

# DA DRAWINGS

## GENERAL SPECIFICATION

(for more detail refer to main Specification provided with Tender Documents)

Demolition works to be carried out in accordance with AS 2601.

All general construction to conform to the current BCA and Local Govt conditions of Development Consent.

All masonry work in accordance with AS 3700.

All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.

All carpentry work to conform to AS1684 for Light Timber Framing.

All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.

Termite protection to be installed in accordance with AS 3660.1 and the current BCA.

All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.

All sewer waste to be connected to the existing mains service in accordance with AS 3500.

Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.

All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.

All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insul'n), AS1904 (foil insul'n) and associated standards and codes.

Contractor to ensure selected tiles, fittings, etc, are appropriate and suitable for each application.

Any proposed variations to the details supplied in these documents must be discussed with and approved by Duktig Design in writing, before the Contractor orders or installs the relevant materials or systems. The Contractor must ensure that all proprietary systems and materials used in the construction of these works will be compatible with the details provided byDuktig Design.

All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Alexandra Warrener design before proceeding.

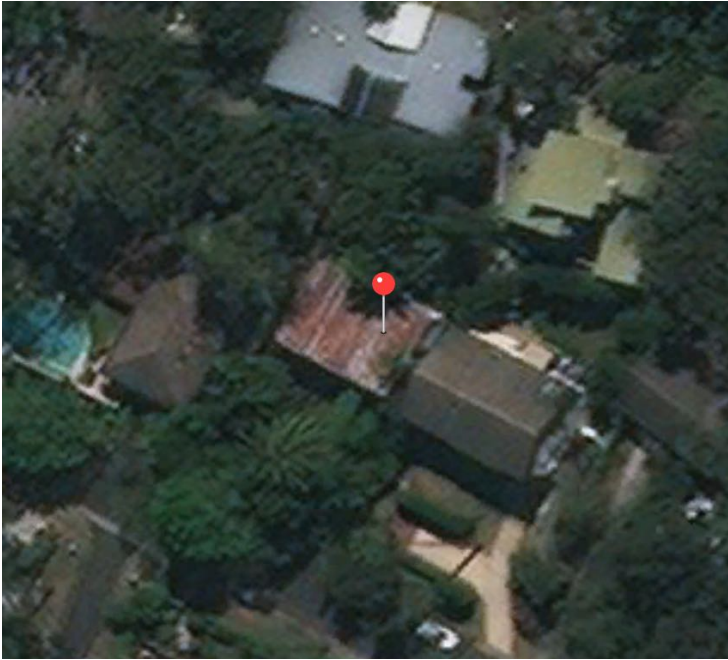
Nibs to internal doorways to allow 50mm min. clearance to architrave and where this is not possible discuss approved alternative.

Provide matching insect screens as approved to all opening window sashes.

If shown, louvre windows to be 'Breezeway Altair' units or approved equal.

Provide approved in-built extension controls to operable clerestory windows if shown.

DRAWING REGISTER		Issue Date		
	day	25	15	
	month	3	6	
	year	20	20	
Drawing Number	Drawing Title	Revision		
A000	DRAWING REGISTER	A	B	
A001	SITE ANALYSIS	A	-	
A002	EXISTING LOWER GROUND FLOOR PLAN	A	-	
A003	EXISTING GROUND FLOOR PLAN	A	-	
A004	SITE PLAN	A	B	
A005	LOWER GROUND PLAN	A	B	
A006	GROUND PLAN	A	B	
A007	FIRST FLOOR PLAN	A	B	
A008	ROOF PLAN	A	B	
A009	ELEVATIONS	A	B	
A010	ELEVATIONS	A	B	
A011	SECTION	A	-	
A012	EXISTING ELEVATIONS	A	-	
A013	EXISTING ELEVATIONS	A	-	
A014	SHADOW STUDY 21 JUNE 9AM	A	B	
A015	SHADOW STUDY 21 JUNE 12PM	A	B	
A016	SHADOW STUDY 21 JUNE 3PM	A	B	
A017	WINDOW SCHEDULE	A	B	
A018	WINDOW SCHEDULE	A	B	
A019	LANDSCAPE CALCULATION	A	B	
A020	FSR CALCULATION	A	B	
A021	EXTERNAL FINISHES	A	B	
A022	CONCEPT LANDSCAPE DESIGN		B	
A023	DEMOLITION PLAN		B	
Document Distribution:				
Client		X	x	
Builder				
Structural Engineer				
Hydraulic Engineer				
Landsc. Consultant				
Certifier				
Approval Authority		X	x	
Tenderers				
Type of Issue:				
H	Hard copy sent			
E	Electronic copy sent			
B	Both Hard and Electronic copies sent			



LOCATION PLAN



ARTIST'S PERSPECTIVE

B 15/6/20 Amended Development Application  
A 25/3/20 Development Application



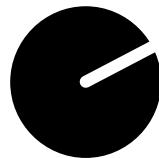
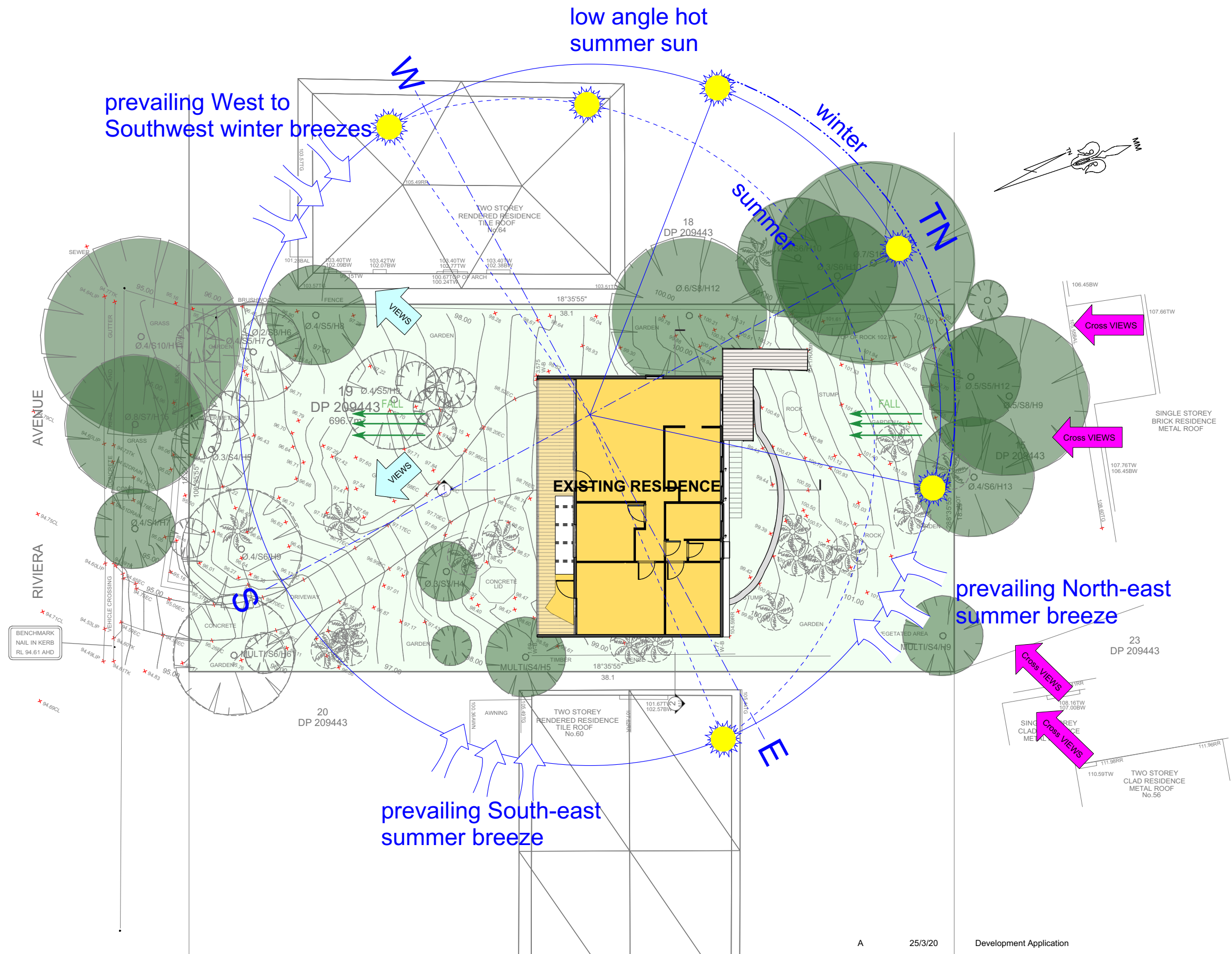
**DUKTIG**  
**DUKTIG Design Pty Ltd**  
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ISSUE	DATE	REVISION		
PROJECT			62 Riviera Avenue Avalon	
CLIENT			Mr D Chapman and Mrs H Chapman	
DWS			Drawing Register	
DATE #	03/10/19	DWG #	190501	
SCALE @ A3	1:100	DWG #	A000 B	
DRAWN	AW	REVISION	B	
CHKD		REVISION		





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ISSUE	DATE	REVISION	PROJECT #
PROJECT			190501
CLIENT	Mr D Chapman and Mrs H Chapman	DATE # 03/10/19	DWG #
DWG	Site Analysis	SCALE @ A3 1:100	A001 A
		DRAWN AW	REVISION A
		CHKD	



NOTE:-  
REFER TO LANDSCAPE PLAN FOR ALL LANDSCAPE WORKS.  
PROVIDE ALL NECESSARY TEMPORARY SUPPORT FOR EXISTING STRUCTURES TO BE RETAINED OR MAINTAINED. ALLOW FOR ANY ENGINEERING COSTS ASSOCIATED WITH THE PROVISION OF SUCH STRUCTURES.

PROPOSED ALTERATION AND ADDITION TO THE EXISTING DWELLING AS DETAILED

PRESERVE AND PROTECT ALL PROPERTY, SERVICES, ROAD AND FOOTPATH FINISHES. PROVIDE A DETAILED DILAPIDATION REPORT PRIOR TO COMMENCEMENT ON SITE TO COUNCIL AND THE ARCHITECT. MAKE GOOD ANY DAMAGE RESULTING FROM CONSTRUCTION OF THE WORKS AT NIL COST TO THE PROPRIETOR.

existing driveway and cross-over to be refurbished and realigned in accordance with Council requirements & AS 2890.1.

GENERAL NOTES:  
- Wall Dimensions are exclusive of cladding thickness or plasterboard.  
- All new windows and doors as numbered in accordance with BASIX Certificate  
- Mechanical Exhaust is standard domestic and complies with AS 1668 Parts 1 & 2  
- Smoke Alarms to be installed to comply with AS3786 and located in accordance with BCA.  
- All surface water run off from uncovered new paved areas shall be directed away from neighbours properties and connected into the drainage system where possible.

BASIX Compliance Items:-  
- gas instantaneous hot water unit where shown on plan.  
- New roofing to have roof foil backed blanket 100mm equal to Bradford Anticon R1.24 under roof sheets, plus R 2.5 Ceiling batts installed.  
- New suspended floor with open subfloor R1.5 including construction  
- New roof sheeting to not exceed solar absorptance 0.475-0.70.  
- New external walls to have min R1.70 performance including construction with wall insulation equal to Bradford R2.0 Hi Performance Gold Wall Batts.  
- Glazing to windows to comply with glass type scheduled.  
- Window frames and glazed door frames to be powdercoated aluminium.  
- All windows and glazed doors to comply with the min Basix Glazing requirements.  
- Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.  
- New or altered, taps, shower heads, and toilets to be min 3 star rating.  
- Concrete slab on ground provided to new building areas.

WALL TYPES:-

- 90mm Stud frame wall. Insulation as spec for external walls.
- 130mm metal standing seam cladding and stud wall
- Existing brick walls.
- Brick walls.

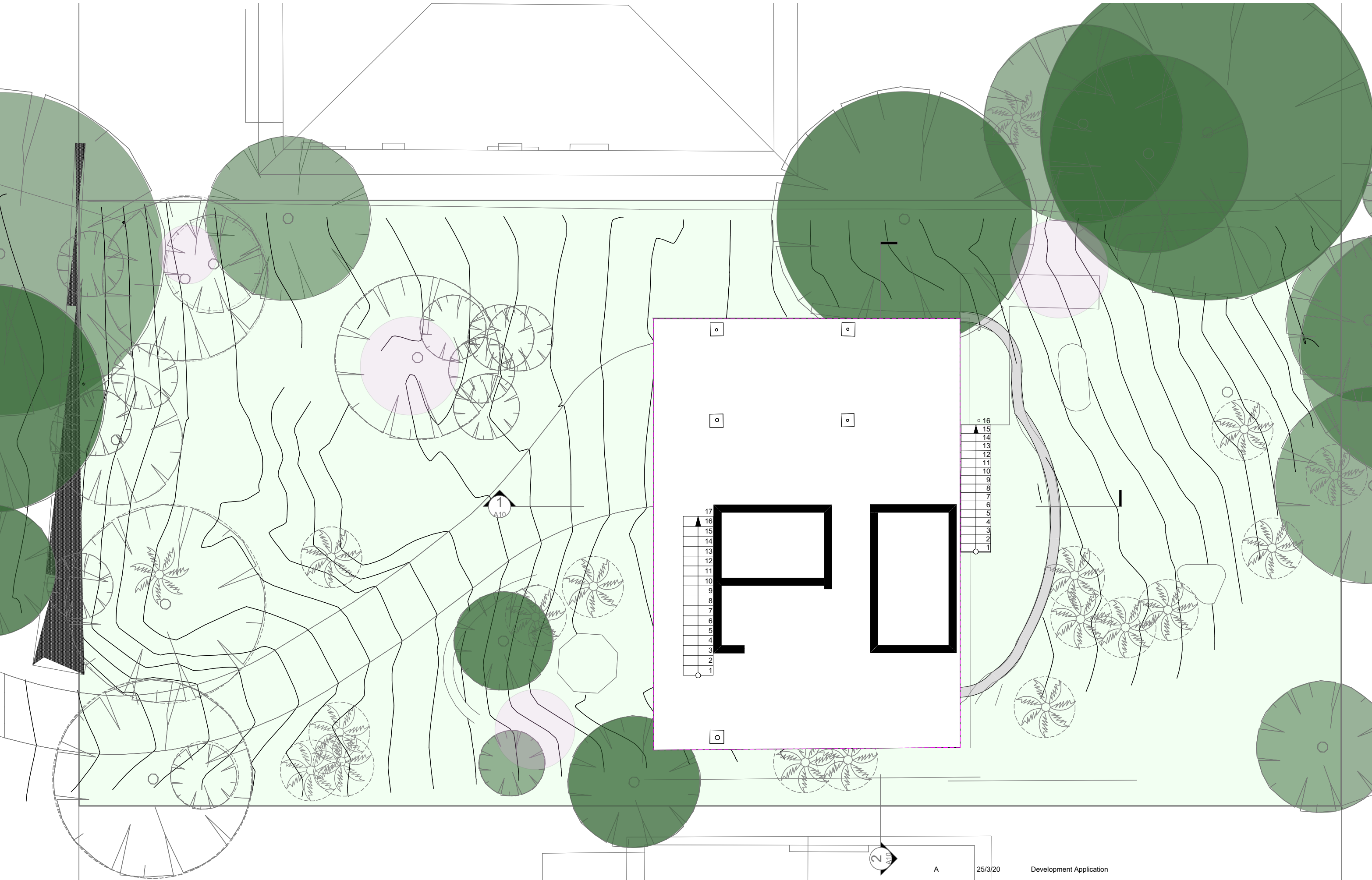
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ISSUE	DATE	REVISION	PROJECT #
PROJECT			190501
CLIENT	DATE #	DWG #	
Mr D Chapman and Mrs H Chapman	03/10/19	A002	B
DWG	SCALE @ A3	1:100	
Site Plan	DRAWN	AW	
	CHKD		
	REVISION	B	





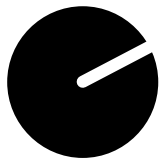
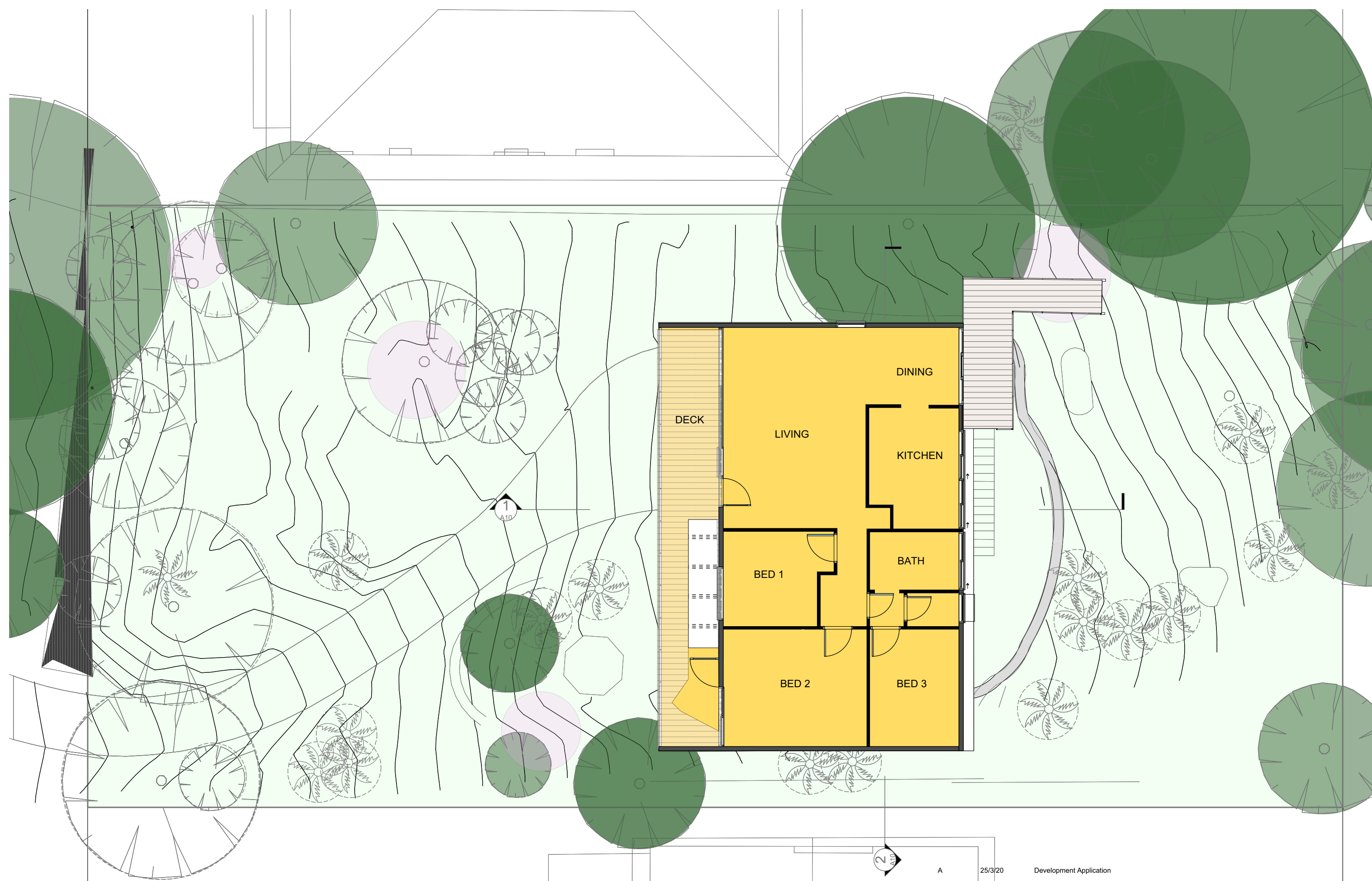
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ISSUE		DATE	REVISION
PROJECT			
62 Riviera Avenue Avalon			PROJECT # 190501
CLIENT			DWG # A003 A
Mr D Chapman and Mrs H Chapman			DATE # 03/10/19
DWG			SCALE @ A3 1:100
Lower Ground Floor Plan Existing			DRAWN AW
			CHKD
			REVISION A





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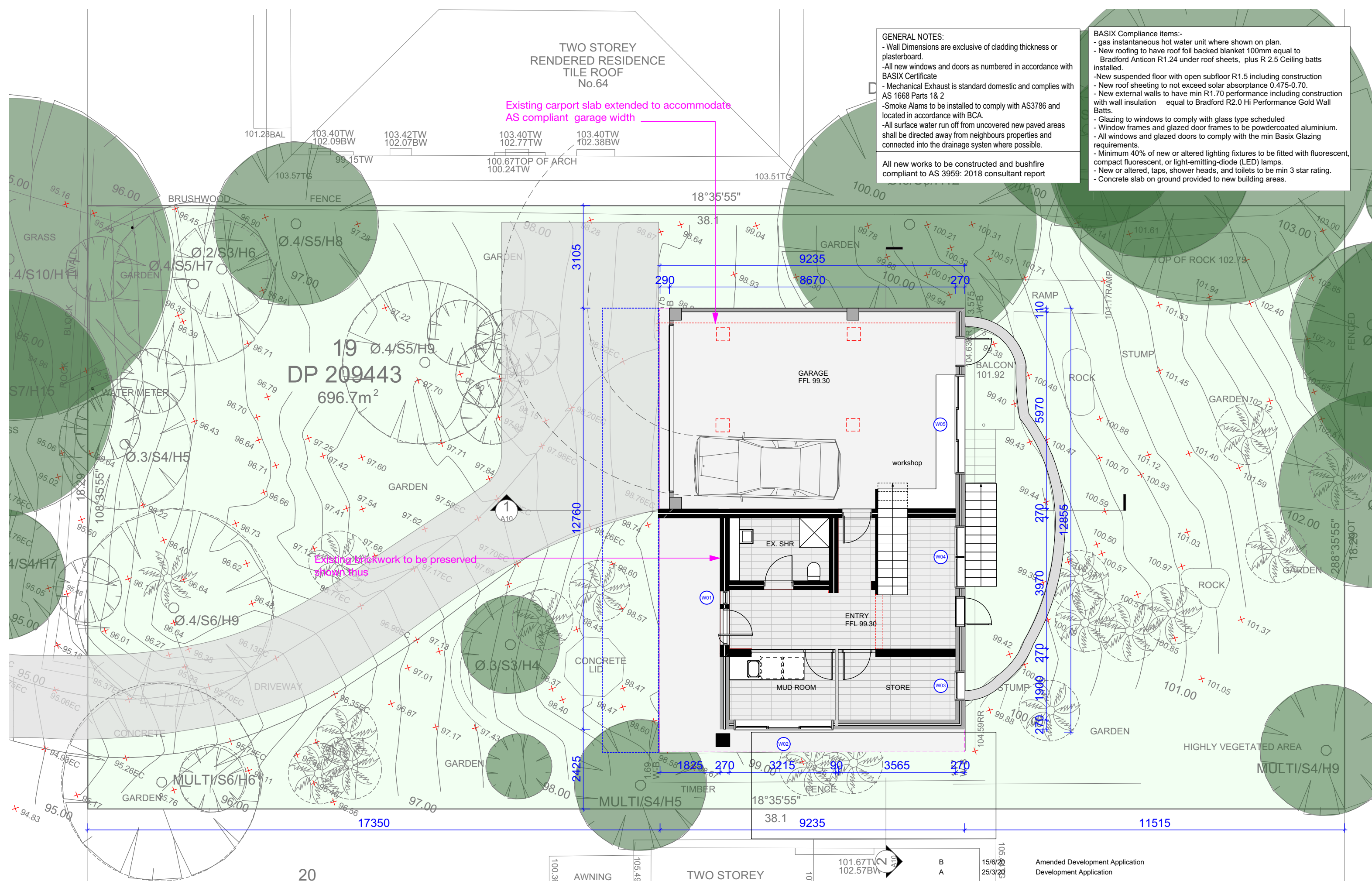
ISSUE		DATE	REVISION
PROJECT		62 Riviera Avenue Avalon	
CLIENT		Mr D Chapman and Mrs H Chapman	
DWG		Ground Floor Plan Existing	
DATE #		03/10/19	DWG #
SCALE @ A3		1:100	A004 A
DRAWN		AW	
CHKD			REVISION
			A



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- Mechanical Exhaust is standard domestic and complies with AS 1668 Parts 1 & 2  
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All new works to be constructed and bushfire compliant to AS 3959: 2018 consultant report

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- New or altered, taps, shower heads, and toilets to be min 3 star rating.  
- Concrete slab on ground provided to new building areas.





WALL TYPES:-

- 90mm Stud frame wall. Insulation as spec for external walls.
- 130mm metal standing seam cladding and stud wall
- Existing brick walls.
- Brick walls.



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ISSUE	DATE	REVISION
PROJECT		
CLIENT		
DWG		

62 Riviera Avenue Avalon

Mr D Chapman and Mrs H Chapman

Lower Ground Floor Plan

PROJECT #	DWG #	REVISION
190501	A005	B

DATE # 03/10/19  
SCALE @ A3 1:100  
DRAWN AW  
CHKD  
REVISION B



TWO STOREY  
RENDERED RESIDENCE  
TILE ROOF  
No.64

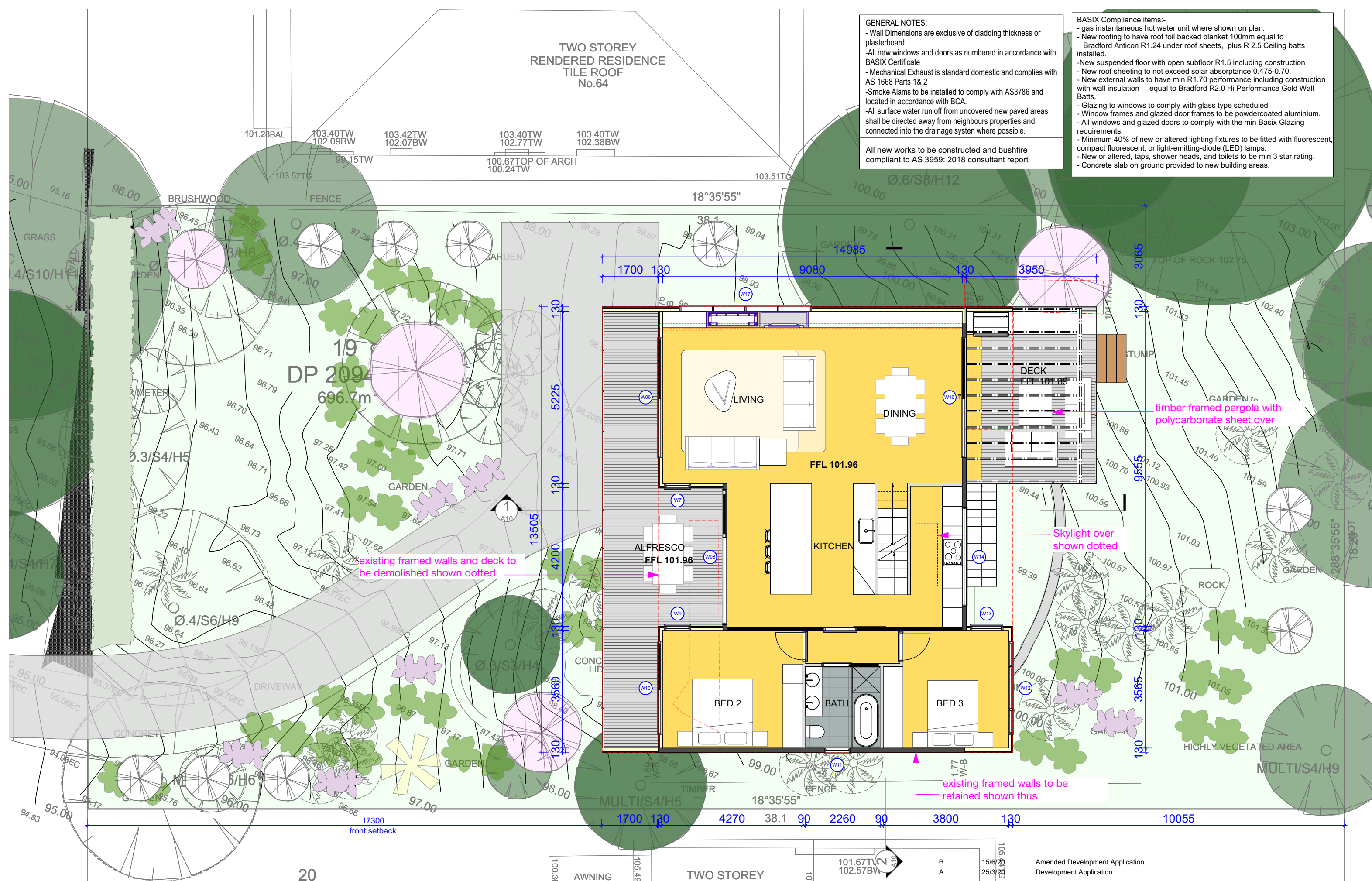
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ISSUE	DATE	REVISION	PROJECT #
PROJECT			190501
CLIENT			DWG #
Mr D Chapman and Mrs H Chapman	DATE # 03/10/19		A006 B
DWG	SCALE @ A3 1:100		
Ground Floor Plan	DRAWN AW		
	CHKD		
		REVISION	B



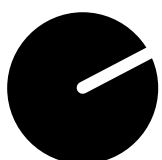
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ISSUE	DATE	REVISION	
PROJECT	62 Riviera Avenue Avalon		PROJECT # 190501
CLIENT	Mr D Chapman and Mrs H Chapman	DATE # 03/10/19 SCALE @ A3 1:100	DWG # A007 B
DWG	First Floor Plan	DRAWN AW CHKD	REVISION B

-  90mm Stud frame wall. Insulation as spec for external walls.
-  130mm metal standing seam cladding and stud wall
-  Existing brick walls.
-  Brick walls.

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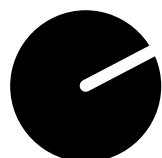
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Lysaght "Longline" Colorbond roof  
sheeting @ 2.5deg.  
with 75mm foil-backed insulation blanket  
directly under roofing and  
R2.5 bulk insulation over flat ceilings

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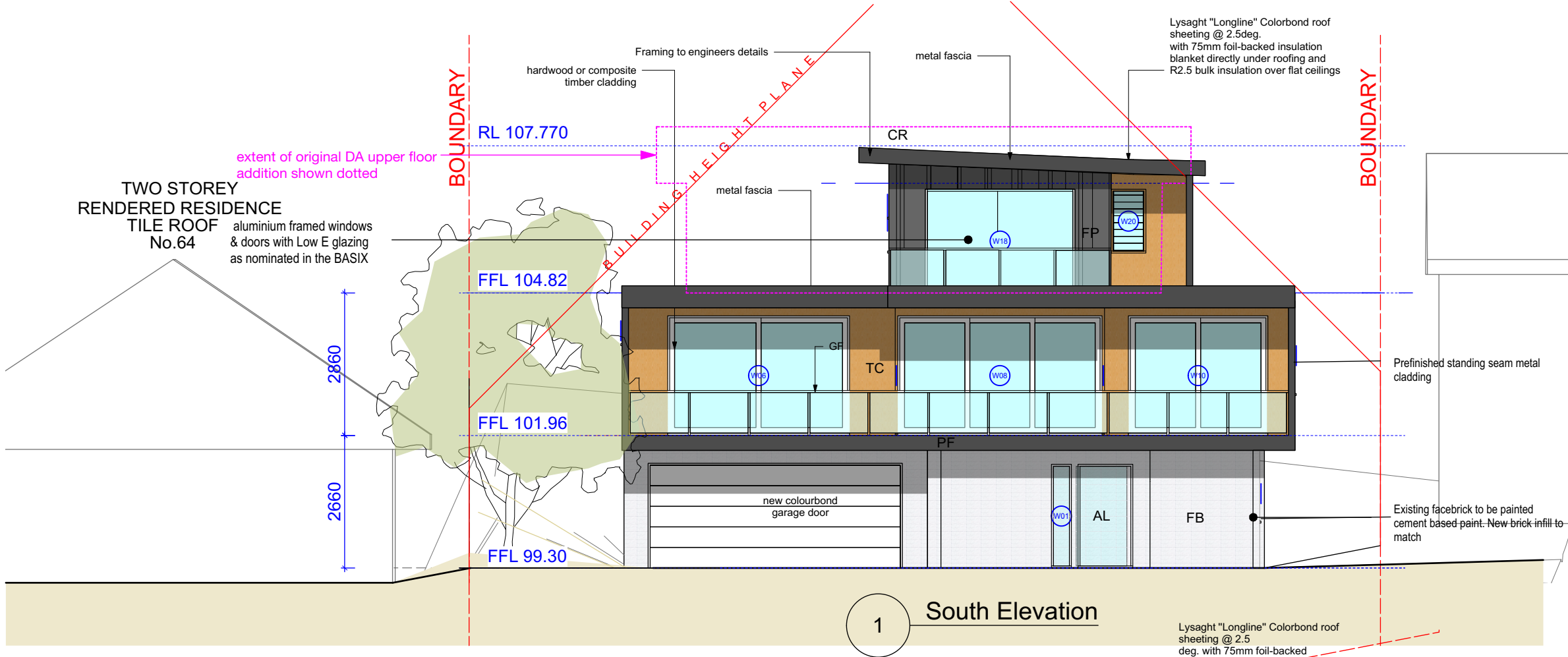
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ISSUE		DATE		REVISION	
PROJECT 62 Riviera Avenue Avalon					PROJECT # 190501
CLIENT Mr D Chapman and Mrs H Chapman			DATE # 03/10/19		DWG #
DWG Roof Plan			SCALE @ A3 1:100		A008 B
			DRAWN AW		
			CHKD		REVISION B



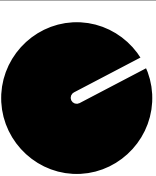
TWO STOREY  
RENDERED RESIDENCE  
TILE ROOF  
No.60



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- MATERIALS AND FINISHES
- FB -Face brickwork painted  
FP - Prefinished Feature standing seam cladding as selected  
FC-Prefinished fibre cement cladding  
CR -Colorbond roofing (Monument)- non reflective  
DP -Colorbond downpipe (Monument)  
CW - Rendered Concrete wall  
AW-Aluminium windows & doors  
OG -Opaque glazing  
PF - Painted Timber Fascia  
RB- Rendered Brickwork/Blockwork  
SK -Skylight - Aluminium  
TS -Timber Privacy Screen  
TC- Timber Cladding  
AS- Aluminium Screen  
TP -Hardwood Timber Pergola- painted steel  
BH -Timber handrail & painted steel balustrade  
MB -Painted steel balustrade  
SW -Stone Wall  
RT - retractable timber/ aluminium louvres  
PT - Paver/tiles  
TR- Flat profiled concrete tiled roof  
GF - Glass Balustrade



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ISSUE	DATE	REVISION	PROJECT #
PROJECT			190501
CLIENT	DATE #	03/10/19	DWG #
Mr D Chapman and Mrs H Chapman	SCALE @ A3	1:100	A009 B
DWG	DRAWN	AW	REVISION
Elevations	CHKD		B



TWO STOREY  
RENDERED RESIDENCE  
TILE ROOF  
No.60

RL 107.770

FFL 104.82

FFL 101.96

FFL 99.30

OUTLINE OF PREVIOUS UPPER FLOOR  
ADDITION SHOWN DOTTED

BOUNDARY

BOUNDARY

TWO STOREY  
RENDERED RESIDENCE  
TILE ROOF  
No.64

Prefinished standing seam metal wall  
and roof cladding

Metal fascia

Feature timber cladding

Timber framed privacy screen and  
pergola

Existing facebrick to be painted  
cement based paint. New brick infill to  
match

- GENERAL NOTES:
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  - Mechanical Exhaust is standard domestic and complies with AS 1668 Parts 1& 2
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All new works to be constructed and bushfire  
compliant to AS 3959: 2018 consultant report

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  - New or altered, taps, shower heads, and toilets to be min 3 star rating.
  - Concrete slab on ground provided to new building areas.

1

North Elevation

RL 107.770

FFL 104.82

FFL 101.96

TP

semi framed glass balustrade

Framing to engineers detail.

prefinished 'snaplock' roofing

aluminium framed windows  
& doors with Low E glazing  
to all units

Existing fbrickwork to be retained and  
painted. New infill brickwork tp match.

2

West Elevation

MATERIALS AND FINISHES

- FB -Face brickwork painted  
FP - Prefinished Feature standing seam cladding as selected  
FC-Prefinished fibre cement cladding  
CR -Colorbond roofing (Monument)- non reflective  
DP -Colorbond downpipe (Monument)  
CW - Rendered Concrete wall  
AW-Aluminium windows & doors  
OG -Opaque glazing  
PF - Painted Timber Fascia  
RB- Rendered Brickwork/Blockwork  
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PT - Paver/tiles  
TR- Flat profiled concrete tiled roof  
GF - Glass Balustrade

B  
A

15/6/20  
25/3/20

Amended Development Application  
Development Application

**DUKTIG**

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ISSUE	DATE	REVISION	PROJECT #	
PROJECT			190501	
CLIENT			DWG #	
Mr D Chapman and Mrs H Chapman			A010 B	
DWG			REVISION	
Elevations			B	

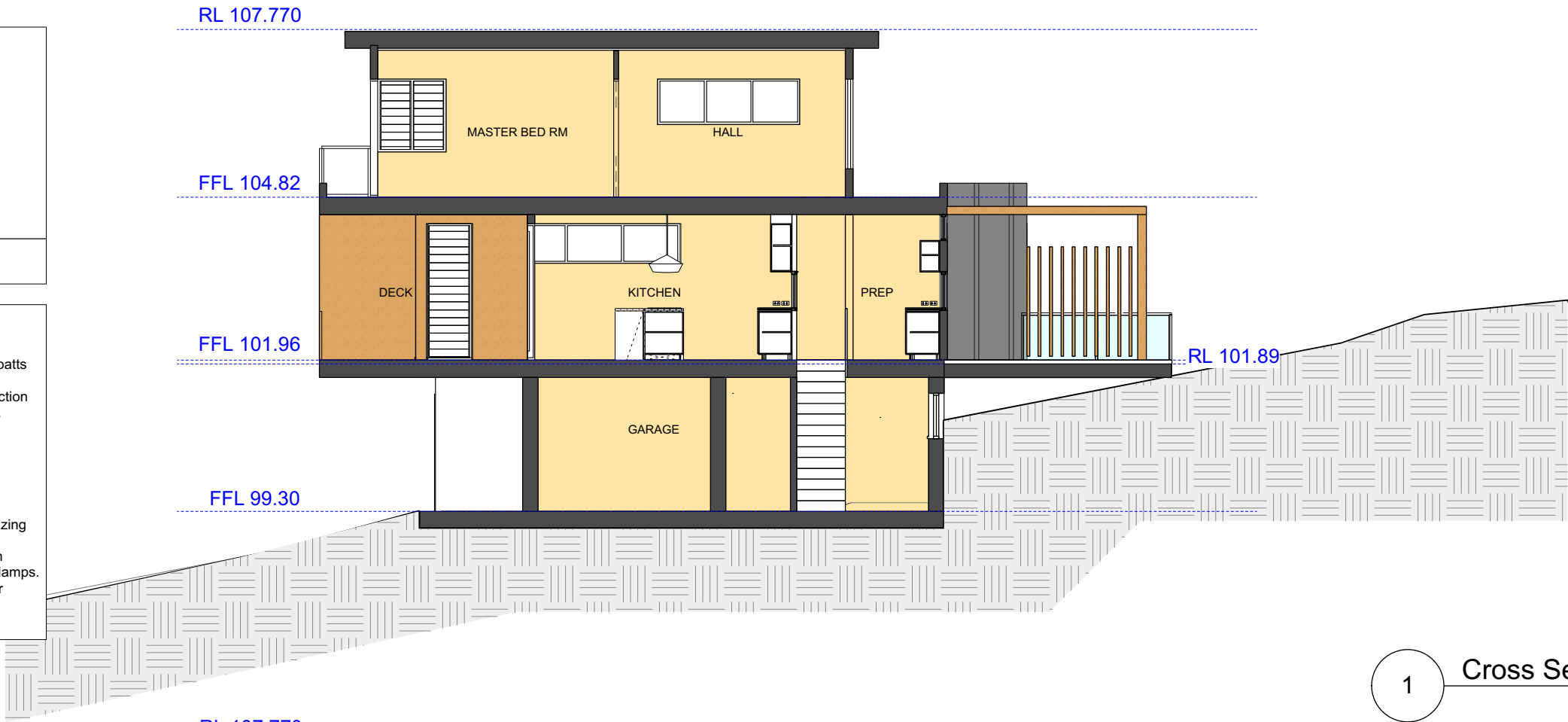


GENERAL NOTES:

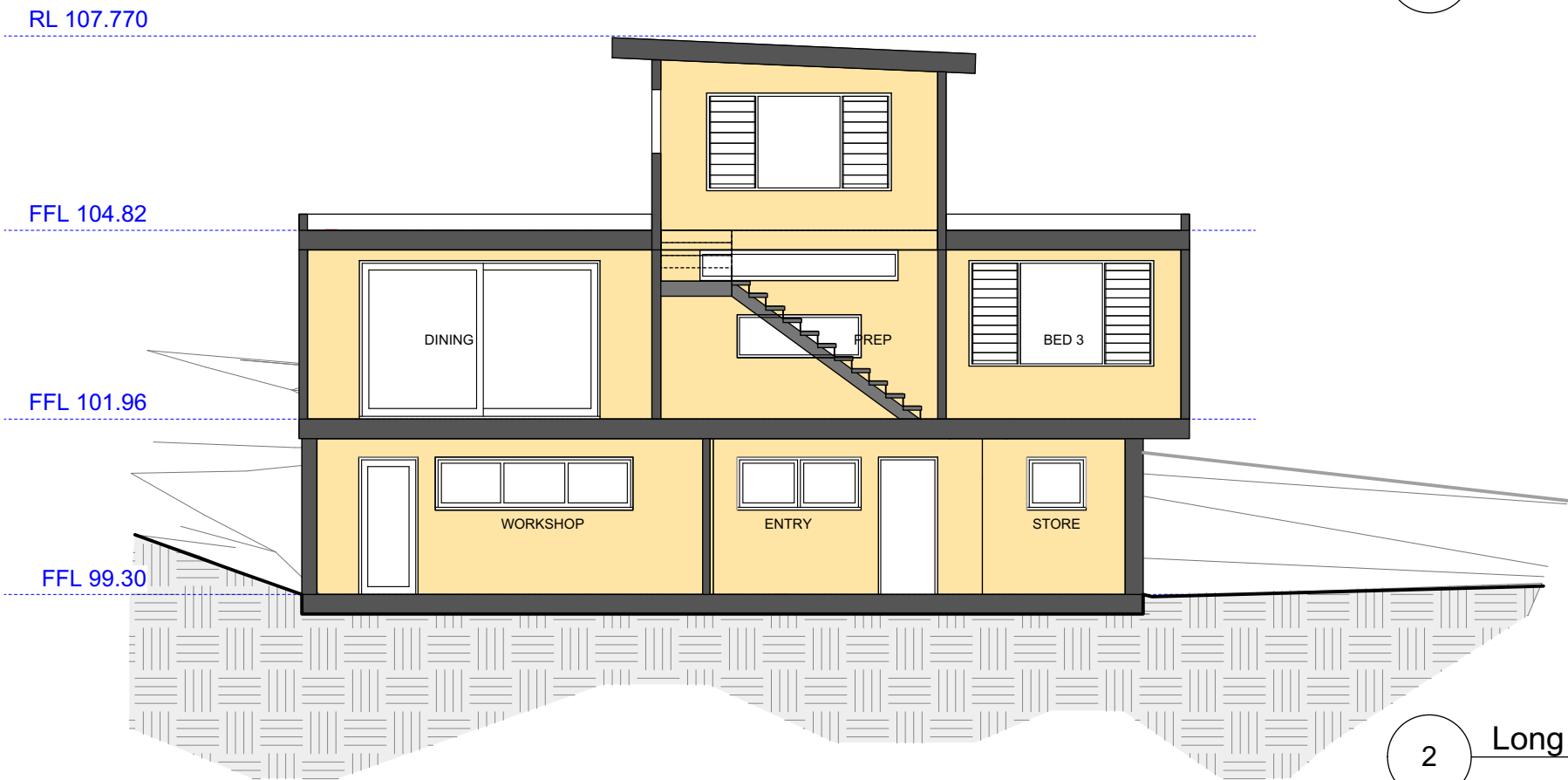
- Wall Dimensions are exclusive of cladding thickness or plasterboard.
- All new windows and doors as numbered in accordance with BASIX Certificate
- Mechanical Exhaust is standard domestic and complies with AS 1668 Parts 1& 2
- Smoke Alarms to be installed to comply with AS3786 and located in accordance with BCA.
- All surface water run off from uncovered new paved areas shall be directed away from neighbours properties and connected into the drainage system where possible.

All new works to be constructed and bushfire compliant to AS 3959: 2018 consultant report

- BASIX Compliance items:-
- gas instantaneous hot water unit where shown on plan.
  - New roofing to have roof foil backed blanket 100mm equal to Bradford Anticon R1.24 under roof sheets, plus R 2.5 Ceiling batts installed.
  - New suspended floor with open subfloor R1.5 including construction
  - New roof sheeting to not exceed solar absorptance 0.475-0.70.
  - New external walls to have min R1.70 performance including construction with wall insulation equal to Bradford R2.0 Hi Performance Gold Wall Batts.
  - Glazing to windows to comply with glass type scheduled
  - Window frames and glazed door frames to be powdercoated aluminium.
  - All windows and glazed doors to comply with the min Basix Glazing requirements.
  - Minimum 40% of new or altered lighting fixtures to be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
  - New or altered, taps, shower heads, and toilets to be min 3 star rating.
  - Concrete slab on ground provided to new building areas.



1 Cross Section



2 Long Section

B 15/6/20 Amended Development Application  
A 25/3/20 Development Application

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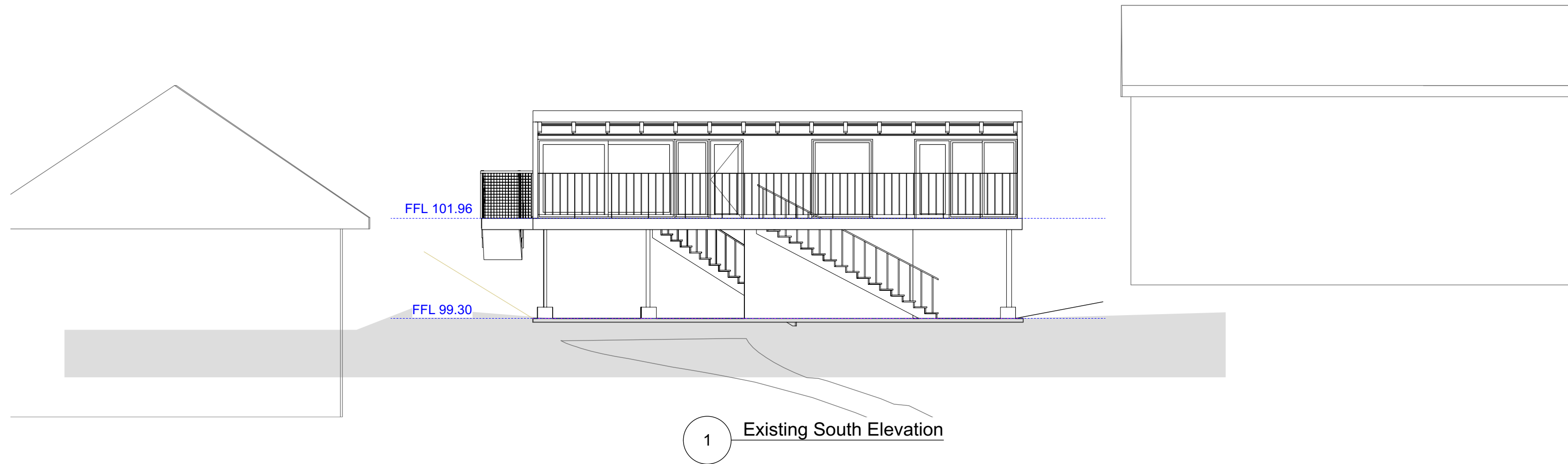
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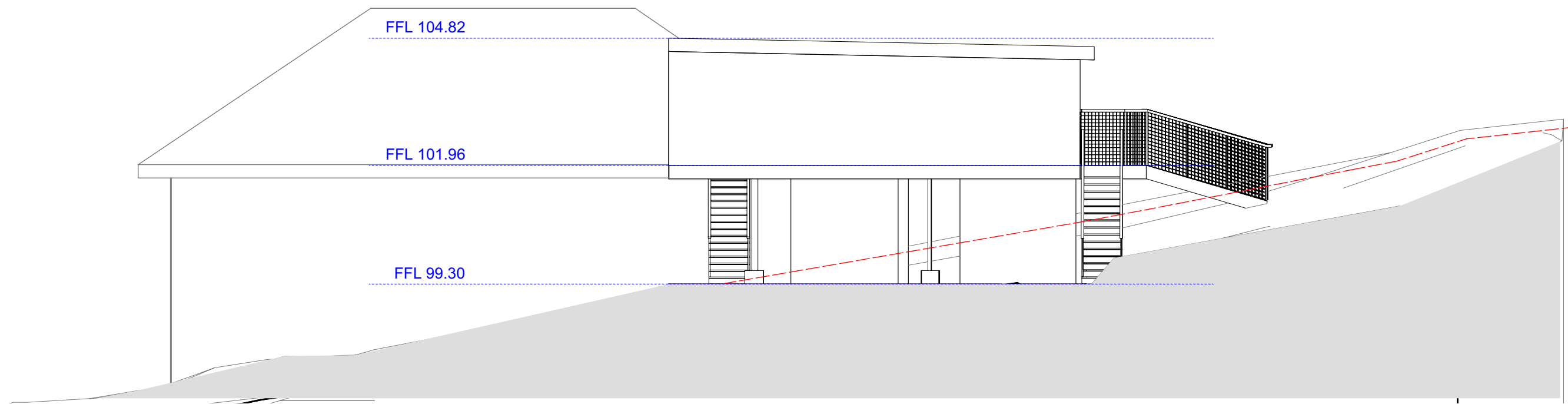
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ISSUE	DATE	REVISION	PROJECT #
PROJECT	62 Riviera Avenue Avalon		190501
CLIENT	Mr D Chapman and Mrs H Chapman	DATE # 03/10/19	DWG #
DWG	Sections	SCALE @ A3 1:100	A011 B
		DRAWN AW	
		CHKD	REVISION B



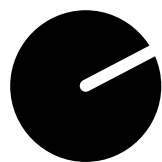


1 Existing South Elevation



2 Existing East Elevation

A 25/3/20 Development Application



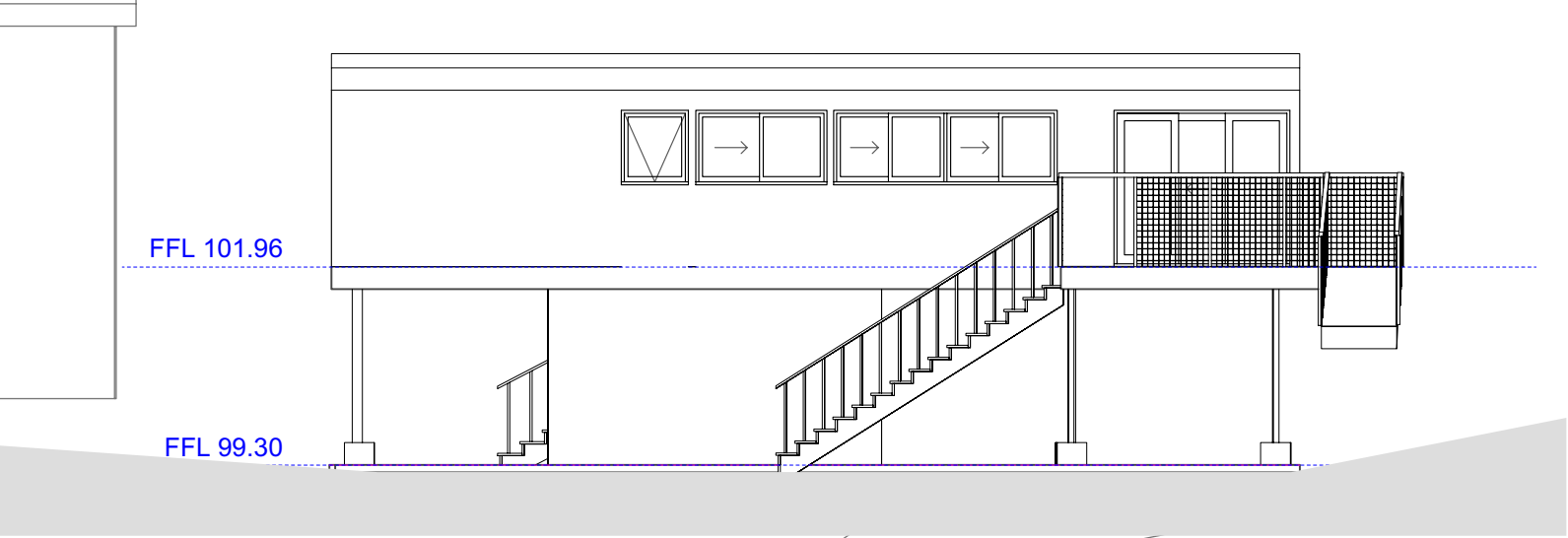
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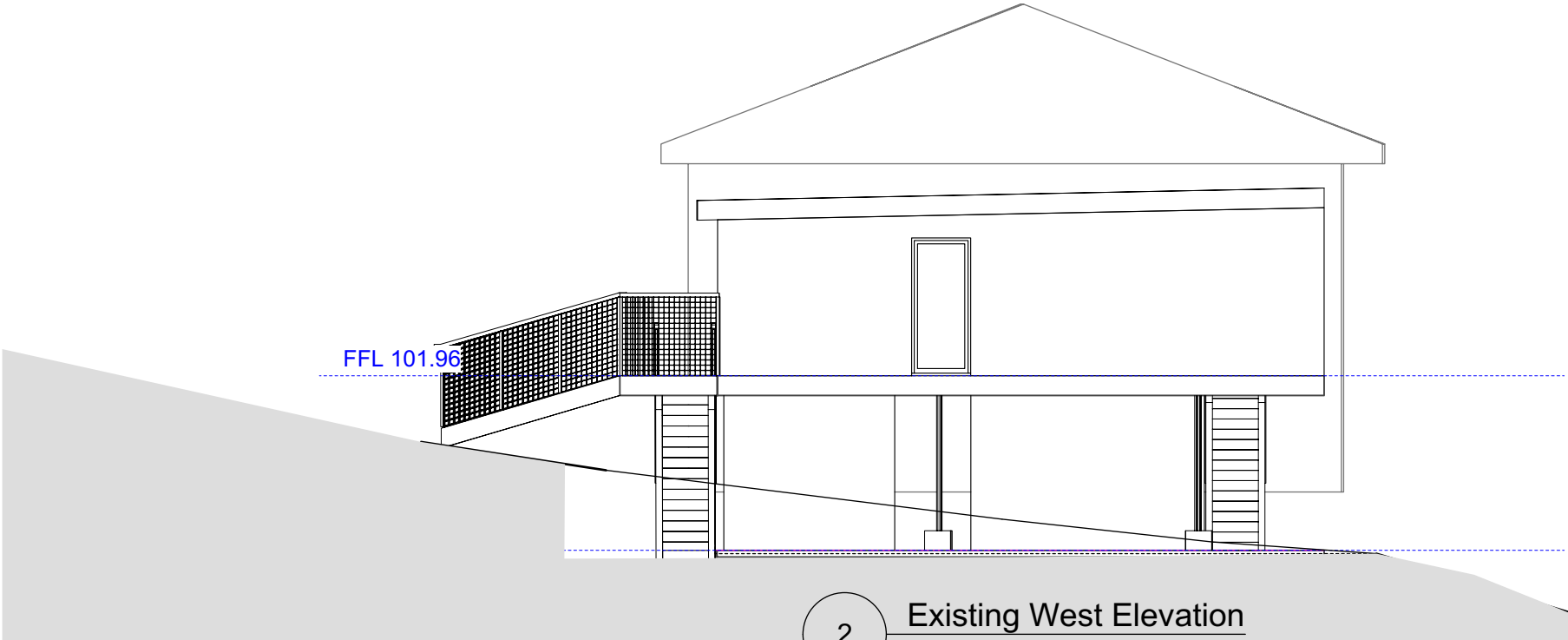
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ISSUE	DATE	REVISION	PROJECT #
PROJECT	62 Riviera Avenue Avalon		190501
CLIENT	Mr D Chapman and Mrs H Chapman	DATE # 03/10/19	DWG #
DWG	Existing Elevations	SCALE @ A3 1:100	A012 A
CHKD		DRAWN AW	REVISION A





1 Existing North Elevation



2 Existing West Elevation

A 25/3/20 Development Application



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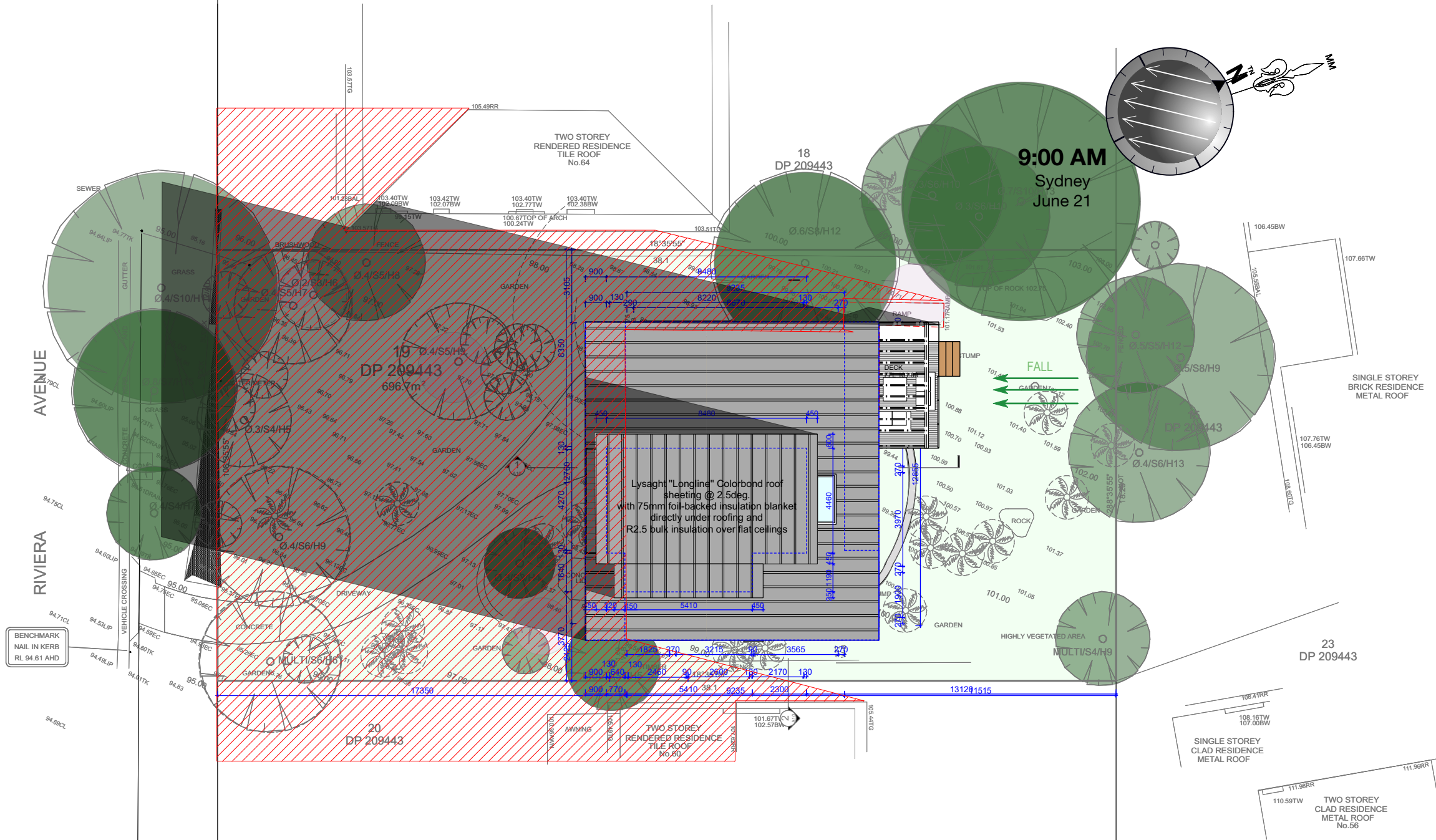
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ISSUE	DATE	REVISION	PROJECT #	
PROJECT			190501	
CLIENT			A013 A	
DWG			REVISION	
62 Riviera Avenue Avalon			A	
Mr D Chapman and Mrs H Chapman			A	
Existing Elevations			A	
DATE # 03/10/19			DWG #	
SCALE @ A3 1:100			A013 A	
DRAWN AW			REVISION	
CHKD			A	



KEY

- PROPOSED SITE SHADOW
- EXISTING SITE SHADOW



B 15/6/20  
A 25/3/20

Amended Development Application  
Development Application



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ISSUE		DATE	REVISION
PROJECT		62 Riviera Avenue Avalon	
CLIENT		Mr D Chapman and Mrs H Chapman	DATE # 03/10/19
DWC		Shadow Study - 21 June 9am	SCALE @ A3 1:100
			DRAWN AW
			CHKD
			REVISION B

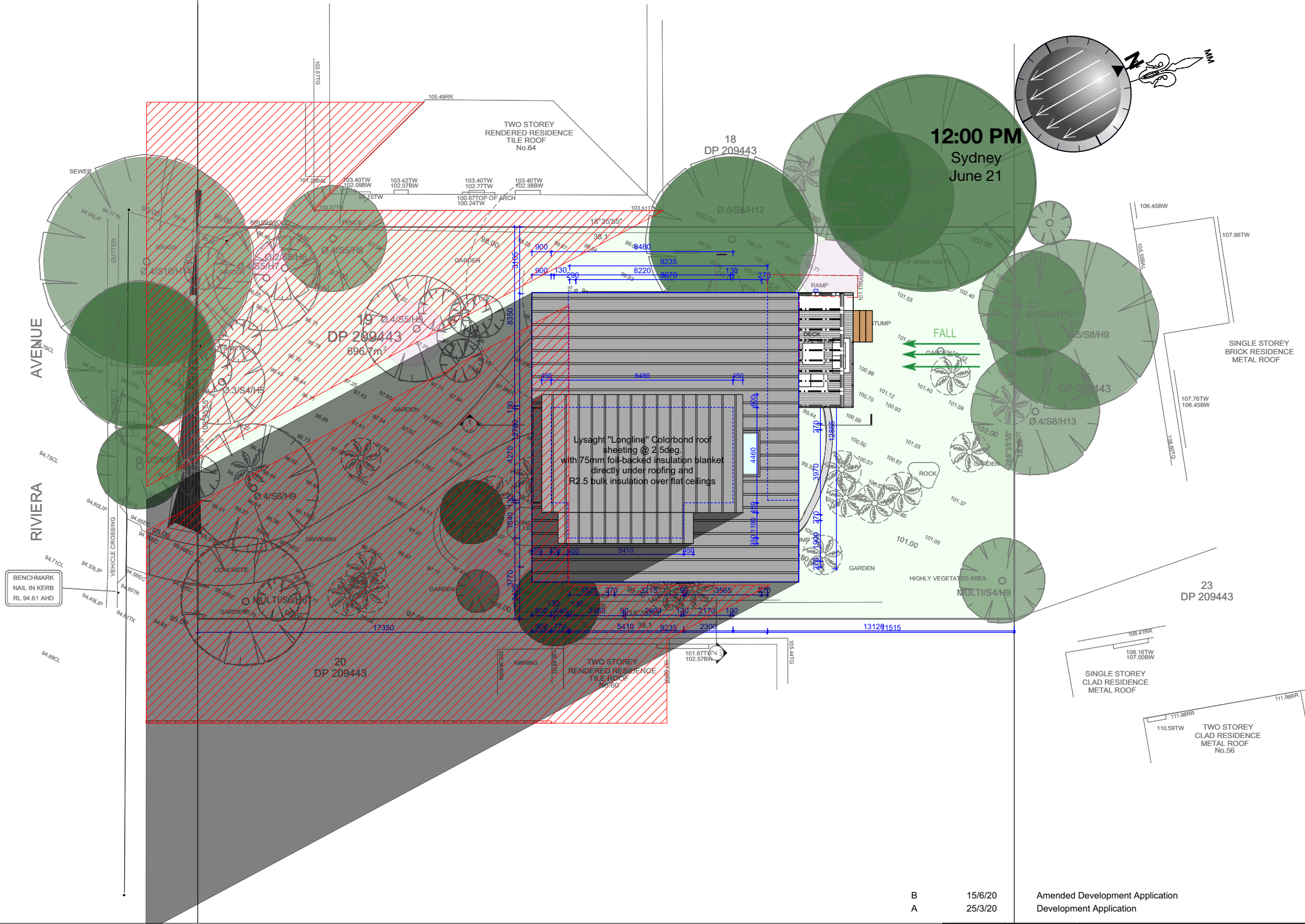
PROJECT #  
190501

DWG #  
A014 B



KEY

- PROPOSED SITE SHADOW
- EXISTING SITE SHADOW



B 15/6/20  
A 25/3/20

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Development Application



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ISSUE		DATE	REVISION
PROJECT		62 Riviera Avenue Avalon	
CLIENT		Mr D Chapman and Mrs H Chapman	
DWG		Shadow Study - 21 June 12pm	
DATE #		03/10/19	DWG #
SCALE @ A3		1:100	A015 B
DRAWN		AW	
CHKD			
REVISION		B	



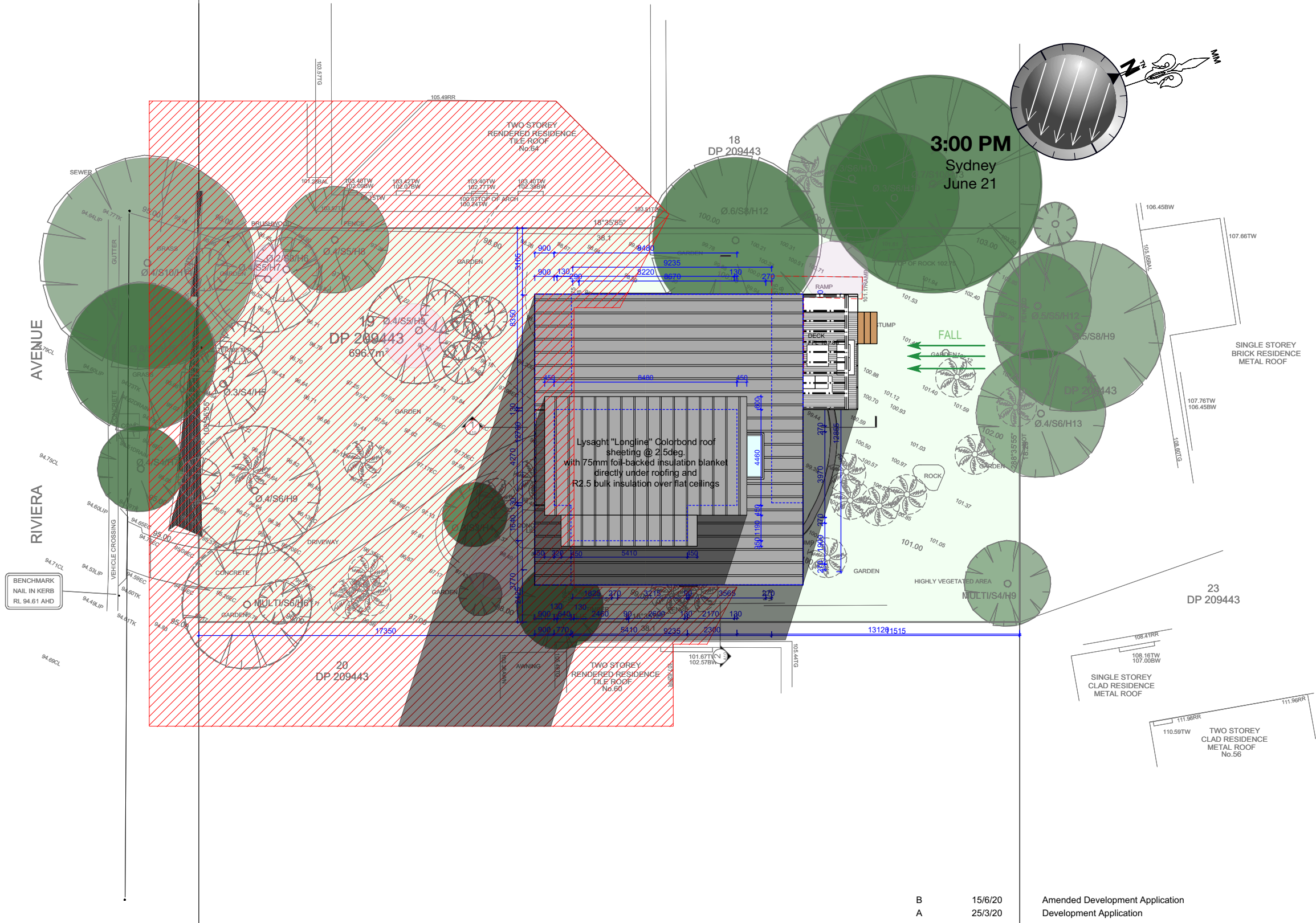
KEY



PROPOSED SITE SHADOW



EXISTING SITE SHADOW



B  
A

15/6/20  
25/3/20

Amended Development Application  
Development Application



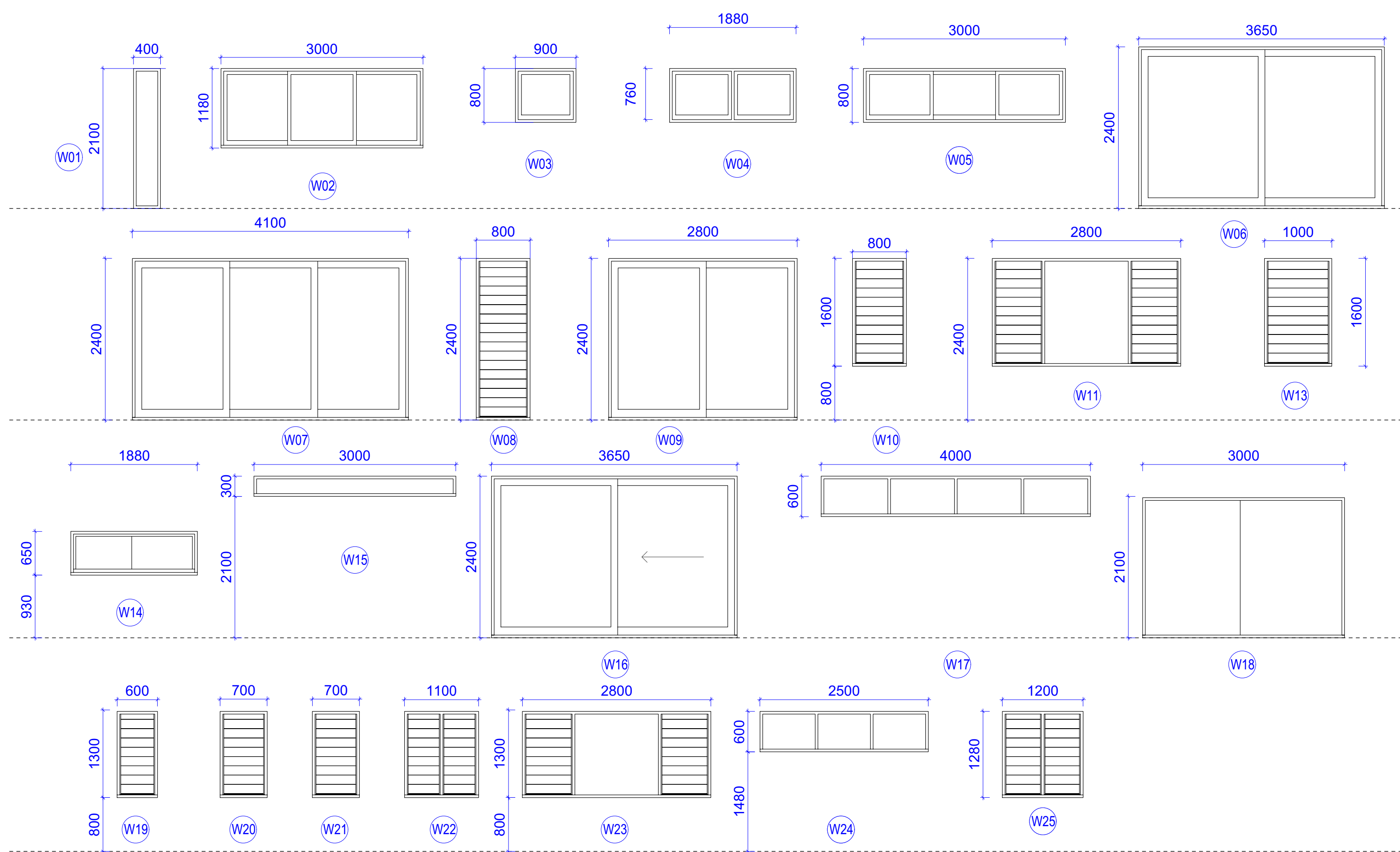
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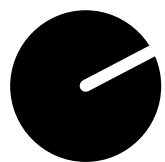
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ISSUE		DATE	REVISION	PROJECT #	
PROJECT		62 Riviera Avenue Avalon		190501	
CLIENT		Mr D Chapman and Mrs H Chapman		DATE #	03/10/19
DWG		Shadow Study - 21 June 3pm		SCALE @ A3	1:100
				DRAWN	AW
				CHKD	
				REVISION	B





B 15/6/20 Amended Development Application  
A 25/3/20 Development Application



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ISSUE	DATE	REVISION	PROJECT #
PROJECT			190501
CLIENT	DATE # 03/10/19	DWG #	
Mr D Chapman and Mrs H Chapman	SCALE @ A3 1:100	A017 B	
DWG	DRAWN AW	REVISION	B
Window Schedule	CHKD		



EXTERNAL WINDOW SCHEDULE				(above F.L.)		
Window No.	BASIX Ref No.	Type	Frame Size (WxH)	Head (nom.)	Glass Type	Notes
W01	W01	Fixed	400x2100	2100	Single low 'e'	ENTRY
W02	W02	3 way sliding	3000x1180	2100	Single low 'e'	ENTRY
W03	W03	Awning	800 x 900	2100	Single low 'e'	STORE
W04	W04	Sliding Door/Fixed	760 x 1880	2100	Single low 'e'	ENTRY
W05	W05	3 way sliding	3000 x 800	2100	Single low 'e'	GARAGE
W06	W06	Sliding Door	3650x2400	2400	Single low 'e'	LIVING
W07	W07	Louvre	800x 2400	2400	Single low 'e'	DINING
W08	W08	Stacking/Sliding	4100 x 2400	2400	Single low 'e'	DINING
W09	W09	Louvre	800 x 2400	2400	Single low 'e'	DINING
W10	W10	Sliding	2800 x 2400	2400	Single low 'e'	MASTER BED
W11	W11	Louvre	800 x 1600	2400	Single low 'e'	BATHROOM
W12	W12	Louvre/Fixed	2800 x 2400	2400	Single low 'e'	BED 3
W13	W13	Louvre	1000x1600	2100	Single low 'e'	BED 3
W14	W14	sashless	650 x 1880	2100	Single low 'e'	KITCHEN
W15	W15	Fixed	300 x 3000	2100	Single low 'e'	KITCHEN
W16	W16	Sliding Door	3650 x 2400	2100	Single low 'e'	LOUNGE
W17	W17	Sliding window	4000 x 600	2100	Single low 'e'	LOUNGE
W18	W18	Sliding Door	3000 x 2100	2100	Single low 'e'	MASTER BED
W19	W19	Louvre	600 x 1300	2100	Single low 'e'	MASTER BED
W20	W20	Louvre	700 x 1300	2100	Single low 'e'	ENS
W21	W21	Louvre	700 x 1300	2100	Single low 'e'	ROBE
W22	W22	Louvre	1100 x 1300	2100	Single low 'e'	STUDY
W23	W23	Louvre/ Fixed	2800 x 1300	2100	Single low 'e'	STAIR
W24	W24	3 way sliding	2500 x 600	2100	Single low 'e'	HALL
W25	W25	Louvre	1200 x 1300	2100	Single low 'e'	MASTER BED



SITE AREA = 696.70m2  
LANDSCAPE (SOFT) = 505m2 (72.5%)

SITE BOUNDARY

EXISTING SOFT LANDSCAPED  
AREA = 505m2

REQUIREMENT: 60%(COMPLIANT)

SITE AREA = 696.70m2  
LANDSCAPE (SOFT) = 453m2 (65%)

SITE BOUNDARY

PROPOSED SOFT LANDSCAPED  
AREA = 452m2

REQUIREMENT: 60%(COMPLIANT)



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ISSUE	DATE	REVISION
PROJECT	62 Riviera Avenue Avalon	
CLIENT	Mr D Chapman and Mrs H Chapman	
DWG	Landscape Calculations	
DATE #	03/10/19	DWG #
SCALE @ A3	1:100	A019 B
DRAWN	AW	REVISION
CHKD		B



SITE AREA = 696.70m2

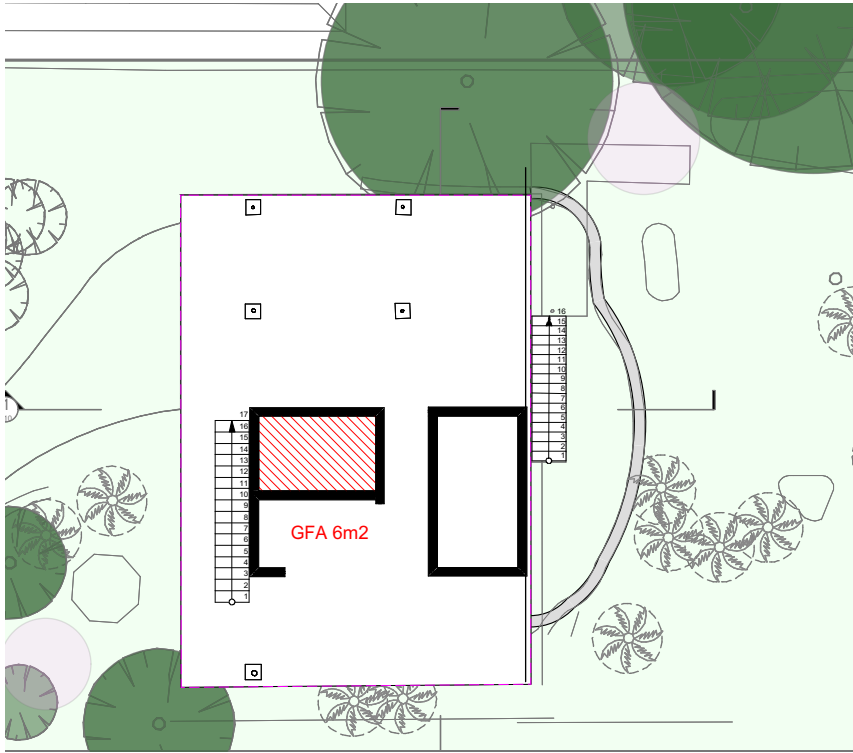
Total Existing Floor Area = 97m2 (14%)  
FSR 0.14 :1

LGF INSIDE FLOOR AREA =6m2

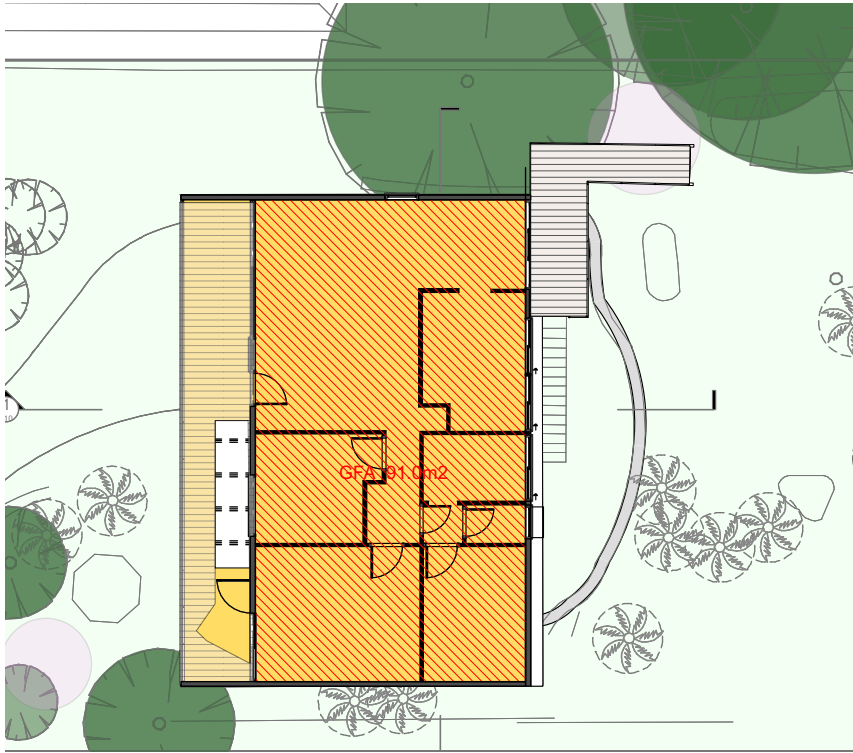
GF INSIDE FLOOR AREA = 91m2

REQUIREMENT: 0.4:1  
or 0.45 Additional control

EXISTING 0.14:1 or 14%  
(COMPLIANT)



EXISTING LOWER GROUND FLOOR PLAN 1:200



EXISTING GROUND FLOOR PLAN 1:200

SITE AREA = 696.70m2

Total Proposed Floor Area = 185m2 (27%)

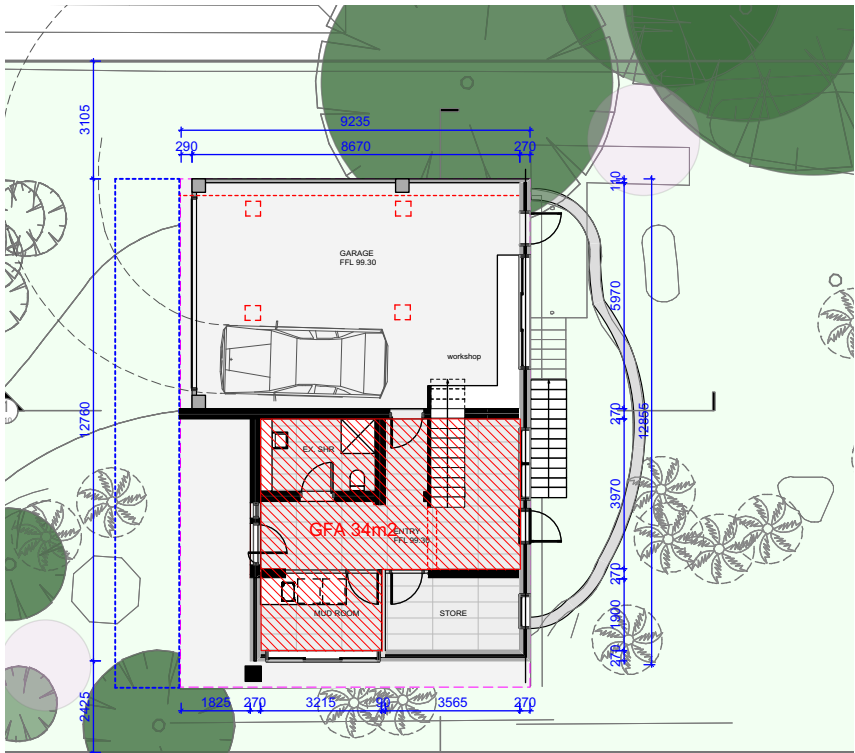
LGF GFA=34m2

GF GFA = 113m2

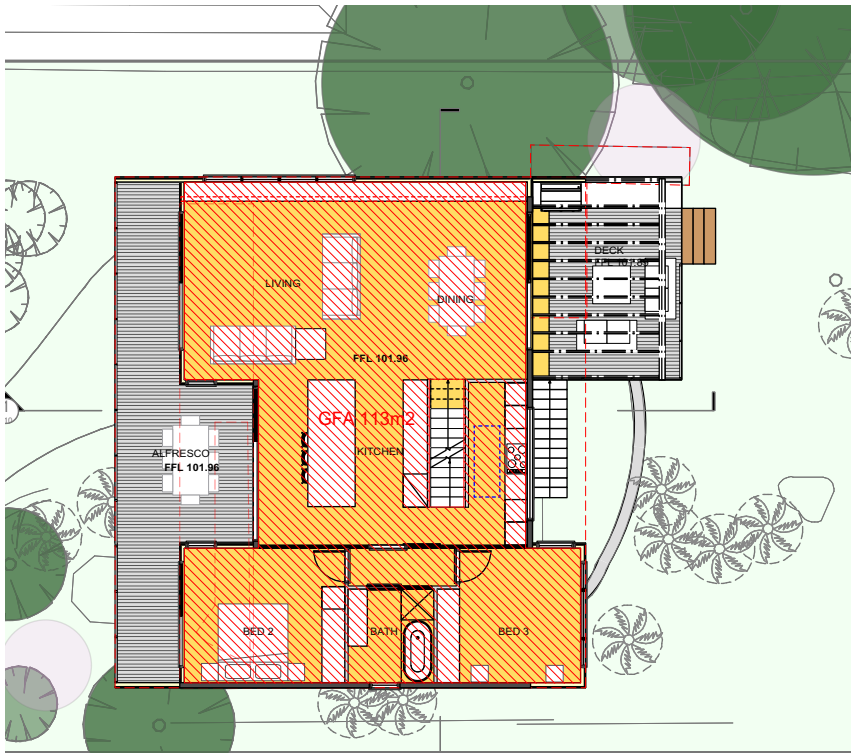
FF GFA= 38m2

REQUIREMENT: 0.4:1  
or 0.45 Additional control

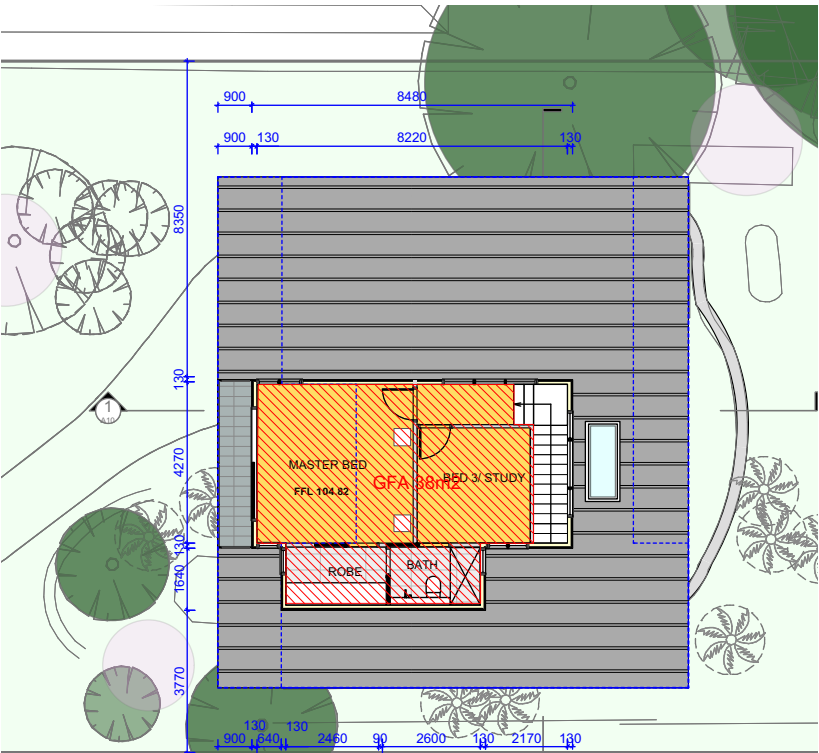
PROPOSAL 0.27:1 or 27%  
(COMPLIANT)



LOWER GROUND FLOOR PLAN 1:200



GROUND FLOOR PLAN 1:200



FIRST FLOOR PLAN 1:200

B 15/6/20 Amended Development Application  
A 25/3/20 Development Application



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ISSUE	DATE	REVISION	PROJECT	PROJECT #
			62 Riviera Avenue Avalon	190501
CLIENT	DATE #	03/10/19	Mr D Chapman and Mrs H Chapman	DWG #
	SCALE @ A3	1:100		A020 B
DWG	DRAWN	AW	FSR Calculations	REVISION
	CHKD			B





**Painted Face Brick**

Murobond mineral based paint  
'Salt'



**Prefinished Metal  
Roof and Wall Cladding**

Monument Matt

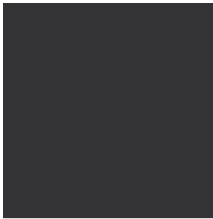


**Timber feature  
architectural cladding**



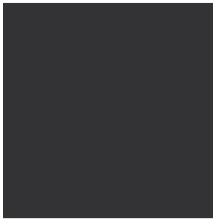
**Elegance, Porters Paints**

soffits & fascias



**Colorbond,  
Monument**

Roofing material (non reflective)  
Downpipes  
Coping on parapets



**Colorbond,  
Monument**

powder coated window frames

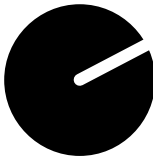


**Hardwood or  
Wood composite**

Panels screening  
Pergola Posts  
BBQ



B 23/6/20 Amended Development Application  
A 25/3/20 Development Application



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ISSUE	DATE	REVISION	PROJECT #	
PROJECT	62 Riviera Avenue Avalon		190501	
CLIENT	Mr D Chapman and Mrs H Chapman		DATE #	DWG #
DWG	External Finishes		03/10/19	A021 B
			SCALE @ A3 1:100	
			DRAWN AW	
CHKD			REVISION	B



CONCEPT PLANTING SCHEDULE

ID	Latin Name	Common Name	Scheduled Size	Spread	Height
AGH	Angophora hispida	Dwarf Apple	45lt	3500	6000
AN	Asplenium nidus	Birds nest fern	5LT	1500	1000
BI	Banksia integrifolia	Coastal banksia	25LT	6000	12000
BSP	Banksia spinulosa	Hairpin banksia	5LT	3000	3500
CGL	Carpobrotus glaucescens	Pigface	2.5LT	600	600
CS	Chameodoraea seifrizii	Clumping Palm	1.5LT	1000	2000
DC	Dianella caerulea	Blue Flax Lily	2.5LT	700	700
DE	Doryanthes excelsa	Gymea Lily	1.5LT	1500	1500
EL	Elaeocarpus reticulatus	Blueberry ash	25LT	4000	4000
HV	Hardenbergia violacea	Flase sparsparilla	5LT	1500	400
LT	Lomandra tanika	Dwarf lomandra	5LT	500	500
LL	Lomandra longifolia	Native grass	2.5LT	900	900
SRS	Syzygium australe	Lillypilly	25LT	1500	2500
WF	Westringia jervisii	Coastal Rosemary	5LT	1000	1000
HF	Hymenosporum flavum	Native frangipani	25lt	6000	12000
LN	Lagerstroemia 'Natchez'	White crepe Myrtle	25lt	6000	12000



B	15/6/20	Amended Development Application	
A	25/3/20	Development Application	
ISSUE		DATE	REVISION
PROJECT		62 Riviera Avenue Avalon	
CLIENT		DATE #	DWG #
Mr D Chapman and Mrs H Chapman		03/10/19	190501
DWG		SCALE @ A3	DWG #
Concept Landscape Plan		1:100	A022 B
CHKD		DRAWN	REVISION
		AW	B



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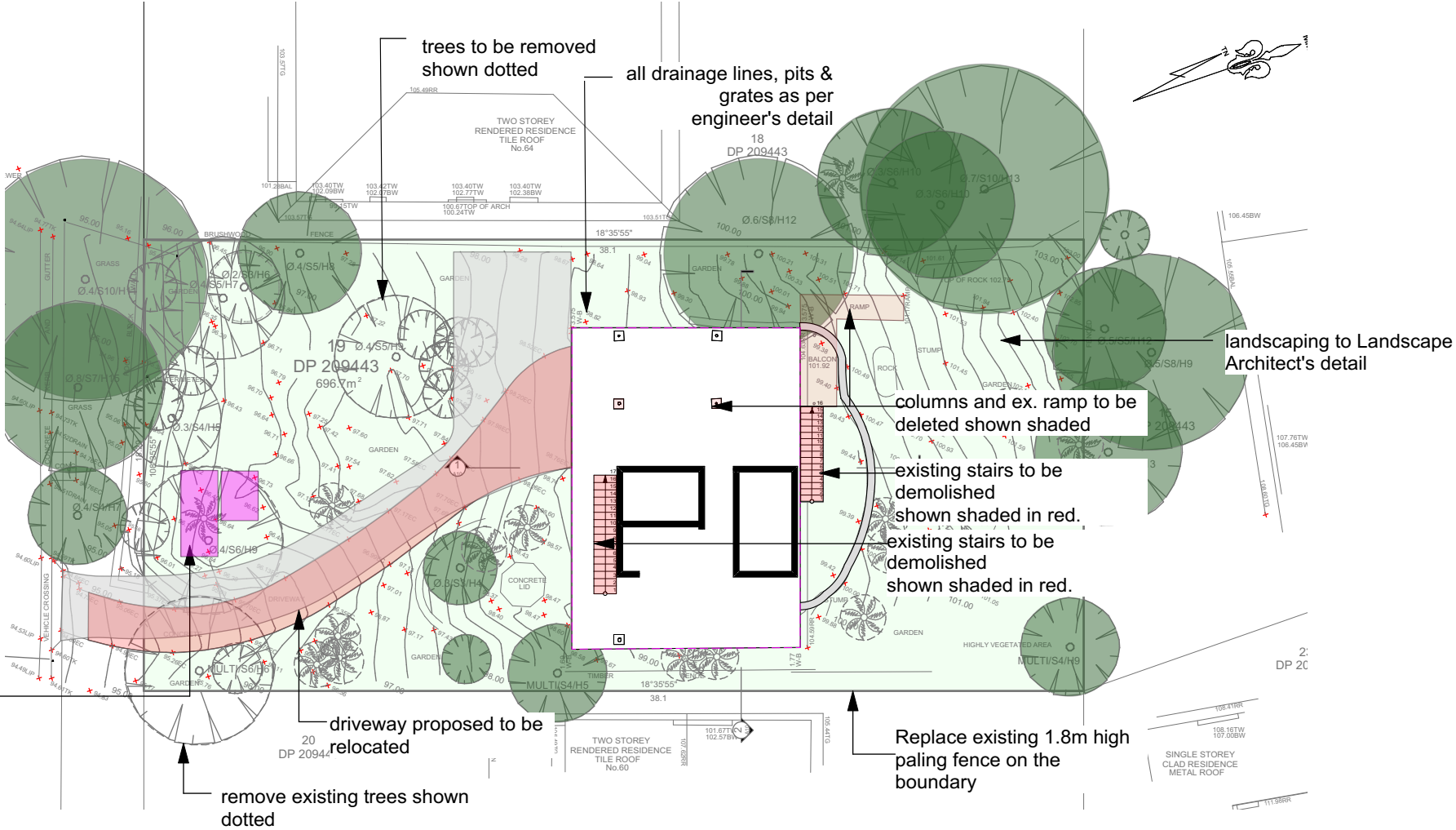
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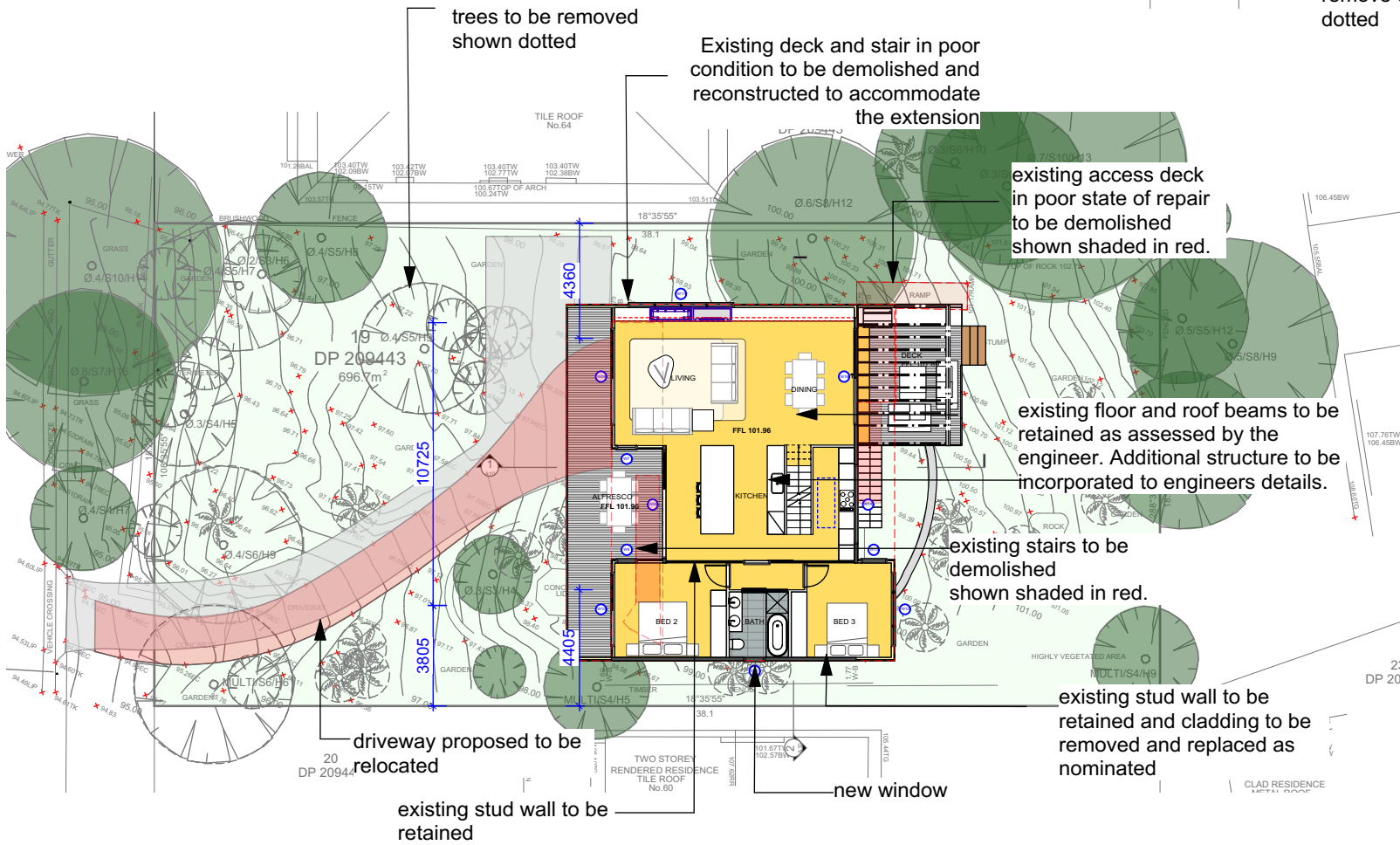


PRESERVE AND PROTECT ALL PROPERTY, SERVICES, ROAD AND FOOTPATH FINISHES. MAKE GOOD ANY DAMAGE RESULTING FROM CONSTRUCTION OF THE WORKS AT NIL COST TO THE PROPRIETOR.

proposed zone for to be used waste management and storage zone during construction

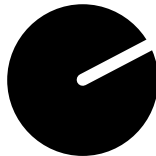


1 Lower Ground Floor



2 Ground Floor

B 15/6/20 Amended Development Application  
A 25/3/20 Development Application



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ISSUE	DATE	REVISION	PROJECT #
PROJECT			190501
CLIENT	DATE # 03/10/19	DWG #	
Mrs D Chapman and Mrs H Chapman	SCALE @ A3 1:100	A023 B	
DWS	DRAWN AW	REVISION	B
Demolition Plan	CHKD		