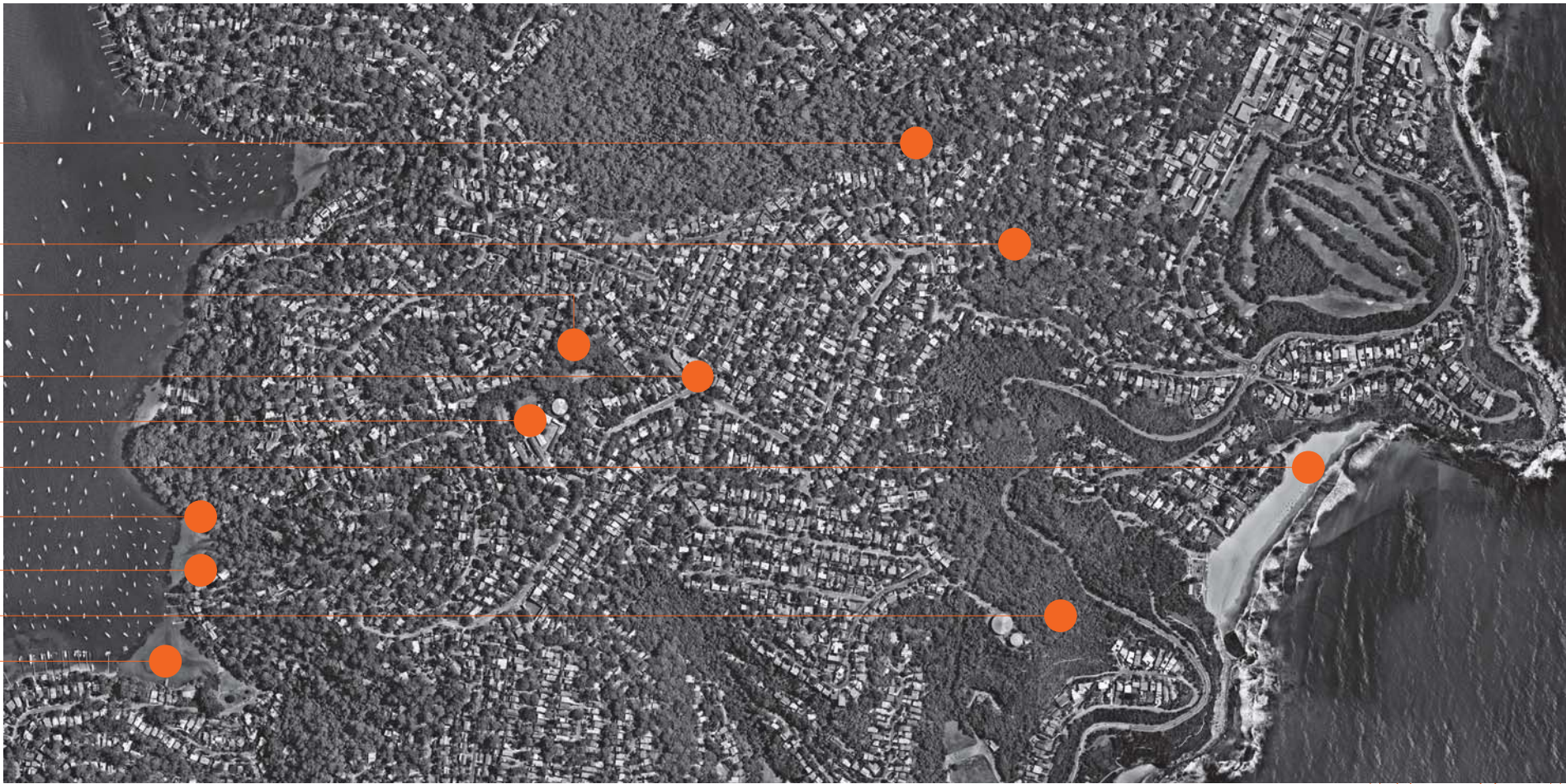


LOCATION PLAN 01



LOCATION PLAN 02



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Rev	Date	Description
A	May 20	Pre-DA
B	Sep 20	DA

LEGEND

A/C	Air Conditioning Unit
ACC	Accessible
ADP	Adaptable
AHD	Aust. Height Datum
B	Basement
BAL	Balustrade
BALC	Balcony
BED	Bedroom
BT	Bathroom
COL	Column
COMM	Comms Room

COS	Communal Open Space
CEX	Carpark Exhaust
DRY	Dining
DP	Dryer
DW	Down Pipe
F	Fridge
FEX	Fire Extinguisher
FFL	Finish floor level
FN	Fence
FS	Fire Stairs
FSR	Floor Space Ratio
GBA	Gross Building Area

GBC	Garbage Chute
GBR	Garbage Room
GBX	Garbage Exhaust
GFA	Gross Floor Area
GM	Gas Meter
H	Hydraulic Services
LY	Laundry
M	Meter Room
MC	Motorcycle Parking
MSB	Main Switch Board
NGL	Natural Ground Level
OSD	Onsite Detention Tank
P	Pantry

POS	Private Open Space
R	Robe
RWT	Rainwater Tank
SCR	Screen
SW	Sewer
ST	Storage
SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

CLIENT

**DREAM BUILD**  
6/37A King Road  
Hornsby NSW 2077  
  
+61 2 9482 3511  
www.dreambuild.com.au

PROJECT DETAILS

**1 BIL**  
1 Bilambee Avenue  
Bilgola Plateau  
NSW 2107

DRAWING TITLE

**SITE LOCATION**

SCALE

**STATUS**  
**CONCEPT**  
**PROJECT No**  
**2012A**

APPROVED

**DB**  
**CHECKED**  
**JSN**  
**DRAWING No**  
**DA-0003**

NORTH

**REV**  
**B**

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W. www.bensonmccack.com

**BENSON**  
**McCORMACK**  
**ARCHITECTURE**



**1 Bilambee Avenue Bilgola Plateau NSW 2107**  
**(currently Bilgola Plateau Service Centre)**



ABSA Sustainability Assurance

100% Assurance completed under the assurance model issued by the ABSA audit institution

Assurance Period: 01/04/2020-31/03/2021

Assurance Name: **Francesca Tumini**

Assurance Number: **202093**

Assurance Signature: *FT*

 The ABSA Sustainability Assurance logo is a circular emblem with a green border. Inside the circle, the text "ABSA Sustainability Assurance" is written in a stylized font. Below the text, there is a small graphic of a tree. The logo is used to signify the assurance of sustainability information.

The ABSA Sustainability Assurance logo is a circular emblem with a green border. Inside the circle, the text "ABSA Sustainability Assurance" is written in a stylized font. Below the text, there is a small graphic of a tree. The logo is used to signify the assurance of sustainability information.



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01 VIEW ALONG BILAMBEE AVENUE



02 VIEW ALONG BILAMBEE AVENUE



03 VIEW FROM BILGA AVENUE AND BILKURRA LANE INTERSECTION



04 VIEW FROM BILAMBEE AVENUE AND PLATEAU ROAD INTERSECTION



05 VIEW FROM BILKURRA AVENUE AND PLATEAU ROAD INTERSECTION

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DW	Dishwasher
F	Fridge
FEX	Fire Extinguisher
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FSR	Floor Space Ratio
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SW	Sewer
ST	Storage
SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

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6/37A King Road  
Hornsby NSW 2077

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www.dreambuild.com.au

PROJECT DETAILS

**1 BIL**  
1 Bilambree Avenue  
Bilgola Plateau  
NSW 2107

DRAWING TITLE

**SITE PHOTOGRAPHS**

SCALE

**STATUS**  
**CONCEPT**  
**PROJECT No**  
**2012A**

APPROVED

**DB**  
**CHECKED**  
**JSN**  
**DRAWING No**  
**DA-0005**

NORTH

**REV**  
**B**

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06 VIEW FROM BILKURRA AVENUE AND BILAMBREE LANE INTERSECTION



07 VIEW FROM BILAMBREE LANE OF NEIGHBOURING BUILDING



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SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

CLIENT

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PROJECT DETAILS

**1 BIL**  
1 Bilambree Avenue  
Bilgola Plateau  
NSW 2107

DRAWING TITLE

SITE PHOTOGRAPHS

SCALE

**STATUS**  
**CONCEPT**  
**PROJECT No**  
**2012A**

APPROVED

**DB**  
**CHECKED**  
**JSN**  
**DRAWING No**  
**DA-0006**

NORTH

**REV**  
**B**

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NOTES:

1) CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.

2) AREA AND DIMENSIONS HAVE BEEN SURVEYED FROM PLANS MADE AVAILABLE AT LAND REGISTRY SERVICES.

3) ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM P.M. 51491 RL 141.332 A.H.D.

4) TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.

5) UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM "DIAL BEFORE YOU DIG" SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.

6) SPOT LEVELS ARE ACCURATE.

7) BEARINGS SHOWN ARE ON MAGNETIC MERIDIAN.

8) CONTOUR INTERVAL 0.25 METRE.

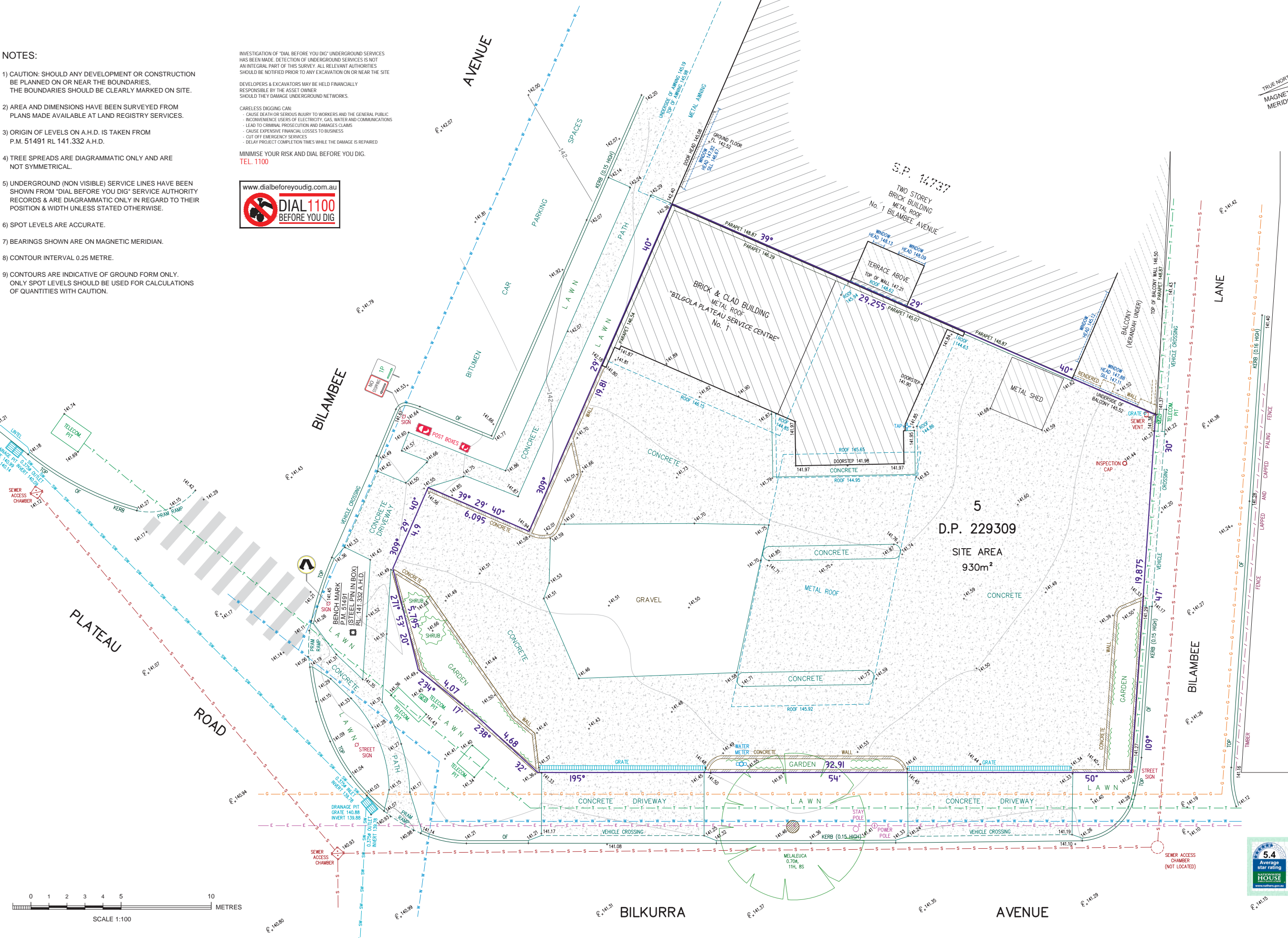
9) CONTOURS ARE INDICATIVE OF GROUND FORM ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.

INVESTIGATION OF "DIAL BEFORE YOU DIG" UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THIS SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN:  
- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC  
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS  
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS  
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS  
- CUT OFF EMERGENCY SERVICES  
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.  
TEL 1100



**Bee & Lethbridge Pty Ltd**  
Suite 2, 14 Starkey Street,  
PO Box. 330, Forestville, NSW 2087  
Phone: 9451 6757 Fax: 9975 3535  
Email: survey@beeeth.com.au  
ABN: 13 003 194 447  
www.beeeth.com.au

**LEGEND**

TREE 0.10m SW 45  
DENOTES APPROX. 0.10m DIAMETER OF TREE  
DENOTES APPROX. 5m HEIGHT OF TREE  
DENOTES APPROX. 4m SPREAD OF TREE

GUTTER TOW  
DENOTES CENTRE LINE OF ROAD  
DENOTES TOP OF GUTTER  
DENOTES TOP OF WALL

OVERHEAD ELECTRIC LINES  
BOARDS SEWER  
TELECOMMUNICATION LINES  
WATER LINES  
GAS LINES  
STORMWATER LINES

*Warren Bee*  
WARREN L. BEE  
REGISTERED SURVEYOR N.S.W.  
IDENTIFICATION No. 448

PLAN SHOWING BOUNDARIES, RELATIVE HEIGHTS & PHYSICAL FEATURES OVER LOT 5 IN D.P. 229309 KNOWN AS No. 1 BILAMBEE LANE, BILGOLA PLATEAU.

L.G.A.: NORTHERN BEACHES

CLIENT	DREAMBUILD			REF No.	21601
PROPERTY	No. 1 BILAMBEE LANE, BILGOLA PLATEAU			SHEET No.	1 of 1
DATUM	A.H.D.	SCALE	1:100 @ A1	DATE	11/03/2020
SURVEYED	W.B./S.P.	DRAWN	R.M.	DWG No.	21601
				REV No.	00







TWO STOREY BRICK BUILDING  
METAL ROOF

NEIGHBOURING ROOF  
AHD 148.620

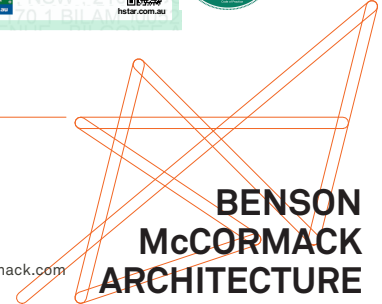


**BILAMBE LANE**

PROPOSED ADDITIONAL 1x ON-STREET  
90° CAR PARKING SPACES,  
WITH UPGRADES TO PUBLIC FOOTPATH AND KERB

LOADING BAY  
AND LOADING BAY,

**BILKURRA AVENUE**



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BILAMBEE AVENUE

No. 1 BILAMBEE AVENUE  
SP 14737

TWO STOREY BRICK BUILDING  
METAL ROOF

BILAMBEE LANE

BILKURRA AVENUE

EXTENT OF EXCAVATION SHOWN IN RED HATCH

EXCAVATION AREA : 922.5m<sup>2</sup>  
EXCAVATION DEPTH : APPROX. 6.5m  
EXCAVATION VOLUME : APPROX. 5,996.25m<sup>3</sup>



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Rev	Date	Description
A	May 20	Pre-DA
B	Sep 20	DA

LEGEND

A/C	Air Conditioning Unit
ACC	Accessible
ADP	Adaptable
AHD	Aust. Height Datum
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DP	Down Pipe
DW	Dishwasher
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FS	Fire Stairs
FSR	Floor Space Ratio
GBA	Gross Building Area

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MC	Motorcycle Parking
MSB	Main Switch Board
NGL	Natural Ground Level
OSD	Onsite Detention Tank
P	Pantry

POS	Private Open Space
R	Robe
RWT	Rainwater Tank
SCR	Screen
SW	Sewer
ST	Storage
SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

CLIENT	DREAM BUILD 6/37A King Road Hornsby NSW 2077  +61 2 9482 3511 www.dreambuild.com.au
PROJECT DETAILS	1 BIL 1 Bilambree Avenue Bilgola Plateau NSW 2107
DRAWING TITLE	BULK EXCAVATION PLAN

SCALE	1:200
STATUS	CONCEPT
PROJECT No	2012A

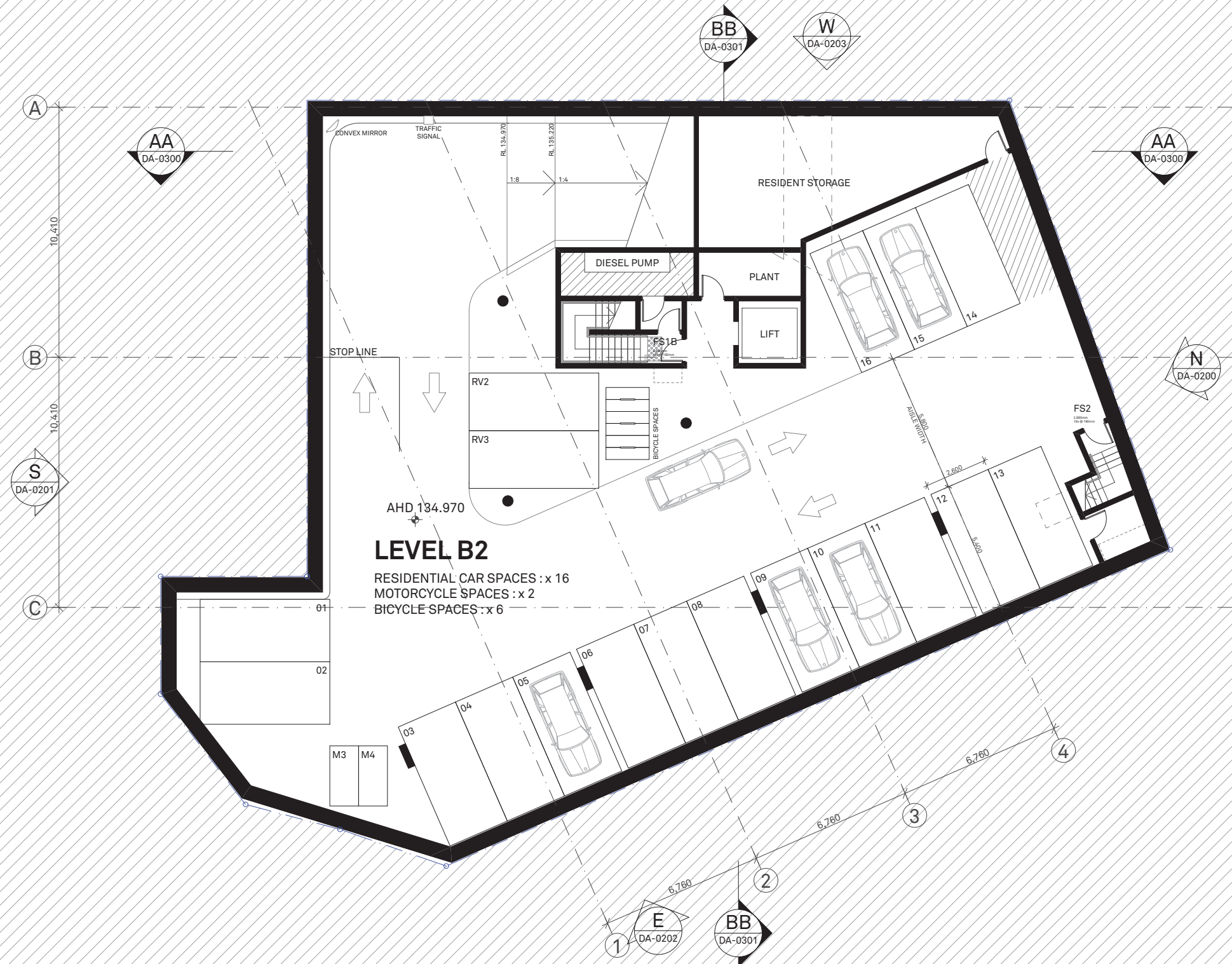
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CHECKED	JSN
DRAWING No	DA-0013

NORTH	REV
	B

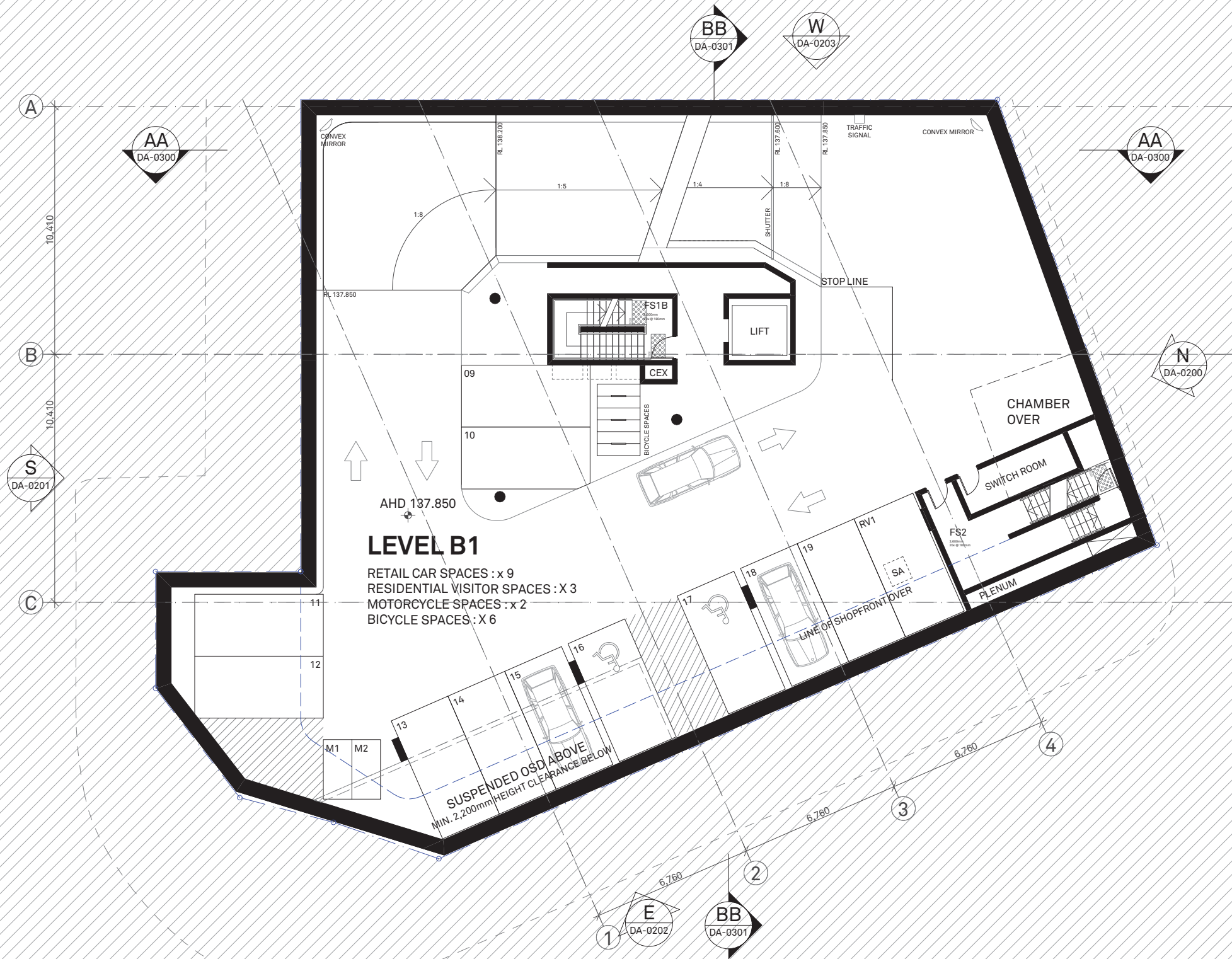
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PROJECT DETAILS  
**1 BIL**  
1 Bilambee Avenue  
Bilgola Plateau  
NSW 2107

DRAWING TITLE  
GENERAL  
ARRANGEMENT -  
LEVEL B1 PLAN

SCALE  
**1:200**  
  
STATUS  
**CONCEPT**  
  
PROJECT No  
**2012A**

APPROVED  
**DB**  
  
**CHECKED**  
  
**JSN**  
  
DRAWING No  
**DA-0101**

NORTH  
  
  
REV  
**B**

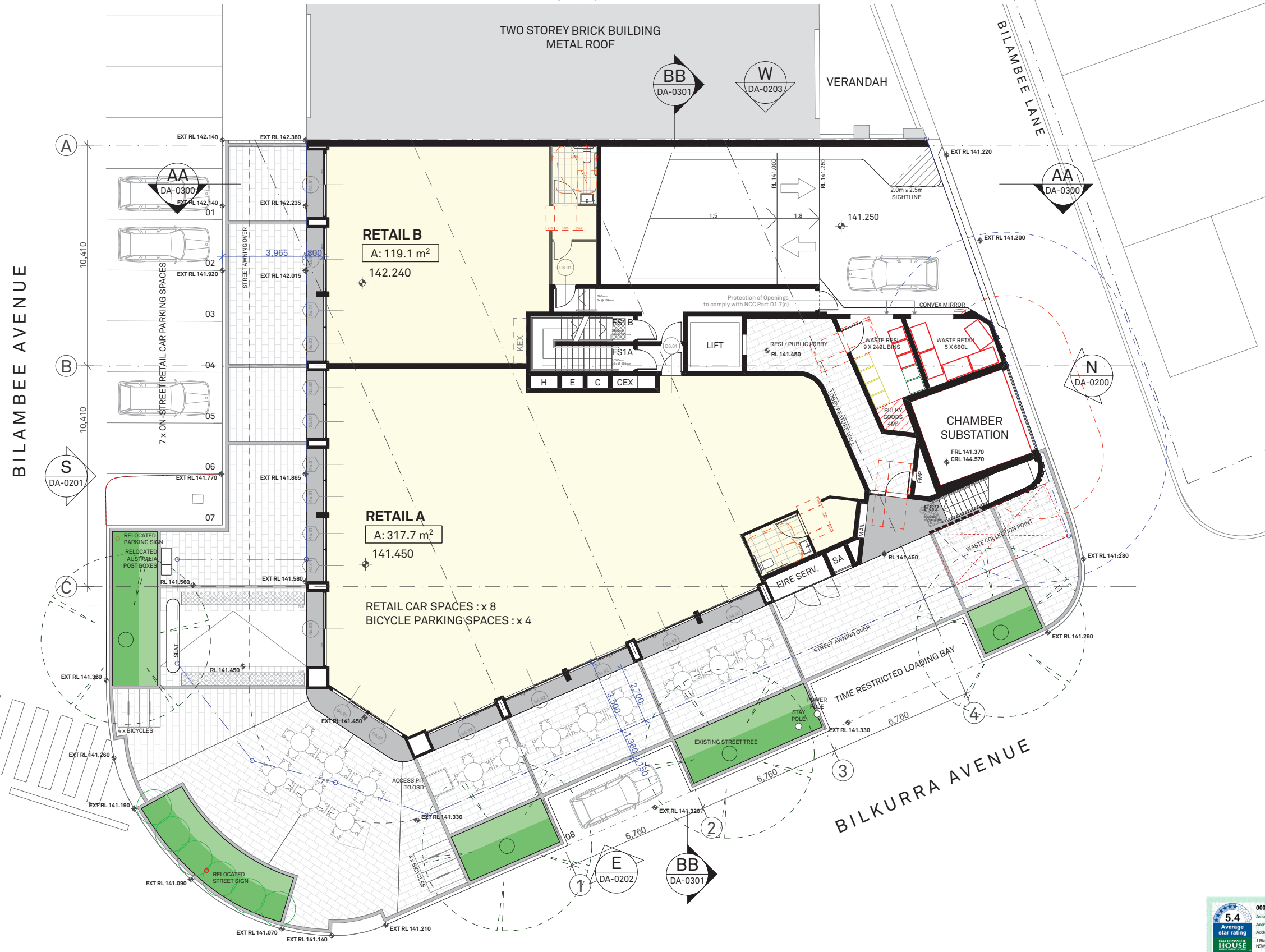
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## BILAMBEE AVENUE



Rev	Date	Description
A	May 20	Pre-DA
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LEGEND		POS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
A/C	Air Conditioning Unit	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
AD	Accessible	D	Dining	GBC	Garbage Exhaust	RWT	Rainwater Tank
APP	Apparatus	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
AHD	Aust. Height Datum	DW	Down Pipe	GM	Gas Meter	SEW	Sewer
B	Basement	DW	Dishwasher	H	Hydraulic Services	ST	Storage
BAL	Balustrade	F	Fridge	L	Laundry	SD	Study
BALC	Balcony	FEX	Fire Extinguisher	M	Meter room	STP	Stormwater Pit
BED	Bedroom	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
BT	Bathroom	FN	Fence	MSB	Main Switch Board	STF	Structural floor level
C	Column	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
COMM	Comms Room	FSR	Fire Spread Ratio	OTD	Onsite Detention Tank	TOP	Top of Floor
		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

**PROJECT DETAILS**  
**1 BIL**  
1 Bilambee Avenue  
Bilgola Plateau  
NSW 2107

**DRAWING TITLE**  
GENERAL  
ARRANGEMENT -  
GROUND FLOOR

SCALE  
1:200  
STATUS  
CONCEPT  
PROJECT No  
2012A

APPROVED NORTH  
DB  
CHECKED  
JSN  
DRAWING No REV  
DA-0102 B

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**BENSON  
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ARCHITECTURE**



**No. 1 BILAMBÉE AVENUE**  
SP 14737

TWO STOREY BRICK BUILDING  
METAL ROOF

BALCONY

**UNIT 101**  
A: 105.6 m<sup>2</sup>

**UNIT 102**  
A: 111.1 m<sup>2</sup>

**UNIT 103**  
A: 95.9 m<sup>2</sup>

**UNIT 104**  
A: 131.0 m<sup>2</sup>

**UNIT 105**  
A: 96.4 m<sup>2</sup>

STREETAWNING

STREET AWNING

BILAMBÉE AVENUE

BILAMBÉE LANE

BILKURRA AVENUE

AA DA-0300

BB DA-0301

W DA-0203

AA DA-0300

N DA-0200

S DA-0201

1 DA-0202

2 DA-0301

3

4

5.4 Average star rating

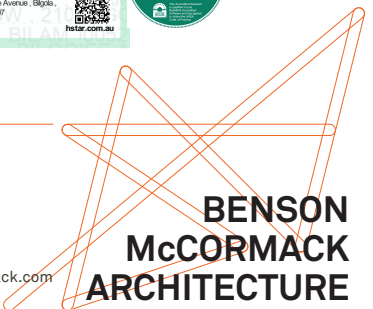
0005237170 24 Sep 2017

Assessor: [Name]

Accreditation No: [Number]

Address: 1 Bilambée Avenue, Bilkurra, NSW, 2107

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No. 1 BILAMBEE AVENUE  
SP 14737

TWO STOREY BRICK BUILDING  
METAL ROOF



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STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

CLIENT	DREAM BUILD 6/37A King Road Hornsby NSW 2077  +61 2 9482 3511 www.dreambuild.com.au
PROJECT DETAILS	1 BIL 1 Bilambée Avenue Bilgola Plateau NSW 2107
DRAWING TITLE	GENERAL ARRANGEMENT - LEVEL 2 PLAN

SCALE	1:200
STATUS	CONCEPT
PROJECT No	2012A

APPROVED	DB
CHECKED	JSN
DRAWING No	DA-0104

NORTH	REV
	B

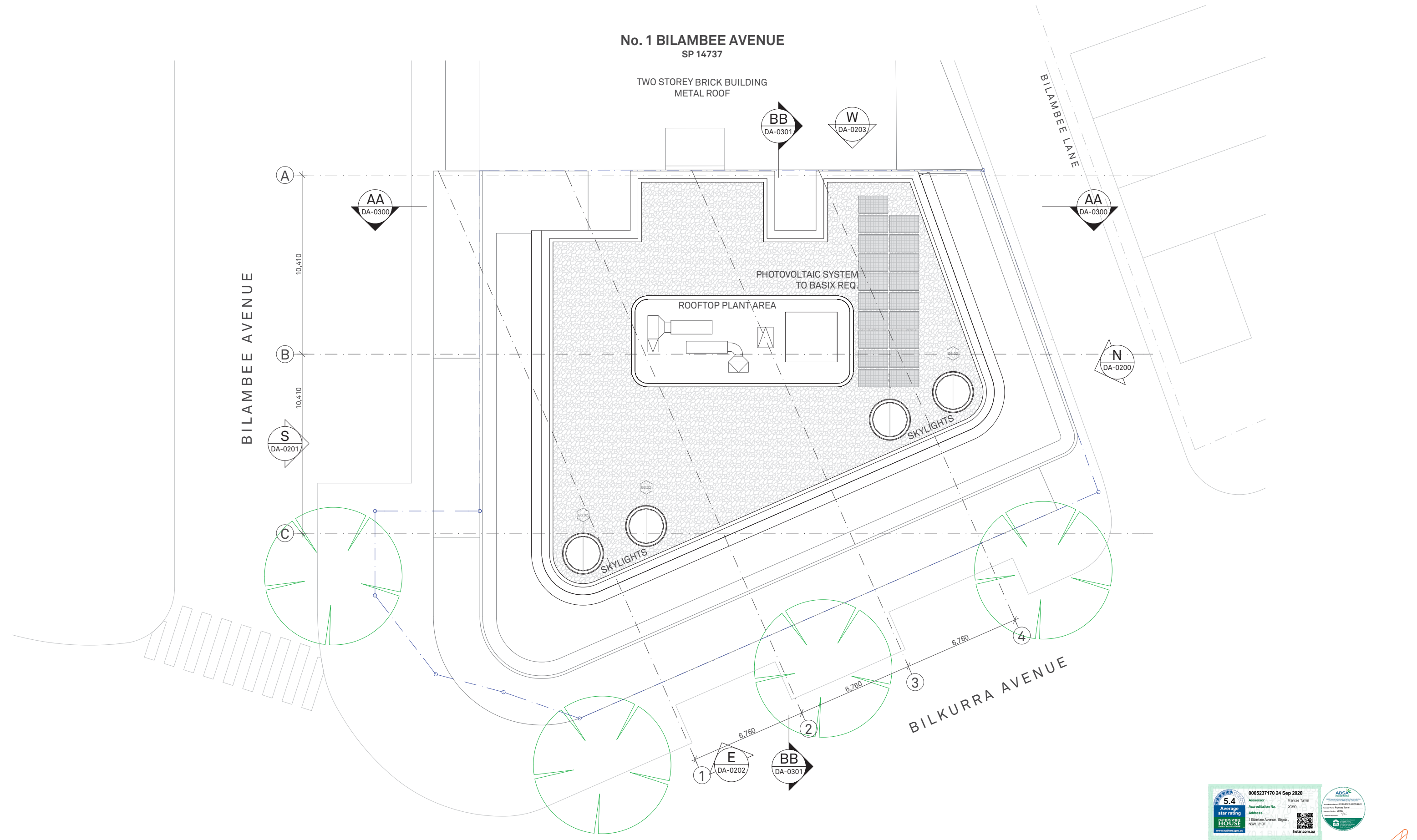
STUDIO 5, 505 BALMAIN RD LILYFIELD NSW 2040 ABN: 76 129 130 285 RN: 7536
P. +61 2 9818 0777 F. +61 2 9818 0778 E. enquiries@bensonmccormack.com W. www.bensonmccack.com

5.4 Average star rating	0005237170 24 Sep 2020	Assessor Accreditation No. Address
5.4 Average star rating	20099	Frances Turley 1 Bilambée Avenue, Bilgola, NSW 2107

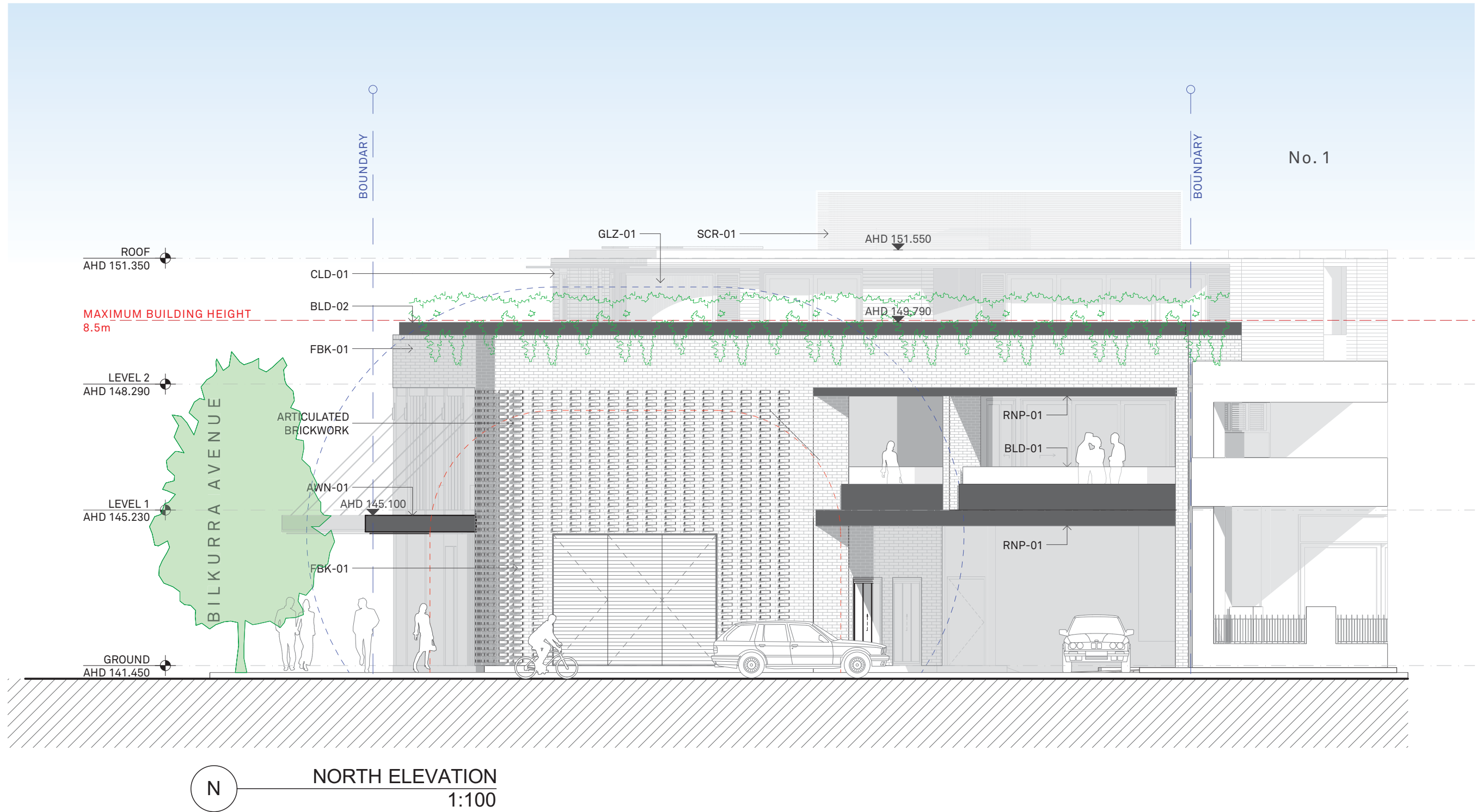
5.4 Average star rating	0005237170 24 Sep 2020	Assessor Accreditation No. Address
5.4 Average star rating	20099	Frances Turley 1 Bilambée Avenue, Bilgola, NSW 2107

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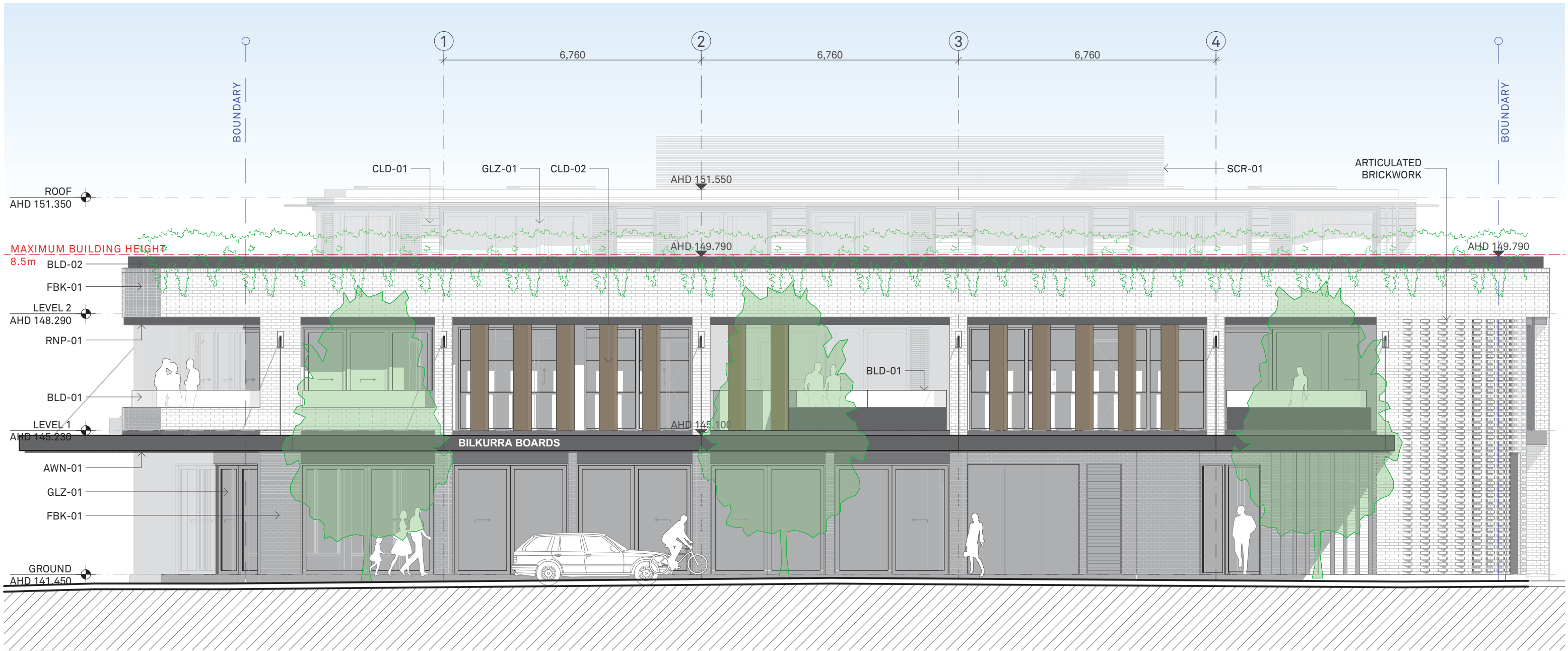






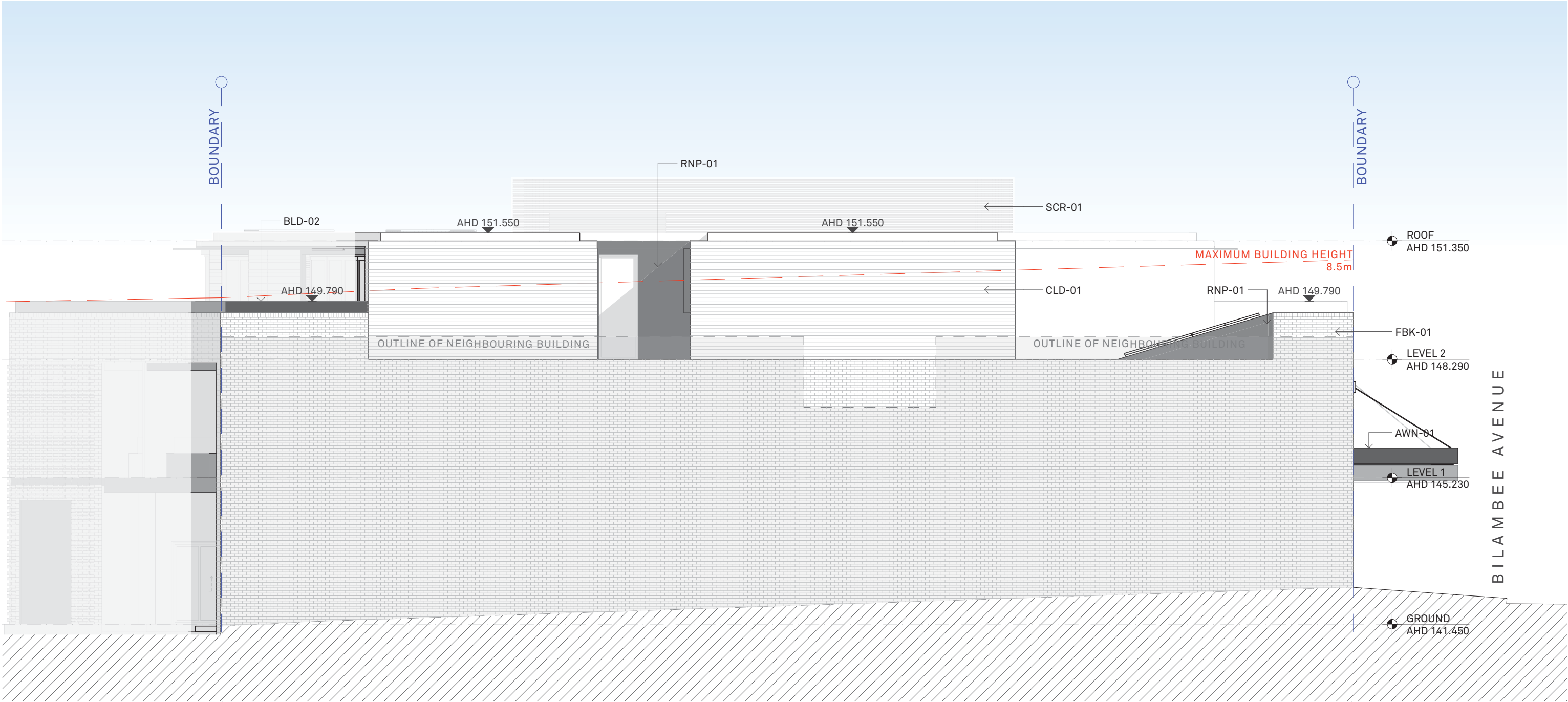
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F. + 61 2 9818 0778  
E. [enquiries@bensonmccormack.com](mailto:enquiries@bensonmccormack.com)  
W. [www.bensonmccormack.com](http://www.bensonmccormack.com)





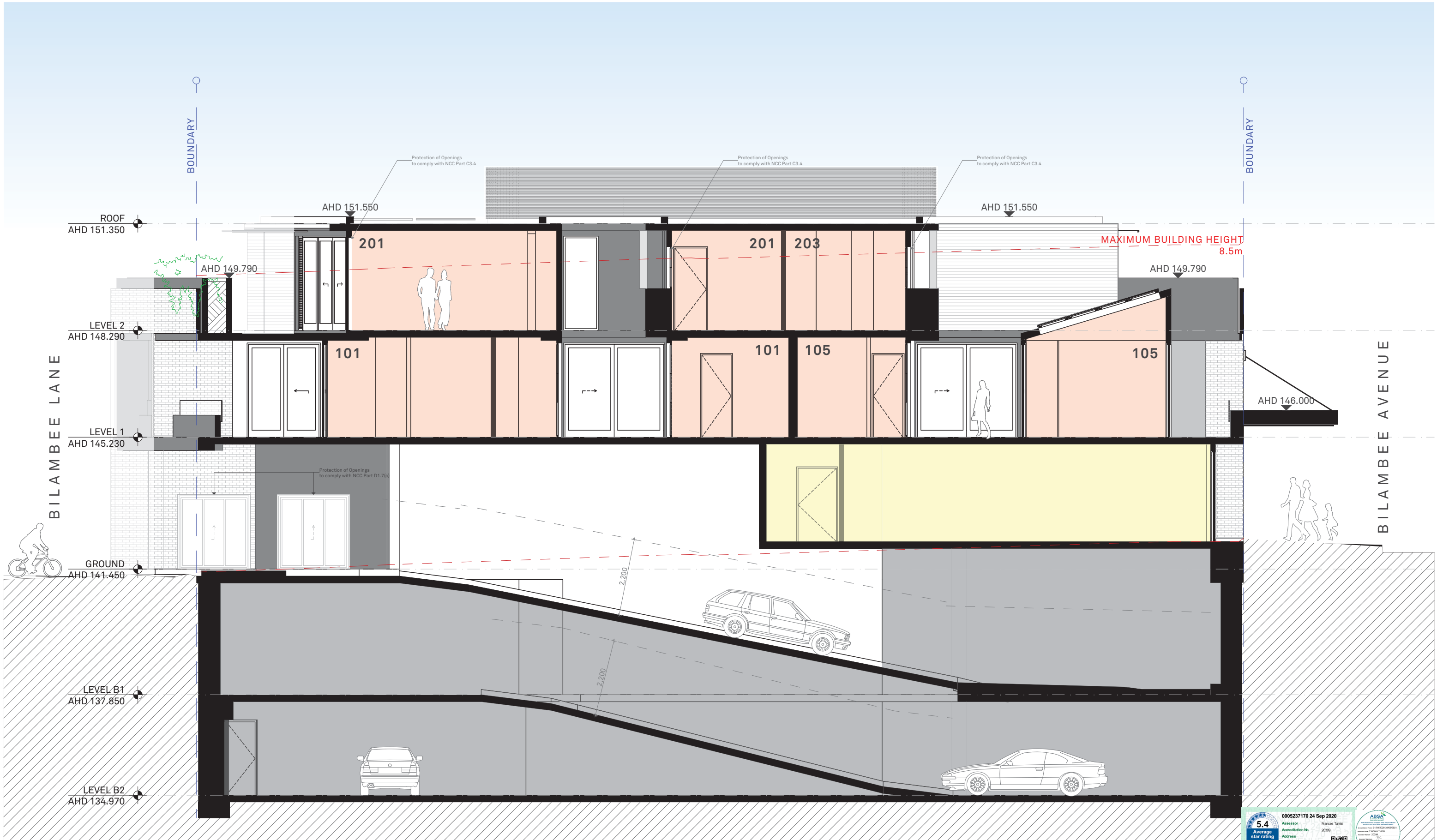
E EAST ELEVATION  
1:100





W WEST ELEVATION  
1:100





AA  
SECTION AA  
1:100

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Rev	Date	Description	LEGEND	COS	Communal Open Space	GBR	Garbage Room	POS	Private Open Space	CLIENT	PROJECT DETAILS	DRAWING TITLE	SCALE	APPROVED	NORTH	STUDIO 5, 505 BALMAIN RD LILYFIELD NSW 2040 ABN: 76 129 130 285 RN: 7536
A	May 20	Pre-DA	A/C	CEX	Dining	GBR	Garbage Room	R	Robe	DREAM BUILD	1 BIL	SECTIONS - SECTION	1:100	DB		
B	Sep 20	DA	ACC	DRY	Dryer	GBX	Garbage Exhaust	RWT	Rainwater Tank	6/37A King Road	1 Bilambee Avenue	AA	STATUS	CHECKED		
			ADP	DP	Down Pipe	GM	Gas Meter	SCR	Screen	Hornsby NSW 2077	Bilgola Plateau		CONCEPT	JSN		
			AHD	DW	Dishwasher	H	Hydraulic Services	ST	Storage	+61 2 9482 3511	NSW 2107		PROJECT No	DRAWING No	REV	E. enquiries@bensonmccormack.com
			B	F	Fridge	LY	Laundry	SD	Study	www.dreambuild.com.au			2012A	DA-0300	B	W. www.bensonmccormack.com
			BAL	FEX	Fire Extinguisher	MC	Motorcycle Parking	STW	Stormwater Pit							
			BALC	FFL	Finish floor level	MSB	Main Switch Board	SFL	Stormwater							
			BED	FN	Fence	NGL	Natural Ground Level	STW	Structural floor level							
			BT	FS	Fire Stairs	OSD	Onsite Detention Tank	TOF	Top of Fence							
			COL	FSR	Floor Space Ratio	P	Pantry	TOW	Top of Wall							
			COMM	GBA	Gross Building Area			VIS	Visitor Parking							

0005237170 24 Sep 2020

5.4 Average star rating

Assessor: Frances Turner

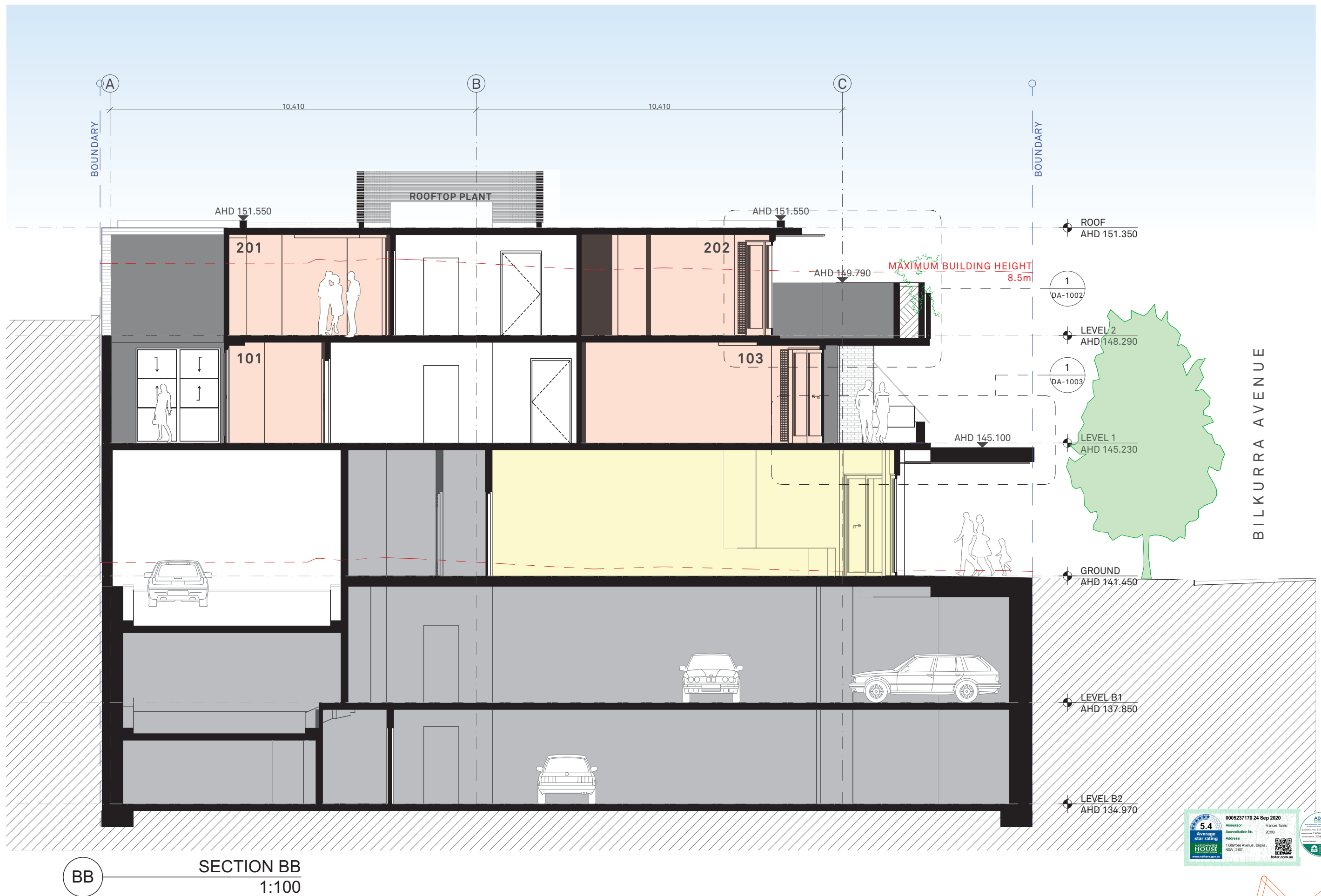
Accreditation No: 20099

Address: 1 Bilambee Avenue, Bilgola, NSW 2107

ABSA

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www.1100.com.au

Rev	Date	Description
A	May 20	Pre-DA
B	Sep 20	DA

LEGEND	COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
A/C	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
ACC	DRY	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
ADP	DP	Dryer	GFA	Gross Floor Area	SCR	Screen
AHD	DW	Down Pipe	GM	Gas Meter	SW	Sewer
B	F	Dishwasher	H	Hydraulic Services	ST	Storage
BAL	FEX	Fridge	LY	Laundry	SD	Study
BALC	FFL	Fire Extinguisher	MC	Meter Room	STP	Stormwater Pit
BED	FN	Finish floor level	MSB	Motorcycle Parking	STW	Stormwater
BT	FS	Fence	NGL	Main Switch Board	SFL	Structural floor level
COL	FSR	Fire Stairs	OSD	Natural Ground Level	TOF	Top of Fence
COMM	GBA	Floor Space Ratio	P	Onsite Detention Tank	TOW	Top of Wall
		Gross Building Area		Pantry	VIS	Visitor Parking

**CLIENT**  
**DREAM BUILD**  
6/37A King Road  
Hornsby NSW 2077  
  
+61 2 9482 3511  
www.dreambuild.com.au

**PROJECT DETAILS**  
**1 BIL**  
1 Bilambee Avenue  
Bilgola Plateau  
NSW 2107

**DRAWING TITLE**  
SECTIONS - SECTION  
BB

**SCALE**  
1:100  
**STATUS**  
CONCEPT  
**PROJECT No**  
2012A

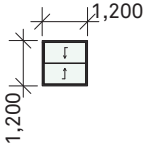
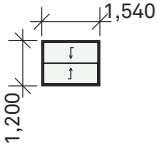
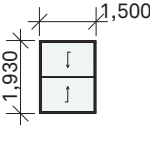
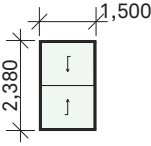
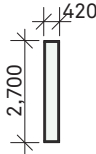
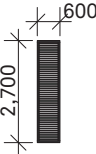
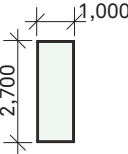
**APPROVED**  
DB  
**CHECKED**  
JSN  
**DRAWING No**  
DA-0301  
**REV**  
B

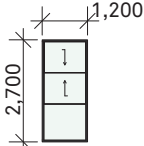
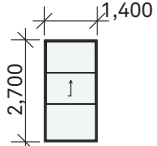
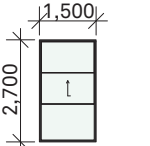
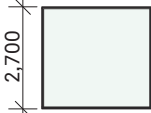

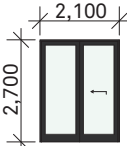
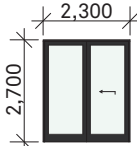
**NORTH**  
  
**STUDIO 5, 505 BALMAIN RD**  
LILYFIELD NSW 2040  
ABN: 76 129 130 285  
RN: 7536  
  
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F. +61 2 9818 0778  
E. enquiries@bensonmccormack.com  
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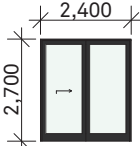
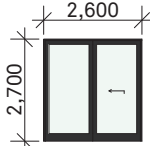
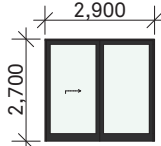
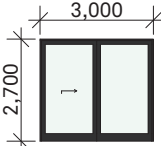
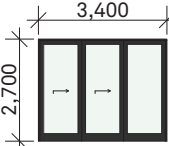
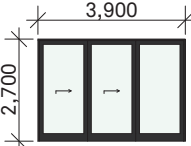
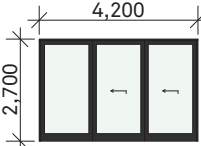


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**McCORMACK**  
**ARCHITECTURE**



ELEVATION							
ID	G2.01	G2.02	G2.05	G2.06	G2.10	G2.11	G2.12
W x H SIZE	1,200x1,200	1,540x1,200	1,500x1,930	1,500x2,380	420x2,700	600x2,700	1,000x2,700
DESCRIPTION	SASHLESS, DOUBLE HUNG WITH POWDERCOATED ALUMINIUM FRAME	SASHLESS, DOUBLE HUNG WITH POWDERCOATED ALUMINIUM FRAME	SASHLESS, DOUBLE HUNG WITH POWDERCOATED ALUMINIUM FRAME	SASHLESS, DOUBLE HUNG WITH POWDERCOATED ALUMINIUM FRAME	FIXED GLAZING IN POWDERCOATED ALUMINIUM FRAME	LOUVRED GLAZING IN POWDERCOATED ALUMINIUM FRAME	FIXED GLAZING IN POWDERCOATED ALUMINIUM FRAME
NOTES	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING
QTY	2	2	2	6	2	14	1

ELEVATION							
ID	G2.13	G2.14	G2.15	G2.16	G2.17	G2.51	G2.52
W x H SIZE	1,200x2,700	1,400x2,700	1,500x2,700	2,700 H	2,700 H	2,100x2,700	2,300x2,700
DESCRIPTION	SASHLESS, DOUBLE HUNG WITH FIXED LOWER TRANSOM, IN POWDERCOATED ALUMINIUM FRAME	SASHLESS, DOUBLE HUNG WITH FIXED LOWER TRANSOM, IN POWDERCOATED ALUMINIUM FRAME	SASHLESS, DOUBLE HUNG WITH FIXED LOWER TRANSOM, IN POWDERCOATED ALUMINIUM FRAME	FIXED, CURVED GLAZING IN POWDERCOATED ALUMINIUM FRAME	FIXED, CURVED GLAZING IN POWDERCOATED ALUMINIUM FRAME	SLIDING, DOUBLE LEAF IN POWDERCOATED ALUMINIUM FRAME	SLIDING, DOUBLE LEAF IN POWDERCOATED ALUMINIUM FRAME
NOTES	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING
QTY	7	2	6	1	1	1	3

ELEVATION							
ID	G2.53	G2.54	G2.55	G2.56	G2.57	G2.58	G2.59
W x H SIZE	2,400x2,700	2,600x2,700	2,900x2,700	3,000x2,700	3,400x2,700	3,900x2,700	4,200x2,700
DESCRIPTION	SLIDING, DOUBLE LEAF IN POWDERCOATED ALUMINIUM FRAME	SLIDING, DOUBLE LEAF IN POWDERCOATED ALUMINIUM FRAME	SLIDING, DOUBLE LEAF IN POWDERCOATED ALUMINIUM FRAME	SLIDING, DOUBLE LEAF IN POWDERCOATED ALUMINIUM FRAME	SLIDING, TRIPLE LEAF IN POWDERCOATED ALUMINIUM FRAME	SLIDING, TRIPLE LEAF IN POWDERCOATED ALUMINIUM FRAME	SLIDING, TRIPLE LEAF IN POWDERCOATED ALUMINIUM FRAME
NOTES	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING
QTY	3	1	5	2	3	2	1

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Rev	Date	Description
A	May 20	Pre-DA
B	Sep 20	DA

LEGEND

A/C	Air Conditioning Unit
ACC	Accessible
ADP	Adaptable
AHD	Aust. Height Datum
B	Basement
BAL	Balustrade
BALC	Balcony
BED	Bedroom
BT	Bathroom
COL	Column
COMM	Comms Room

COS	Communal Open Space
CEX	Carpark Exhaust
D	Dining
DRY	Dryer
DP	Down Pipe
DW	Dishwasher
F	Fridge
FEX	Fire Extinguisher
FFL	Finish floor level
FN	Fence
FS	Fire Stairs
FSR	Floor Space Ratio
GBA	Gross Building Area

GBC	Garbage Chute
GBR	Garbage Room
GBX	Garbage Exhaust
GFA	Gross Floor Area
GM	Gas Meter
H	Hydraulic Services
LY	Laundry
M	Meter Room
MC	Motorcycle Parking
MSB	Main Switch Board
NGL	Natural Ground Level
OSD	Onsite Detention Tank
P	Pantry

POS	Private Open Space
R	Robe
RWT	Rainwater Tank
SCR	Screen
SW	Sewer
ST	Storage
SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

CLIENT

DREAM BUILD  
6/37A King Road  
Hornsby NSW 2077

+61 2 9482 3511  
www.dreambuild.com.au

PROJECT DETAILS

1 BIL  
1 Bilambee Avenue  
Bilgola Plateau  
NSW 2107

DRAWING TITLE

GLAZING SCHEDULE  
1/2

SCALE

STATUS  
CONCEPT  
PROJECT No  
2012A

APPROVED

DB  
CHECKED  
JSN  
DRAWING No  
DA-0910

NORTH

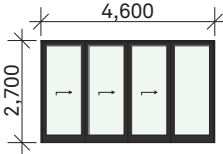
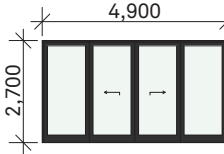
REV  
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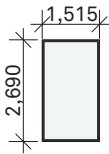
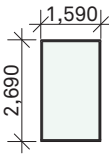
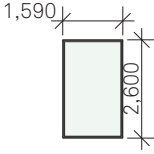
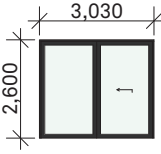
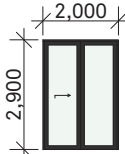
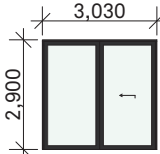
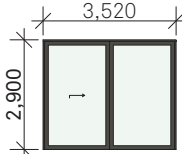
STUDIO 5, 505 BALMAIN RD  
LILYFIELD NSW 2040  
ABN: 76 129 130 285  
RN: 7536  
P. + 61 2 9818 0777  
F. + 61 2 9818 0778  
E. enquiries@bensonmccormack.com  
W. www.bensonmccack.com

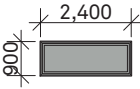
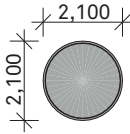


BENSON  
McCORMACK  
ARCHITECTURE



ELEVATION		
ID	G2.60	G2.61
W x H SIZE	4,600x2,700	4,900x2,700
DESCRIPTION	SLIDING, TRIPLE LEAF IN POWDERCOATED ALUMINIUM FRAME	SLIDING, TRIPLE LEAF IN POWDERCOATED ALUMINIUM FRAME
NOTES	CLEAR GLAZING	CLEAR GLAZING
QTY	2	1

ELEVATION							
ID	G4.01	G4.02	G4.02	G4.51	G4.91	G4.92	G4.93
W x H SIZE	1,515x2,690	1,590x2,690	1,590x2,600	3,030x2,600	2,000x2,900	3,030x2,900	2,400x900i0
DESCRIPTION	FIXED GLAZING IN POWDERCOATED ALUMINIUM FRAME	FIXED GLAZING IN POWDERCOATED ALUMINIUM FRAME	FIXED GLAZING IN POWDERCOATED ALUMINIUM FRAME	SLIDING, DOUBLE LEAF IN POWDERCOATED ALUMINIUM FRAME	SLIDING, DOUBLE LEAF IN POWDERCOATED ALUMINIUM FRAME	SLIDING, DOUBLE LEAF IN POWDERCOATED ALUMINIUM FRAME	SLIDING, DOUBLE LEAF IN POWDERCOATED ALUMINIUM FRAME
NOTES	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING	CLEAR GLAZING
QTY	4	2	2	2	2	4	2

ELEVATION		
ID	G6.01	G6.02
W x H SIZE	R 1,050	---
DESCRIPTION	FIXED GLAZING IN POWDERCOATED ALUMINIUM FRAME	FIXED GLAZING IN POWDERCOATED ALUMINIUM FRAME
NOTES	CLEAR GLAZING	
QTY	4	4

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Rev	Date	Description
A	May 20	Pre-DA
B	Sep 20	DA

LEGEND

A/C	Air Conditioning Unit
ACC	Accessible
ADP	Adaptable
AHD	Aust. Height Datum
B	Basement
BAL	Balustrade
BALC	Balcony
BED	Bedroom
BT	Bathroom
COL	Column
COMM	Comms Room

COS	Communal Open Space
CEX	Carpark Exhaust
D	Dining
DRY	Dryer
DP	Down Pipe
DW	Dishwasher
F	Fridge
FEX	Fire Extinguisher
FFL	Finish floor level
FN	Fence
FS	Fire Stairs
FSR	Fire Space Ratio
GBA	Gross Building Area

GBC	Garbage Chute
GBR	Garbage Room
GBX	Garbage Exhaust
GFA	Gross Floor Area
GM	Gas Meter
H	Hydraulic Services
LY	Laundry
M	Meter Room
MC	Motorcycle Parking
MSB	Main Switch Board
NGL	Natural Ground Level
OSD	Onsite Detention Tank
P	Pantry

POS	Private Open Space
R	Robe
RWT	Rainwater Tank
SCR	Screen
SW	Sewer
ST	Storage
SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

CLIENT  
**DREAM BUILD**  
6/37A King Road  
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PROJECT DETAILS  
**1 BIL**  
1 Bilambee Avenue  
Bilgola Plateau  
NSW 2107

DRAWING TITLE  
GLAZING SCHEDULE  
2/2

SCALE  
  
STATUS  
**CONCEPT**  
PROJECT No  
**2012A**

APPROVED  
**DB**  
**CHECKED**  
**JSN**  
DRAWING No  
**DA-0911**

NORTH  
  
REV  
**B**

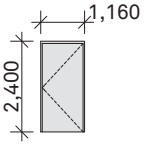
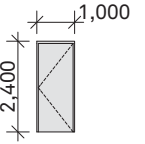
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ID	D4.02	D6.01
QUANTITY	8	5
LOCATION	APARTMENT ENTRY (FROM INTERNAL CORRIDOR)	TENANCY ENTRY (FROM INTERNAL CORRIDOR)
DESCRIPTION	HINGED, SINGLE DOOR. PEEP HOLE REQUIRED.	HINGED, SINGLE DOOR.
FIRE RATING	-/60/30	-/60/30
ACOUSTIC RATING		
STRUCTURAL OPENING SIZE	1,160×2,400	1,000×2,400
DOOR LEAF		
a. NOMINAL SIZE [W x H]	1,080×2,340	920×2,340
b. THICKNESS [mm]	45	45
c. GRADE	SOLID CORE	SOLID CORE
d. FINISH	PAINT	PAINT
e. TYPE	INTERNAL	INTERNAL
DOOR HANGING	REFER TO PLANS	REFER TO PLANS
FRAME		
a. TYPE	STEEL SINGLE REBATE FRAME. HINGE RECESS IN FRAME	STEEL SINGLE REBATE FRAME. HINGE RECESS IN FRAME
b. FINISH	PAINT	PAINT
HARDWARE		
a. TYPE	MORTICE STYLE LOCKSET WITH LEVER SET. ALWAYS FREE FROM INSIDE UNIT FOR EGRESS . ALWAYS REQUIRE A KEY TO OPERATE FROM OUTSIDE	MORTICE STYLE LOCKSET WITH LEVER SET. ALWAYS FREE FROM INSIDE UNIT FOR EGRESS . ALWAYS REQUIRE A KEY TO OPERATE FROM OUTSIDE
b. FINISH	STAINLESS STEEL	STAINLESS STEEL
STATUTORY REQUIREMEN...	BCA FIRE REPORT AS4299 AND AS1428.1 FOR ADAPTABLE	BCA FIRE REPORT AS4299 AND AS1428.1 FOR ADAPTABLE
SIGNAGE	ID	ID
COMMENT	DOOR SEALING SYSTEM AS REQUIRED IN FIRE REPORT. FIRE RATED THRESHOLD. DOOR STOP REQUIRED.	DOOR SEALING SYSTEM AS REQUIRED IN FIRE REPORT. FIRE RATED THRESHOLD. DOOR STOP REQUIRED.

The following assumptions have been used in the thermal and BASiX assessment. Should the following not be complied with a reassessment may be required.					
Window	Glass	Frame	U value	SHG C	Detail
Default	Double glazed low solar low-e	Thermally broken aluminium	3.10	0.27	To all other glazing in Unit 202 (excluding G2.11), Unit 203 – G2.58
Default	Double glazed	Aluminium	4.80	0.59	To all glazing in Unit 101
Default	Double glazed low solar low-e	Aluminium	4.90	0.33	To all glazing in Unit 105, all other glazing in Unit 203 (excluding G2.58 and G2.11)
Default	Single glazed high solar low-e	Aluminium	5.40	0.58	To Unit 102 – G2.13, G2.15 x 4 and G2.59, Unit 104 – to all glazing
Default	Single glazed low solar low-e	Aluminium	5.60	0.41	To all glazing in Unit 201 and all G2.11 glazing in all other units
Default	Single clear	Aluminium	6.70	0.70	To all glazing in Unit 103
Skylight	Single clear	Aluminium	2.60	0.24	Skylights to be 100% shaded
Window and skylight U and SHGC values, if specified, are according to NFRC 100. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above. Windows have been assessed as complying with AS2047.					
External walls	Insulat	Colour – solar abs.	Detail		
Brick veneer	R2.5	Light SA <0.475	As per drawings		
Fibre cement cladding	R2.0	Light SA <0.475	As per drawings		
Internal	Insulation	Detail			
Plasterboard on stud	Nil	To internal unit			
HEBEL 1169/75mm Hebel	50mm Glass batts	To walls to corridor/lobby			
HEBEL 1073/75mm Hebel	75mm Glass batts	To intertenancy walls			
Floors	Construction	Insulat	Covering	Detail	
200mm concrete	R2.5	Default	To floor of Unit 101 and Unit 102		
200mm concrete	Nil	Ceramic tiles			To all floors of Units 202 and 203
200mm concrete	Nil	Default			To all other floors
Ceilings	Insulat	Detail			
Plasterboard	See detail	R3.5 to all ceiling under roof or balcony of Units 103, 104 and 105			
Roof	Insulat	Colour – solar abs.	Detail		
200mm concrete	R3.5 to top	Dark SA >0.70	R3.5 insulation to top of roof of Units 201, 202 and 203		
Lighting					
Downlights with ceiling penetration have been included at default rate of 4/10m². All downlights included as Being LED sealed to allow insulation to be abutted to fitting.					
Exhaust fans					
Exhaust fans have been included to kitchen, bathroom and laundry and have been included as being sealed.					
Water requirements					
3 (>6L/min but =<7.5L/min) rated showerheads, 4 star rated toilets and 4 star rated bathroom taps and 4 star rated kitchen taps. A 2-star water efficiency rated clothes washer to each unit.					
Hot Water System					
An individual gas instantaneous hot water system with a 5.5 star energy rating has been included to each unit.					
Insulation AS/NZS 4859.2					
The effects of thermal bridging on insulation to be taken into account in accordance with AS/NZS 4859.2					

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Rev	Date	Description
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B	Sep 20	DA

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ACC	DRY	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
ADP	DP	Dryer	GM	Gross Floor Area	SCR	Screen
AHD	DW	Down Pipe	H	Gas Meter	SW	Sewer
B	F	Dishwasher	LY	Hydraulic Services	ST	Storage
BAL	FEX	Fridge	M	Laundry	SD	Study
BALC	FFL	Fire Extinguisher	MC	Meter Room	STP	Stormwater Pit
BED	FN	Finish floor level	MSB	Motorcycle Parking	STW	Stormwater
BT	FS	Fence	NGL	Main Switch Board	SFL	Structural floor level
COL	FSR	Fire Stairs	OSD	Natural Ground Level	TOF	Top of Fence
COMM	GBA	Floor Space Ratio	P	Onsite Detention Tank	TOW	Top of Wall
		Gross Building Area		Pantry	VIS	Visitor Parking

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PROJECT DETAILS  
**1 BIL**  
1 Bilambee Avenue  
Bilgola Plateau  
NSW 2107

DRAWING TITLE  
DOOR SCHEDULE

SCALE	APPROVED	NORTH
STATUS	DB	
CONCEPT	CHECKED	
PROJECT No	JSN	
2012A	DRAWING No	REV
	DA-0921	B

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**AWN-01 - AWNING TYPE 01**  
FOLDED SHEET ALUMINIUM CLAD AWNING,  
POWDERCOATED FINISH SIM/EQ TO DULUX POWDERCOAT 'MONUMENT'



**BLD-01 - BALUSTRADE TYPE 01**  
CLEAR GLAZING BALUSTRADE WITH POWDERCOATED TOP RAIL FIXED TO  
FACE BRICK PLINTH/RENDERED & PAINTED PLINTH (refer to elevation drawings)



**FBK-01 - FACE BRICK TYPE 01**  
SIM / EQ TO PGH BRICKS COASTAL HAMPTONS 'WASHED WHITE'



**BLD-02 - BALUSTRADE TYPE 02**  
SOLID MASONRY BALUSTRADE,  
FINISH SIM/EQ TO RNP-01



**CLD-01 - CLADDING TYPE 01**  
FIBRE CEMENT CLADDING SIM/EQ TO CEMINTEL WEATHERBOARD 'BALMORAL',  
PAINT FINISHED SIM/EQ TO DULUX 'NATURAL WHITE'



**CLD-02 - CLADDING TYPE 02**  
PAINT FINISHED FIBRE CEMENT CLADDING, FINISH SIM/EQ TO DULUX 'JARRAH'



**GLZ-01 - GLAZING TYPE 01**  
CLEAR GLAZING IN ALUMINIUM FRAME,  
FINISH TO FRAME SIM / EQ TO DULUX POWDERCOAT ZEUS 'BLACK MATT'



**GLZ-02 - GLAZING TYPE 02**  
SKYLIGHT WITH TINTED GLAZING IN ALUMINIUM FRAME,  
FINISH TO FRAME SIM / EQ TO DULUX POWDERCOAT ZEUS 'BLACK MATT'



**RNP-01 - RENDER & PAINT TYPE 01**  
PAINT FINISHED CEMENT RENDER,  
FINISH SIM/EQ TO DULUX 'MONUMENT'



**SCR-01 - SCREEN TYPE 01**  
ACOUSTIC LOUVRE SCREENS,  
FINISH SIM/EQ TO DULUX 'NATURAL WHITE'





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ACC	Air Conditioning Unit	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
ADP	Adaptable	DRY	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
AHD	Aust. Height Datum	DP	Dryer	GFA	Gross Floor Area	SCR	Screen
B	Basement	DW	Down Pipe	GM	Gas Meter	SW	Sewer
BAL	Balustrade	F	Fridge	H	Hydraulic Services	ST	Storage
BALC	Balcony	FEX	Fire Extinguisher	LY	Laundry	SD	Study
BED	Bedroom	FFL	Finish floor level	M	Meter Room	STP	Stormwater Pit
BT	Bathroom	FN	Fence	MC	Motorcycle Parking	STW	Stormwater
COL	Column	FS	Fire Stairs	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FSR	Floor Space Ratio	NGL	Natural Ground Level	TOF	Top of Fence
		GBA	Gross Building Area	OSD	Onsite Detention Tank	TOW	Top of Wall
				P	Pantry	VIS	Visitor Parking

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**PROJECT DETAILS**  
**1 BIL**  
1 Bilambee Avenue  
Bilgola Plateau  
NSW 2107

**DRAWING TITLE**  
PHOTOMONTAGE

SCALE	APPROVED	NORTH
	<b>DB</b>	
<b>STATUS</b>	<b>CHECKED</b>	
<b>CONCEPT</b>	<b>JSN</b>	
<b>PROJECT No</b>	<b>DRAWING No</b>	<b>REV</b>
<b>2012A</b>	<b>DA-1000</b>	<b>B</b>



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VIEW FROM BILAMBREE AVENUE



VIEW FROM PLATEAU ROAD ( BILAMBREE & BILKURRA INTERSECTION )

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B	Sep 20	DA

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ADP	Adaptable	DRY	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
AHD	Aust. Height Datum	DP	Down Pipe	GFA	Gross Floor Area	SCR	Screen
B	Basement	DW	Dishwasher	GM	Gas Meter	SW	Sewer
BAL	Balustrade	F	Fridge	H	Hydraulic Services	ST	Storage
BALC	Balcony	FEX	Fire Extinguisher	LY	Laundry	SD	Study
BED	Bedroom	FFL	Finish floor level	M	Meter Room	STP	Stormwater Pit
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COL	Column	FS	Fire Stairs	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FSR	Floor Space Ratio	NGL	Natural Ground Level	TOF	Top of Fence
		GBA	Gross Building Area	OSD	Onsite Detention Tank	TOW	Top of Wall
				P	Pantry	VIS	Visitor Parking

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**PROJECT DETAILS**  
**1 BIL**  
1 Bilambree Avenue  
Bilgola Plateau  
NSW 2107

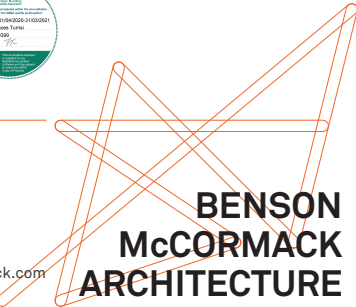
**DRAWING TITLE**  
3D MASSING 1/2

**SCALE**  
  
**STATUS**  
**CONCEPT**  
**PROJECT No**  
**2012A**

**APPROVED**  
**DB**  
**CHECKED**  
**JSN**  
**DRAWING No**  
**DA-1001**

**NORTH**  
  
**REV**  
**B**

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VIEW FROM BILKURRA AVENUE



VIEW FROM PLATEAU ROAD ( BILAMBREE & BILKURRA INTERSECTION )

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Rev	Date	Description
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B	Sep 20	DA

LEGEND		COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
A/C	Air Conditioning Unit	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
ACC	Accessible	DRY	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
ADP	Adaptable	DP	Dryer	GM	Gross Floor Area	SCR	Screen
AHD	Aust. Height Datum	DW	Down Pipe	H	Gas Meter	SW	Sewer
B	Basement	F	Dishwasher	LY	Hydraulic Services	ST	Storage
BAL	Balustrade	FEX	Fridge	MC	Laundry	SD	Study
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BED	Bedroom	FN	Finish floor level	NGL	Motorcycle Parking	STW	Stormwater
BT	Bathroom	FS	Fence	OSD	Main Switch Board	SFL	Structural floor level
COL	Column	FSR	Fire Stairs	P	Natural Ground Level	TOF	Top of Fence
COMM	Comms Room	GBA	Floor Space Ratio		Onsite Detention Tank	TOW	Top of Wall
			Gross Building Area		Pantry	VIS	Visitor Parking

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**PROJECT DETAILS**  
**1 BIL**  
1 Bilambree Avenue  
Bilgola Plateau  
NSW 2107

**DRAWING TITLE**  
3D MASSING 2/2

SCALE	APPROVED	NORTH
	<b>DB</b>	
	<b>CHECKED</b>	
<b>STATUS</b>	<b>JSN</b>	
<b>CONCEPT</b>	<b>DRAWING No</b>	<b>REV</b>
<b>PROJECT No</b>	<b>DA-1002</b>	<b>B</b>
<b>2012A</b>		



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- SKYLIGHT
- HOB
- ROLLED ALUMINIUM SHEET WEATHER PROTECTION
- CLEAR GLAZING SLIDING DOORS [ GLZ-01 ]
- SOLID BALUSTRADE [ BLD-02 ]
- FACE BRICK [ FBK-01 ]
- FIBRE CEMENT CLADDING [ CLD-01 ]
- PERIMETER PLANTER BOX
- EXPOSED SLAB EDGE [ RNP-01 ]



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**1 BIL**  
1 Bilambee Avenue  
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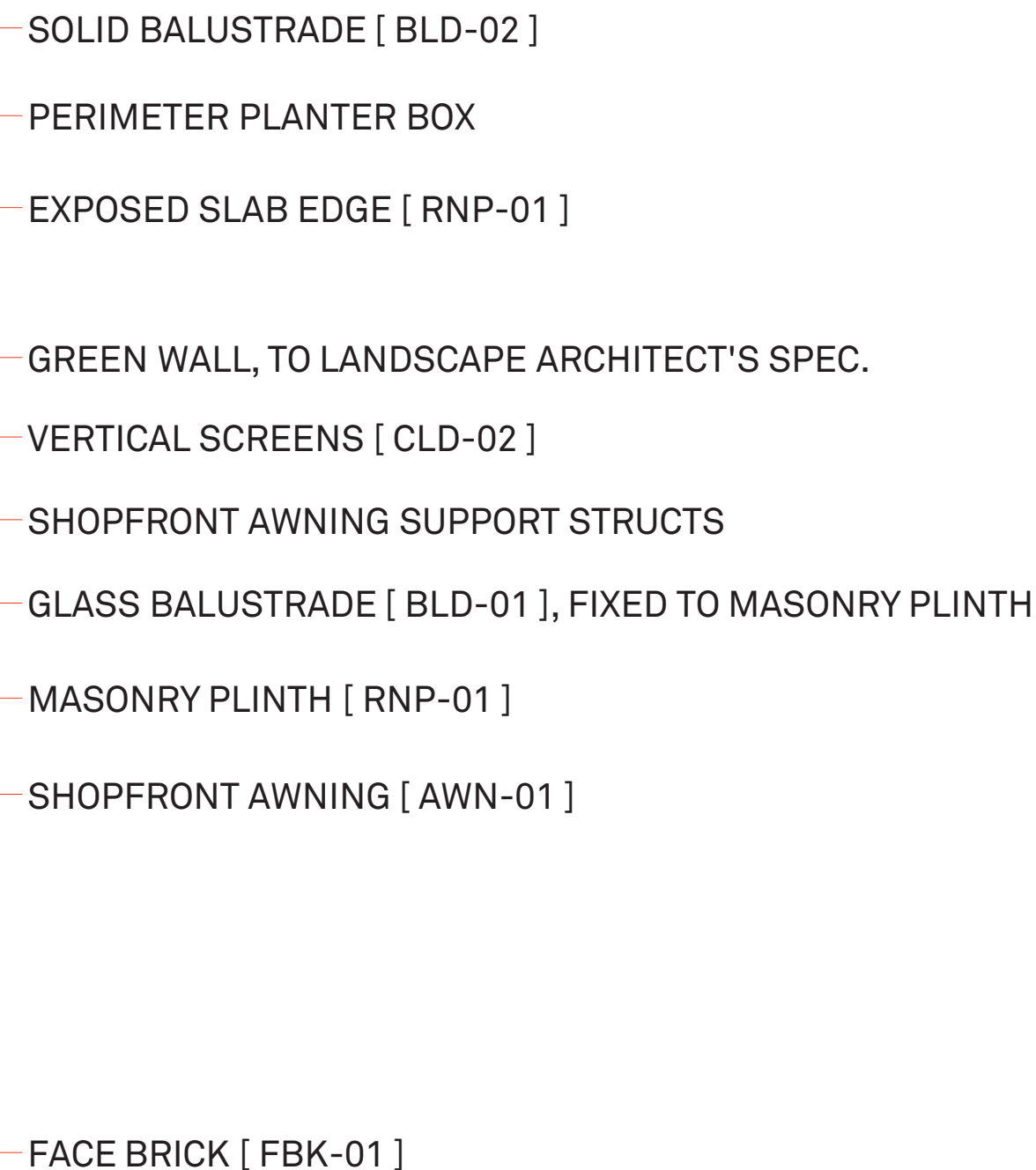
**DRAWING TITLE**  
3D SECTION

SCALE	APPROVED	NORTH
	<b>DB</b>	
<b>STATUS</b>	<b>CHECKED</b>	
<b>CONCEPT</b>	<b>JSN</b>	
<b>PROJECT No</b>	<b>DRAWING No</b>	<b>REV</b>
<b>2012A</b>	<b>DA-1003</b>	<b>B</b>

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PRIVATE OPEN SPACE CALCULATION

ADG OBEJCTIVE 4E-1 PRIVATE OPEN SPACE AND BALCONIES DESIGN CRITERIA |  
STORAGE IS PROVIDED AS FOLLOWS :

1 BEDROOM APARTMENTS : 8m² at 2m MINIMUM DEPTH; 2 BEDROOM APARTMENTS : 10m² at 2m MINIMUM DEPTH;  
3+ BEDROOM APARTMENTS : 12m² at 2.4m MINIMUM DEPTH

INDICATES PRIVATE OPEN SPACE OR BALCONY CONTRIBUTING TO MEASUREMENT

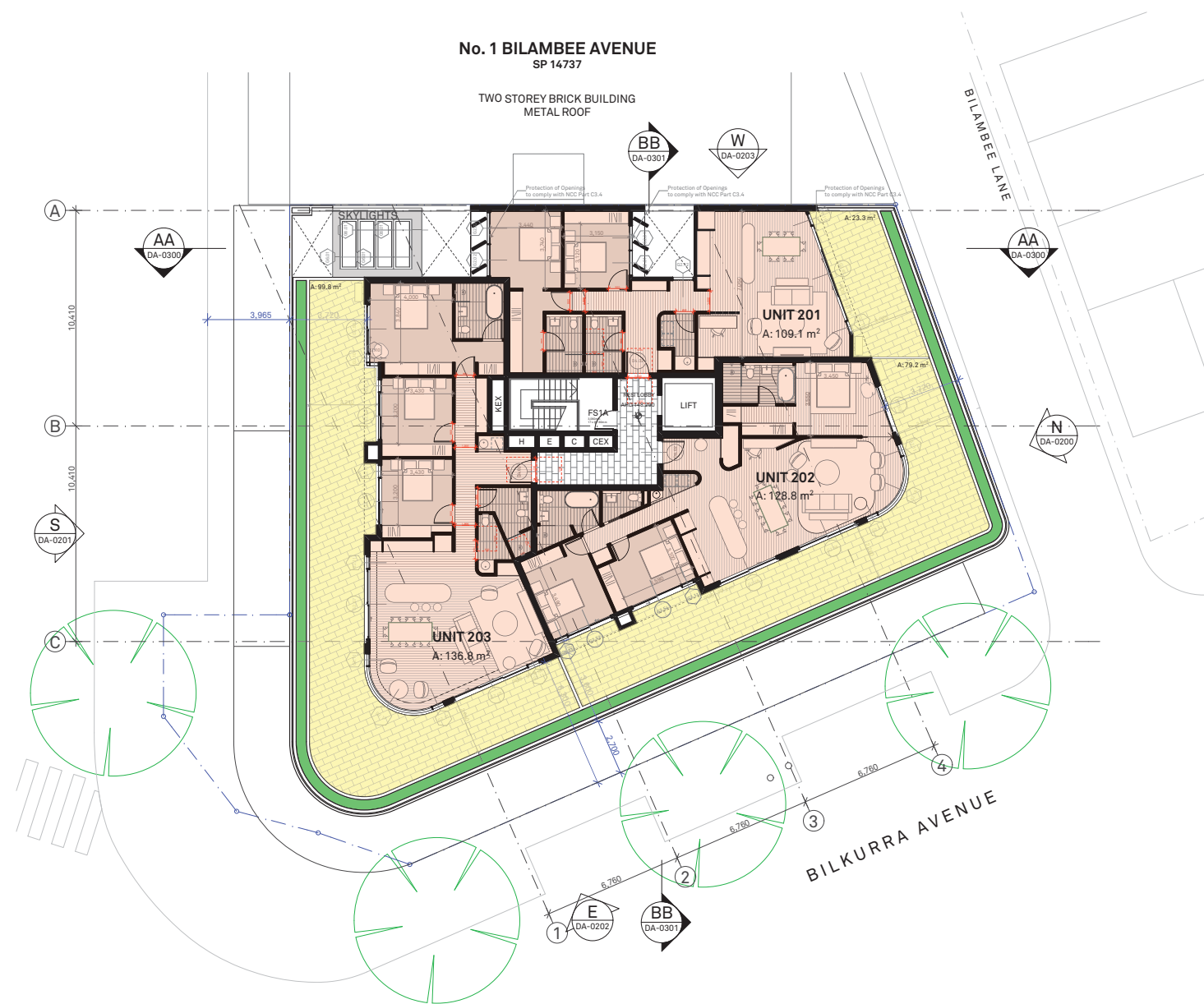
BMA PRIVATE OPEN SPACE

UNIT	TYPE	AREA	COMPLIANCE
101	2 Bed	26.22	YES
102	2 Bed	16.24	YES
103	2 Bed	15.27	YES
104	3 Bed	16.13	YES
105	2 Bed	21.20	YES
201	2 Bed	23.29	YES
202	3 Bed	79.17	YES
203	3 Bed	99.75	YES





INDICATES STORAGE AREA CONTRIBUTING TO MEASUREMENT



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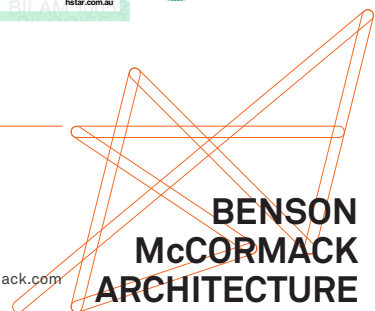
**PROJECT DETAILS**  
**1 BIL**  
1 Bilambee Avenue  
Bilgola Plateau  
NSW 2107

**DRAWING TITLE**  
PRIVATE OPEN SPACE  
(POS)

SCALE	APPROVED	NORTH
	DB	
STATUS	CHECKED	
CONCEPT	JSN	
PROJECT No	DRAWING No	REV
2012A	DA-1015	B

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# STORAGE CALCULATION

## ADG OBEJCTIVE 4G-1 STORAGE DESIGN CRITERIA |

STORAGE IS PROVIDED AS FOLLOWS :

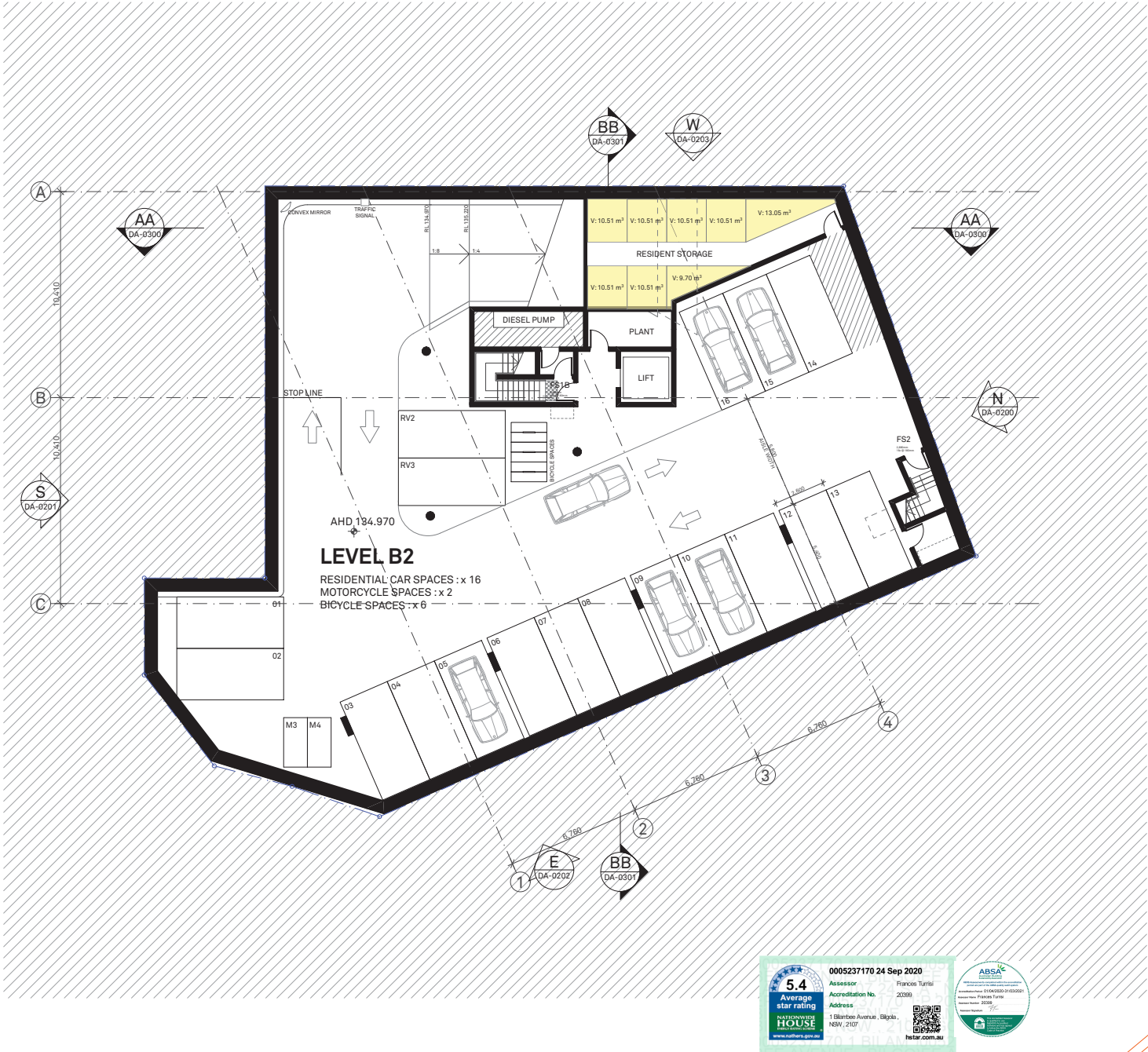
1 BEDROOM APARTMENTS : 6m³;      2 BEDROOM APARTMENTS : 8m³;      3+ BEDROOM APARTMENTS : 10m³

AT LEAST 50% OF THE REQUIRED STORAGE IS TO BE LOCATED WITHIN THE APARTMENT

### INDICATES STORAGE AREA CONTRIBUTING TO MEASUREMENT

#### STORAGE BY UNITS

UNIT	TYPE	POSITION	VOLUME	COMPLIANCE
101	2 Bed	Internal	10.06	YES
		Cage/Basement	10.51	
			20.57 m³	
102	2 Bed + St	Internal	11.56	YES
		Cage/Basement	10.51	
			22.07 m³	
103	2 Bed + St	Internal	5.36	YES
		Cage/Basement	10.51	
			15.87 m³	
104	3 Bed	Internal	5.26	YES
		Cage/Basement	10.51	
			15.77 m³	
105	2 Bed	Internal	4.17	YES
		Cage/Basement	13.05	
			17.22 m³	
201	2 Bed + St	Internal	5.66	YES
		Cage/Basement	10.51	
			16.17 m³	
202	3 Bed	Internal	5.27	YES
		Cage/Basement	10.51	
			15.78 m³	
203	3 Bed	Internal	5.12	YES
		Cage/Basement	9.70	
			14.82 m³	



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Rev	Date	Description
A	May 20	Pre-DA
B	Sep 20	DA

#### LEGEND

A/C	Air Conditioning Unit
ACC	Accessible
ADP	Adaptable
AHD	Aust. Height Datum
B	Basement
BAL	Balustrade
BALC	Balcony
BED	Bedroom
BT	Bathroom
COL	Column
COMM	Comms Room

COS	Communal Open Space
CEX	Carpark Exhaust
D	Dining
DP	Down Pipe
DW	Dryer
F	Fridge
FEX	Fire Extinguisher
FFL	Finish floor level
FN	Fence
FS	Fire Stairs
FSR	Floor Space Ratio
GBA	Gross Building Area

GBC	Garbage Chute
GBR	Garbage Room
GBX	Garbage Exhaust
GFA	Gross Floor Area
GM	Gas Meter
H	Hydraulic Services
LY	Laundry
M	Meter Room
MC	Motorcycle Parking
MSB	Main Switch Board
NGL	Natural Ground Level
OSD	Onsite Detention Tank
P	Pantry

POS	Private Open Space
R	Robe
RWT	Rainwater Tank
SCR	Screen
SW	Sewer
ST	Storage
SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

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PROJECT DETAILS  
**1 BIL**  
1 Bilambee Avenue  
Bilgola Plateau  
NSW 2107

DRAWING TITLE  
**STORAGE  
MEASUREMENT**

SCALE	APPROVED	NORTH
STATUS	DB	
CONCEPT	CHECKED	
PROJECT No	JSN	
2012A	DRAWING No	REV
	DA-1016	B

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INDICATES STORAGE AREA CONTRIBUTING TO MEASUREMENT



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SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

Private Open Space	Robe	Rainwater Tank	Screen	Sewer	Storage	Study	Stormwater Pit	Stormwater	Structural floor level	Top of Fence	Top of Wall	Visitor Parking
--------------------	------	----------------	--------	-------	---------	-------	----------------	------------	------------------------	--------------	-------------	-----------------

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1 Bilambree Avenue  
Bilgola Plateau  
NSW 2107

**DRAWING TITLE**  
**STORAGE**  
**MEASUREMENT**

SCALE	APPROVED	NORTH
	<b>DB</b>	
	<b>CHECKED</b>	
	<b>JSN</b>	
<b>STATUS</b>	<b>DA-1017</b>	<b>REV</b>
<b>CONCEPT</b>		<b>B</b>
<b>PROJECT No</b>		
<b>2012A</b>		



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# HOURLY SOLAR ANALYSIS

| 21<sup>ST</sup> JUNE

THE VIEW FRAME (CAMERA POSITION) ASSUMES THE POSITION OF THE SUN.  
AT EACH HOURLY INTERVAL, EVERY SURFACE THAT IS VISIBLE IS RECEIVING SUNLIGHT,  
AND EVERY SURFACE THAT IS HIDDEN IS IN SHADE.

## ADG OBEJCTIVE 4A-1 SOLAR ACCESS DESIGN CRITERIA |

LIVING ROOMS AND PRIVATE OPEN SPACES OF AT LEAST 70% OF PAARTMENTS IN A BUILDING RECEIVE A MINIMUM OF 2 HOURS OF DIRECT SUNLIGHT BETWEEN 9 AM AND 3 PM AT MID WINTER

## ADG SOLAR ACCESS COMPLIANCE TABLE |

LIVING ROOMS (LRM) AND PRIVATE OPEN SPACE (POS) RECEIVE 2 HOURS OF DIRECT SUNLIGHT,  
BETWEEN 0900 TO 1500

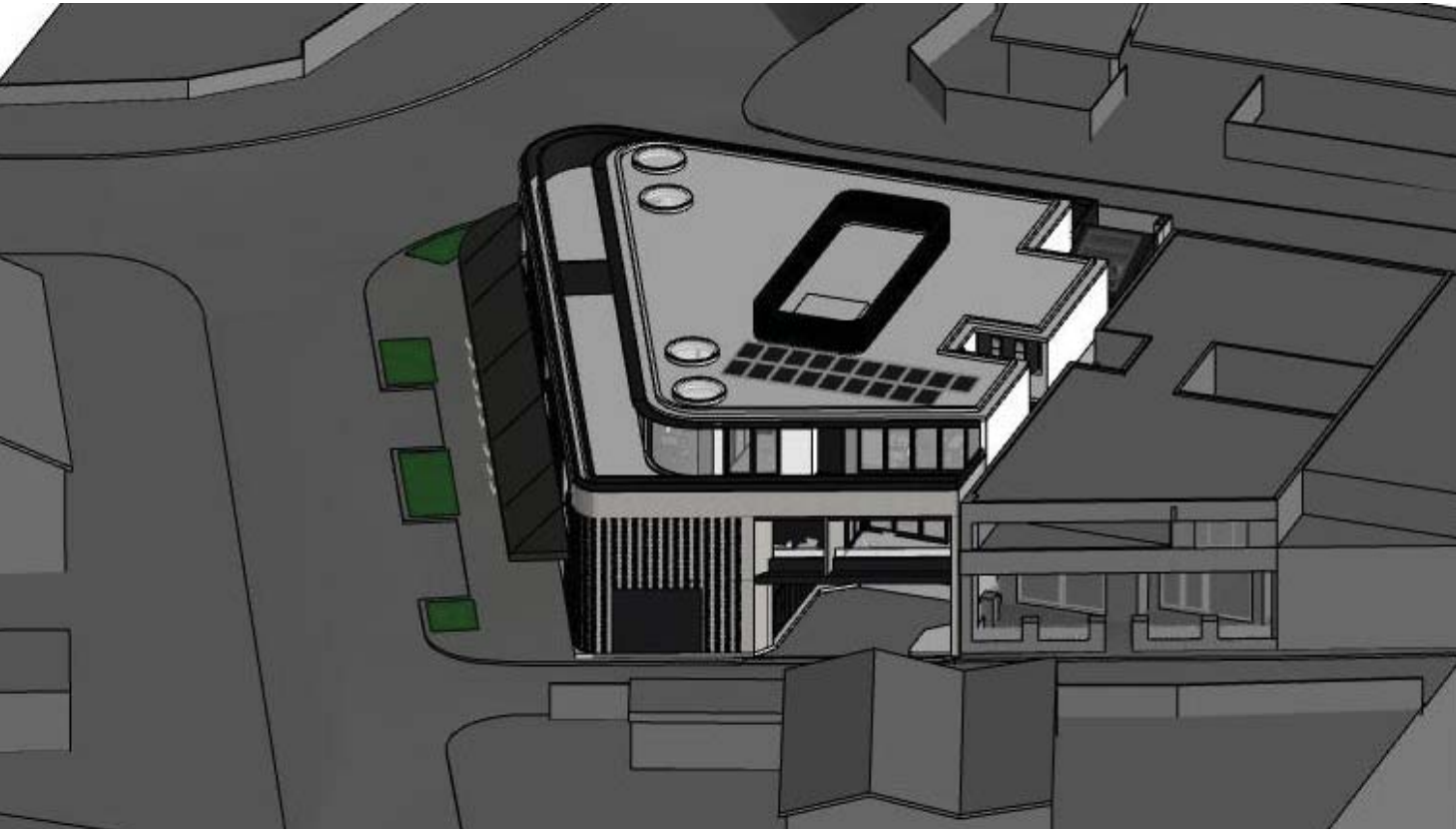
101		102		103		104		105	
LRM	YES	LRM	YES	LRM	NO	LRM	NO	LRM	YES
POS	YES	POS	YES	POS	NO	POS	NO	POS	YES

201		202		203	
LRM	YES	LRM	YES	LRM	YES
POS	YES	POS	YES	POS	YES

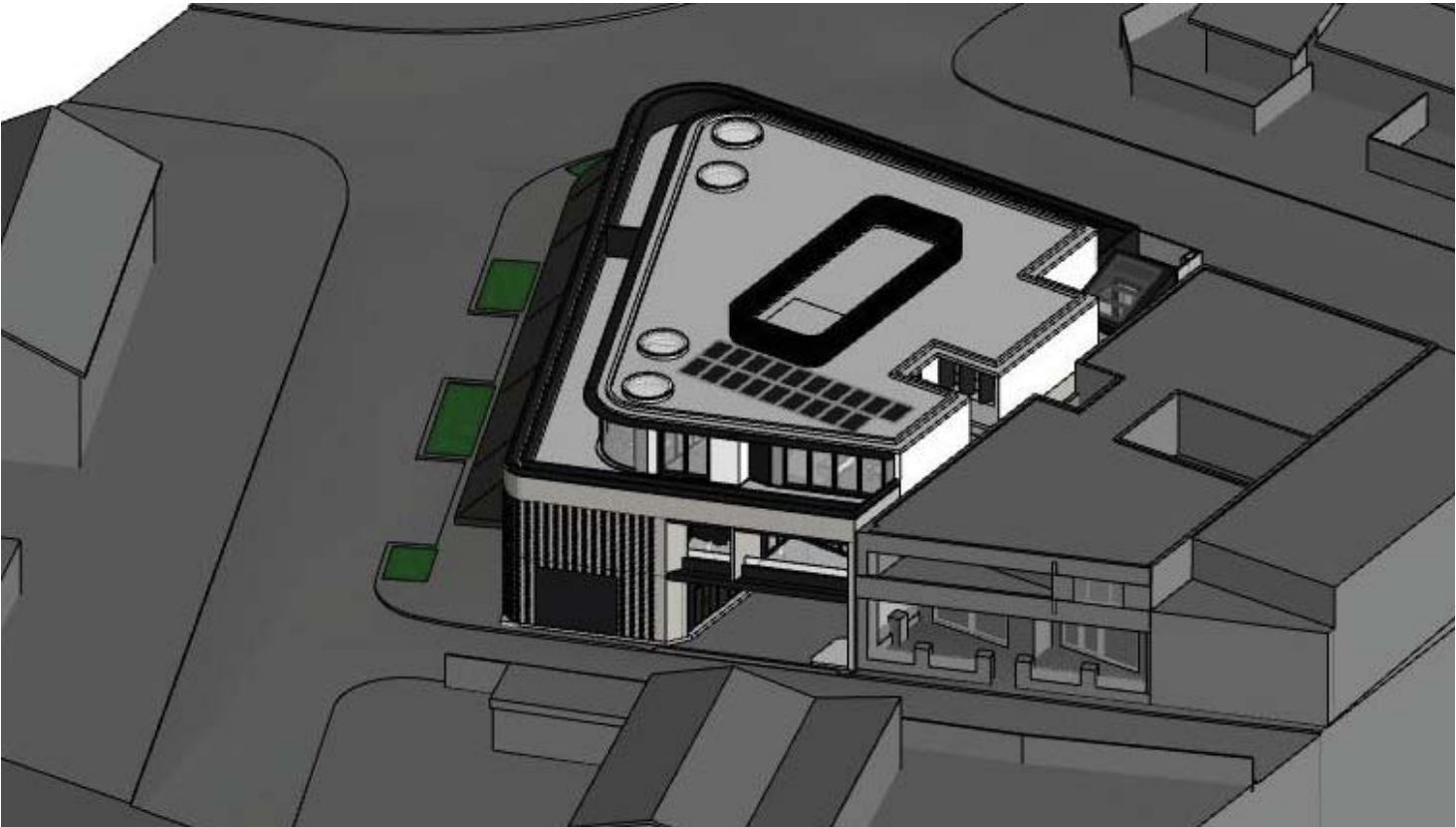
TOTAL : 6 / 8 UNITS ( 75.0% )



21 JUNE 0900



21 JUNE 1000



21 JUNE 1100



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Rev	Date	Description
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B	Sep 20	DA

LEGEND		COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
A/C	Air Conditioning Unit	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
ACC	Accessible	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
ADP	Adaptable	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
AHD	Aust. Height Datum	DP	Down Pipe	GM	Gas Meter	SW	Sewer
B	Basement	DW	Dishwasher	H	Hydraulic Services	ST	Storage
BAL	Balustrade	F	Fridge	LY	Laundry	SD	Study
BALC	Balcony	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BED	Bedroom	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
BT	Bathroom	FN	Fence	MSB	Main Switch Board	SFL	Structural floor level
COL	Column	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
COMM	Comms Room	FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

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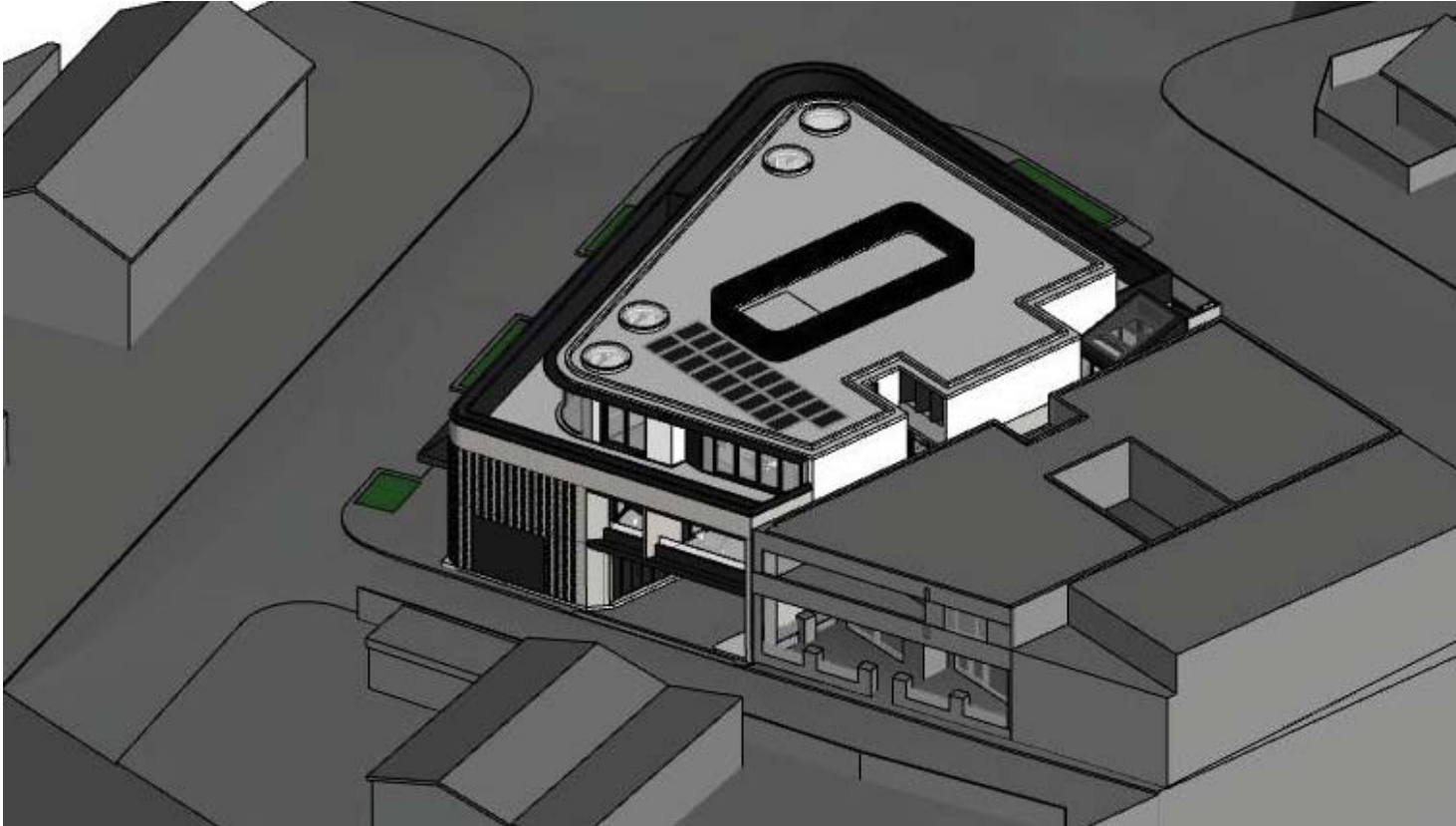
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SOLAR ACCESS  
ANALYSIS

SCALE	APPROVED	NORTH
	DB	
STATUS	CHECKED	
CONCEPT	JSN	
PROJECT No	DRAWING No	REV
2012A	DA-1020	B

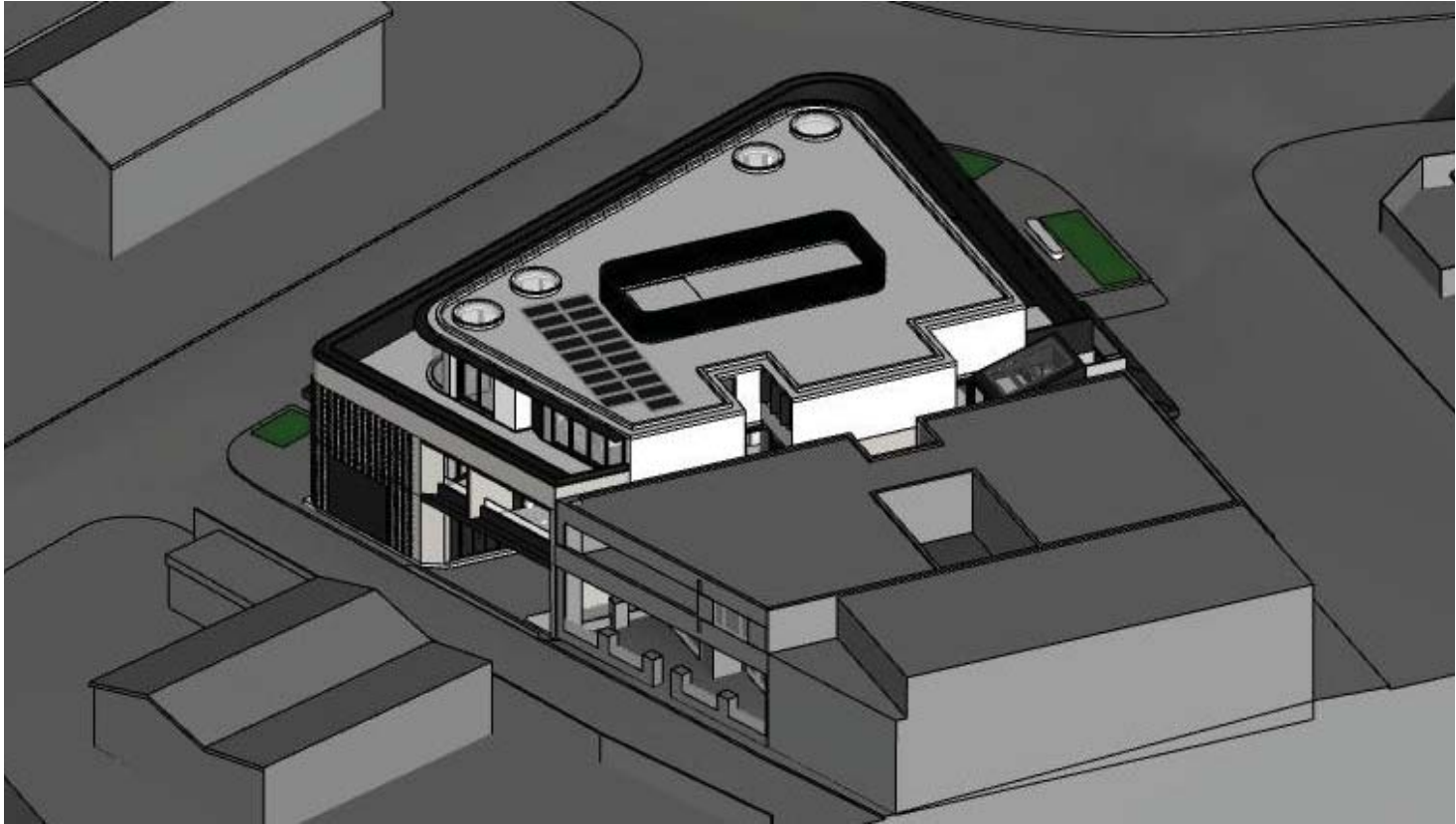
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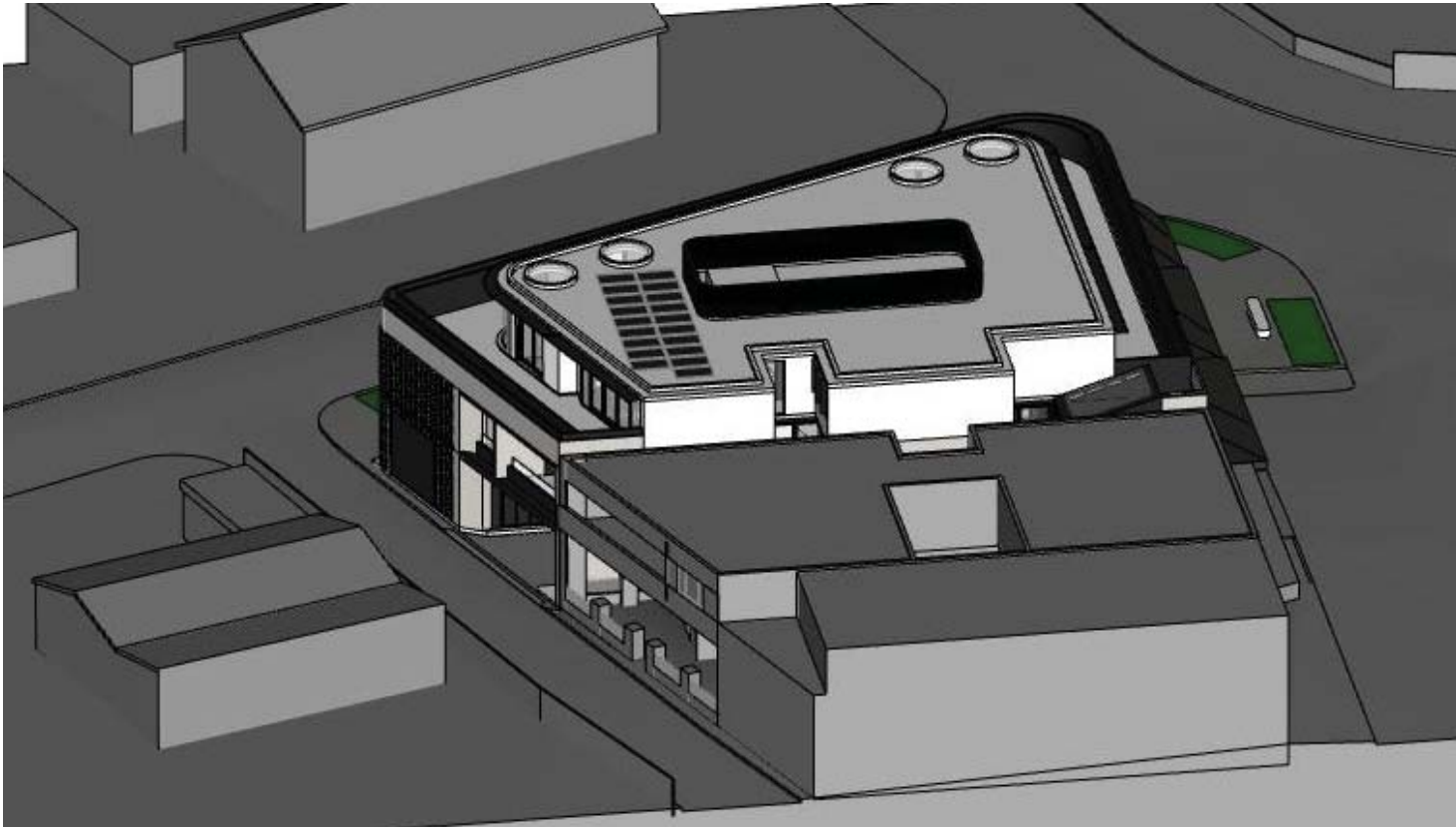




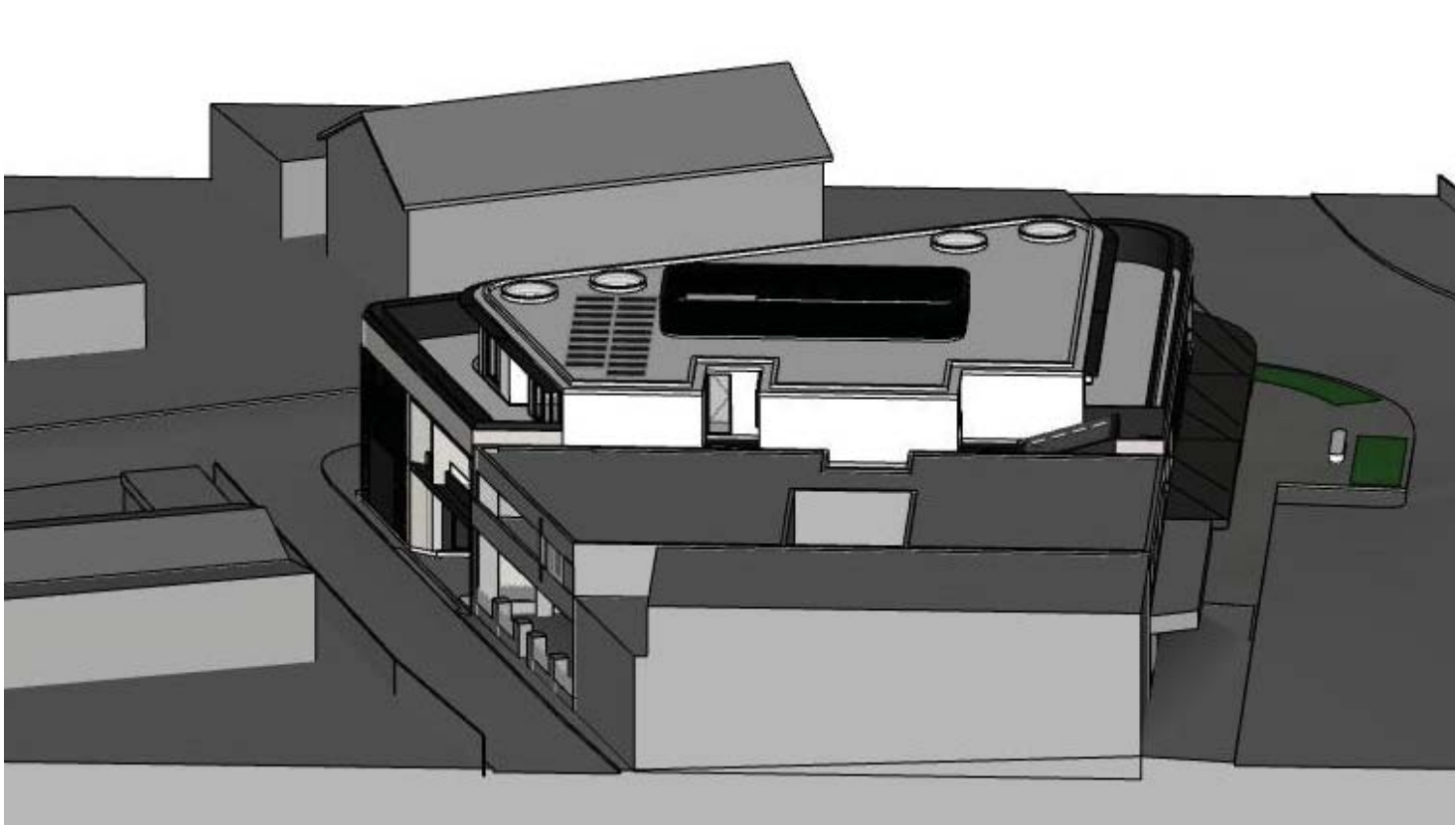
21 JUNE 1200



21 JUNE 1300



21 JUNE 1400



21 JUNE 1500

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Rev	Date	Description
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LEGEND	
A/C	Air Conditioning Unit
ACC	Accessible
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SW	Sewer
ST	Storage
SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

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**DRAWING TITLE**

**SOLAR ACCESS  
ANALYSIS**

SCALE	APPROVED	NORTH
	<b>DB</b>	
	<b>CHECKED</b>	
<b>STATUS</b>	<b>JSN</b>	
<b>CONCEPT</b>	<b>DRAWING No</b>	<b>REV</b>
<b>PROJECT No</b>	<b>DA-1021</b>	<b>B</b>
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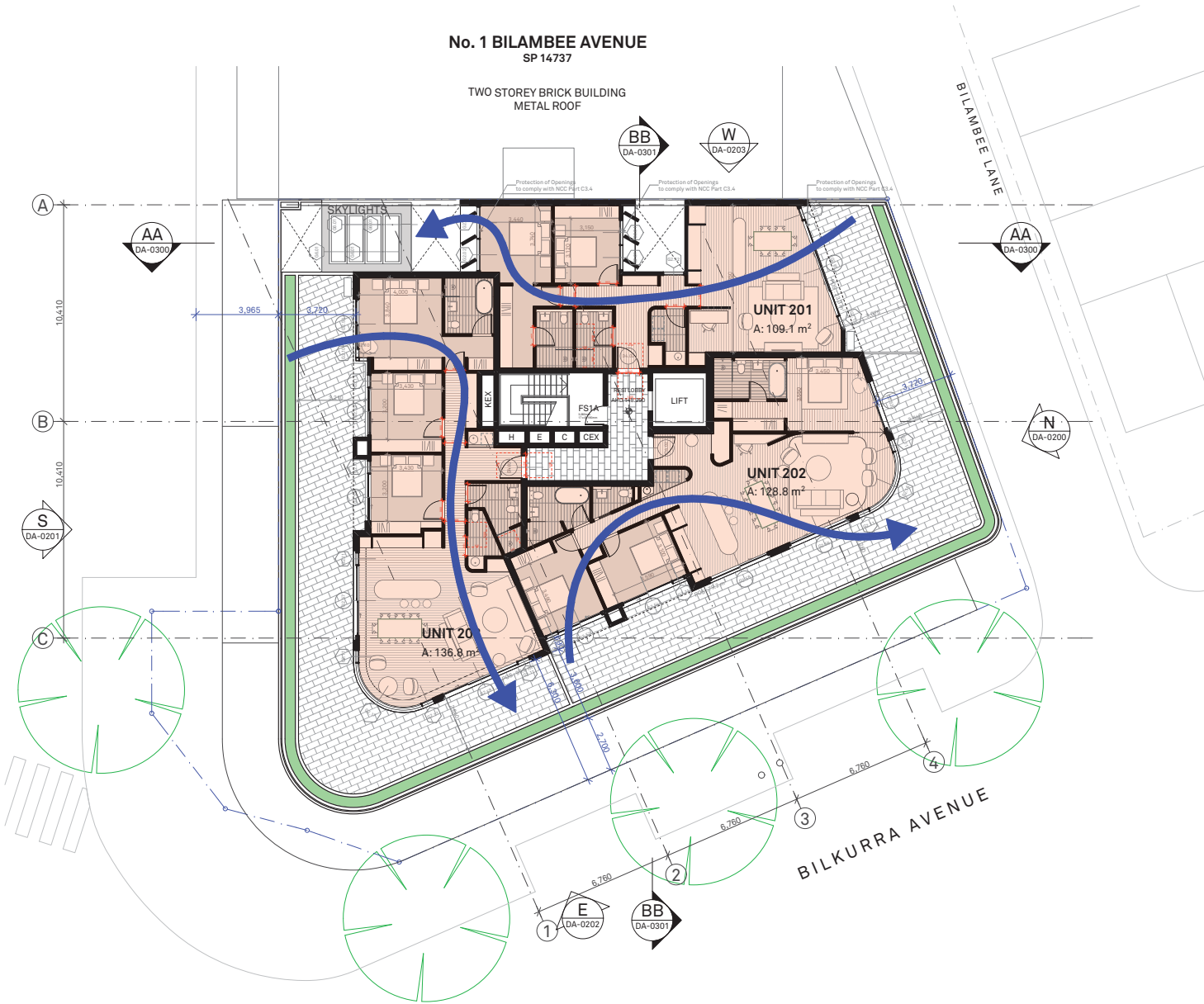


# CROSS VENTILATION ANALYSIS

ADG OBEJCTIVE 4B-3 NATURAL VENTILATION DESIGN CRITERIA |  
AT LEAST 60% OF APARTMENTS ARE NATURALLYCROSS VENTILATED IN THE FIRST NINE STOREYS OF THE BUILDING.

## ADG NATURAL VENTILATION COMPLIANCE TABLE |

101	102	103	104	105	201	202	203
YES	YES	NO	YES	YES	YES	YES	YES
TOTAL :    7 / 8 UNITS ( 87.5% )							

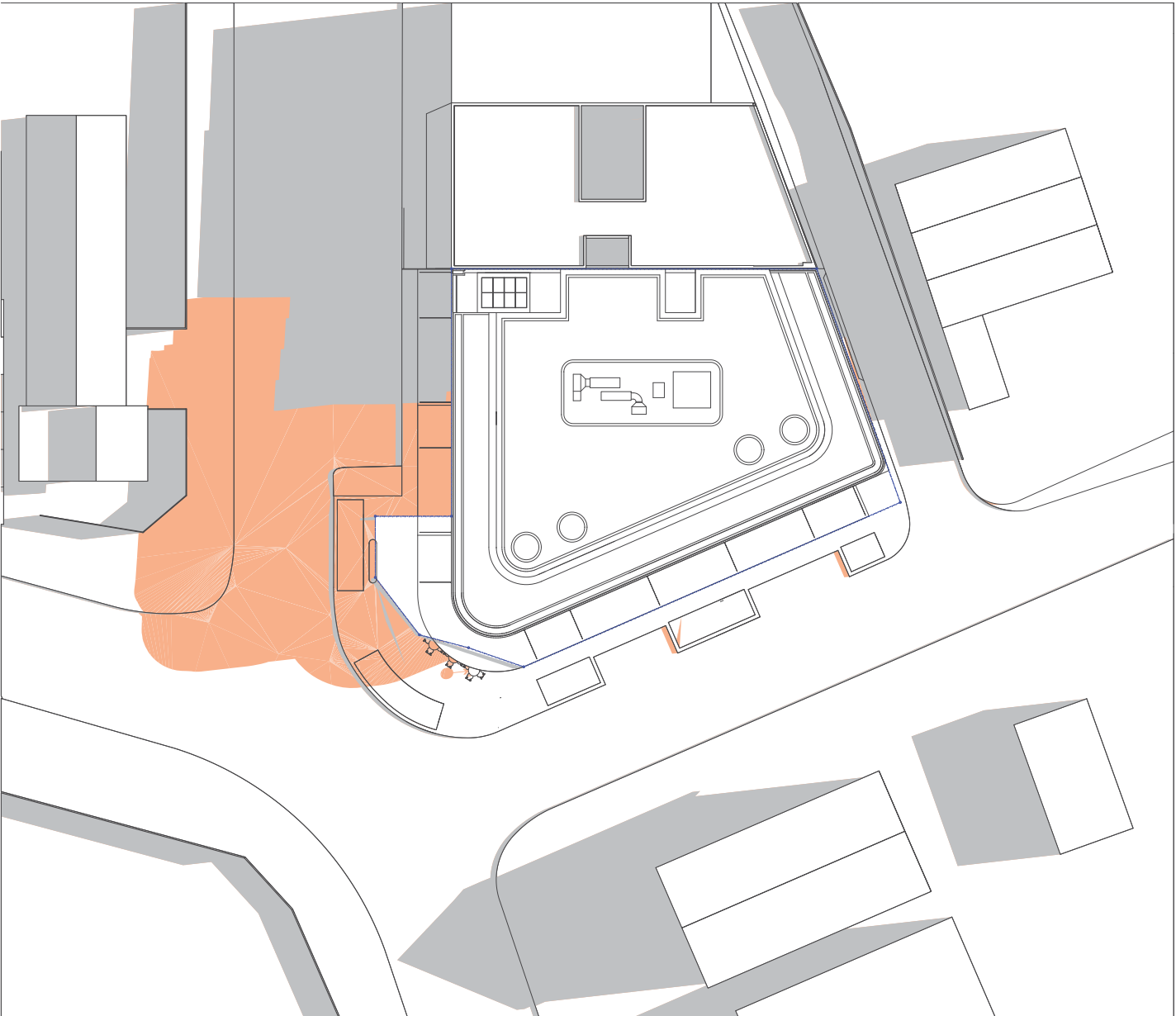




# HOURLY SHADOW ANALYSIS | JUNE 21

SHADOWS CAST BY EXISTING STRUCTURES

SHADOWS CAST BY PROPOSED STRUCTURES



JUNE 21 0900

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Rev	Date	Description
A	May 20	Pre-DA
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LEGEND		COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
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ACC	Accessible	DRY	Dryer	GBX	Garbage Exhaust	RWT	Rainwater Tank
ADP	Adaptable	DP	Down Pipe	GFA	Gross Floor Area	SCR	Screen
AHD	Aust. Height Datum	DW	Dishwasher	GM	Gas Meter	SW	Sewer
B	Basement	F	Fridge	H	Hydraulic Services	ST	Storage
BAL	Balustrade	FEX	Fire Extinguisher	LY	Laundry	SD	Study
BALC	Balcony	FFL	Finish floor level	M	Meter Room	STP	Stormwater Pit
BED	Bedroom	FN	Fence	MC	Motorcycle Parking	STW	Stormwater
BT	Bathroom	FS	Fire Stairs	MSB	Main Switch Board	SFL	Structural floor level
COL	Column	FSR	Fire Stairs Ratio	NGL	Natural Ground Level	TOF	Top of Fence
COMM	Comms Room	GBA	Gross Building Area	OSD	Onsite Detention Tank	TOW	Top of Wall
				P	Pantry	VIS	Visitor Parking

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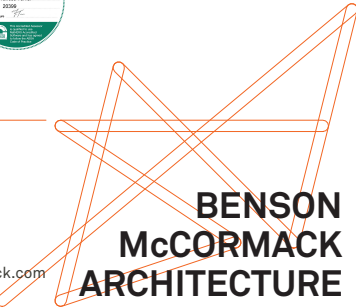
**PROJECT DETAILS**  
**1 BIL**  
1 Bilambee Avenue  
Bilgola Plateau  
NSW 2107

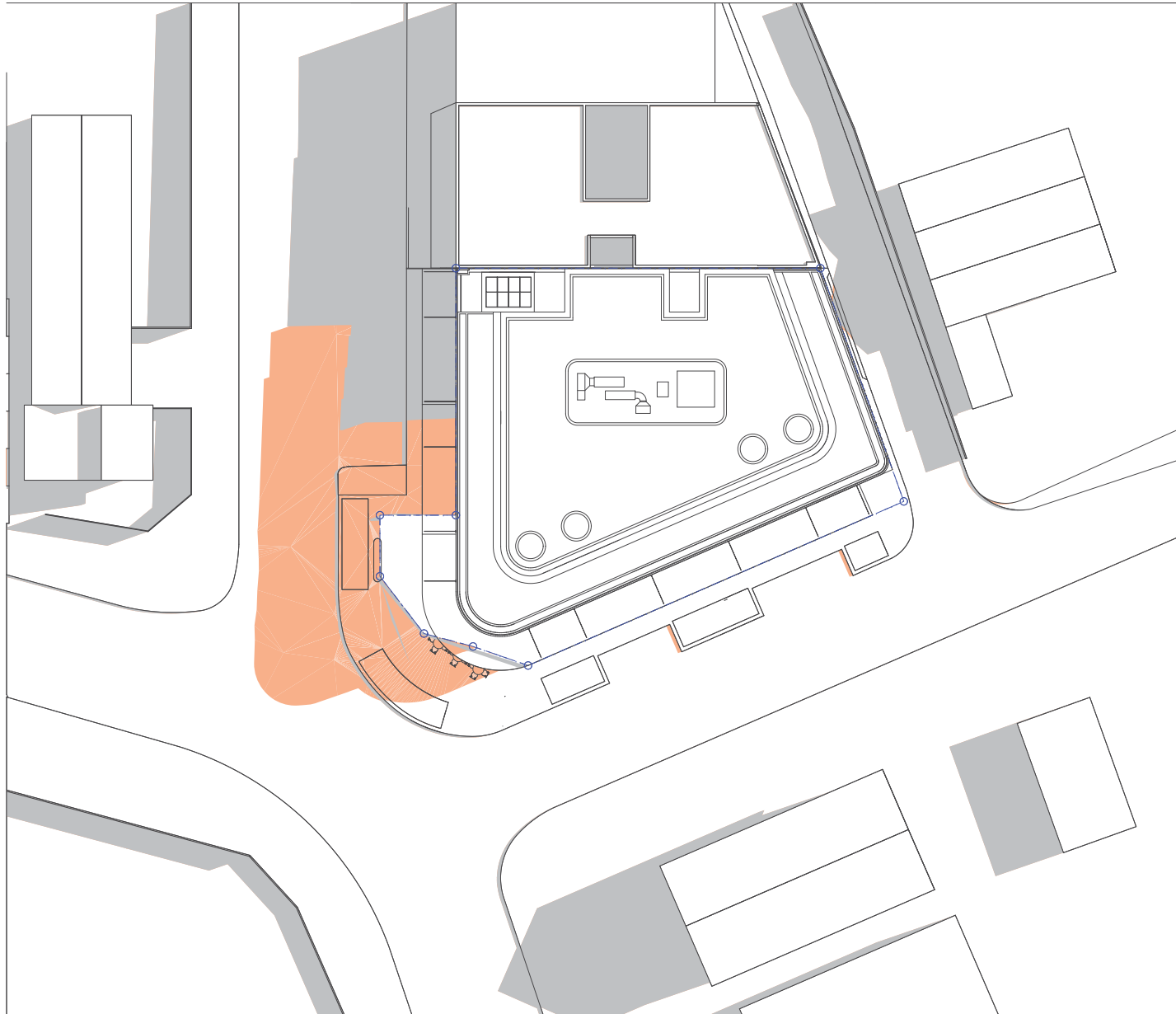
**DRAWING TITLE**  
SHADOW DIAGRAMS -  
PLAN VIEW (JUNE 21)

**SCALE**  
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**STATUS**  
**CONCEPT**  
**PROJECT No**  
**2012A**

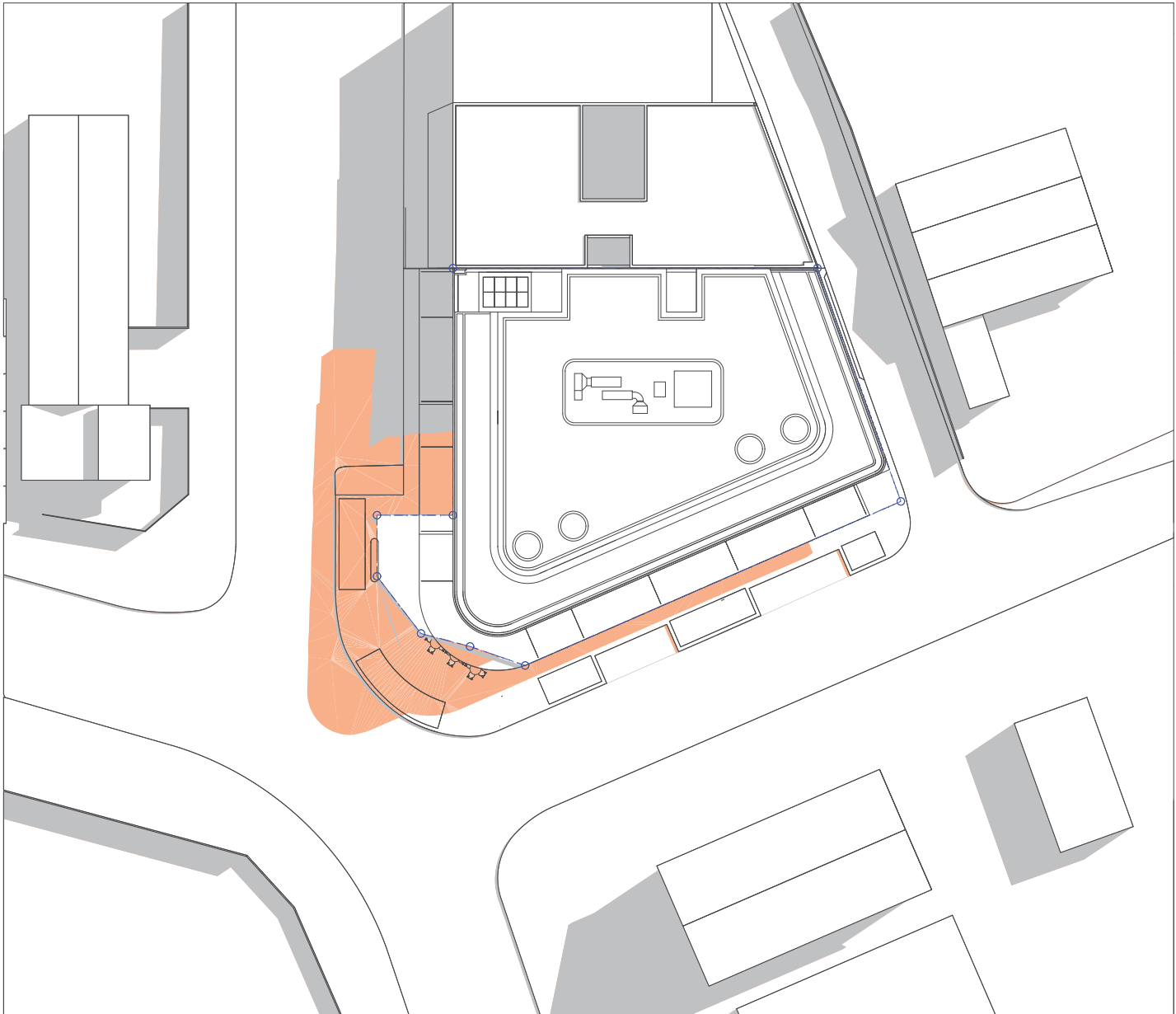
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**DB**  
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**JSN**  
**DRAWING No**  
**DA-1030**  
**NORTH**  
**REV**  
**B**

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JUNE 21 1000



JUNE 21 1100

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STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

Private Open Space	Robe	Rainwater Tank	Screen	Sewer	Storage	Study	Stormwater Pit	Stormwater	Structural floor level	Top of Fence	Top of Wall	Visitor Parking
--------------------	------	----------------	--------	-------	---------	-------	----------------	------------	------------------------	--------------	-------------	-----------------

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**1 BIL**  
1 Bilambee Avenue  
Bilgola Plateau  
NSW 2107

**DRAWING TITLE**  
SHADOW DIAGRAMS -  
PLAN VIEW (JUNE 21)

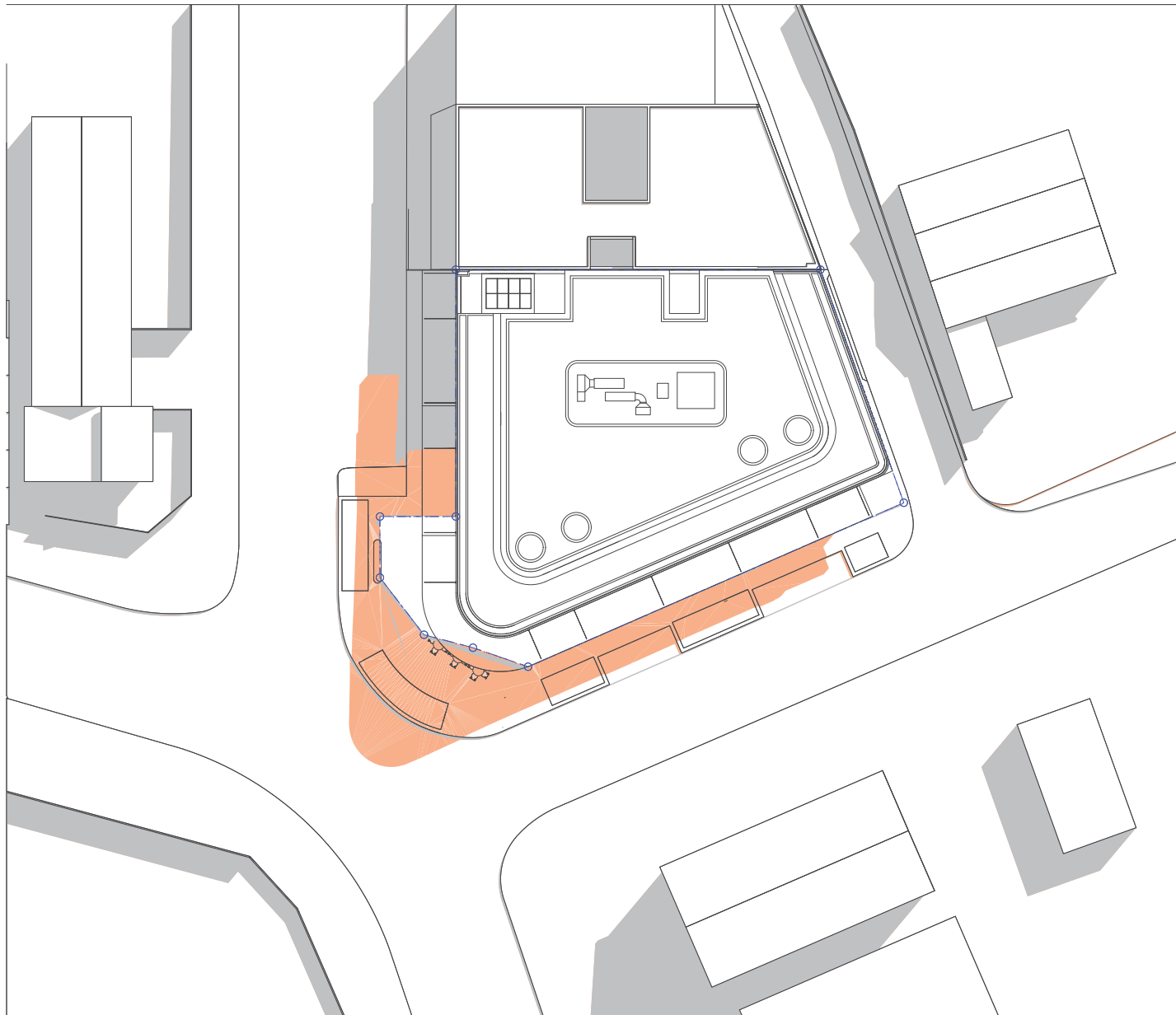
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**2012A**

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**JSN**  
**DRAWING No**  
**DA-1031**  
**NORTH**  
**REV**  
**B**

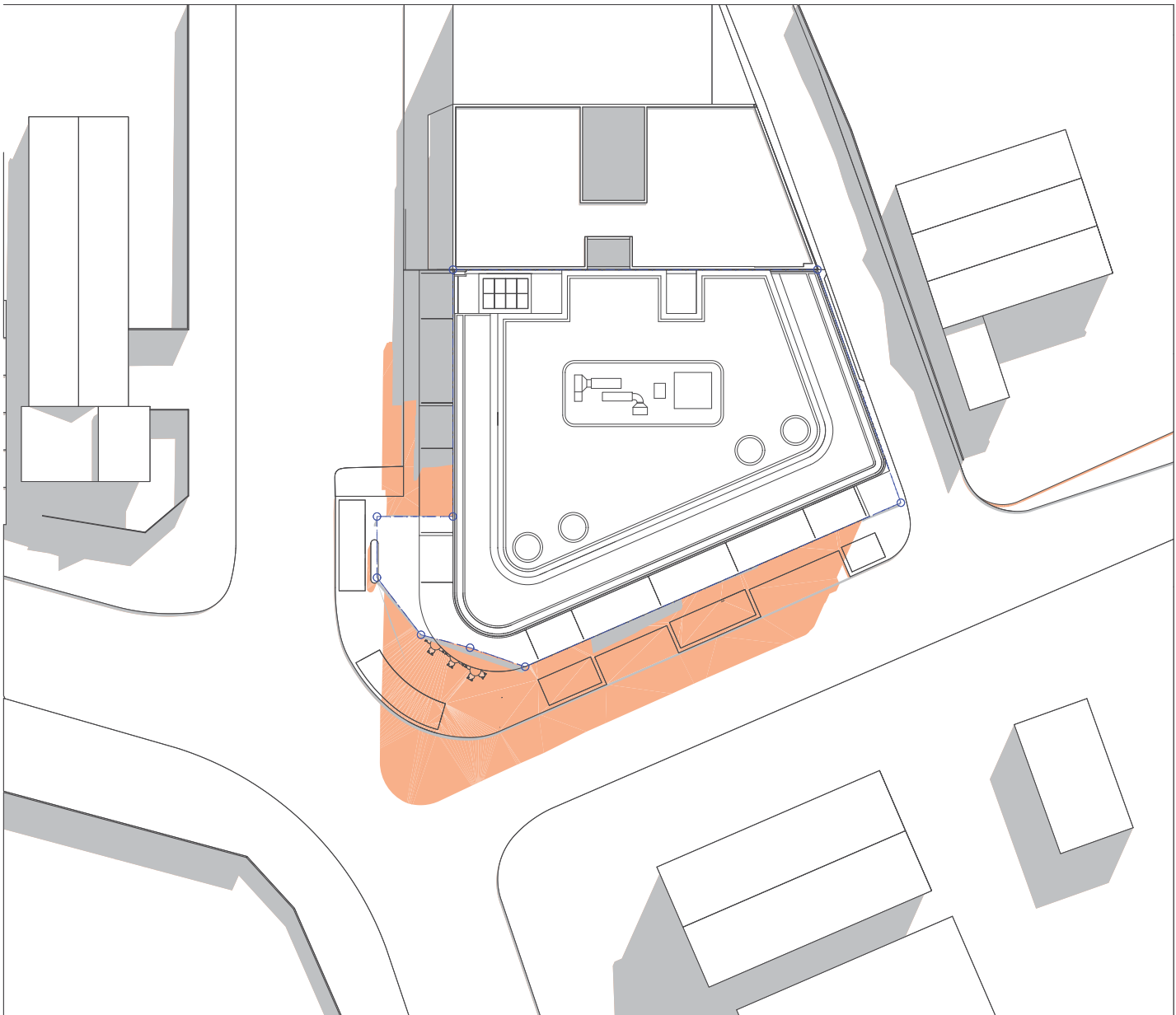
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JUNE 21 1200



JUNE 21 1300

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				P	Pantry	VIS	Visitor Parking

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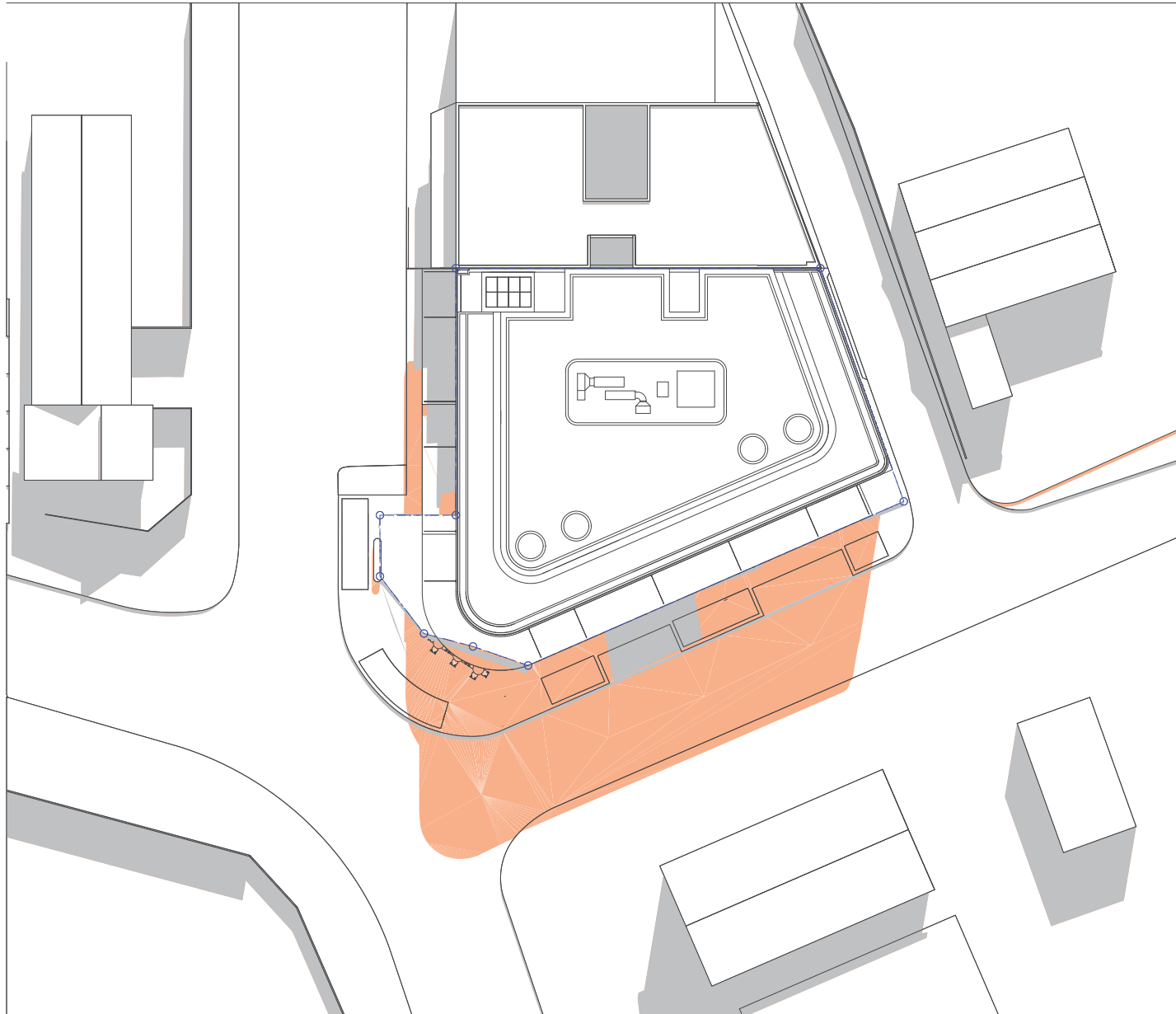
**DRAWING TITLE**  
SHADOW DIAGRAMS -  
PLAN VIEW (JUNE 21)

**SCALE**  
**1:500**  
**STATUS**  
**CONCEPT**  
**PROJECT No**  
**2012A**

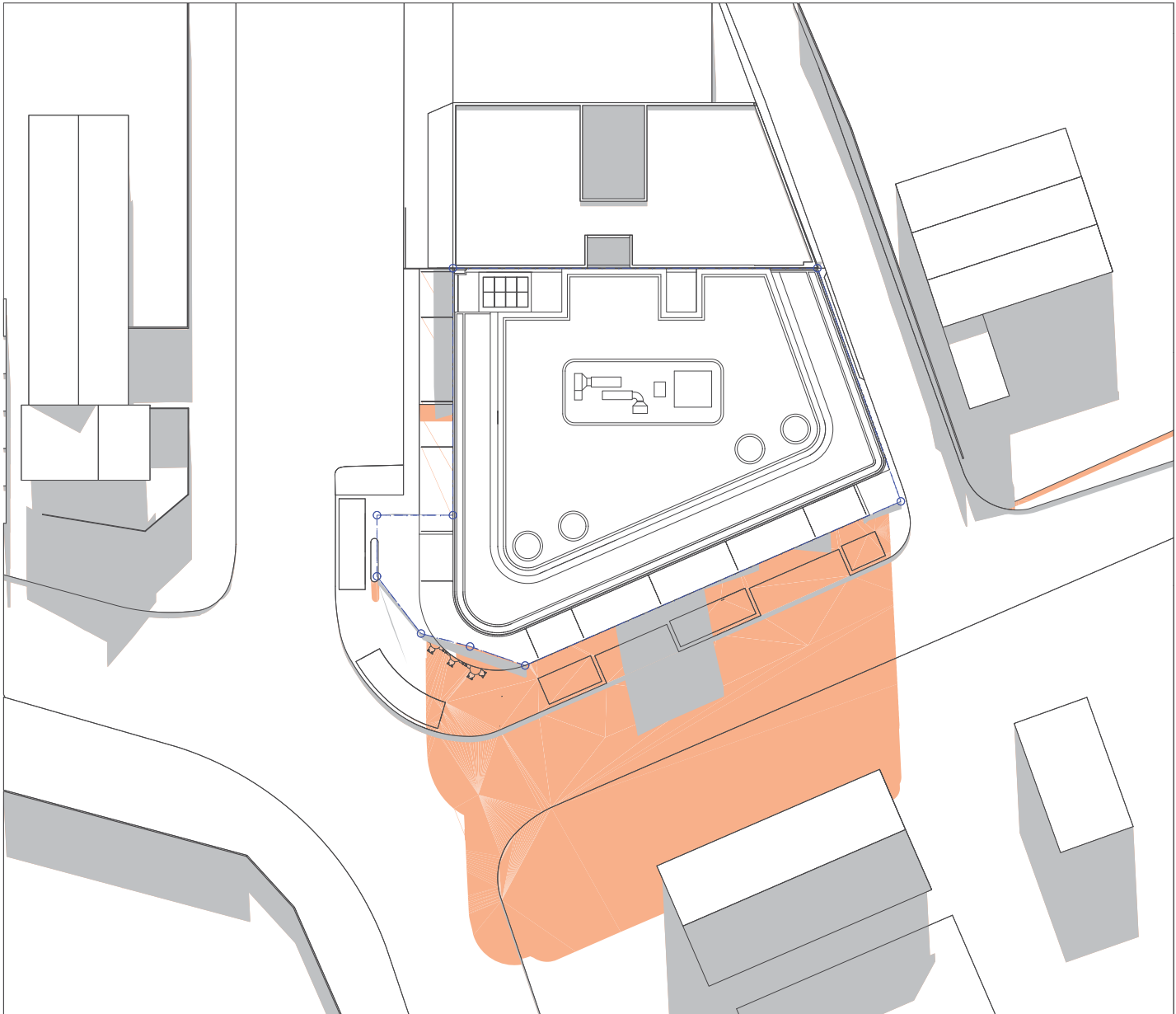
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**DB**  
**CHECKED**  
**JSN**  
**DRAWING No**  
**DA-1032**  
**NORTH**  
**REV**  
**B**

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JUNE 21 1400



JUNE 21 1500

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Rev	Date	Description
A	May 20	Pre-DA
B	Sep 20	DA

LEGEND

A/C	Air Conditioning Unit
ACC	Accessible
ADP	Adaptable
AHD	Aust. Height Datum
B	Basement
BAL	Balustrade
BALC	Balcony
BED	Bedroom
BT	Bathroom
COL	Column
COMM	Comms Room

COS	Communal Open Space
CEX	Carpark Exhaust
DRY	Dining
DP	Dryer
DW	Down Pipe
F	Fridge
FEX	Fire Extinguisher
FFL	Finish floor level
FN	Fence
FS	Fire Stairs
FSR	Floor Space Ratio
GBA	Gross Building Area

GBR	Garbage Room
GBR	Garbage Room
GBX	Garbage Exhaust
GFA	Gross Floor Area
GM	Gas Meter
H	Hydraulic Services
LY	Laundry
M	Meter Room
MC	Motorcycle Parking
MSB	Main Switch Board
NGL	Natural Ground Level
OSD	Onsite Detention Tank
P	Pantry

POS	Private Open Space
R	Robe
RWT	Rainwater Tank
SCR	Screen
SW	Sewer
ST	Storage
SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

Private Open Space	Robe	Rainwater Tank	Screen	Sewer	Storage	Study	Stormwater Pit	Stormwater	Structural floor level	Top of Fence	Top of Wall	Visitor Parking
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NSW 2107

**DRAWING TITLE**  
SHADOW DIAGRAMS -  
PLAN VIEW (JUNE 21)

**SCALE**  
**1:500**  
**STATUS**  
**CONCEPT**  
**PROJECT No**  
**2012A**

**APPROVED**  
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**DRAWING No**  
**DA-1033**  
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A	May 20	Pre-DA
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LEGEND

A/C	Air Conditioning Unit
ACC	Accessible
ADP	Adaptable
AHD	Aust. Height Datum
B	Basement
BAL	Balustrade
BALC	Balcony
BED	Bedroom
BT	Bathroom
COL	Column
COMM	Comms Room

COS	Communal Open Space
CEX	Carpark Exhaust
D	Dining
DRY	Dryer
DP	Down Pipe
DW	Dishwasher
F	Fridge
FEX	Fire Extinguisher
FFL	Finish floor level
FN	Fence
FS	Fire Stairs
FSR	Floor Space Ratio
GBA	Gross Building Area

GBC	Garbage Room
GBR	Garbage Room
GBX	Garbage Exhaust
GFA	Gross Floor Area
GM	Gas Meter
H	Hydraulic Services
LY	Laundry
M	Meter Room
MC	Motorcycle Parking
MSB	Main Switch Board
NGL	Natural Ground Level
OSD	Onsite Detention Tank
P	Pantry

POS	Private Open Space
R	Robe
RWT	Rainwater Tank
SCR	Screen
SW	Sewer
ST	Storage
SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

GBR	Garbage Room
GBR	Garbage Room
GBR	Garbage Room
GBR	Garbage Room
GBR	Garbage Room
GBR	Garbage Room
GBR	Garbage Room
GBR	Garbage Room
GBR	Garbage Room
GBR	Garbage Room

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DRAWING TITLE  
VIEW ANALYSIS

SCALE  
  
STATUS  
CONCEPT  
PROJECT No  
2012A

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DB  
CHECKED  
JSN  
DRAWING No  
DA-1040  
NORTH  
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VIEW 01 : PLATEAU ROAD

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Rev	Date	Description
A	May 20	Pre-DA
B	Sep 20	DA

LEGEND		COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
ACC	Accessible	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
ADP	Adaptable	DRY	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
AHD	Aust. Height Datum	DP	Dryer	GFA	Gross Floor Area	SCR	Screen
B	Basement	DW	Down Pipe	GM	Gas Meter	SW	Sewer
BAL	Balustrade	F	Fridge	H	Hydraulic Services	ST	Storage
BALC	Balcony	FEX	Fire Extinguisher	LY	Laundry	SD	Study
BED	Bedroom	FFL	Finish floor level	M	Meter Room	STP	Stormwater Pit
BT	Bathroom	FN	Fence	MC	Motorcycle Parking	STW	Stormwater
COL	Column	FS	Fire Stairs	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FSR	Floor Space Ratio	NGL	Natural Ground Level	TOF	Top of Fence
		GBA	Gross Building Area	OSD	Onsite Detention Tank	TOW	Top of Wall
				P	Pantry	VIS	Visitor Parking

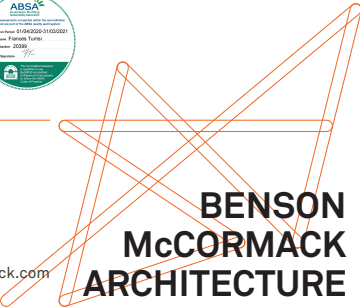
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**DRAWING TITLE**  
VIEW ANALYSIS

SCALE	APPROVED	NORTH
	<b>DB</b>	
<b>STATUS</b>	<b>CHECKED</b>	
<b>CONCEPT</b>	<b>JSN</b>	
<b>PROJECT No</b>	<b>DRAWING No</b>	<b>REV</b>
<b>2012A</b>	<b>DA-1041</b>	<b>B</b>

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VIEW 02 : BILKURRA AVENUE



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Rev	Date	Description
A	May 20	Pre-DA
B	Sep 20	DA

LEGEND		COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
A/C	Air Conditioning Unit	CEX	Carpark Exhaust	GBR	Garbage Room	R	Robe
ACC	Accessible	DRY	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
ADP	Adaptable	DP	Dryer	GFA	Gross Floor Area	SCR	Screen
AHD	Aust. Height Datum	DW	Down Pipe	GM	Gas Meter	SW	Sewer
B	Basement	F	Dishwasher	H	Hydraulic Services	ST	Storage
BAL	Balustrade	FEX	Fridge	LY	Laundry	SD	Study
BALC	Balcony	FFL	Fire Extinguisher	MC	Meter Room	STP	Stormwater Pit
BED	Bedroom	FN	Finish floor level	MSB	Motorcycle Parking	STW	Stormwater
BT	Bathroom	FS	Fence	NGL	Main Switch Board	SFL	Structural floor level
COL	Column	FSR	Fire Stairs	OSD	Natural Ground Level	TOF	Top of Fence
COMM	Comms Room	GBA	Floor Space Ratio	P	Onsite Detention Tank	TOW	Top of Wall
			Gross Building Area		Pantry	VIS	Visitor Parking

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SCALE	APPROVED	NORTH
	<b>DB</b>	
<b>STATUS</b>	<b>CHECKED</b>	
<b>CONCEPT</b>	<b>JSN</b>	
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<b>2012A</b>	<b>DA-1042</b>	<b>B</b>

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