

LEGEND

WALL/ROOF FINISHES:

- P-1 Paint Colour 1: White
- T.L Timber Louvers
- W.S Wallboard
- D.P Down Pipe
- T.L.M Timber Slatting
- M.R Metal Roof
- G.L Glass
- G.U Gutters
- S.P SOLAR PANELS

FLOOR:

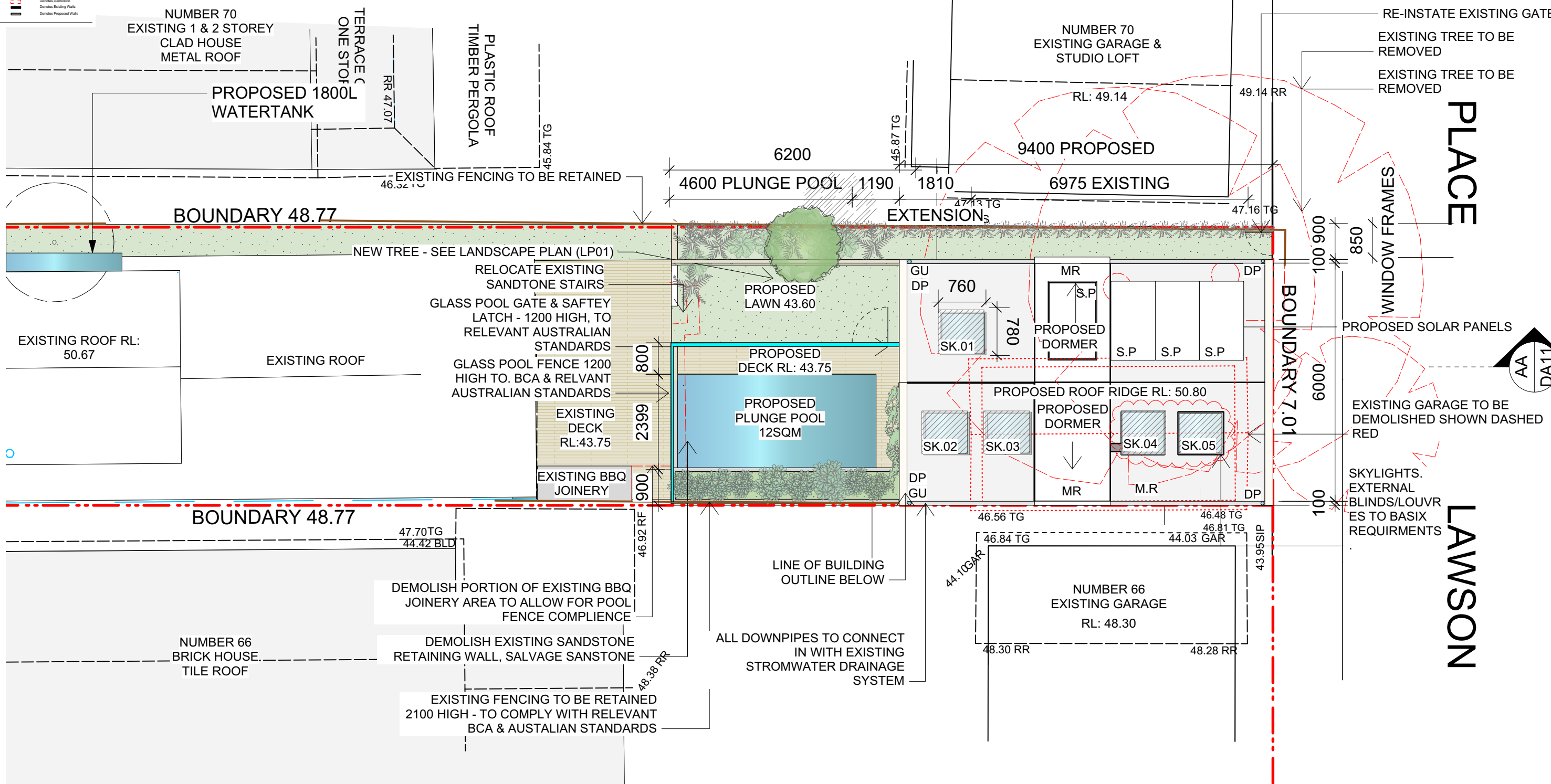
- O.T.D OPEN TIMBER DECKING
- C.T CERAMIC TILING
- CON CONCRETE

LANDSCAPE:

- O.S.P OPEN SANDSTONE PAVING

WALL TYPE:

- Denotes Demolition
- Denotes Existing Walls
- Denotes Proposed Walls



B 07/10/19 SETBACK WALL 900mm
 A 28/08/19 DEVELOPMENT APPLICATION

ISSUE	DATE	REVISION	PROJECT #
PROJECT	68 BIRKLEY ROAD, MANLY - LOT A - DP334786		17001
CLIENT	MATT & GEORGI BATES	DATE # 28/08/19	DWG # DA03
DWG	PROP SITE & ROOF PLAN	SCALE @ A3 1:50	DRAWN AC
	CHKD AC	REVISION B	

T: 612 424 561 309 E-mail - alice.e.cutcliffe@gmail.com

LEGEND

- WALL/ROOF FINISHES:**
- P.1 Paint Colour 1: White
 - T.L Timber Louvres
 - W.B Weatherboard
 - D.P Down Pipe
 - T.I.M Timber Battens
 - M.R Metal Roof
 - G.L Glass
 - G.U Gutters
 - S.P SOLAR PANELS
- FLOOR:**
- O.T.D OPEN TIMBER DECKING
 - C.T. CERAMIC TILING
 - CON CONCRETE
- LANDSCAPE:**
- O.S.P OPEN SANDSTONE PAVERS
- WALL TYPE:**
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 - Denotes Existing Walls
 - Denotes Proposed Walls

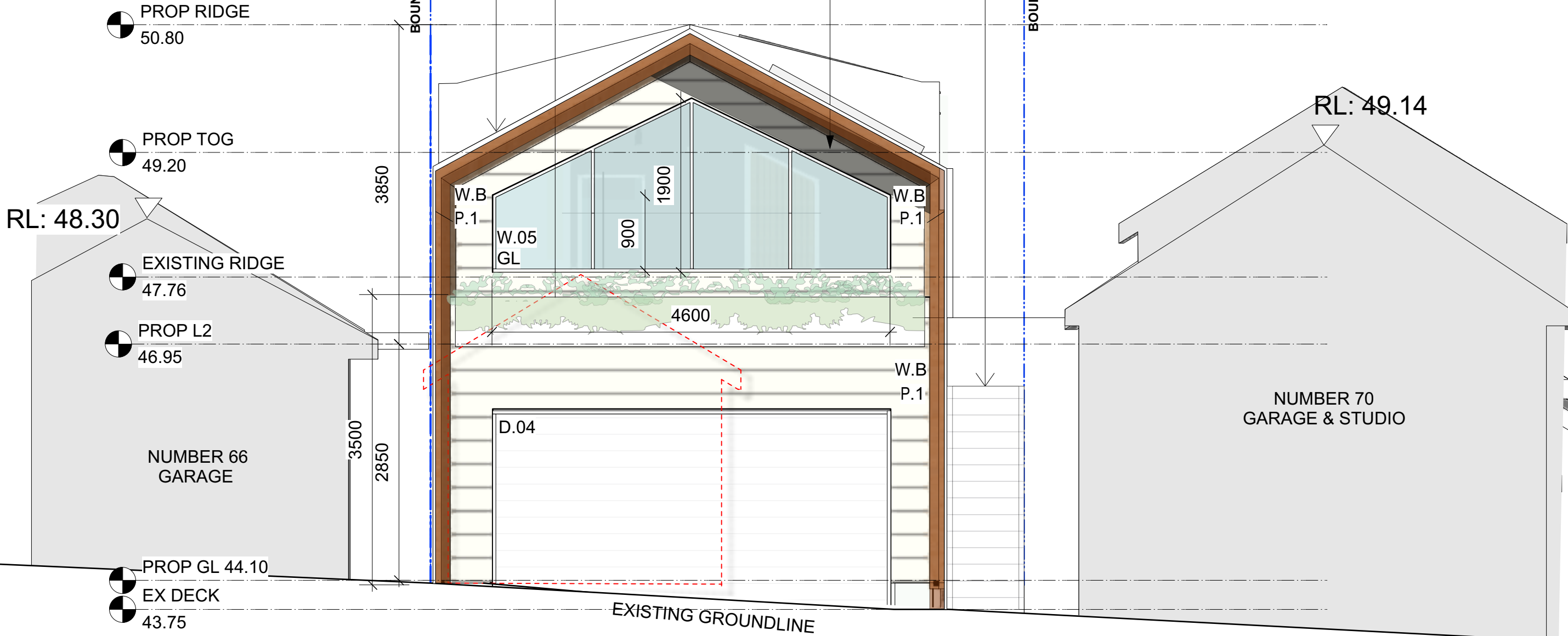
EXISTING GARAGE TO BE DEMOLISHED SHOWN DASHED RED

DORMER WINDOWS

PROPOSED SOLAR PANELS

EXISTING FENCE AND GATE TO BE RETAINED AND MADE GOOD WITH PROPOSED RENOVATIONS

8.5m MAXIMUM BUILDING HEIGHT LINE



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ISSUE	DATE	REVISION	PROJECT #
PROJECT 68 BIRKLEY ROAD, MANLY - LOT A - DP334786			17001
CLIENT	MATT & GEORGI BATES	DATE # 28/08/19	DWG # DA08
DWG	PROP EAST ELEVATION	SCALE @ A3 1:50	
		DRAWN AC	
		CHKD AC	REVISION B

LEGEND

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 - W.B Weatherboard
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 - T.I.M Timber Battens
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 - G.L Glass
 - G.U Gutters
 - S.P SOLAR PANELS
- FLOOR:**
- O.T.D OPEN TIMBER DECKING
 - C.T CERAMIC TILING
 - CON CONCRETE
- LANDSCAPE:**
- O.S.P OPEN SANDSTONE PAVERS
- WALL TYPE:**
- - - - - Denotes Demolition
 - ▬▬▬▬▬ Denotes Existing Walls
 - ▬▬▬▬▬ Denotes Proposed Walls

8.5m MAXIMUM BUILDING HEIGHT LINE

EXISTING FENCE TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND CONTROLS

EXISTING GARAGE TO BE DEMOLISHED SHOW DASHED RED
HARDIE BOARD FEATURE POPOUT

BOUNDARY

PROP RIDGE
50.80

PROP TOG
49.20

EXISTING RIDGE
47.76

PROP L2
46.95

PROP GL 44.10
EX DECK
43.75

SK 02

SK 03

SK 04

SK 05

T.L
P.1

M.R
GU
DP
W.B
P.1

6700

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ISSUE	DATE	REVISION	PROJECT #
PROJECT	68 BIRKLEY ROAD, MANLY - LOT A - DP334786		17001
CLIENT	MATT & GEORGI BATES	DATE # 28/08/19	DWG #
DWG	PROP SOUTH ELEVATION	SCALE @ A3 1:50	DA09
		DRAWN AC	
		CHKD AC	REVISION B

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LEGEND

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- S.P SOLAR PANELS

FLOOR:

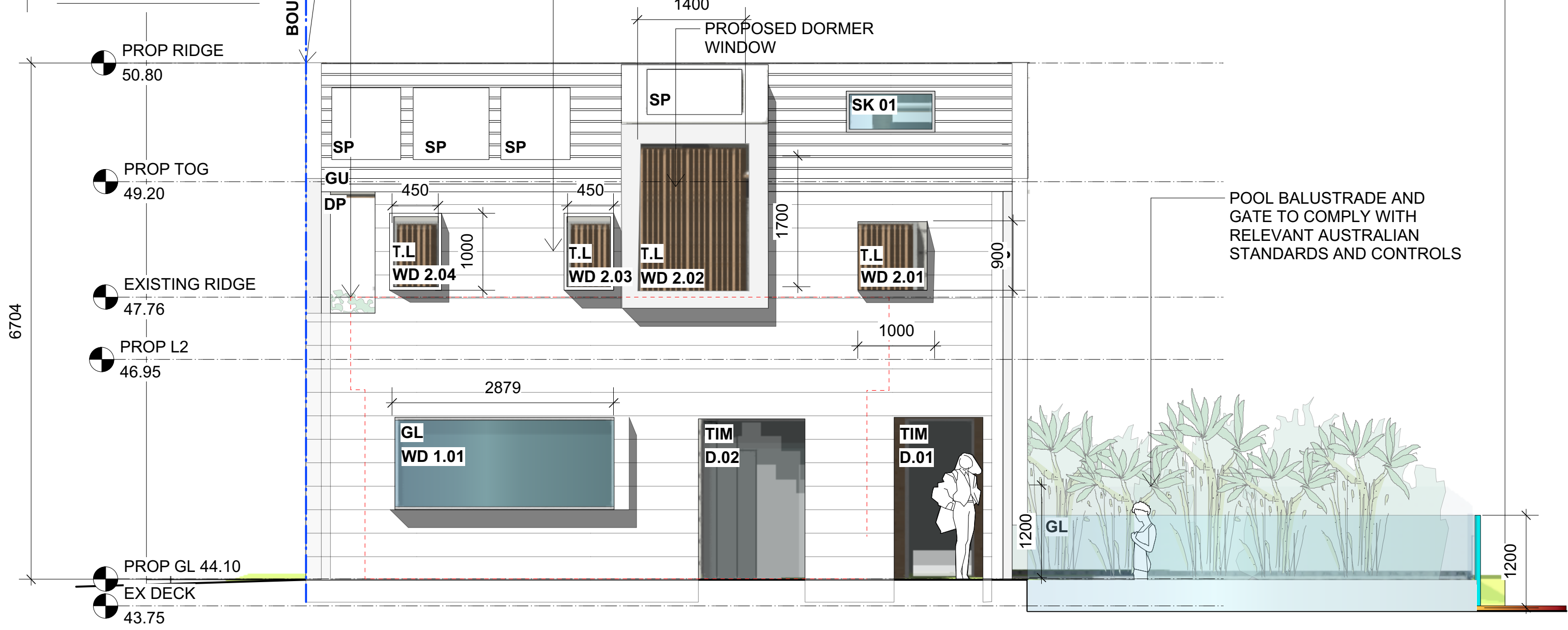
- O.T.D OPEN TIMBER DECKING
- C.T. CERAMIC TILING
- CON CONCRETE

LANDSCAPE:

- O.S.P OPEN SANDSTONE PAVERS

WALL TYPE:



- Denotes Demolition
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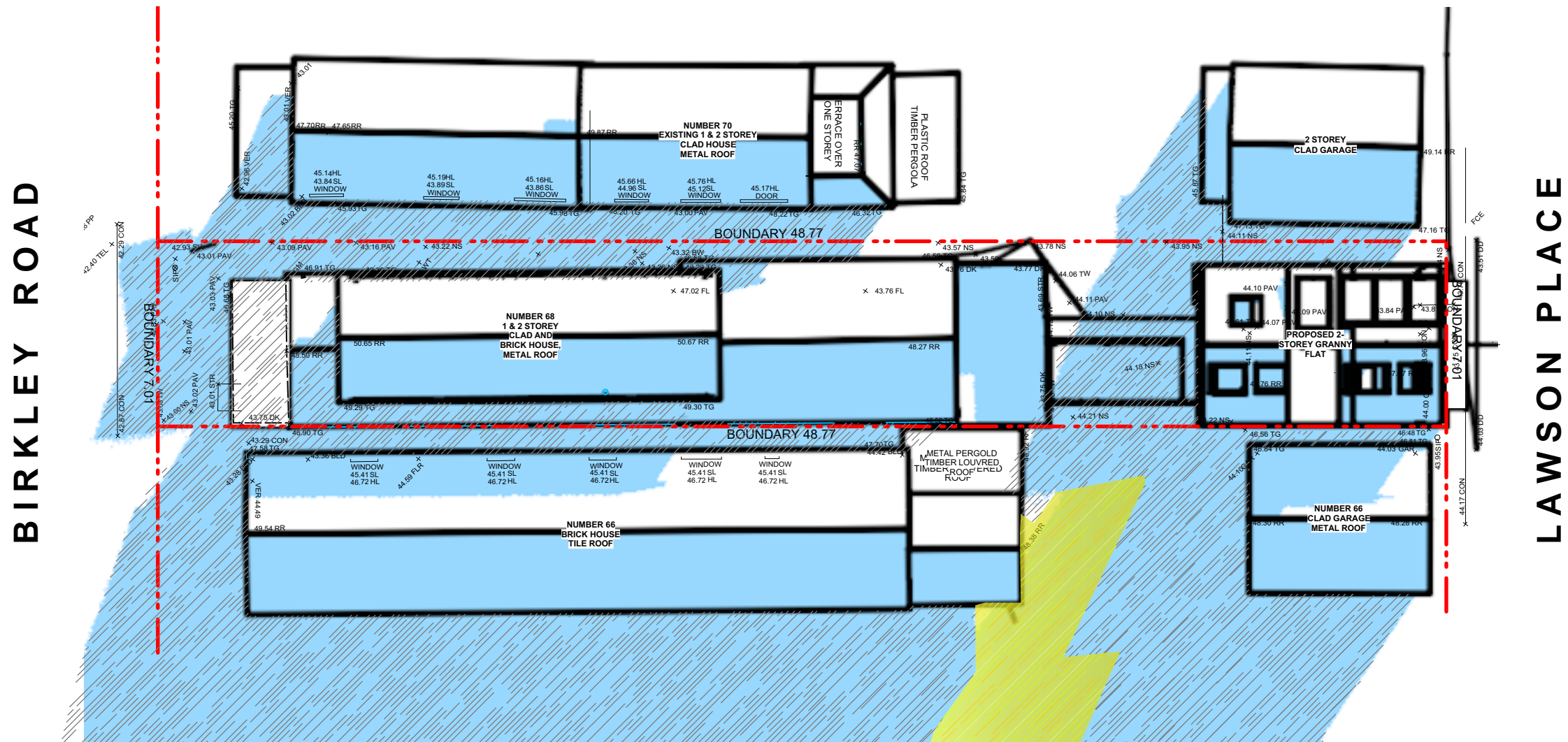


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ISSUE	DATE	REVISION	PROJECT #
PROJECT	68 BIRKLEY ROAD, MANLY - LOT A - DP334786		17001
CLIENT	MATT & GEORGI BATES	DATE # 28/08/19	DWG #
DWG	PROP NORTH ELEVATION	SCALE @ A3 1:50	DA10
		DRAWN AC	
		CHKD AC	REVISION B

LEGEND

-  ADDITIONAL SHADOW CAST
-  EXISING SHADOW CAST



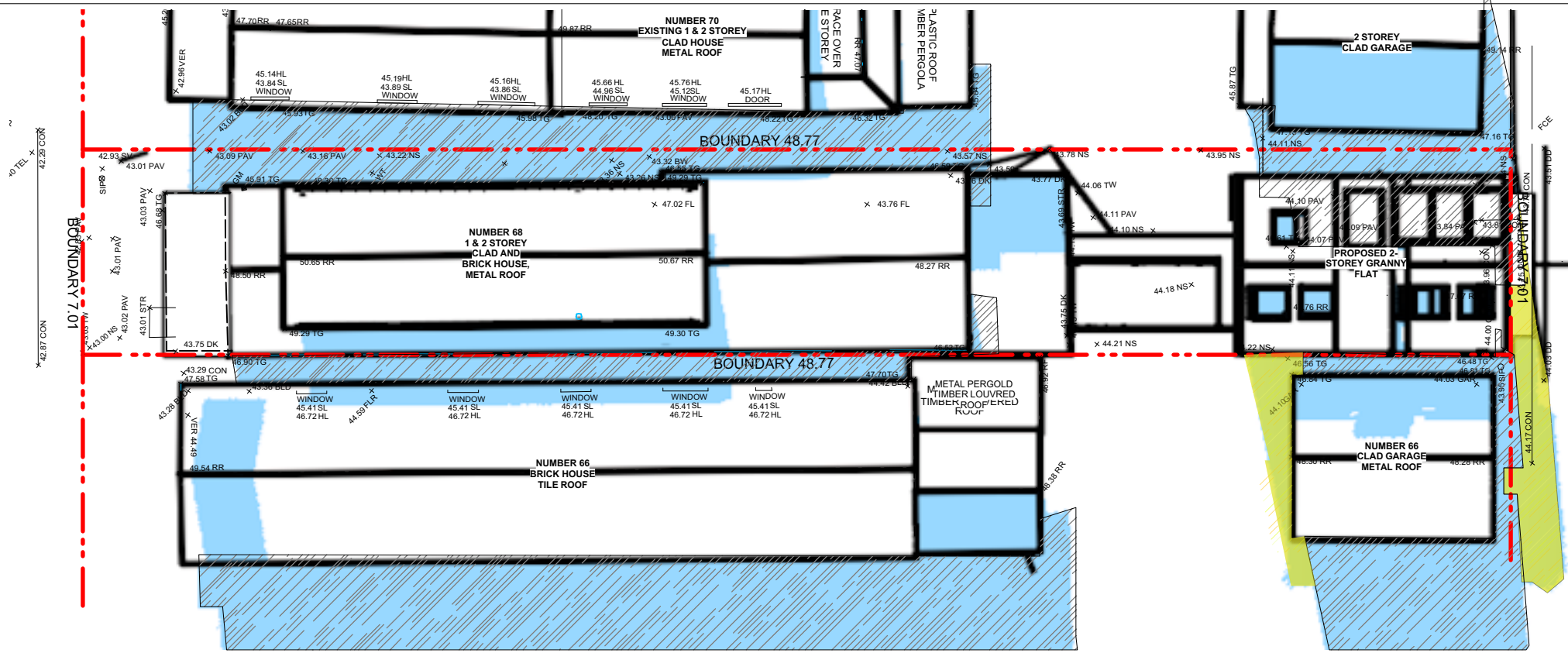
SHADOW DIAGRAMS 1:200
9AM JUNE 21

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A 28/08/19 DEVELOPMENT APPLICATION

ISSUE	DATE	REVISION	PROJECT #
PROJECT	68 BIRKLEY ROAD, MANLY - LOT A - DP334786		17001
CLIENT	MATT & GEORGI BATES	DATE # 28/08/19	DWG #
DWG	SHADOW DIAGRAMS	SCALE @ A3 1:50	DA14
		DRAWN AC	
		CHKD AC	REVISION B

BIRKLEY ROAD

LAWSON PLACE



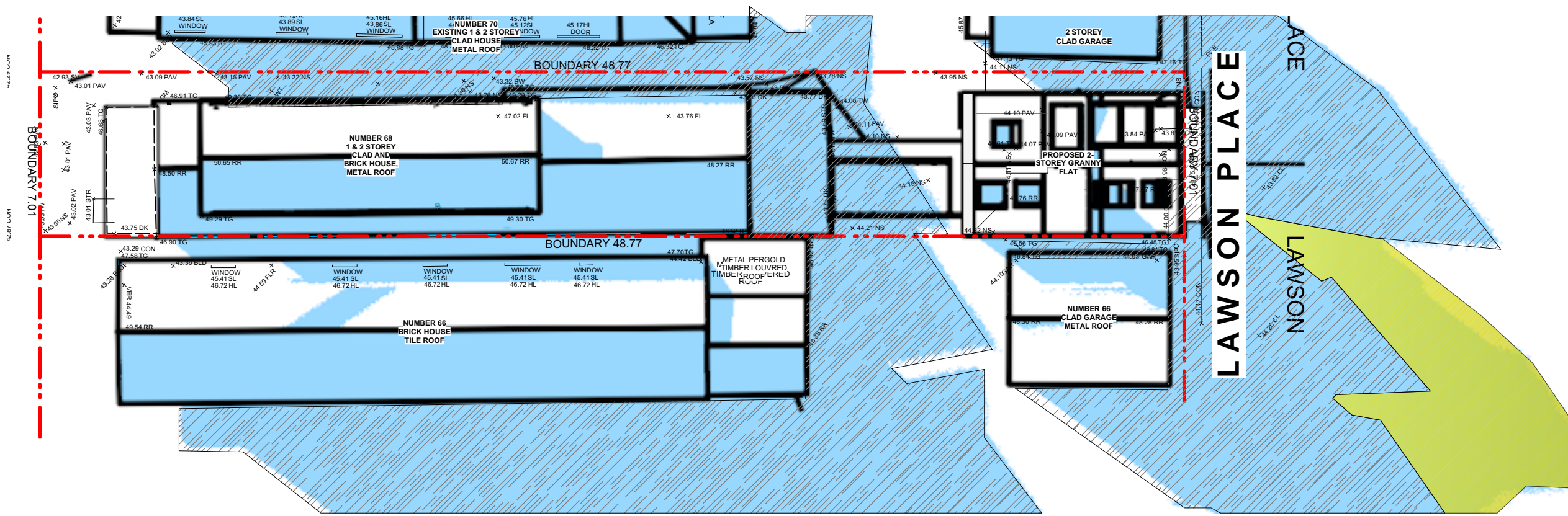
LEGEND

- ADDITIONAL SHADOW CAST
- EXISING SHADOW CAST

SHADOW DIAGRAMS 1:200
12PM JUNE 21

BIRKLEY ROAD

LAWSON PLACE



SHADOW DIAGRAMS 1:200
3PM JUNE 21

B 07/10/19 SETBACK WALL 900mm
A 28/08/19 DEVELOPMENT APPLICATION

ISSUE	DATE	REVISION	PROJECT #
PROJECT	68 BIRKLEY ROAD, MANLY - LOT A - DP334786		17001
CLIENT	MATT & GEORGI BATES		DATE # 28/08/19
DWG	SHADOW DIAGRAMS		SCALE @ A3 1:50
	CHKD	AC	DWG # DA15
			REVISION B

Single Dwelling

Certificate number: 8930415_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 07 October 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Birkley Road Revised 2_03	
Street address	68 Birkley Road Manly 2095	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 334786	
Lot no.	A	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	1	
Project score		
Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	54	Target 50

Certificate Prepared by	
Name / Company Name:	alice.cutcliffe
ABN (if applicable):	20658738193

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must have a pool cover.		✓	✓
The swimming pool must be outdoors.	✓	✓	

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
floor - suspended floor above garage, framed	nil	
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)	
external wall - cavity brick	0.50 (or 1.17 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 3.76 (up), roof: foil backed blanket (100 mm)	framed, light (solar absorbance < 0.475)

- Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• For the following glass and frame types, the certifier check can be performed by visual inspection.			✓
- Aluminium single clear			✓
- Aluminium double (air) clear			✓
- Timber/PVC/fibreglass single clear			✓
- Timber/PVC/fibreglass double (air) clear			✓
• For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.			✓
• Vertical external louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:		✓	✓
• External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed		✓	✓

Skylight no.	Maximum area (square metres)	Type	Shading device
S01	1.50	timber, low-E/double/argon fill	adjustable awning or blind
S02	1.50	timber, low-E/double/argon fill	adjustable awning or blind

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
WD2.02	1700	1300	U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear)	external louvre/vertical blind (adjustable)	not overshadowed
WD2.01	1000	900	U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear)	external louvre/vertical blind (fixed)	not overshadowed
WD2.03	1000	450	U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear)	external louvre/vertical blind (fixed)	not overshadowed
WD2.04	1000	450	U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear)	external louvre/vertical blind (fixed)	not overshadowed
East facing					
WD2.05	1400	4500	U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear)	solid overhang 200 mm, 300 mm above head of window or glazed door	not overshadowed
West facing					
WD2.06	1600	900	U-value: 2.9, SHGC: 0.459 - 0.561 (aluminium: thermally broken, double (argon), Hi-Tsol Low-e/clear)	external louvre/vertical blind (fixed)	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (gas boosted, flat plate).	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a		✓	✓
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 1 of the bedrooms / study; dedicated		✓	✓
• at least 1 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar only		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 0.3 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

Description of project

Project address	
Project name	Birkley Road Revised 2_03
Street address	68 Birkley Road Manly 2095
Local Government Area	Northern Beaches Council
Plan type and plan number	deposited Plan 334786
Lot no.	A
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	1
Site details	
Site area (m ²)	342
Roof area (m ²)	70
Conditioned floor area (m ²)	38.0
Unconditioned floor area (m ²)	6.0
Total area of garden and lawn (m ²)	84

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/m ² .year)	n/a	
Area adjusted heating load (MJ/m ² .year)	n/a	
Project score		
Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	54	Target 50

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 5 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1800 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 70 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Swimming pool			
The swimming pool must not have a volume greater than 15 kilolitres.	✓	✓	

B 07/10/19 SETBACK WALL 900mm
A 28/08/19 DEVELOPMENT APPLICATION

ISSUE	DATE	REVISION	PROJECT #
PROJECT	68 BIRKLEY ROAD, MANLY - LOT A - DP334786		17001
CLIENT	MATT & GEORGI BATES		DWG #
DWG	BASIX REPORT		DA19
CHKD	AC	REVISION	B