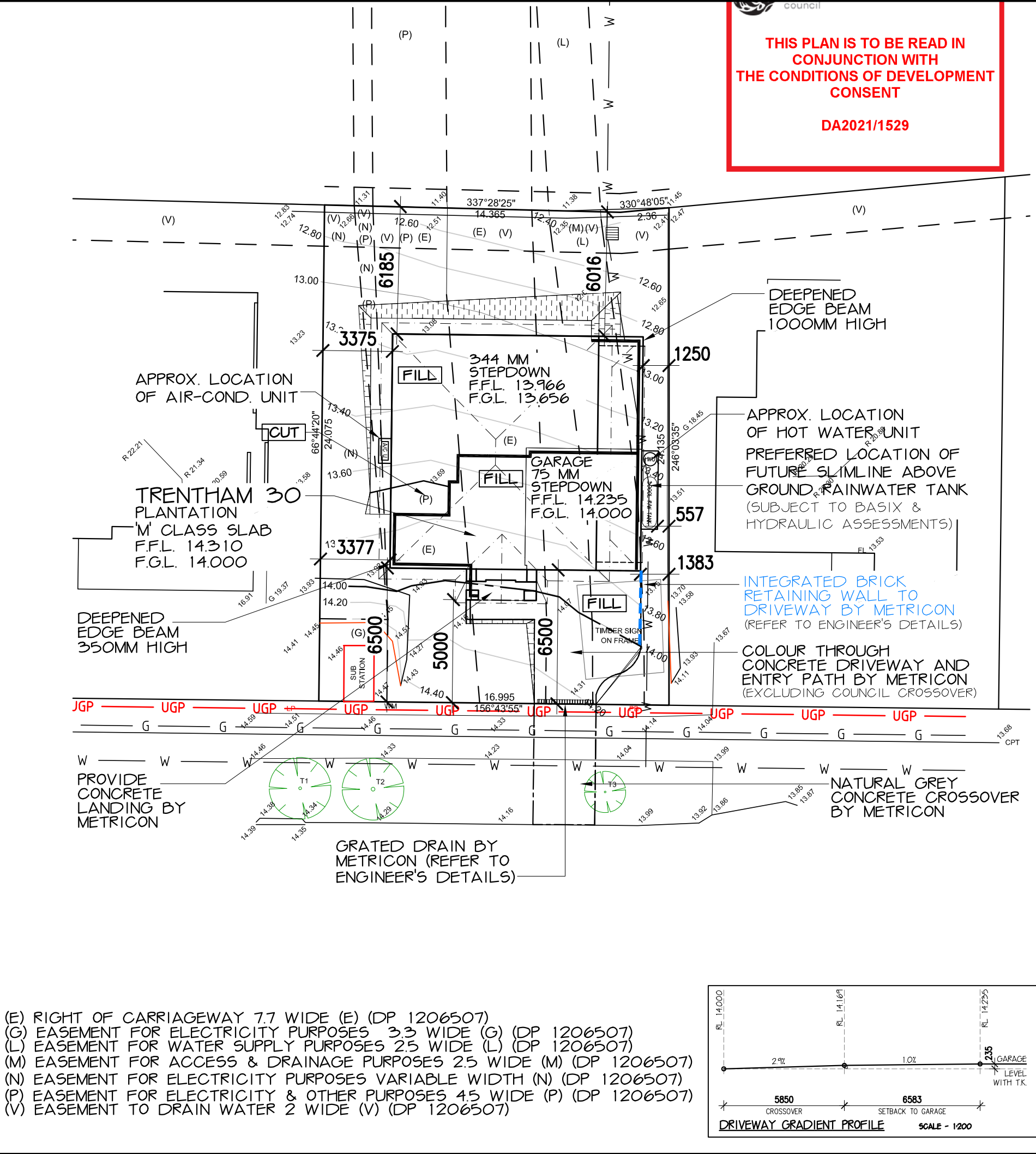
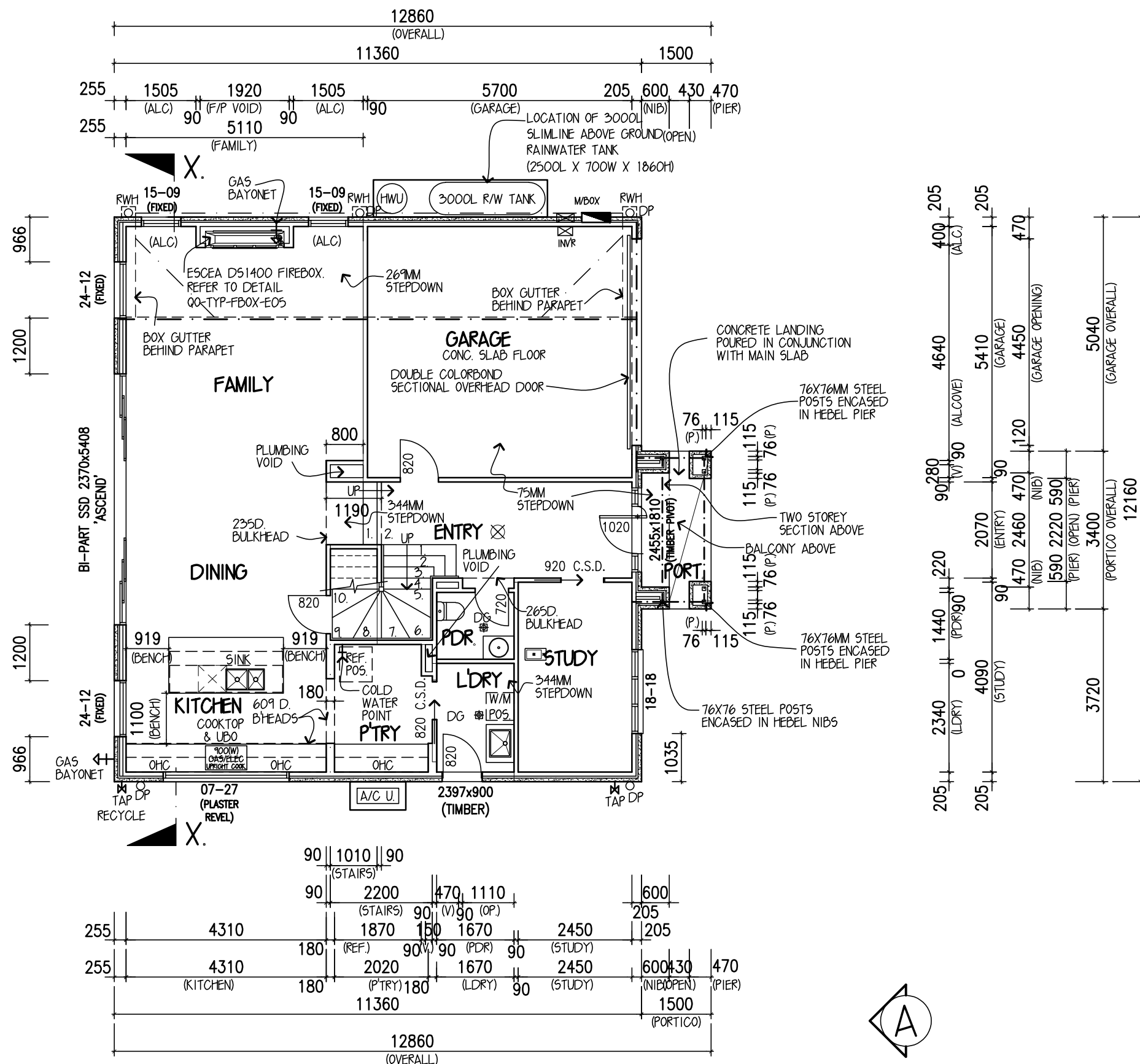
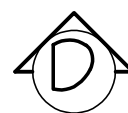


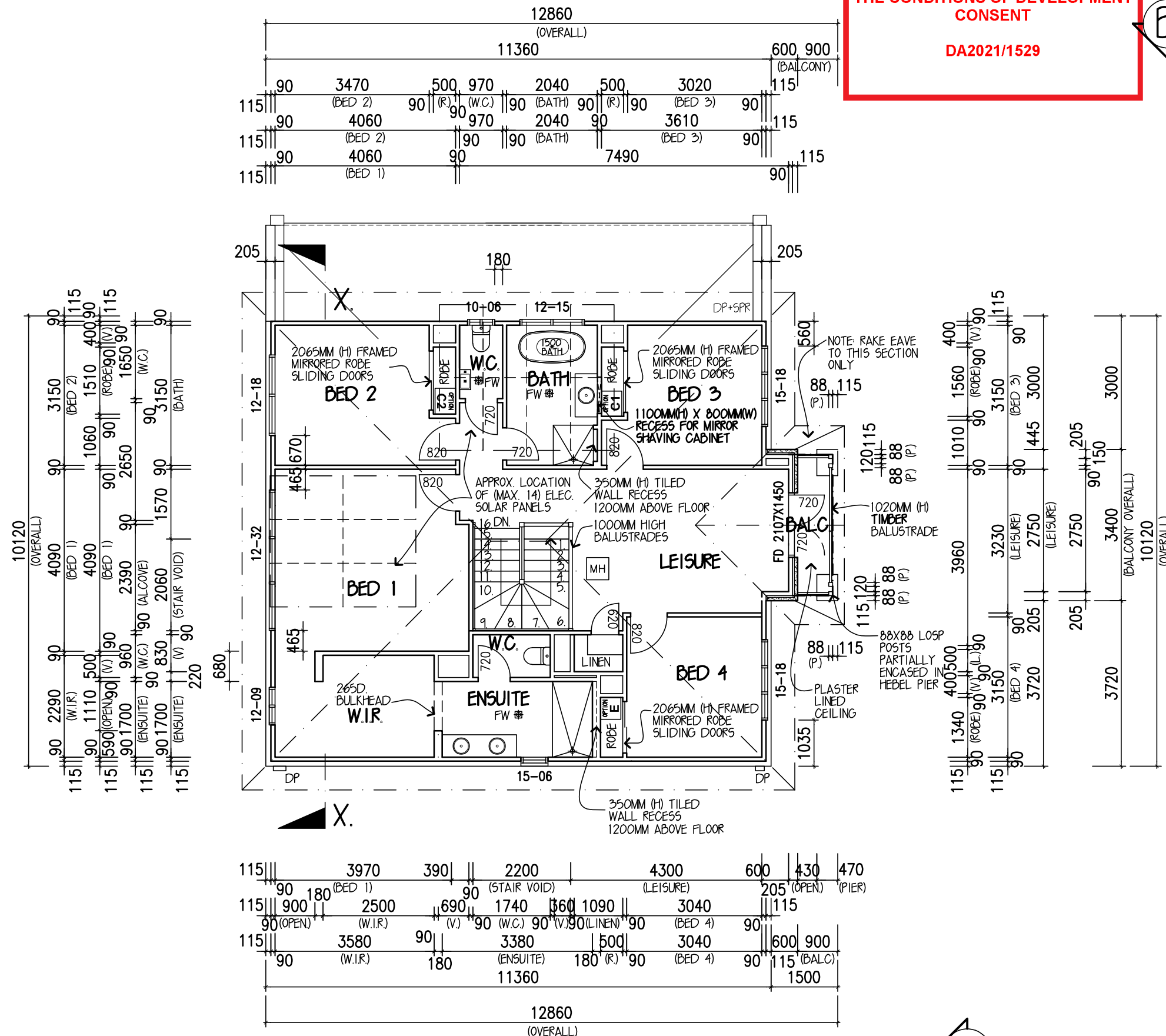
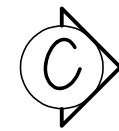
SITE AREA:	404.4 SQM
PROPOSED ROOF COVERAGE	
DWELLING:	161.71 SQM
TOTAL COVERAGE AREA:	161.71 SQM
PRIVATE OPEN SPACE	
PRIVATE OPEN SPACE:	80 SQM
MIN. REQUIRED BY COUNCIL:	80 SQM
MINIMUM DIMENSION OF 3M	
PRINCIPAL PRIVATE OPEN SPACE	
PRINCIPAL PRIVATE OPEN SPACE:	24 SQM
MIN. REQUIRED BY COUNCIL:	24 SQM
MINIMUM DIMENSIONS OF 4M X 4M	
LANDSCAPED AREA	
TOTAL LANDSCAPED AREA:	189.49 SQM
EXCL. ALL HARD SURFACES, MINIMUM DIMENSION OF 2M	46.85 %
MIN. REQUIRED BY COUNCIL:	45 %
FRONT YARD LANDSCAPED AREA	
TOTAL FRONT YARD AREA:	110.22 SQM
LANDSCAPED FRONT YARD AREA:	72.00 SQM
LANDSCAPED FRONT YARD AREA:	65.32 %
MIN. REQUIRED BY COUNCIL:	60 %
STORMWATER CALCULATION	
HARD LANDSCAPE AREAS:	192.12 SQM
(INCL. ROOF/DRIVEWAY/PATHS ETC)	
SITE COVERAGE RATIO:	47.50 %
EXISTING SITE COVERAGE:	0 SQM
MAXIMUM ALLOWABLE BY COUNCIL PRIOR TO O.S.D. BEING REQUIRED:	0 %
(EXISTING SITE COVERAGE + 50 SQM)	
BUILDING HEIGHT RESTRICTION	
MAXIMUM 8.5M RIDGE HEIGHT	
(F.F.L. MUST BE ACCURATE TO COMPLY)	
BUILDING ENVELOPE	
PROVIDE 45 DEGREE PLANE PROJECTED AT 4.5M HIGH ABOVE SIDE BOUNDARY NATURAL GROUND LEVEL.	
MAXIMUM 1000 MM CUT	
MAXIMUM 1000MM FILL	
SURVEYORS NOTES	
A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.	
B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.	
C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.	
D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.	



	LOT NO:	LOT 7.																																							
	DEPOSITED PLAN:	DP 1206507.																																							
	COUNCIL / LGA:	NORTHERN BEACHES																																							
	SLAB CLASS:	M																																							
MGA	WIND SPEED:	N2																																							
EXCAVATION NOTES: 50MM (+/-) TOLERANCE TO NOMINATED RL'S UPPER LEVEL EXCAVATE APPROX. 0MM ON RL. 14.000 AND FILL APPROX. 600MM WITHIN DEB LOWER LEVEL EXCAVATE APPROX. 200MM ON RL. 13.656 AND FILL APPROX. 756MM EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY																																									
IMPORTANT NOTES: SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD																																									
STORMWATER TO DRAIN TO EXISTING EASEMENT VIA RAINWATER TANK REFER TO HYDRAULIC ENGINEER'S DETAILS																																									
TEMPORARY SITE FENCING: METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)																																									
ALL WEATHER ACCESS: METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION																																									
SURVEY LEGEND <table><tr><td>— S —</td><td>— W —</td><td>— T —</td></tr><tr><td>UGROUND SEWER MAINS</td><td>UGROUND WATER MAINS</td><td>UGROUND TELECOM LINE</td></tr><tr><td>— G —</td><td>— OHP —</td><td>— UGP —</td></tr><tr><td>UGROUND GAS MAINS</td><td>O'HEAD POWER SUPPLY</td><td>UGROUND POWER SUPPLY</td></tr><tr><td colspan="3">TOP OF KERB</td></tr><tr><td colspan="3">EDGE OF BITUMEN</td></tr><tr><td>PP POWER POLE</td><td>SV STOP VALVE</td><td>GRATED STORMWATER PIT</td></tr><tr><td>PB POWER BOX</td><td>SMH SEWER MAINTENANCE HOLE</td><td>BENCHMARK</td></tr><tr><td>SP SERVICE POLE</td><td>SIO SEWER INSPECTION OPENING</td><td>TREE</td></tr><tr><td>LP LIGHT POLE</td><td>CPT TELECOMMUNICATIONS PIT</td><td></td></tr><tr><td>HYD HYDRANT</td><td>GM GAS MARKER</td><td></td></tr><tr><td>WM WATER METER</td><td>KI KERB INLET</td><td></td></tr><tr><td></td><td>SPIT STORMWATER PIT</td><td></td></tr></table>			— S —	— W —	— T —	UGROUND SEWER MAINS	UGROUND WATER MAINS	UGROUND TELECOM LINE	— G —	— OHP —	— UGP —	UGROUND GAS MAINS	O'HEAD POWER SUPPLY	UGROUND POWER SUPPLY	TOP OF KERB			EDGE OF BITUMEN			PP POWER POLE	SV STOP VALVE	GRATED STORMWATER PIT	PB POWER BOX	SMH SEWER MAINTENANCE HOLE	BENCHMARK	SP SERVICE POLE	SIO SEWER INSPECTION OPENING	TREE	LP LIGHT POLE	CPT TELECOMMUNICATIONS PIT		HYD HYDRANT	GM GAS MARKER		WM WATER METER	KI KERB INLET			SPIT STORMWATER PIT	
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INTRAX SURVEY DATE: 19.01.2021																																									
CONTOUR INTERVALS: 200MM																																									
LEVELS TO: AHD																																									
SITE PLAN																																									
 Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 www.metricon.com.au																																									
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MR & MRS HODGES LOT 7, NO 45 WARRIEWOOD ROAD WARRIEWOOD																																									
JOB No: 720385																																									
DATE: 17.02.2021	DRAWN: CMB																																								
SCALE: 1/200	SHEET: 1 OF 11																																								
UBD REF: SYD XX XX																																									



JOB No: 720385		DATE: 17.02.2021
FC DATE: DD.MM.YYYY		MST VER: 16.02.2017
SCALE: 1:100 ON A3 SHEET		REVISION: H
DRAWN: CM8	CHECK: XX	SHEET: 2 of 11



SYMBOL	LEGEND	FRAMING	LEGEND
	DOWNPIPE 90mm ROUND PVC		LOAD BEARING WALL
	DOWNPIPE 100x50mm RECT. C/BOND		70mm STUD WALL
	DOWNPIPE WITH SPREADER		120mm STUD WALL
	DOWNPIPE WITH RAINWATER HEAD	SMOKE ALARM	
	GARDEN TAP	APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2. & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED	
	GAS BUTT JOINT	EXHAUST FAN.	
	COLD WATER POINT		
	FLOOR WASTE	INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1668.2.	
	ELEC. METERBOX 600x600 RECESSED		
	AIR COND. UNIT		
	MANHOLE FOR CEILING ACCESS		
	ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS		

AREAS:		GARAGE:	38.94 SQM
GRD FLR:	118.01 SQM	PORTICO:	7.49 SQM
FIRST FLR:	120.78 SQM	OUTDOOR:	0.00 SQM
SUBTOTAL:	238.79 SQM	TOTAL:	285.22 SQM
	25.70 SQM		30.70 SQM

DESIGN: TRENTHAM 30

FACADE: **PLANTATION** CEILING: **25, L**

GARAGE: DOUBLE LOCATION: F

FIRST FLOOR PLAN

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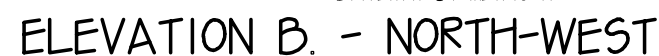
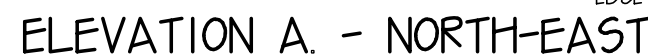
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LOT 7 . NO 45 WARRIEWOOD ROAD
WARRIEWOOD

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 DENOTES WINDOWS/DOORS WITH TRANSLUCENT GLAZING



	RECESSED ELECTRICITY METER BOX		ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	DOWNPIPE W/- RAINWATER HEAD		
	ROTATING ROOF VENTILATOR		

SHEET: 4 of 11

PROVIDE JAMES HARDIES SCYON LINEA WEATHERBOARD CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE) REFER TO DETAIL: S-TYP-CLAD-02

PROVIDE ACRYLIC RENDER FINISH TO HEBEL PANELS TO GROUND FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE)

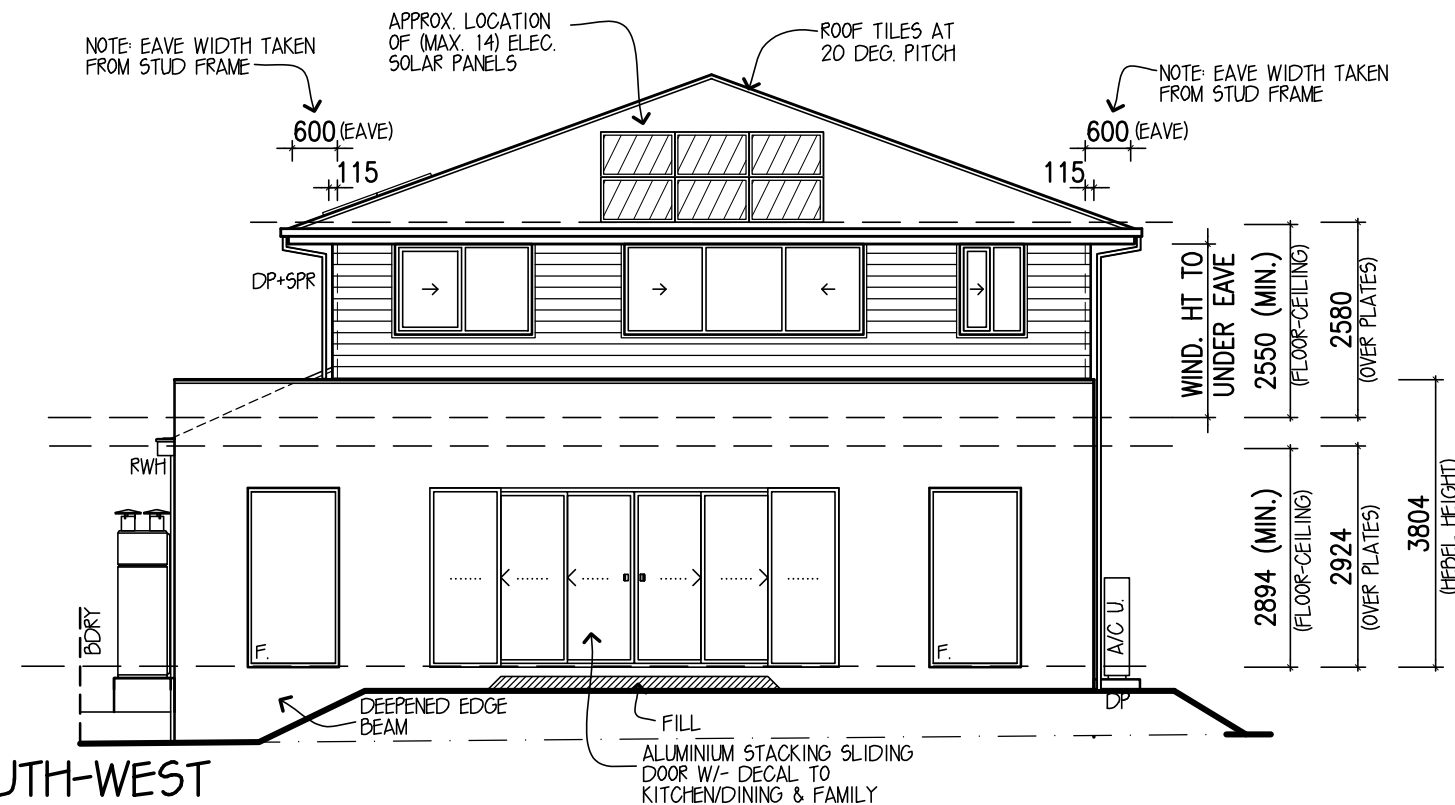
■ DENOTES WINDOWS/DOORS WITH DECOR SATIN TOUGHENED GLAZING



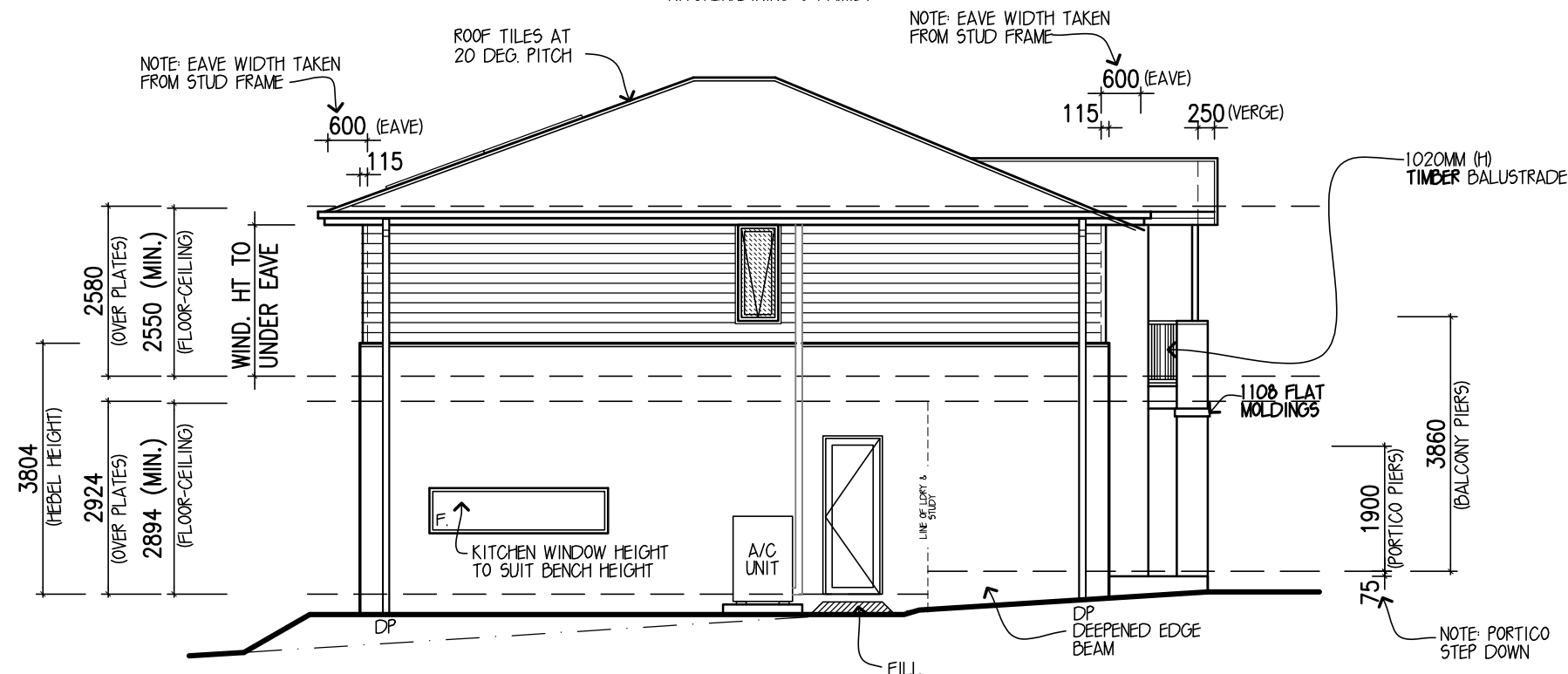
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DA2021/1529

ELEVATION C. - SOUTH-WEST



ELEVATION D. - SOUTH-EAST



SYMBOL LEGEND

	RECESSED ELECTRICITY METER BOX		ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	DOWNPIPE W/- RAINWATER HEAD		
	ROTATING ROOF VENTILATOR		

DESIGN: TRENTHAM 30
FACADE: PLANTATION CEILING: 25, L
GARAGE: DOUBLE LOCATION: F

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WARRIEWOOD

ELEVATIONS

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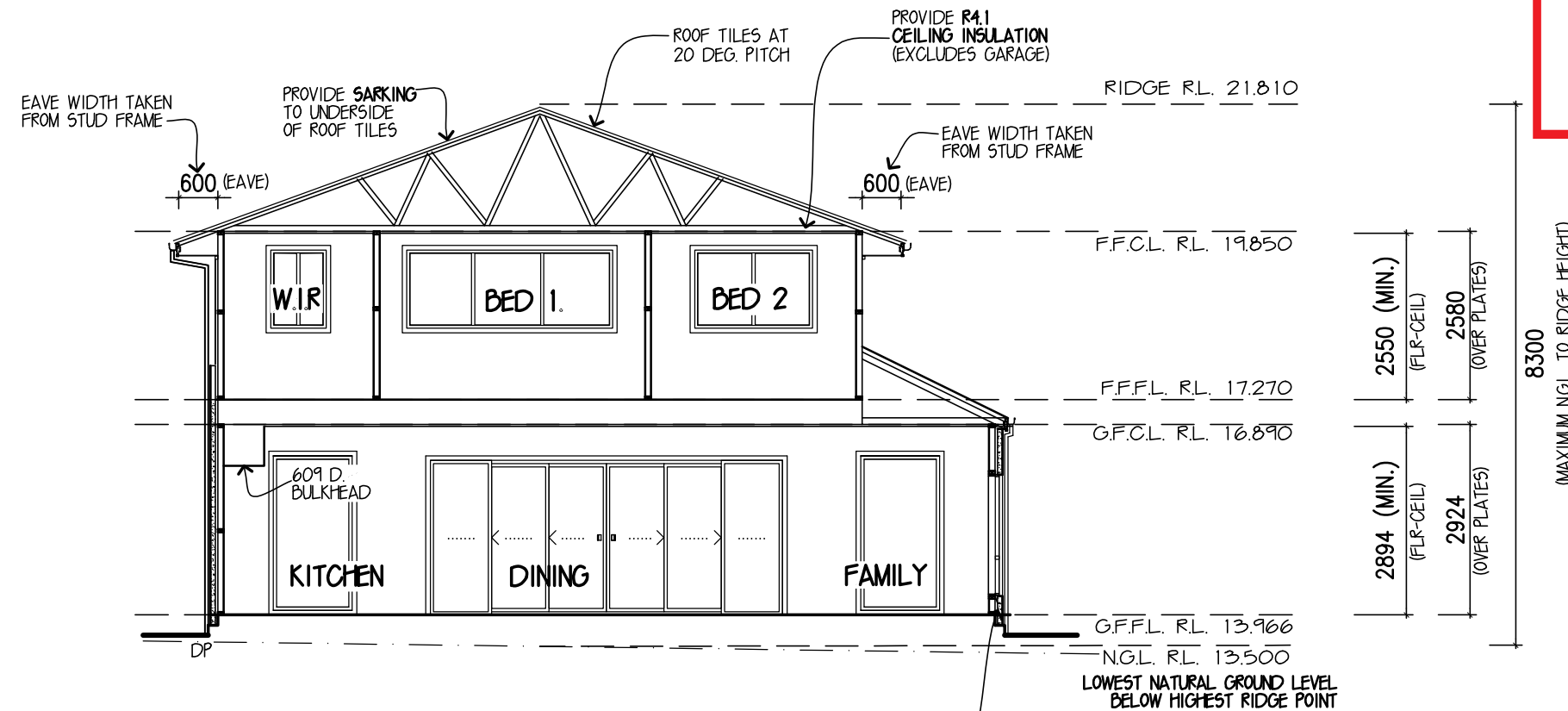
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SHEET: 5 of 11	

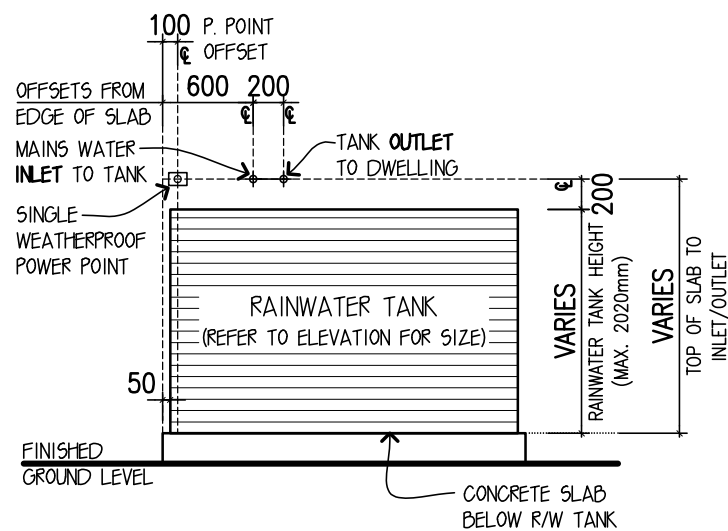
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DA2021/1529



PROVIDE SISALATION WALL -WRAP AND R2.0 INSULATION BATTS TO EXTERNAL WALLS (INCL. R2.0 INSULATION BATTS TO GARAGE/HOUSE INTERNAL WALL EXC. GARAGE EXTERNAL WALL)



ROUGH-IN POSITIONING
(NOT TO SCALE)

'EVOLUTION' MK2 TANK DETAIL
(NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)

DESIGN: TRENTHAM 30

FACADE: PLANTATION CEILING: 25, L

GARAGE: DOUBLE LOCATION: F

SECTION

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LOT 7, NO 45 WARRIEWOOD ROAD
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JOB No: 720385 DATE: 17.02.2021

FC DATE: DD.MM.YYYY MST VER: 16.02.2017

SCALE: 1:100 ON A3 SHEET REVISION: H

DRAWN: CMB CHECK: XX SHEET: 6 of 11