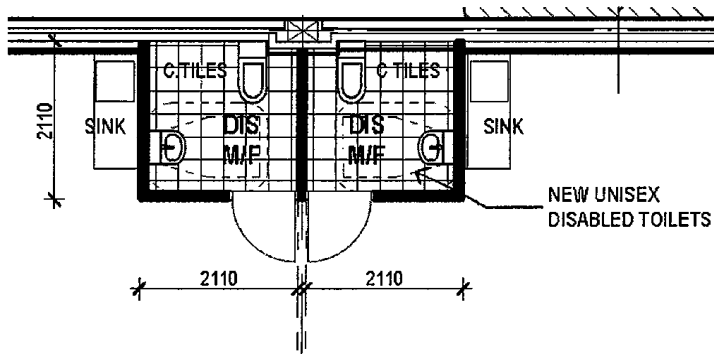
- Continuous accessible path of travel to all areas that the public or a section of the public is entitled or allowed to enter or use
- Internal Circulation including doors, door circulation space, door hardware, walkways, ramps and landings at a reasonable gradient and width, with handrails and kerbs provided on all ramps, and slip-resistant materials on all floor surfaces
- Stairways
- Accessible toilet facilities
- Tactile ground surface indicators,
- Signage and illumination

1 Access to ground floor areas

Section	Description	Complies
11		YES
	The plans show that there will be a 120 ramp and stairway access from the Pittwater Road footpath @RL6 480 to the ground floor entrances @RL6 780 The ground floor accessible entry proposes a swing door while the construction documentation shall detail a 900mm minimum width	

Section	Description	Complies
2 I	Parking – The plans show an existing carpark at the rear of the site that does not propose any alterations	N/A

Section	Description	Complies
31	GROUND FLOOR With regard to internal circulation access the ground floor plan shows open-plan base building layout with no internal partition walls and no inherent barriers to prevent appropriate internal access and will readily comply with AS1428.1 and Part D3.3 of the BCA	YES
32	Notwithstanding the open plan layout the plans also illustrate	

Section	Description	Complies
	"indicative tenancy wall" to establish two ground floor commercial tenancies In the event of a separation of the ground floor it is my opinion that either an access corridor be provided from the accessible Pittwater Road entrance, OR the rear carpark entrance be upgraded with a stairway platform lift installed on the stairway	YES
3 3	The ground floor plan shows two unisex accessible toilets with open plan direct access approach to the accessible toilets, which provides appropriate doorway circulation space to comply with AS1428 1 and Part D3 3 of the BCA  Details of door widths and hardware shall be confirmed at construction certificate stage	YES
3 4	Stairways The ground floor areas from stairway access at the front and rear entries and subject to the installation of tactile ground surface indicators, appropriate step geometry, skid resistant step nosings and stairway handrails on both sides at construction certificate stage in accordance with AS1428 parts 1 and 4 will comply with the BCA	YES
3 5	FIRST FLOOR In accordance with Part D3 3 of the BCA the stairway access at the front and rear entries shall be detailed at construction certificate stage to include tactile ground surface indicators, appropriate step geometry, skid resistant step nosings and stairway handrails on both sides in accordance with AS1428 parts 1 and 4	YES

4 Walkways, ramps and landings

Section	Description	Complies
4 1	As reported in Section 1 – Continuous Accessible Pathways, the plans indicate that there will be a 1:20 gradient pedestrian walkway at the principle entrance with landings designed in accordance with AS1428 1 that will facilitate access to the ground floor level of the	YES

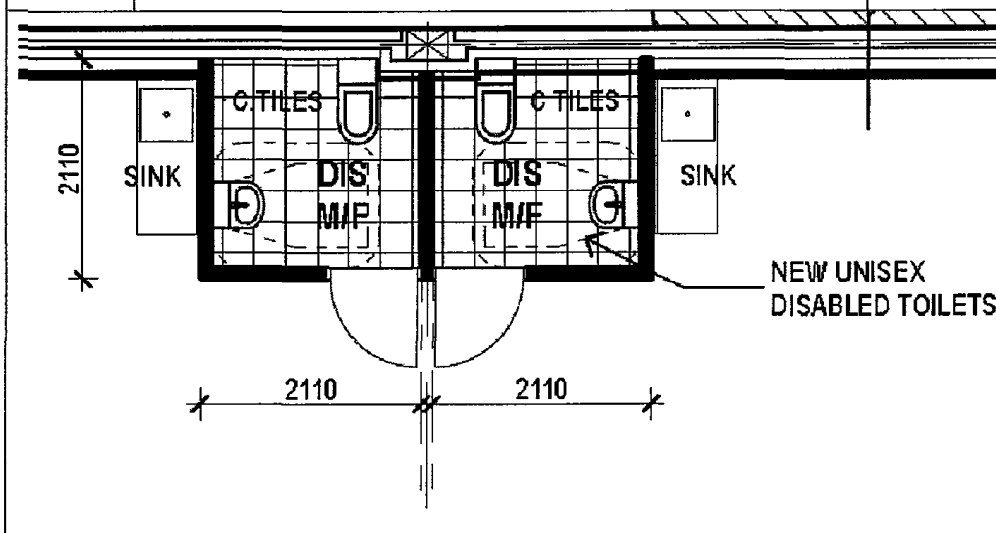
Section	Description	Complies
	building	
42	Ground And Floor Surfaces - While the plans do not provide details of floor and pavement surfaces, it is understood that information will be provided at construction certificate stage for the indoor and outdoor environments shall comply with AS4586 and HB 197 in respect of slip resistance	YES at CC Stage

5 Tactile Ground Surface Indicators (TGSIs)

Section	Description	Complies
51	Details of tactile ground surface indicators on the entry and internal stairways shall be confirmed at construction certificate stage in accordance with AS1428.4 to comply with Part D3.8 of the BCA and P21 DCP	YES at CC Stage

6 Toilet Facilities

Section	Description	Complies
61	The plans show that there will be two Unisex Accessible Sanitary facilities on the ground floor level that provide a toilet and hand basin that will be 2100mm X 2100mm with at least 1200mm clear in front of the toilet pan with outward swing doors in accordance with AS1428.1 to satisfy Part F2.4 of the BCA	YES



7 Signage and Symbols

Section	Description	Complies
71	Details of tactile and Braille signage for toilets shall be confirmed at construction certificate stage in accordance with Part D3.6 and	YES at

Section	Description	Complies
	Specification D3 6 of the BCA It is understood that signage overlays will be detailed in further documentation at the construction certificate stage and will incorporate the principles articulated in AS1428 with respect to font size, type, colour, symbols and lighting for indoor and outdoor	CC Stage

8 Controls

Section	Description	Complies
8 1	Door Hardware All doors shall be required to provide lever D ring door handles 900-1100mm above the floor (1000mm preferred), which shall be confirmed at construction certificate stage	YES at CC Stage
8 2	Switches and Power Outlets Light switches shall be required to be installed 900-1100mm above the floor in accordance with AS1428 1 clause 11, which shall be confirmed at construction certificate stage	YES at CC Stage

9 Lighting

Section	Description	Complies
9 1	It is understood that lighting will be detailed in further documentation for indoor and outdoor areas in accordance with AS1428 and AS1680 at the construction certificate stage	YES at CC Stage

10 Auditoria and Assembly areas and Listening Systems for Hearing Augmentation

Section	Description	Complies
10 1	Not applicable to this development	N/A

Appendix A –Statement of Expertise



CONSULTANCY PROFILE & STATEMENT OF EXPERTISE

Accessibility Solutions consultancy offers a range of services to provide advice for clients to develop new and modify existing buildings, facilities and services to be accessible to people with disabilities to comply with legislation and regulations relevant to people with disabilities

Relevant legislation and regulations that underpins advice includes the Disability Discrimination Act (DDA) Building Code of Australia, Australian Standards 1428, HREOC Advisory Notes on Premises, DDA Transport Standard, State Environment Planning Policy No 5 Housing for Older People or People With a Disability (SEPP 5) / Seniors Living Policy, SEPP 65 – Residential Flat Buildings Design Code and various local government DCP's

The scope of services provided by Accessibility Solutions includes

- Plan Appraisals and design advice
- Access Reports for development applications and construction certificates
- Expert Reports for Court evidence
- Access Auditing of existing buildings, facilities, transport conveyances and infrastructure
- Policy and document reviews and development of Disability Action Plans
- Staff training in access auditing

The services consider issues concerning people with all types of disability including, physical, vision, hearing, intellectual and other cognitive impairments that may affect access for people with a disability consistent with the Disability Discrimination Act

As principle consultant Mark Relf has considerable experience and expertise in a wide range of access related projects and is a recognised Access Adviser approved by the NSW Ageing and Disability Department and has attained accreditation with the Association of Consultants in Access Australia for the purposes of providing advice concerning access to the built environment and services for people with disabilities

His expertise has been gained over 20 years working in management and advocacy roles within the disability sector and since 1994 providing advice to clients on access issues. Mark also participates on various key committees concerning access for people with disabilities. His qualifications and affiliations are

- Accredited Member of the Association of Consultants in Access Australia and Committee of Management member
- Accredited Member of the Access Institute of NSW
- Member, Standards Australia ME/64 Committee responsible for the AS1428 suite and AS4299 – Adaptable Housing
- Member, NSW Heritage Office's – Fire, Access and Services Advisory Panel

