

- BASIX COMMITMENTS:
- SECONDARY DWELLING
- 1.All construction to comply with Basix certificate 11452185
  - 2. Low water use planting to 100sqm of the site
  - 3.Rainwater tank at least 2000litres to be installed to collect runoff from at least 94 sqm of roof connected to toilet, one outdoor tap.
  - 4. Minimum 4 star water rating shower heads to be installed
  - 5. Minimum 5 star water rating toilets to be installed
  - 6.Minimum 5 star water taps to be installed
  - 7.Floor to be concrete on ground (27sqm) & suspended concrete 32.5sqm) with R1.2 insulation below
  - 8.Minimum R3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R3.4)
  - 9. 55mm foil backed blanket to be installed below all roofs with minimum R2.95 insulation to ceiling
  - 10. The primary type of lighting to all rooms to be fluorescent, or LED
  - 11.Gas instantaneous hot water system (5 stars) to be installed
  - 12.Ceiling fans to be installed to living & bedroom areas & 3-phase airconditioning to living areas
  - 13 gas cooktop & electric oven to be installed
  - 14.fixed outdoor clothes drying line to be installed

- HOUSE & POOL
- 1.All construction to comply with Basix certificate A393896
  - 2.Rainwater tank at least 1011litres to be installed to collect runoff from at least 80 sqm of roof connected to a tap within 10m of pool
  - 3.Maximum capacity of pool to be 36,000 litres with a pump timer and pool cover.
  - 4.Electric heat pump pool heating to be installed
  - 5. 40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
  - 6. Minimum R1.16 insulation to be installed to all external brick veneer walls (minimum combined Rvalue with construction R1.7)
  - 7.Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)
  - 8. 55mm foil backed blanket to be installed below all roofs with minimum R1.74 insulation to ceiling

**SITE CALCULATIONS**

Site Area : 834.2 sqm

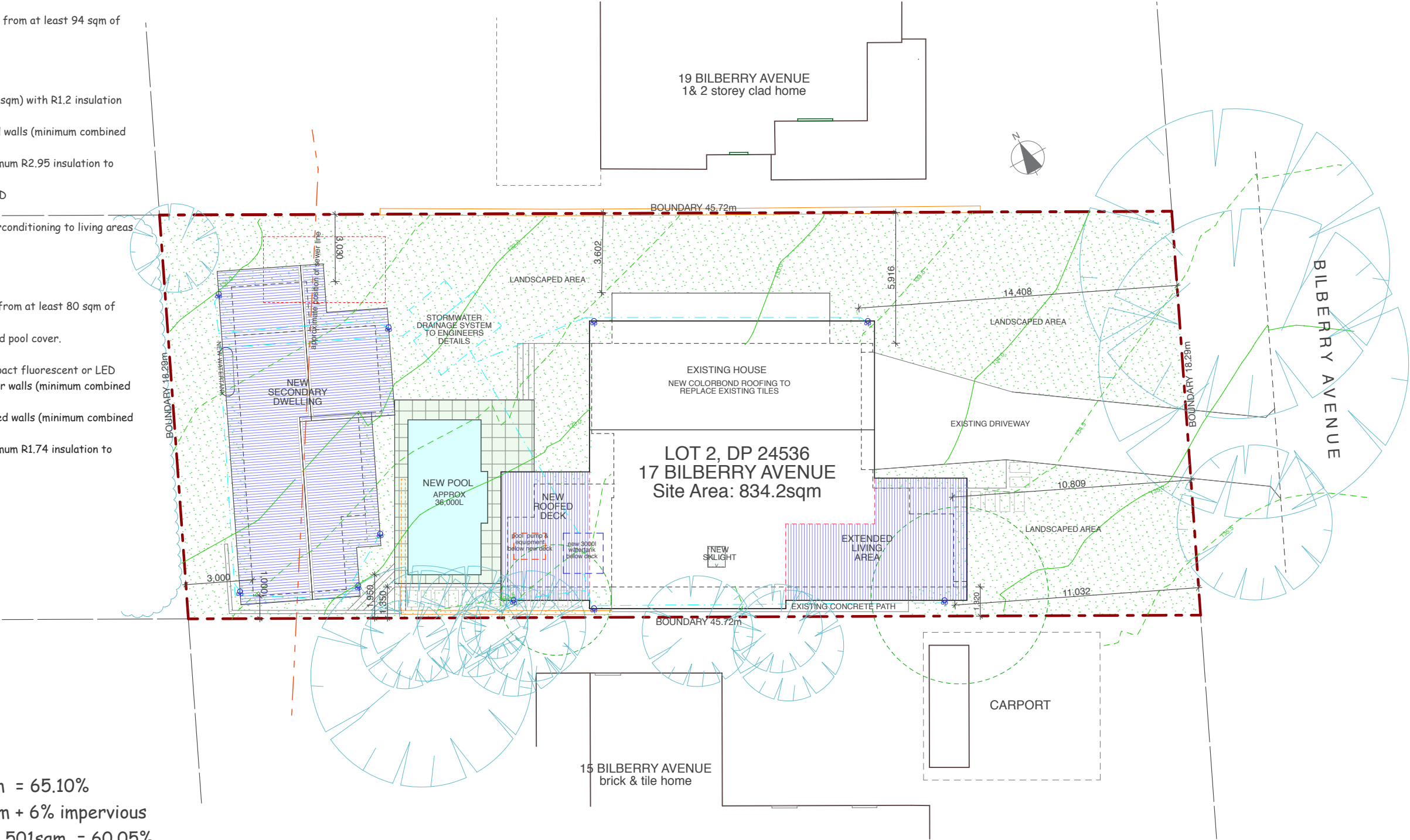
**LANDSCAPE AREA**

**Existing Soft Landscaped area - 543sqm = 65.10%**  
**Proposed Soft Landscaped area - 451sqm + 6% impervious outdoor entertaining area (pool) - 50sqm = 501sqm = 60.05%**

**FLOOR AREA**

Existing - house 130 sqm + garage 30 sqm = 160 sqm  
Proposed -house 166 sqm + garage 30 sqm = 196 sqm

Proposed Floor area Secondary Dwelling- 59.6sqm



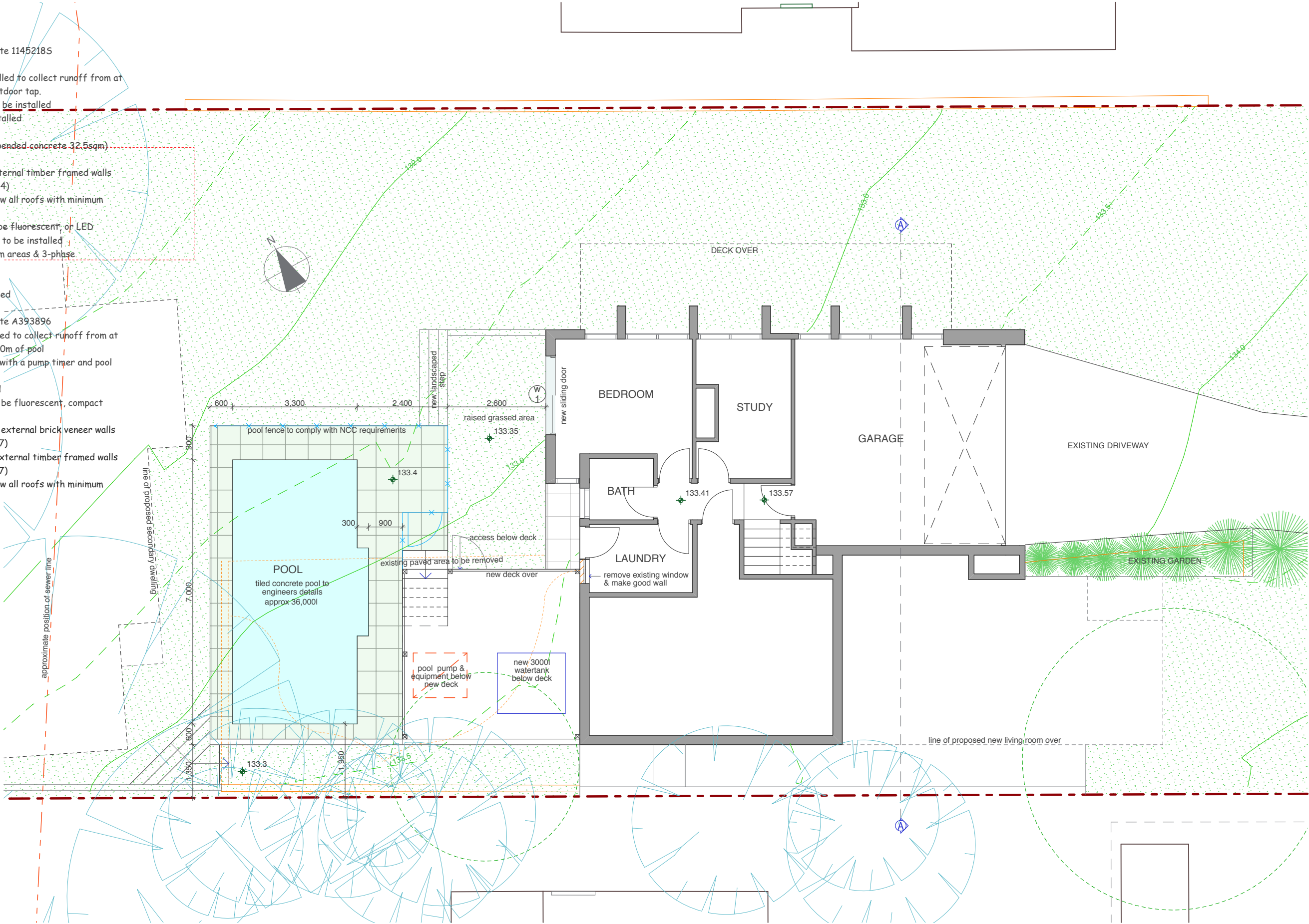
AMENDMENTS	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173	PROPOSED ALTERATIONS & ADDITIONS  for: B. & B. Bolewski at: Lot 21, DP24536, 17 Bilberry Avenue BILGOLA PLATEAU 2017	drawing title	date: NOVEMBER 2020  scale: 1:200 (A3)  drawing number <b>DA-01</b>
			<b>SITE PLAN</b>  NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	

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SECONDARY DWELLING

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HOUSE & POOL

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AMENDMENTS

JO WILLMORE DESIGNS  
11 Hudson Parade  
Clareville NSW 2107  
(02) 9918 2479  
ABN 27 370 370 173

PROPOSED ALTERATIONS & ADDITIONS

for: B. & B. Bolewski  
at: Lot 21, DP24536, 17 Bilberry Avenue  
BILGOLA PLATEAU 2017

drawing title

LOWER FLOOR PLAN

NOTE: Use figured dimension only.  
Do not scale off drawings. All levels and  
dimensions to be verified prior to construction  
of work

date: NOVEMBER 2020

scale: 1:100 (A3)

drawing number

DA-02

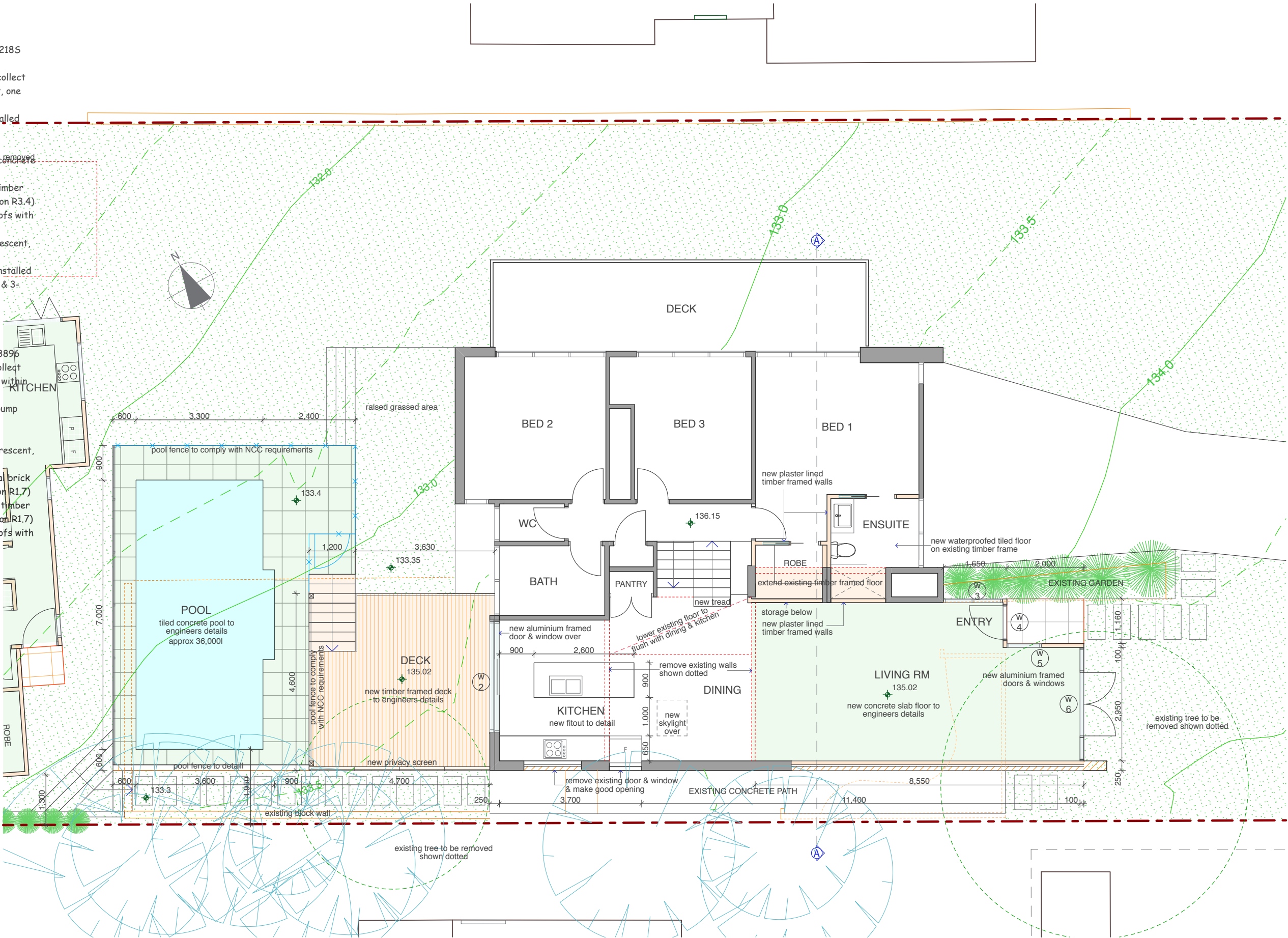


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JO WILLMORE DESIGNS  
11 Hudson Parade  
Clareville NSW 2107  
(02) 9918 2479  
ABN 27 370 370 173

PROPOSED ALTERATIONS & ADDITIONS

for: B. & B. Bolewski  
at: Lot 21, DP24536, 17 Bilberry Avenue  
BILGOLA PLATEAU 2017

drawing title

UPPER FLOOR PLAN

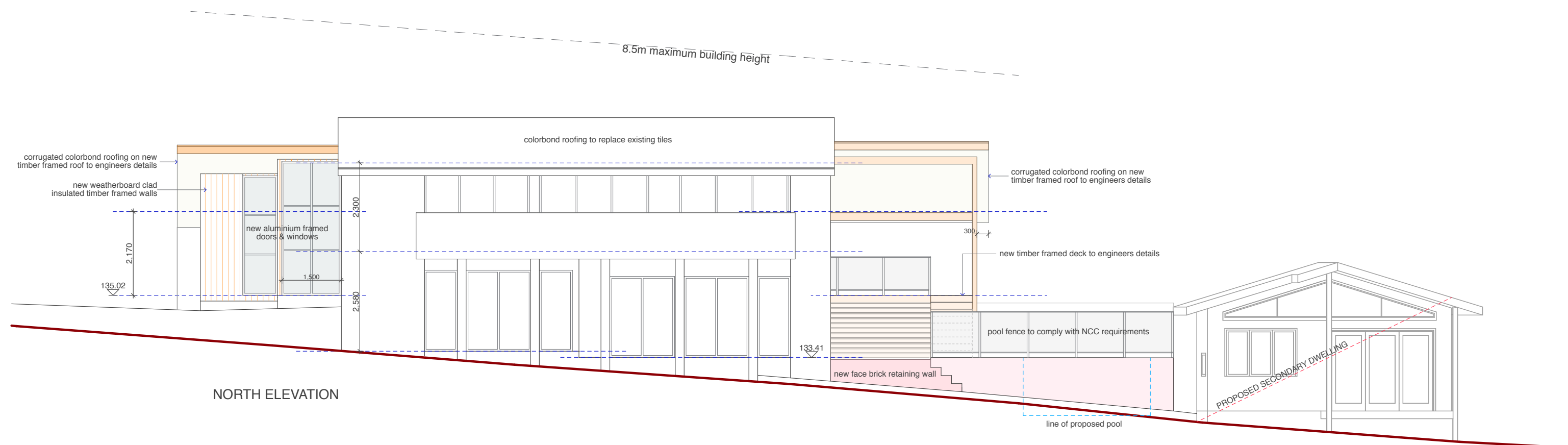
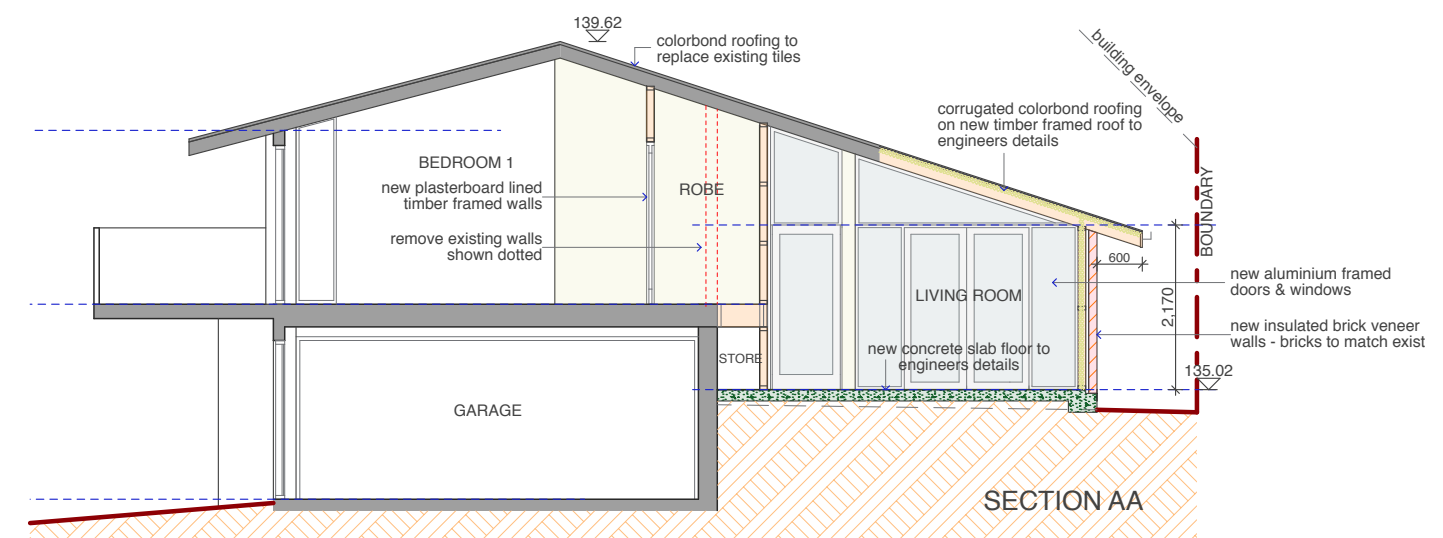
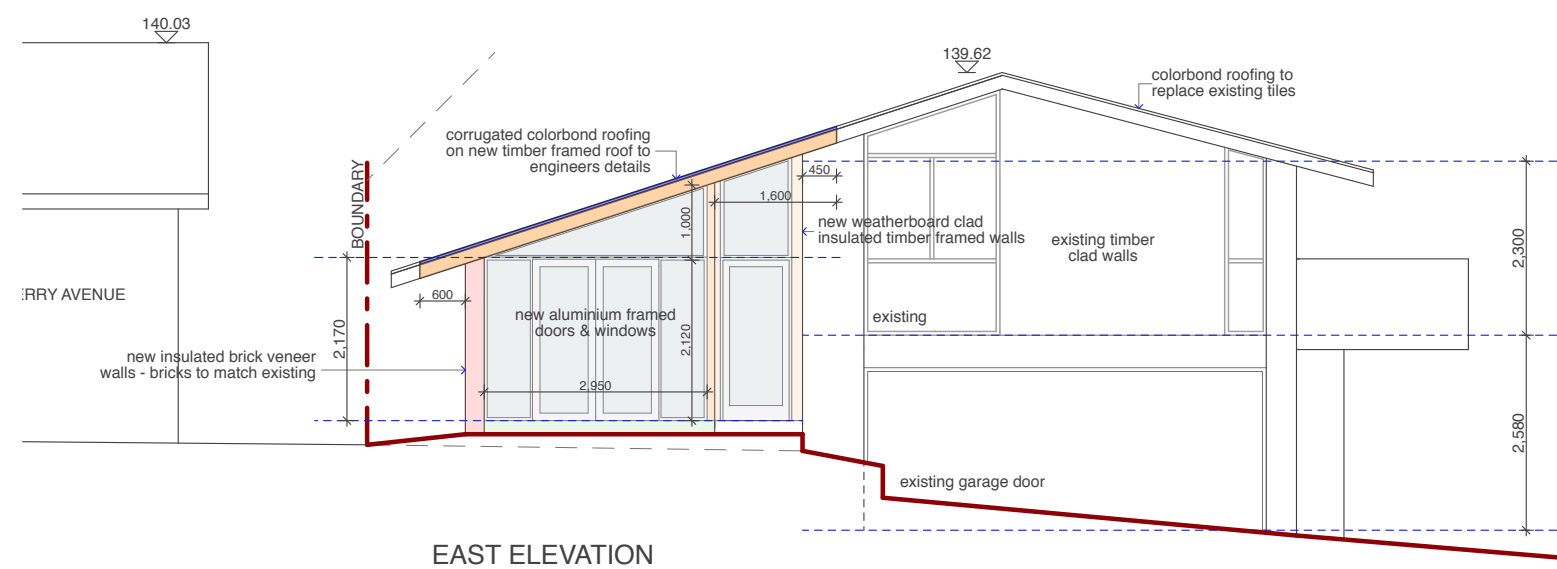
NOTE: Use figured dimension only.  
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date: NOVEMBER 2020

scale: 1:100 (A3)

drawing number

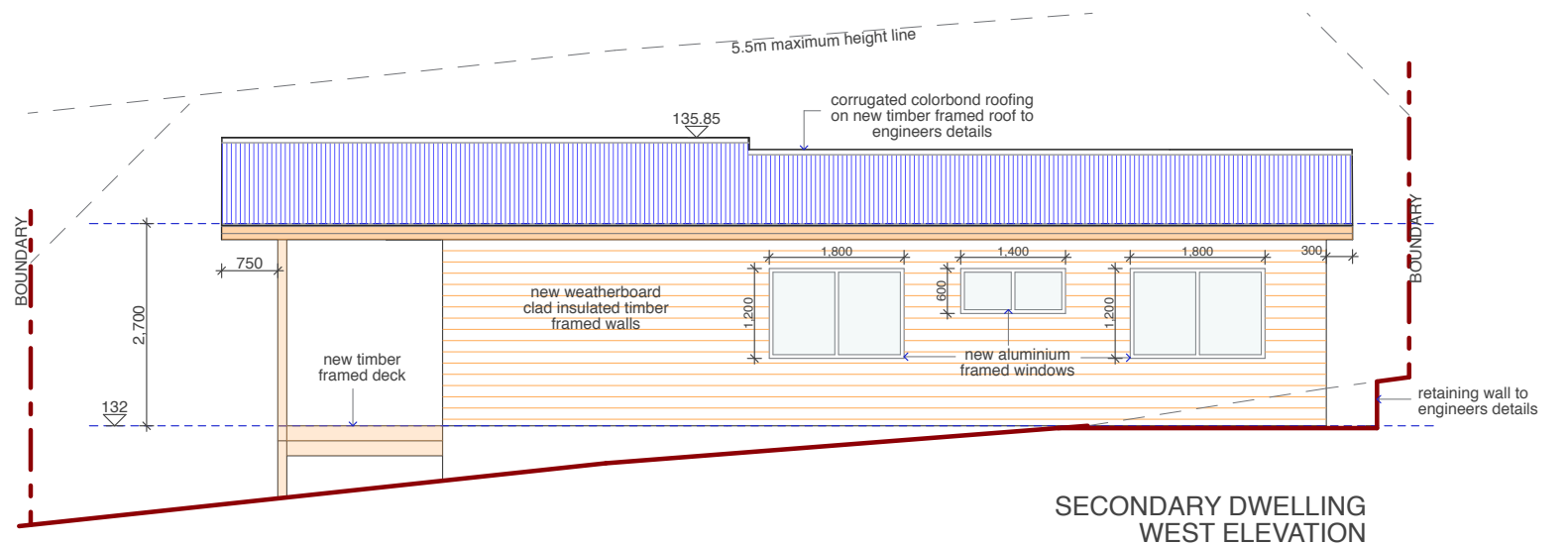
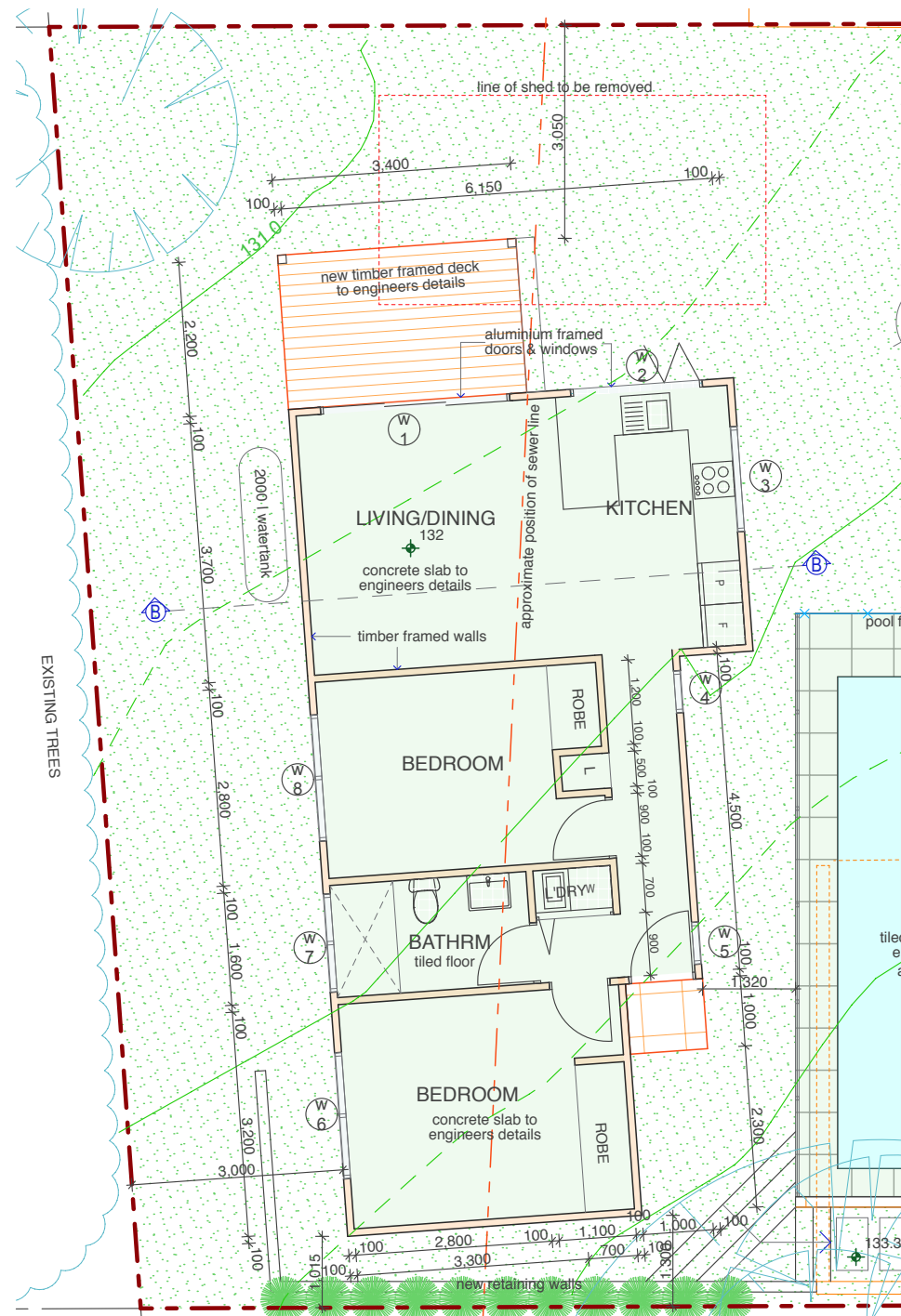
DA-03



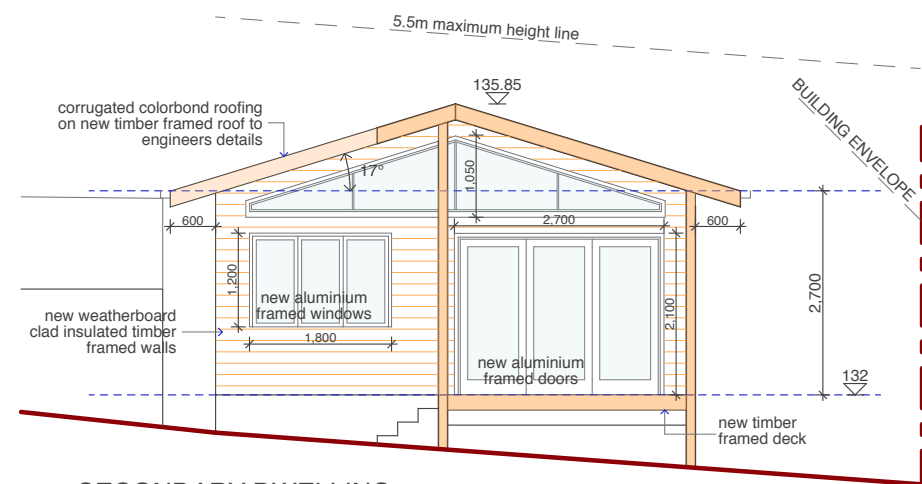
<p>AMENDMENTS</p>	<p>JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173</p>	<p><b>PROPOSED ALTERATIONS &amp; ADDITIONS</b></p> <p>for: B. &amp; B. Bolewski at: Lot 21, DP24536, 17 Bilberry Avenue BILGOLA PLATEAU 2017</p>	<p>drawing title</p> <p><b>ELEVATIONS</b></p> <p>NOTE: Use figured dimension only. Do not scale off drawings. All levels and dimensions to be verified prior to construction of work</p>	<p>date: NOVEMBER 2020</p> <p>scale: 1:100 (A3)</p> <p>drawing number</p> <p><b>DA-04</b></p>
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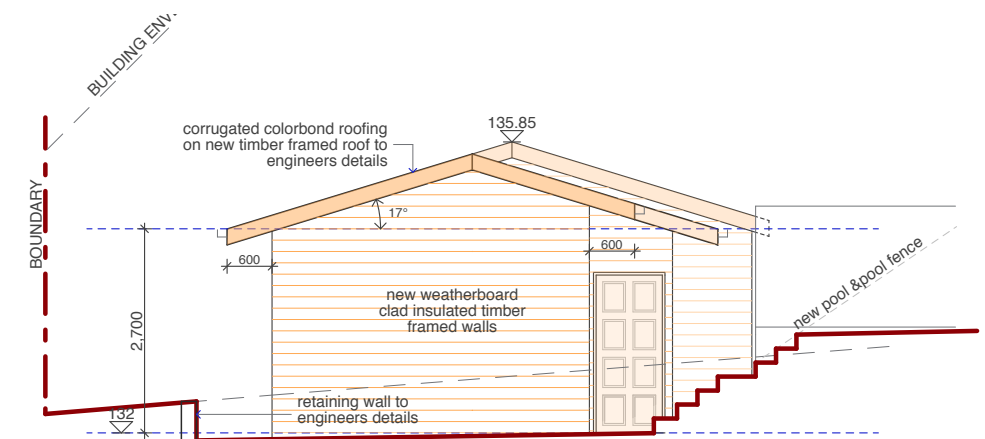




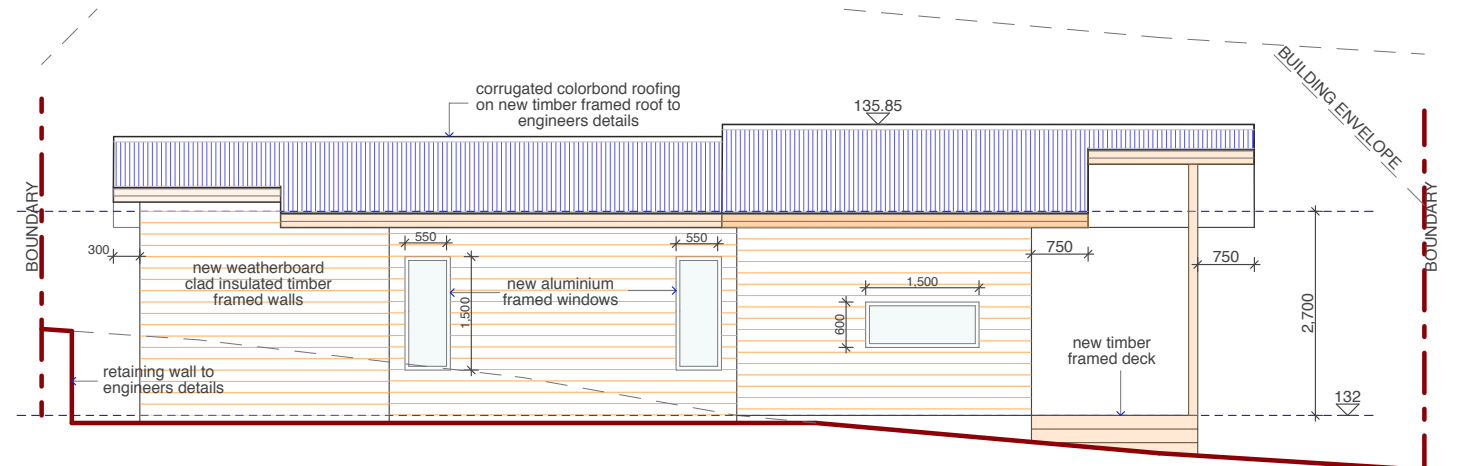
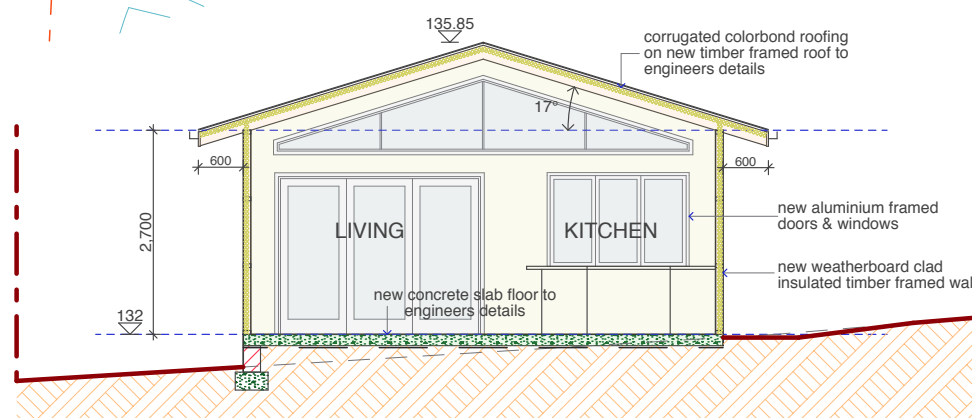
SECONDARY DWELLING  
WEST ELEVATION



SECONDARY DWELLING  
NORTH ELEVATION



SECONDARY DWELLING  
SOUTH ELEVATION



SECONDARY DWELLING  
EAST ELEVATION

AMENDMENTS

JO WILLMORE DESIGNS  
11 Hudson Parade  
Clareville NSW 2107  
(02) 9918 2479  
ABN 27 370 370 173

## PROPOSED ALTERATIONS & ADDITIONS

for: B. & B. Bolewski  
at: Lot 21, DP24536, 17 Bilberry Avenue  
BILGOLA PLATEAU 2017

drawing title

## SECONDARY DWELLING

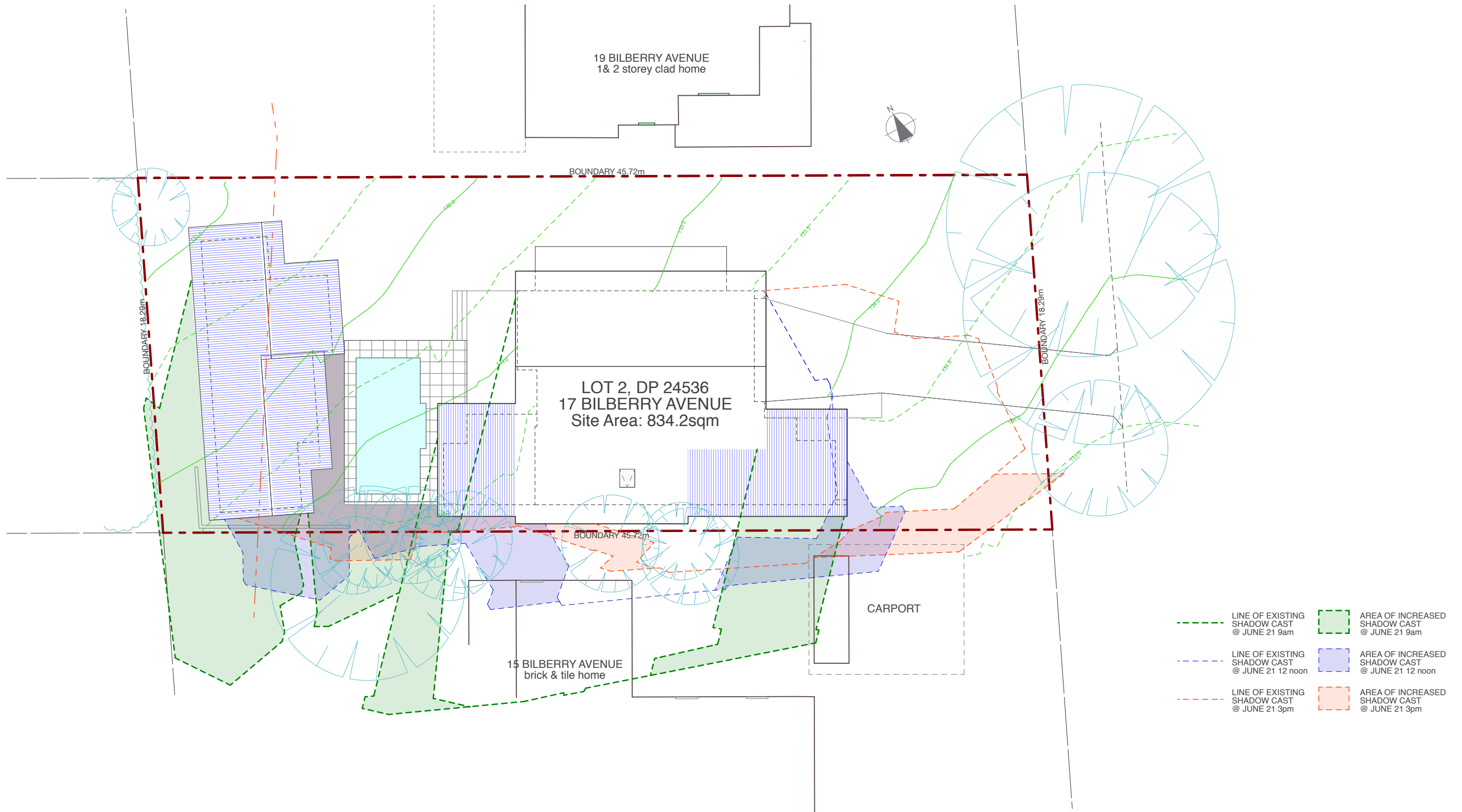
NOTE: Use figured dimension only.  
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of work

date: NOVEMBER 2020

scale: 1:100 (A3)

drawing number

DA-06



AMENDMENTS

JO WILLMORE DESIGNS  
11 Hudson Parade  
Clareville NSW 2107  
(02) 9918 2479  
ABN 27 370 370 173

### PROPOSED ALTERATIONS & ADDITIONS

for: B. & B. Bolewski  
at: Lot 21, DP24536, 17 Bilberry Avenue  
BILGOLA PLATEAU 2017

drawing title

### SHADOW DIAGRAMS

NOTE: Use figured dimension only.  
Do not scale off drawings. All levels and  
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of work

date: NOVEMBER 2020

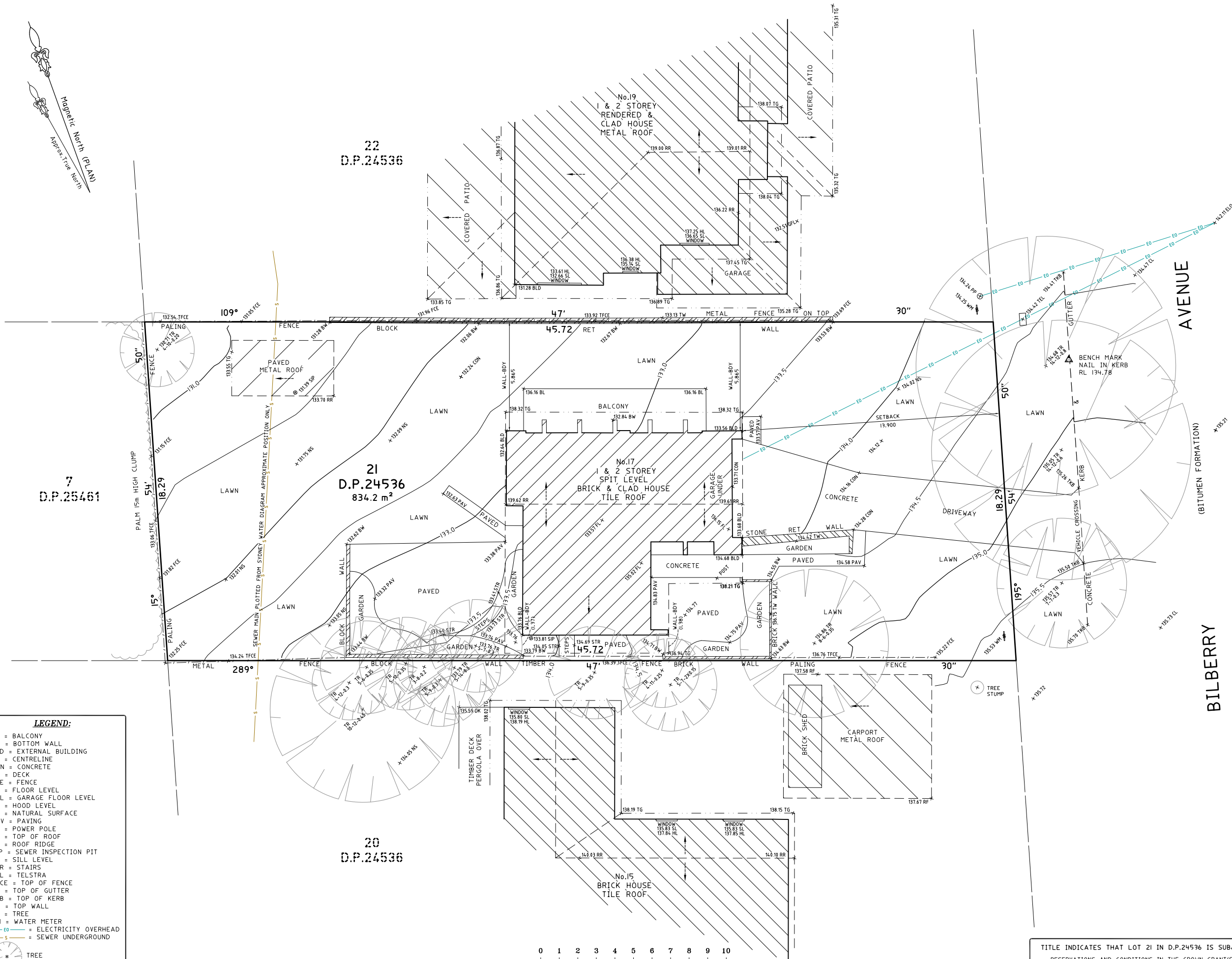
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drawing number

DA-07







NOTES

- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION, IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED.
- THIS DETAIL SURVEY IS NOT A "SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF BENJAMIN BOLEWSKI.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (ph 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2017.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.

HORIZONTAL DATUM:  
CO-ORDINATE SYSTEM: ASSUMED

VERTICAL DATUM:  
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)  
B.M. ADOPTED: SSM 38130  
R.L. 116.0 (ORDER 5)  
SOURCE: S.C.I.M.S. (16/03/15)

2	TREES UPDATED	26/09/18
1	FIRST ISSUE	28/03/17

CLIENT:  
**BENJAMIN BOLEWSKI**  
**17 BILBERRY AVENUE,**  
**BILGOLA PLATEAU NSW 2107**

**SURVEY PLAN**  
**SHOWING DETAIL & LEVELS**  
**OVER LOT 21 IN D.P.24536**  
**17 BILBERRY AVENUE,**  
**BILGOLA PLATEAU NSW 2107**

**C.M.S. Surveyors**  
**Pty Limited**

ACN: 096 240 201

PO Box 463 Dee Why  
NSW 2099  
1/32 Campbell Avenue,  
Dee Why NSW 2099  
Telephone: (02) 9971 4802  
Facsimile: (02) 9971 4822  
E-mail: info@cmsurveyors.com.au

LGA: NORTHERN BEACHES SHEET 1 OF 1

SURVEYED TC	DRAWN GP	CHECKED TC	APPROVED SE/--
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SURVEY INSTRUCTION 16828	SCALE 1:100	DATE OF SURVEY 16/03/17
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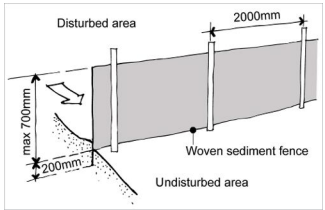
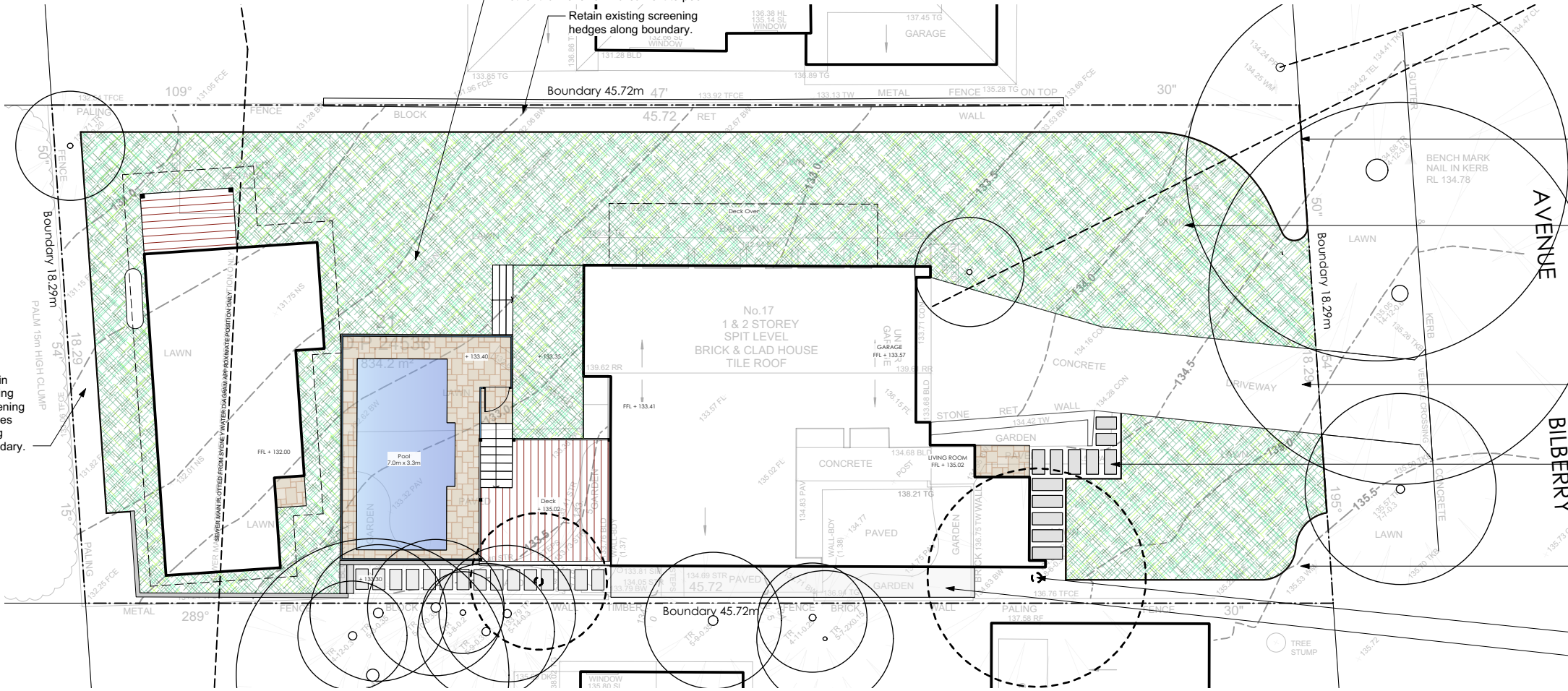
DRAWING NAME <b>16828detail</b>	ISSUE <b>2</b>
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CAD FILE 16828detail 2.dwg
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TITLE INDICATES THAT LOT 21 IN D.P.24536 IS SUBJECT TO:  
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)  
- G522447 COVENANT (NOT INVESTIGATED)



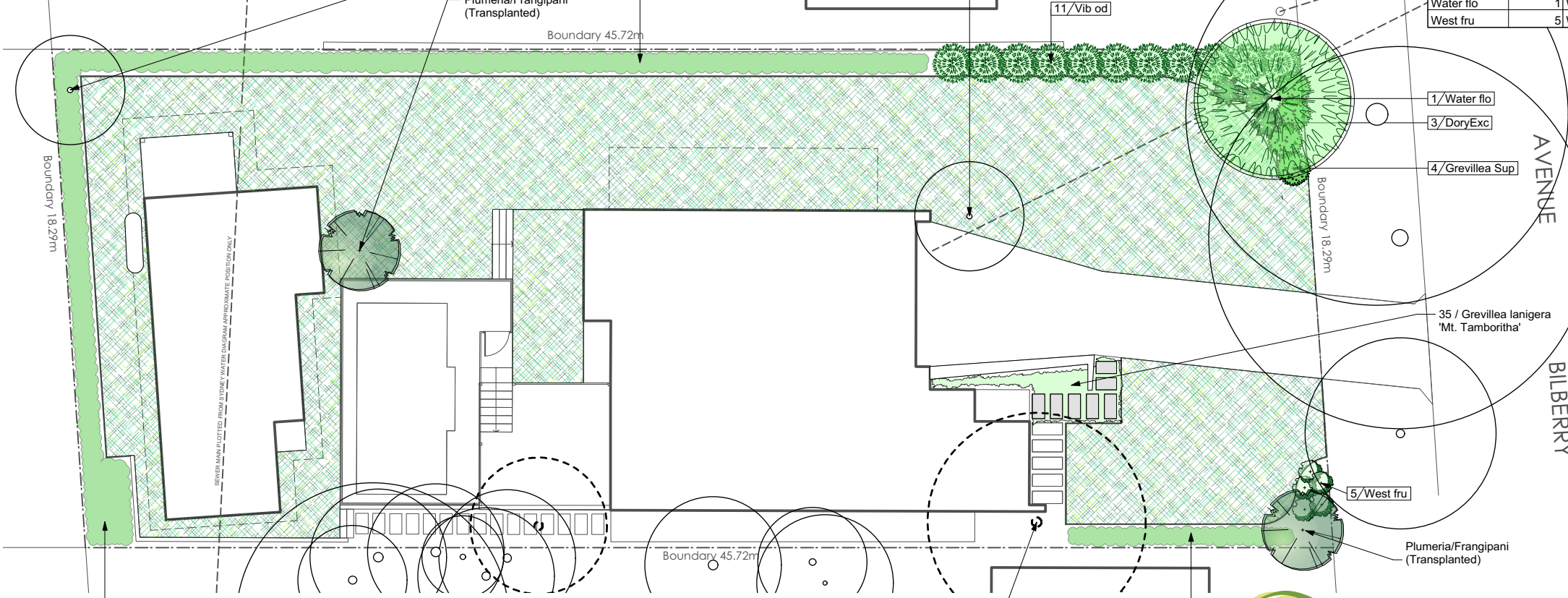
Site Plan  
1:100@A1 1:200@A3. Do not scale off plan



Sedimentation Control Fence  
Not to scale.  
Source: www.yourhome.gov.au

- Legend**
- MULCH AREA
  - TURF AREA
  - TIMBER DECKING
  - CONCRETE PAVING
  - UNIT PAVING
  - STAIRS
  - PEBBLE
  - GRAVEL
  - COBBLESTONE
  - TIMBER
  - WATER
  - MASONRY RETAINING WALL
  - STONE RETAINING WALL
  - TIMBER RETAINING WALL
  - BOULDER RETAINING WALL
  - SITE OR WORKS BOUNDARY
  - PROPOSED LEVEL
  - TOP OF WALL LEVEL
  - MATERIAL NAME
  - SURFACE FALL DIRECTION
  - SURFACE DRAINS
  - SURVEY (50% GREY LINES)
  - EXISTING TREE TO RETAIN
  - EXISTING TREE TO REMOVE
  - EXISTING ROCK OUTCROP

Planting Plan  
1:100@A1 1:200@A3. Do not scale off plan



**Notes:**  
>Do not scale off plan.  
>Contractors to check all measurements onsite before quoting or commencing work.  
>If abnormalities arise, contact the Landscape Architect.  
>This design is copyright and is not to be reproduced in any way without written consent of Jamie King Landscape Architect

C	05/12/20	Issue C for DA	PROJECT #	21046
B	27/11/20	Issue B	CLIENT	Bolewski
A	23/11/20	DRAFT issue for review	DATE #	See above
ISSUE	DATE	REVISION	SCALE @ A1	See Plan
PROJECT	17 Bilberry Avenue, Bilgola Plateau		DRAWN	SA
			CHKD	JK
			REVISION	



**JAMIE KING**  
LANDSCAPE ARCHITECT  
DESIGN ● APPROVE ● MANAGE

**Jamie King Landscape Architect**  
84 Palmgrove Rd, Avalon, NSW, 2107  
T: 0421 517 991  
W: www.jamieking.com.au  
E: jamie@jamieking.com.au

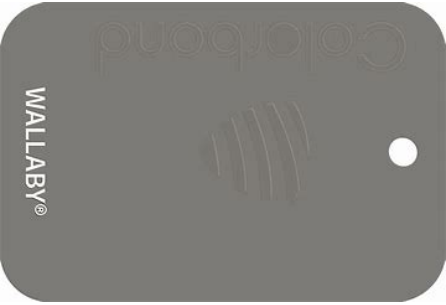

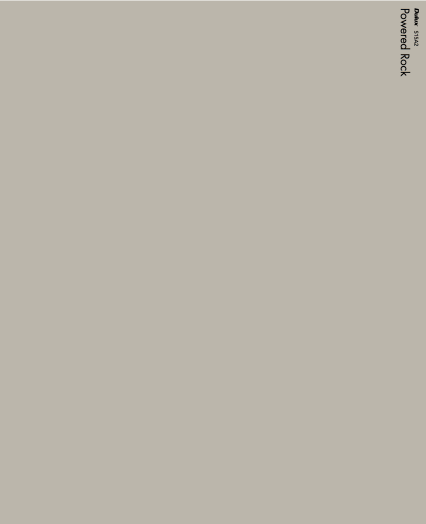




COLOUR SCHEDULE

NEW HOUSE AT: 17 BILBERRY AVE, BILGOLA PLATEAU

FOR: B. & B. BOLEWSKI

DATE: 4th December 2020

<div>ROOF - New &amp; Existing</div> <div></div> <div>CORRUGATED COLORBOND</div>	<div>WALLS -HOUSE</div> <div></div> <div>BRICKS TO MATCH EXISTING</div>
<div>WALLS-SECONDARY DWELLING</div> <div></div> <div>WEATHERBOARDS PAINTED -DULUX POWERED ROCK</div>	<div>WINDOWS</div> <div></div> <div>ALUMINIUM FRAMED- POWDER COATED WHITE</div>
<div>POSTS/EAVES/RAILINGS</div> <div></div> <div>PAINTED - DULUX ' WHISPER WHITE</div>	