



ACTION PLANS

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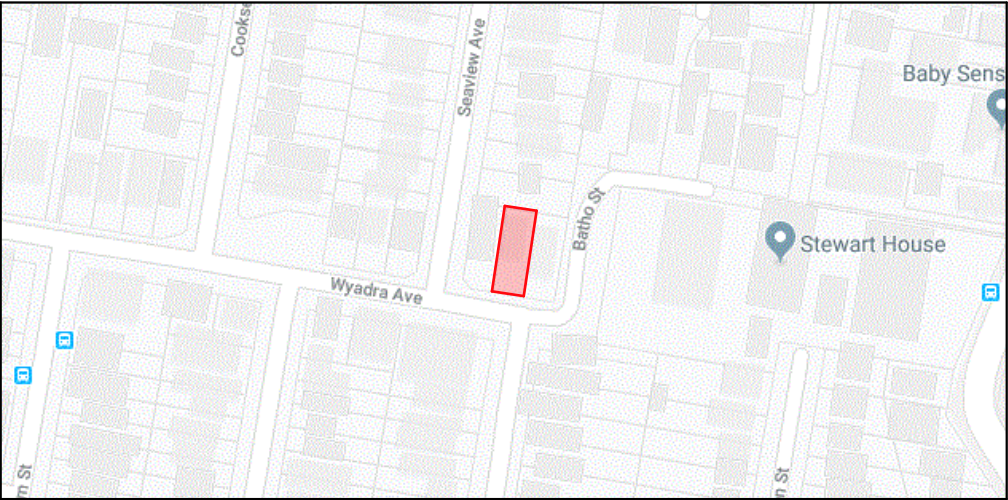
S4.55

These plans are for Development Approval only.

ITEM DETAILS		DEVELOPMENT APPLICATION			
ADDRESS	3 WYADRA AVENUE, FRESHWATER, NSW 2096				
LOT & DP/SP	LOT 2 DP 14366				
COUNCIL	NORTHERN BEACHS COUNCIL (WARRINGAH)				
SITE AREA	490.3m²				
FRONTAGE	13.41m				
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	APPROVED DA	PROPOSED S4.55	COMPLIANCE
	m / m² / %	m / m² / %	m / m² / %	m / m² / %	
LEP					
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	R2	YES
MINIMUM LOT SIZE	450m²	490.36m²	UNCHANGED	UNCHANGED	YES
FLOOR SPACE RATIO	NOT IDENTIFIED	N/A	N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT	8.5m	7.802m	8.484m	UNCHANGED	YES
HAZARDS					
DEVELOPMENT ON SLOPING LAND	IDENTIFIED – AREA B	N/A	N/A	N/A	N/A
DCP					
WALL HEIGHT	7.2m	5.73m	UNCHANGED	UNCHANGED	YES
NUMBER OF STOREYS	2	2	UNCHANGED	UNCHANGED	YES
SIDE BOUNDARY ENVELOPE	5m		UNCHANGED	UNCHANGED	NO
SIDE BOUNDARY SETBACKS	0.9m	W: 0.705m E: 1.258m	UNCHANGED	UNCHANGED	NO YES
SIDE BOUNDARY SETBACKS (CARPORT)	0.9m	N/A	W: 1.179m E: 8.956m	W: UNCHANGED E: UNCHANGED	YES
FRONT BOUNDARY SETBACK	6.5m	8.143m	UNCHANGED	UNCHANGED	NO
FRONT BOUNDARY SETBACK (CARPORT)	6.5m	N/A	1.992m	UNCHANGED	NO
REAR BOUNDARY SETBACK	6.0m	9.916m	UNCHANGED	UNCHANGED	YES
LANDSCAPE OPEN SPACE	40% (196.12m²)	32% (158.63m²)	UNCHANGED	UNCHANGED	NO
PRIVATE OPEN SPACE	60m²	60m²	UNCHANGED	UNCHANGED	YES

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
S4.55-00	COVER	29-Apr-20
S4.55-01	SITE ANALYSIS	29-Apr-20
S4.55-02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	29-Apr-20
S4.55-03	EXISTING GROUND FLOOR PLAN	29-Apr-20
S4.55-04	EXISTING FIRST FLOOR PLAN	29-Apr-20
S4.55-05	PROPOSED GROUND FLOOR PLAN	29-Apr-20
S4.55-06	PROPOSED FIRST FLOOR PLAN	29-Apr-20
S4.55-07	NORTH / EAST ELEVATION	29-Apr-20
S4.55-08	SOUTH / WEST ELEVATION	29-Apr-20
S4.55-09	LONG / CROSS SECTION	29-Apr-20
S4.55-10	AREA CALCULATIONS / SAMPLE BOARD	29-Apr-20
S4.55-11	WINTER SOLSTICE 9 AM	29-Apr-20
S4.55-12	WINTER SOLSTICE 12 PM	29-Apr-20
S4.55-13	WINTER SOLSTICE 3 PM	29-Apr-20
S4.55-14	BASIX COMMITMENTS	29-Apr-20

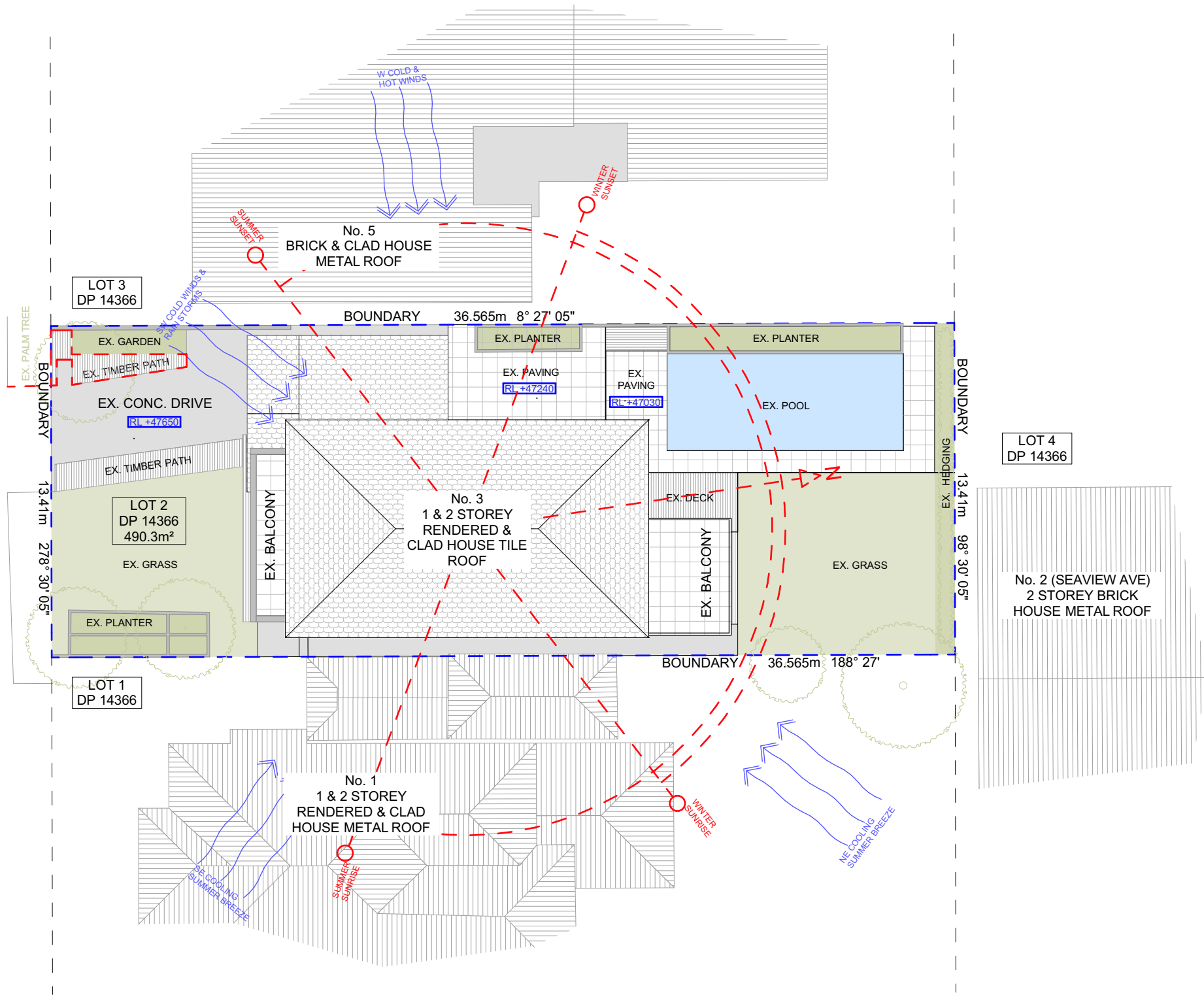
3 WYADRA AVENUE, FRESHWATER NSW 2096



NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY - PART 3.3 OF NCC INCLUDING AS3700
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPERATION - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPERATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAY AND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2009
- ALL CONSTRUCTION TO COMPLY TO AS3959- 2009

WYADRA AVENUE



1

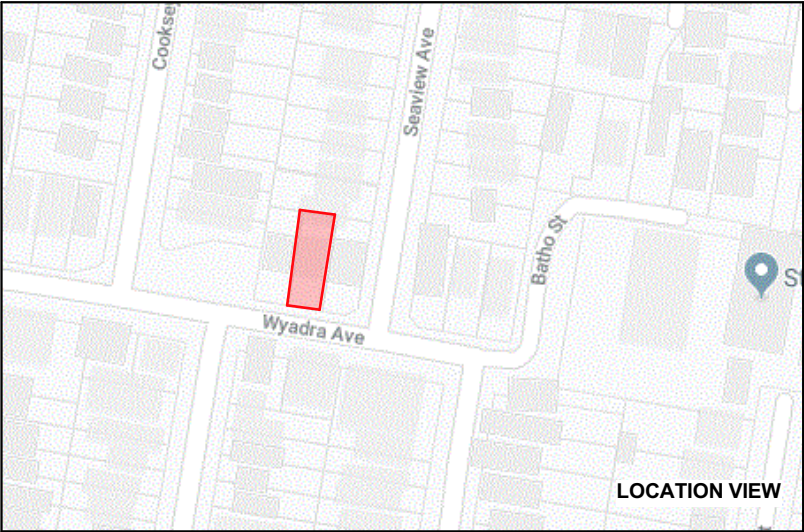
SITE ANALYSIS

1:200

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



STREET VIEW



LOCATION VIEW



AERIAL MAP



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REV.	DATE	COMMENTS	DRWN
A	29.04.2020	SECTION 4.55 LODGEMENT SET	AM

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LEGEND
EXISTING
PROPOSED
DEMOLISHED

CLIENT
James & Kelly Mooney

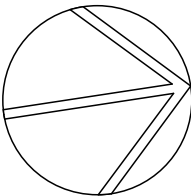
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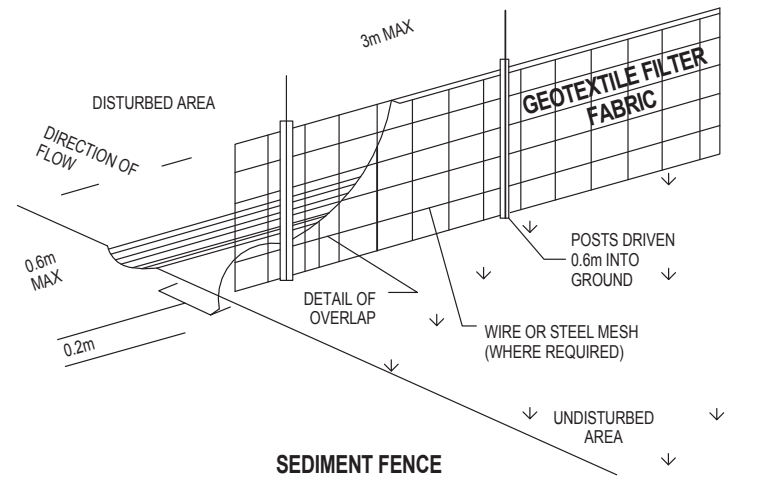
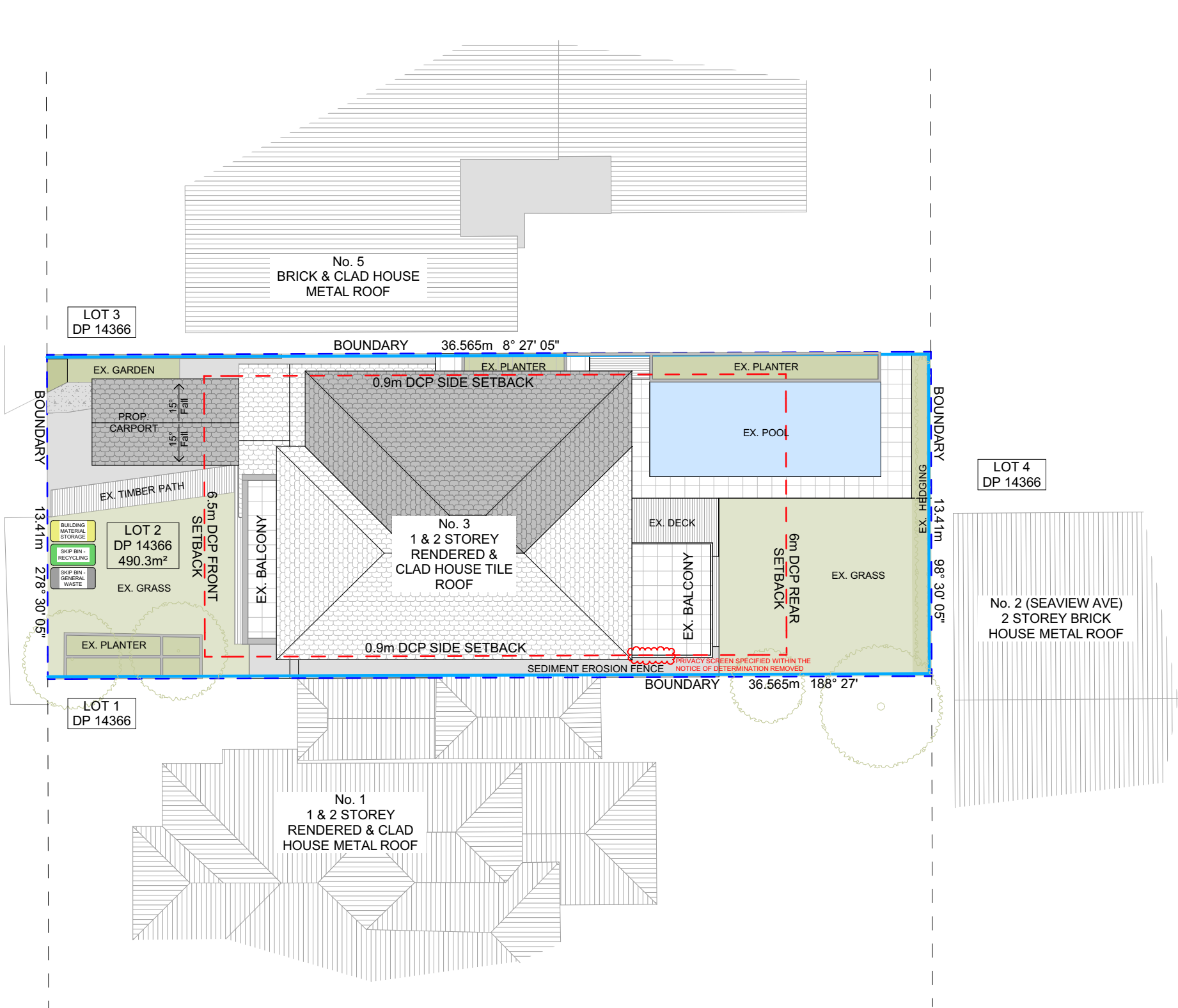
DRAWING NO.
S4.55-01

DATE
Wednesday, April 29,
2020

DRAWING NAME
SITE ANALYSIS

SCALE
1:200 @A3





DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

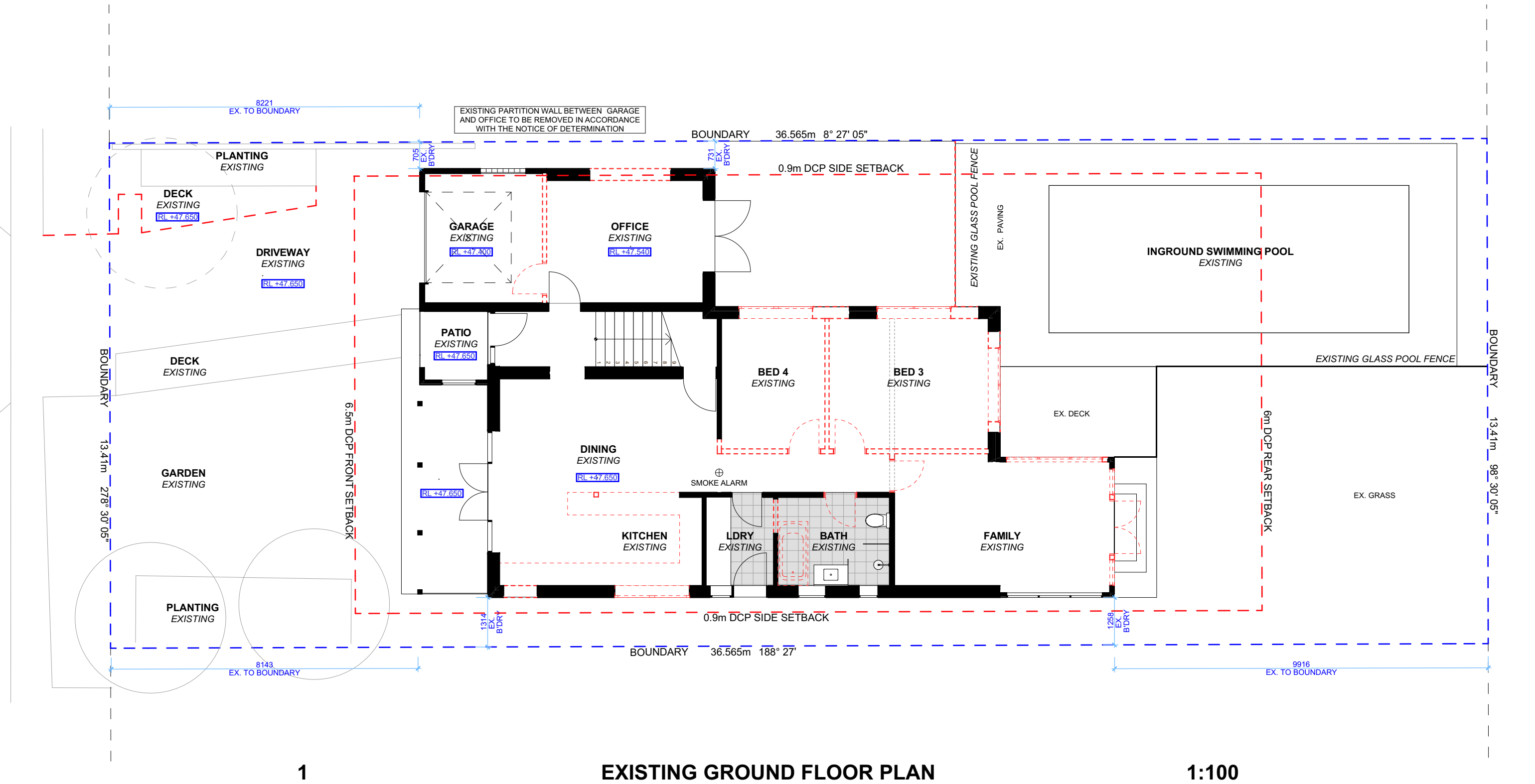
SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.


GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING

1 SITE / ROOF / SEDIMENT EROSION / WASTE / STORMWATER CONCEPT MANAGEMENT PLAN 1:200



NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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LEGEND

- EXISTING
- PROPOSED
- DEMOLISHED
- HARD WIRED SMOKE ALARM

CLIENT
James & Kelly Mooney

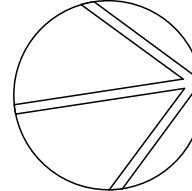
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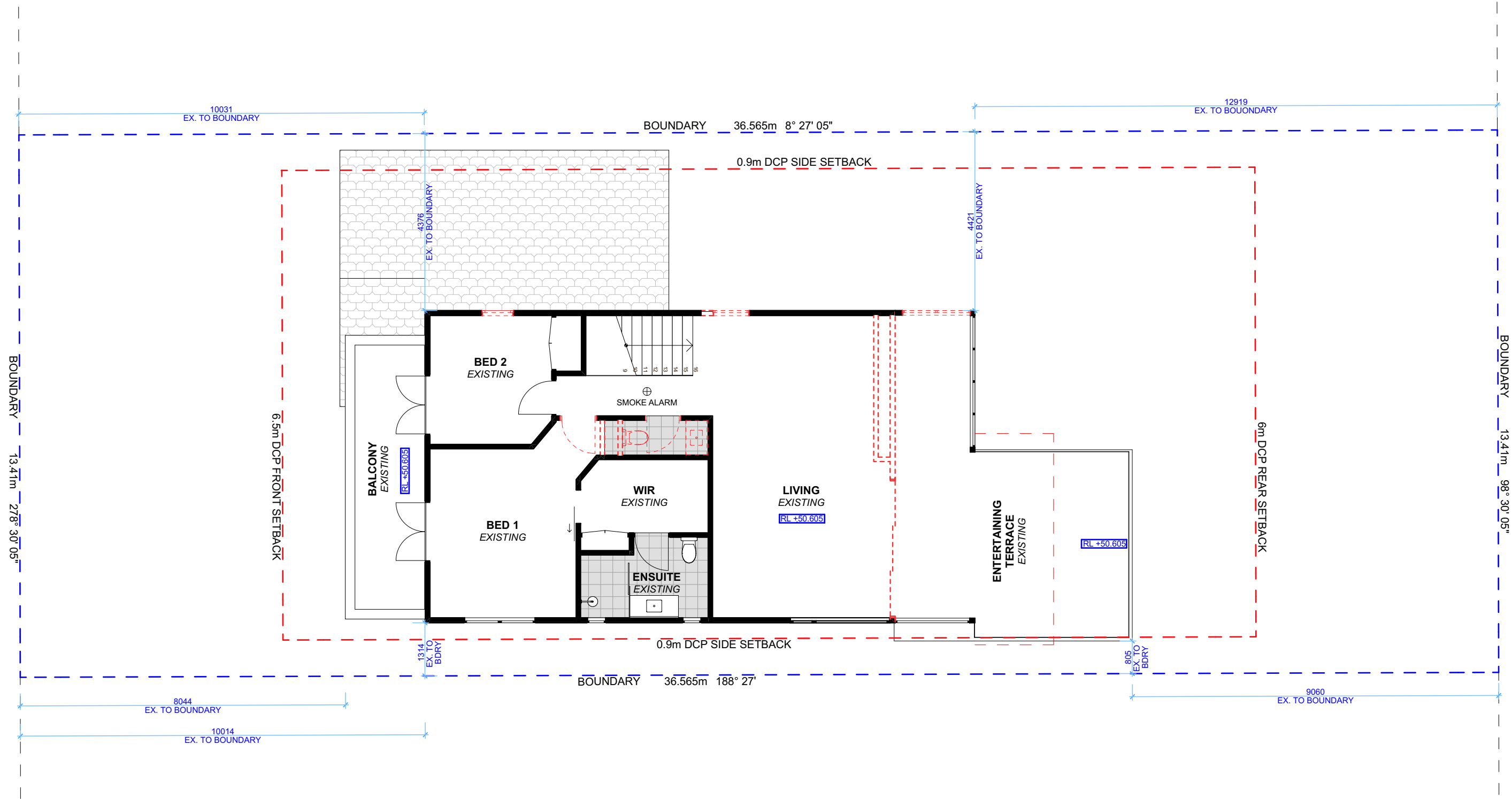
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S4.55-03

DATE
Wednesday, April 29,
2020

DRAWING NAME
EXISTING GROUND FLOOR
PLAN

SCALE
1:100 @A3





1

EXISTING FIRST FLOOR PLAN

1:100

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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LEGEND

EXISTING

PROPOSED

DEMOLISHED

HARD WIRED SMOKE ALARM

CLIENT

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S4.55-04

DATE

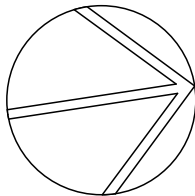
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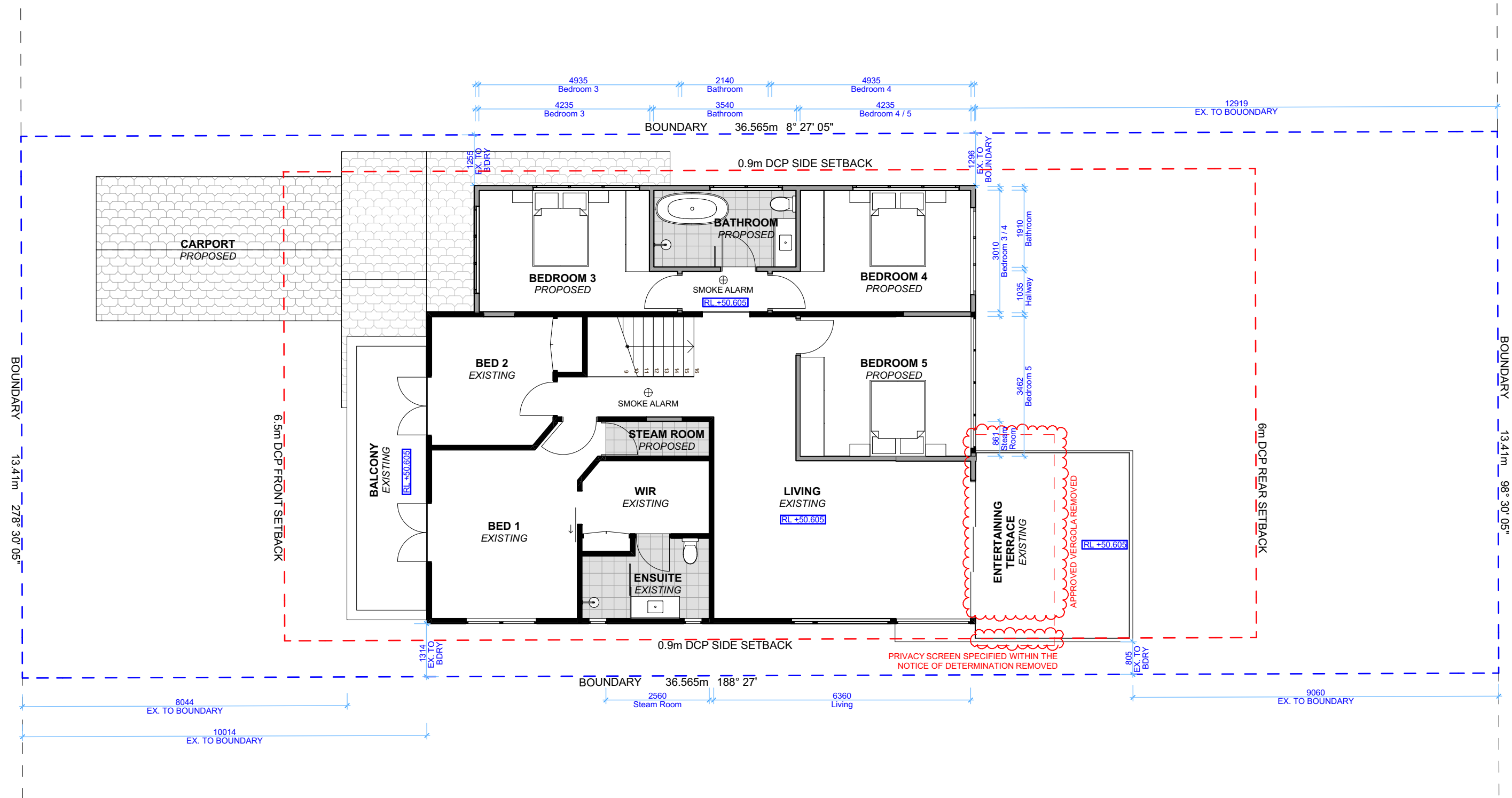
DRAWING NAME

EXISTING FIRST FLOOR PLAN

SCALE

1:100 @A3





1

PROPOSED FIRST FLOOR PLAN

1:100

NOTE: WINDOWS IN BEDROOM 3, 4 & 5 ARE TO COMPLY WITH THE FOLLOWING: 3.9.2.6. PROTECTION OF OPENABLE WINDOWS - BEDROOMS
NOTE: ALL SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF NCC



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LEGEND

EXISTING
PROPOSED
DEMOLISHED
HARD WIRED SMOKE ALARM

CLIENT

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S4.55-06

DATE

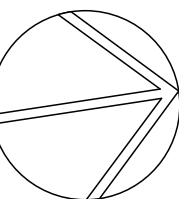
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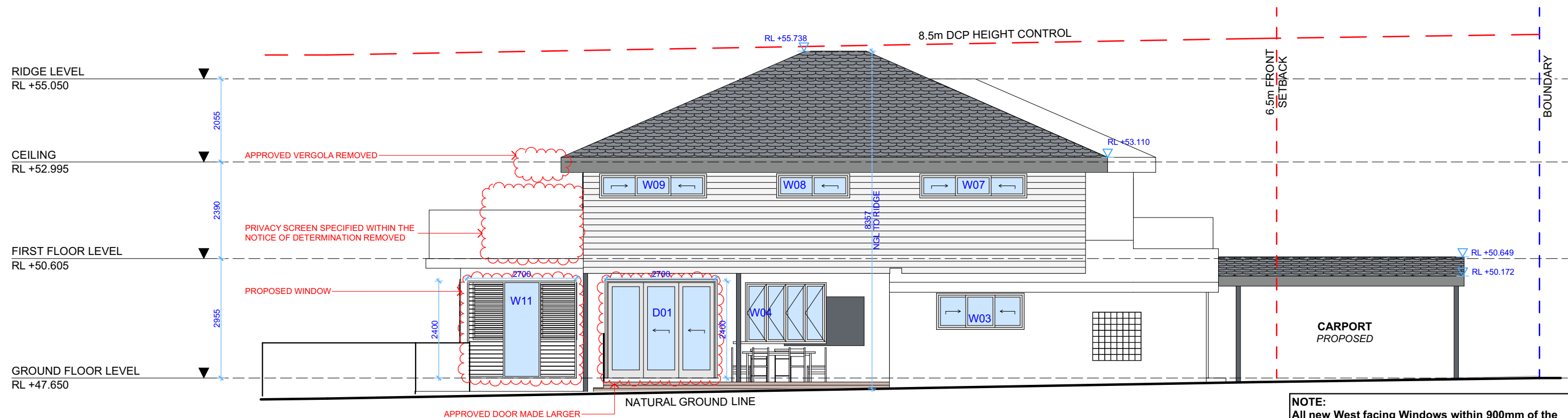
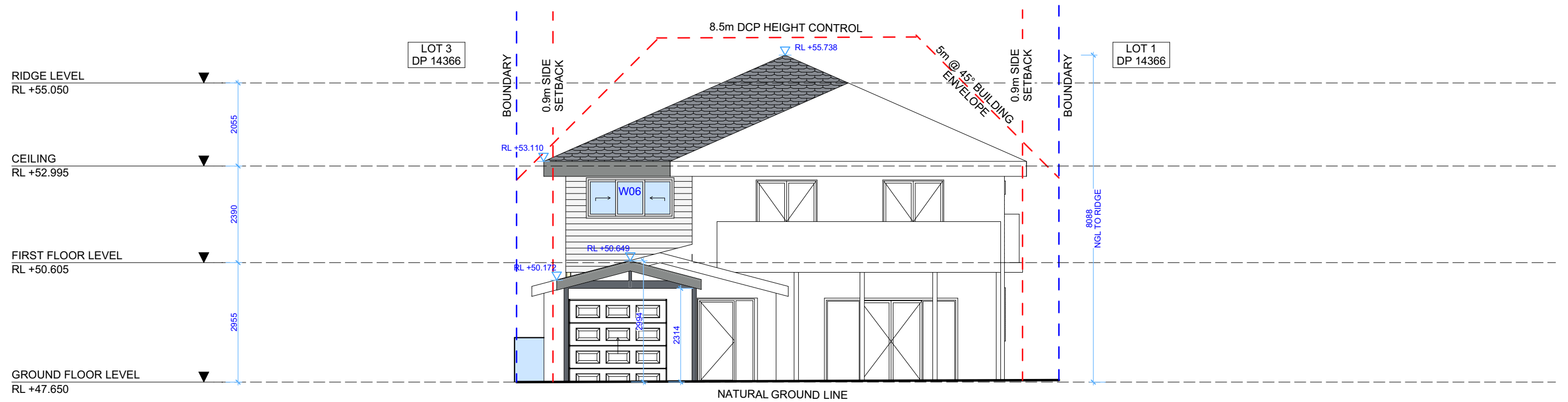
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PROPOSED FIRST FLOOR
PLAN

SCALE

1:100 @A3





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









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LEGEND

	NEW FLOOR AREA		CONCRETE
	NEW WET FLOOR AREA		BRICKWORK
	METAL ROOFING		METAL
	TILED ROOFING		EXISTING
	TIMBER		DEMOLISHED

CLIENT

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DATE _____

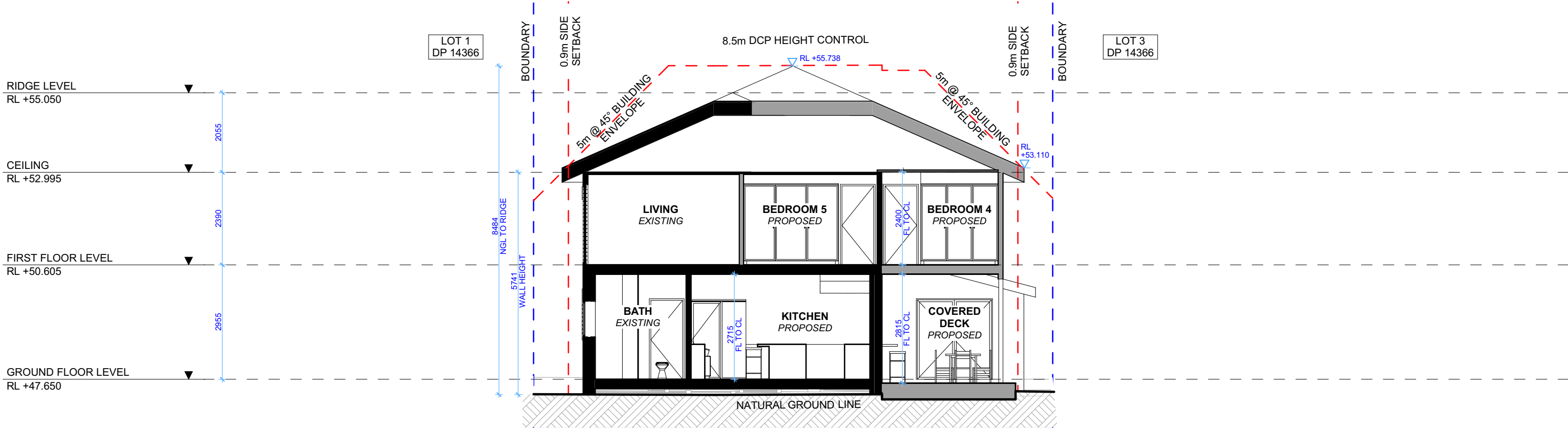
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DRAWING NAME

SOUTH / WEST ELEVATION

SCALE

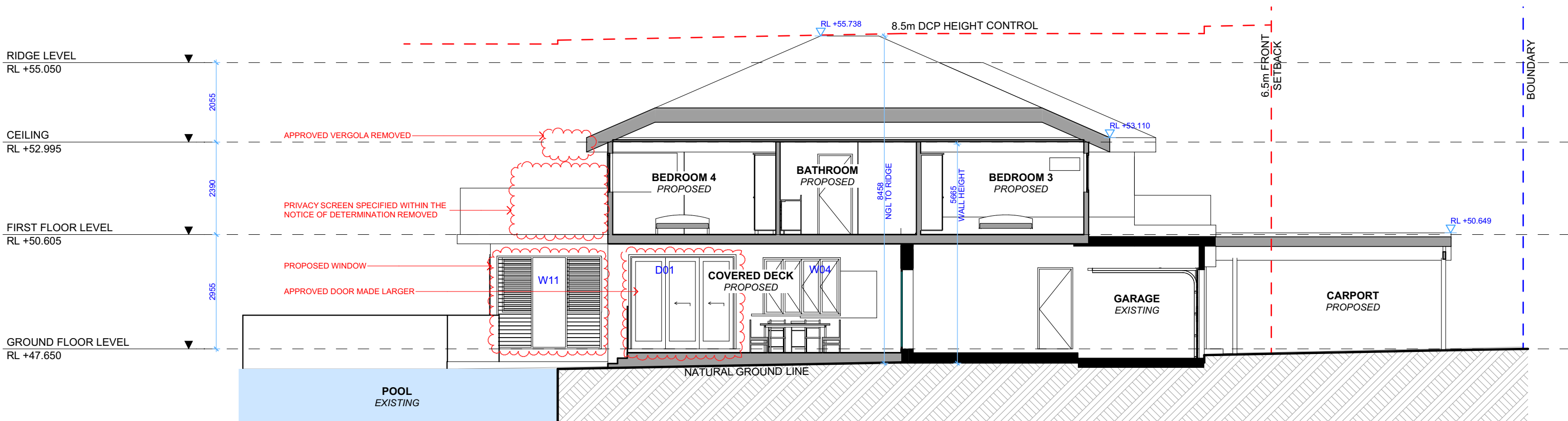
1:100 @A3



1

CROSS SECTION

1:100



2

LONG SECTION

1:100

NOTE: WINDOWS IN BEDROOM 3, 4 & 5 ARE TO COMPLY WITH THE FOLLOWING: 3.9.2.6. PROTECTION OF OPENABLE WINDOWS - BEDROOMS



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LEGEND

	NEW FLOOR AREA		CONCRETE
	NEW WET FLOOR AREA		BRICKWORK
	METAL ROOFING		METAL
	TILED ROOFING		EXISTING
	TIMBER		DEMOLISHED

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S4.55-09

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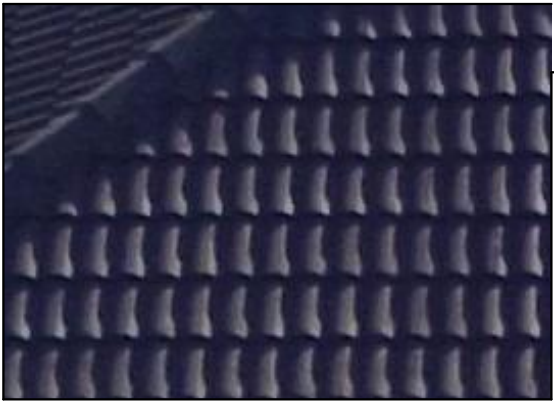
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DRAWING NAME

LONG / CROSS SECTION

SCALE

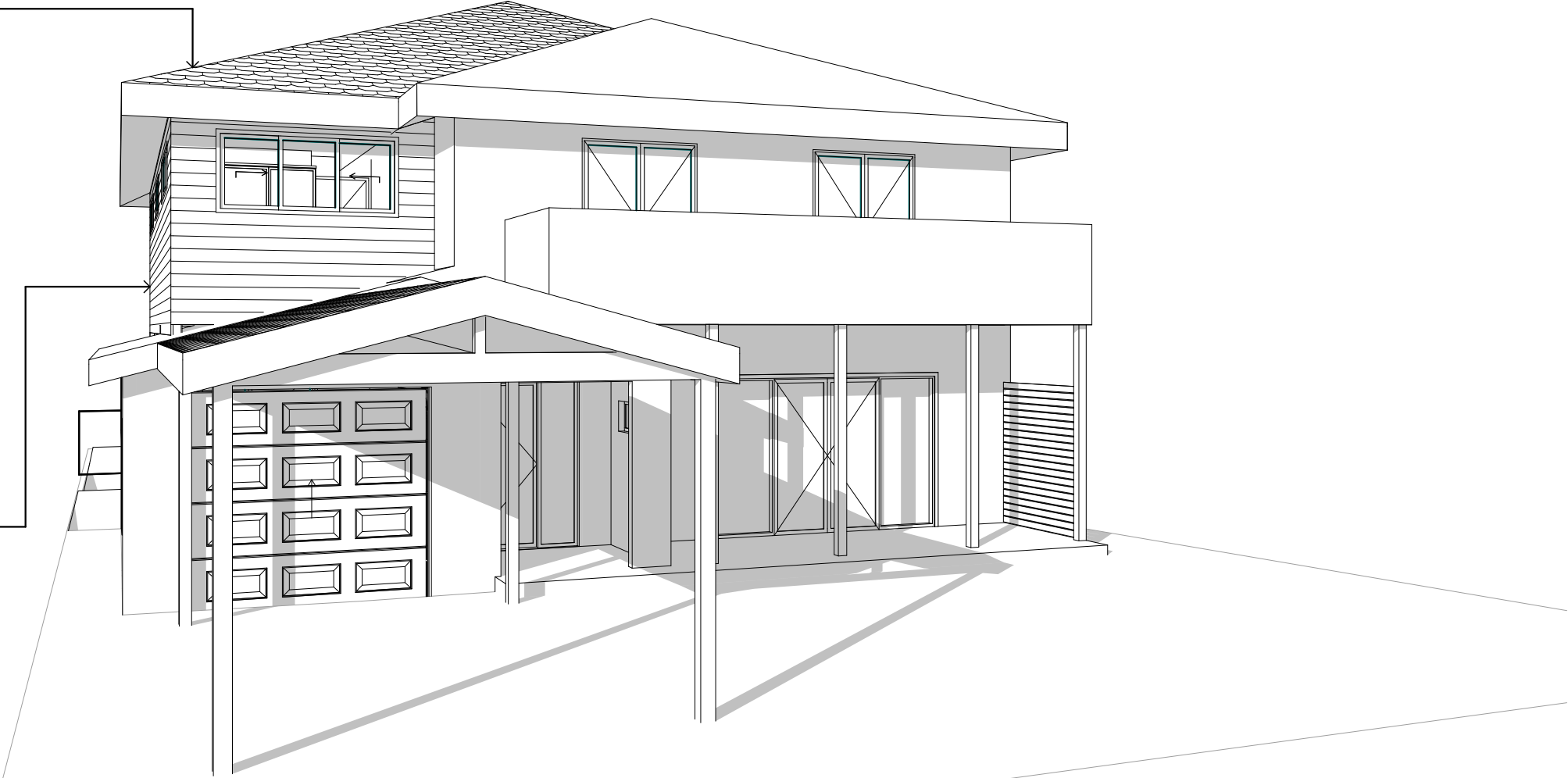
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DARK TILED ROOF TO MATCH EXISTING

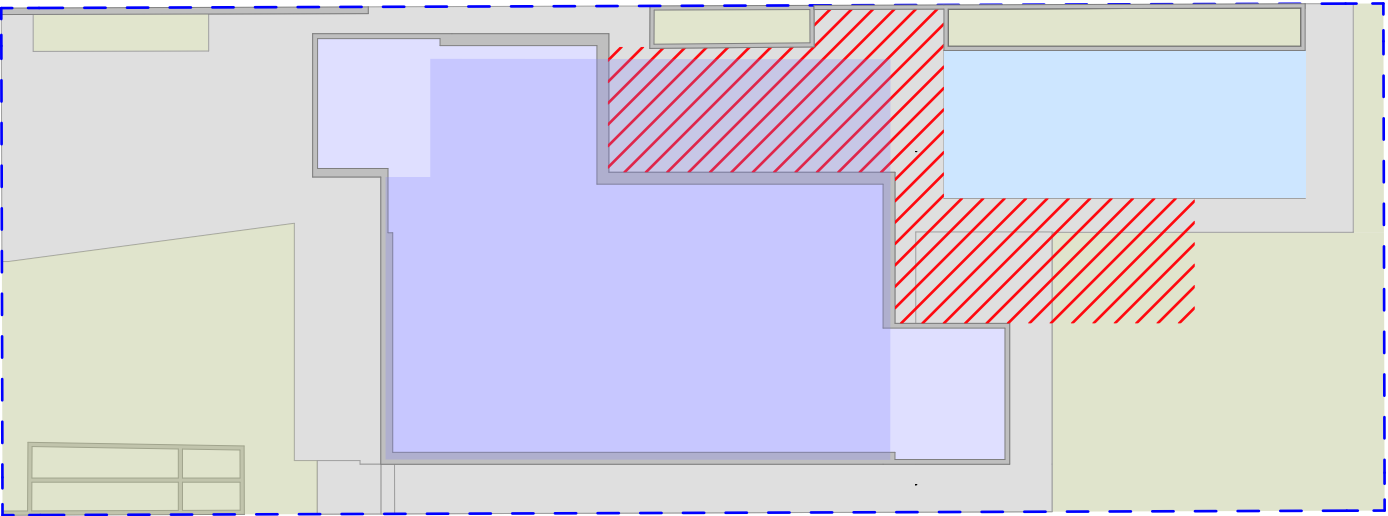


WHITE WEATHERBOARD CLADDING TO MATCH EXISTING



1

SAMPLE BOARD







2

PROPOSED AREA CALCULATIONS

1:200

AREA CALCULATIONS

SITE AREA: 490.3m ²	REQUIRED	EXISTING	PROPOSED
LANDSCAPED AREA	40% (196.12m ²)	32% (158.63m ²)	UNCHANGED
PRIVATE OPEN SPACE	60m ²	60m ²	UNCHANGED

-  LANDSCAPED AREA / LANDSCAPED OPEN SPACE
-  HARD SURFACE AREA / BUILT UPON AREA / SITE COVERAGE
-  FLOOR SPACE RATIO / FLOOR AREA
-  PRIVATE OPEN SPACE

NO CHANGE TO AREA
CALCULATIONS



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LEGEND

CLIENT
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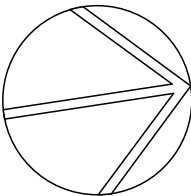
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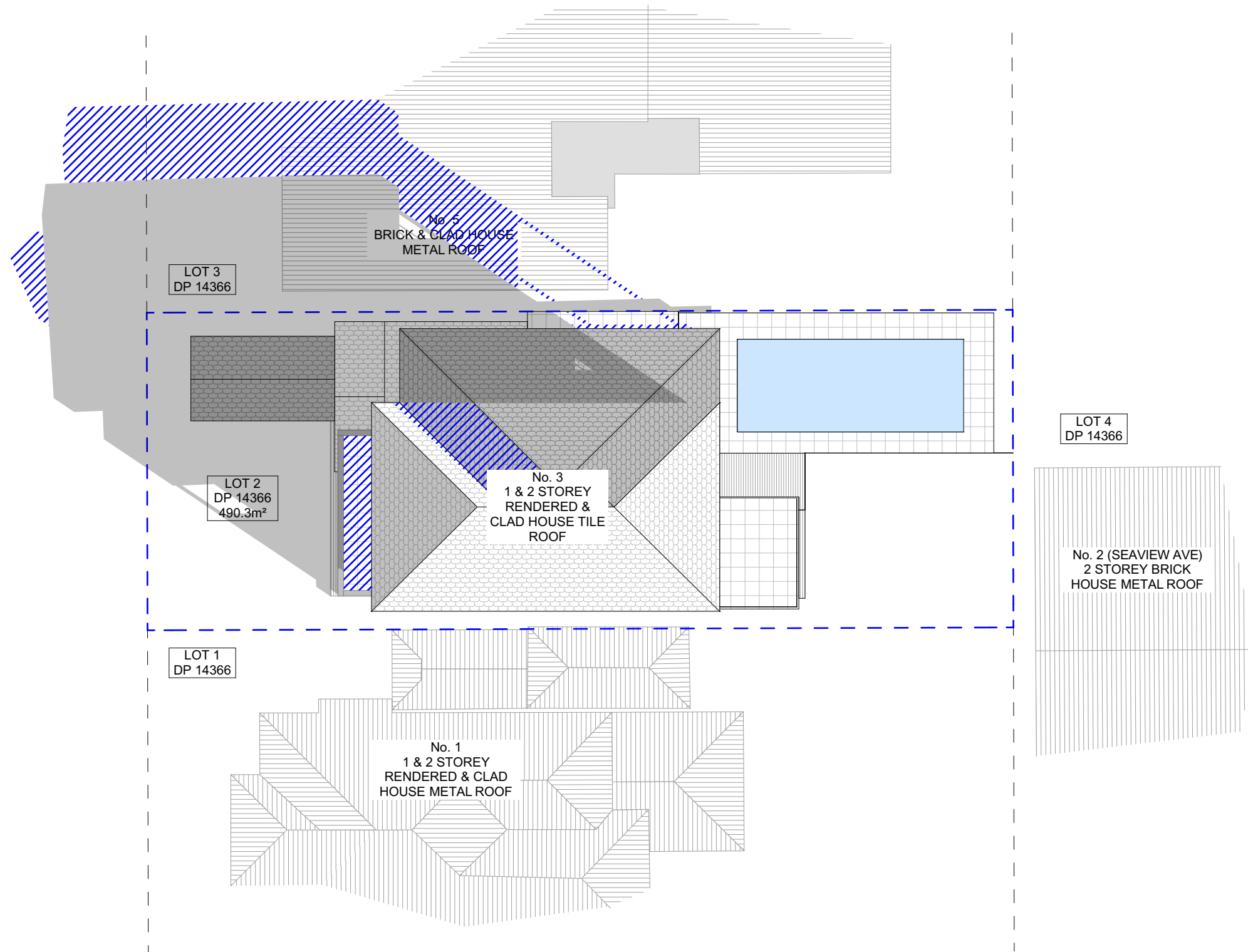
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S4.55-10

DATE
Wednesday, April 29,
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DRAWING NAME
AREA CALCULATIONS /
SAMPLE BOARD

SCALE
1:200 @A3





1

WINTER SOLSTICE 9AM

1:200

NO CHANGE TO
SHADOW DIAGRAM



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LEGEND	
	EXISTING SHADOWS
	PROPOSED SHADOWS
	NEIGHBOURING SHADOWS

CLIENT
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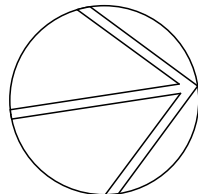
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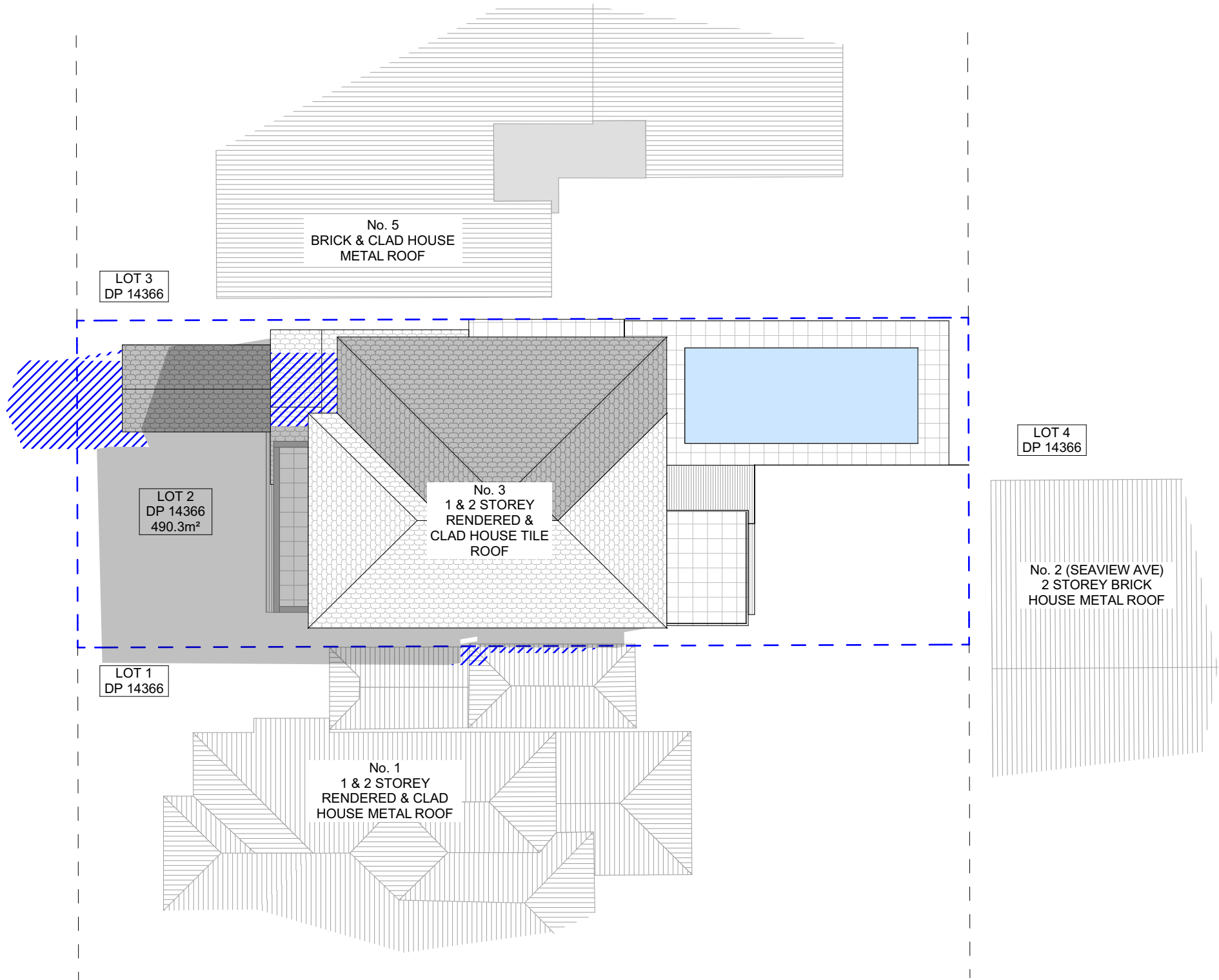
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S4.55-11

DATE
Wednesday, April 29,
2020

DRAWING NAME
WINTER SOLSTICE 9 AM

SCALE
1:200 @A3





1

WINTER SOLSTICE 12PM

1:200

NO CHANGE TO
SHADOW DIAGRAM



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The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

LEGEND	
	EXISTING SHADOWS
	PROPOSED SHADOWS
	NEIGHBOURING SHADOWS

CLIENT
James & Kelly Mooney

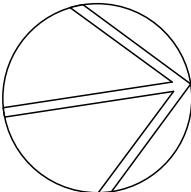
PROJECT ADDRESS
3 Wyadra Avenue,
Freshwater NSW 2096

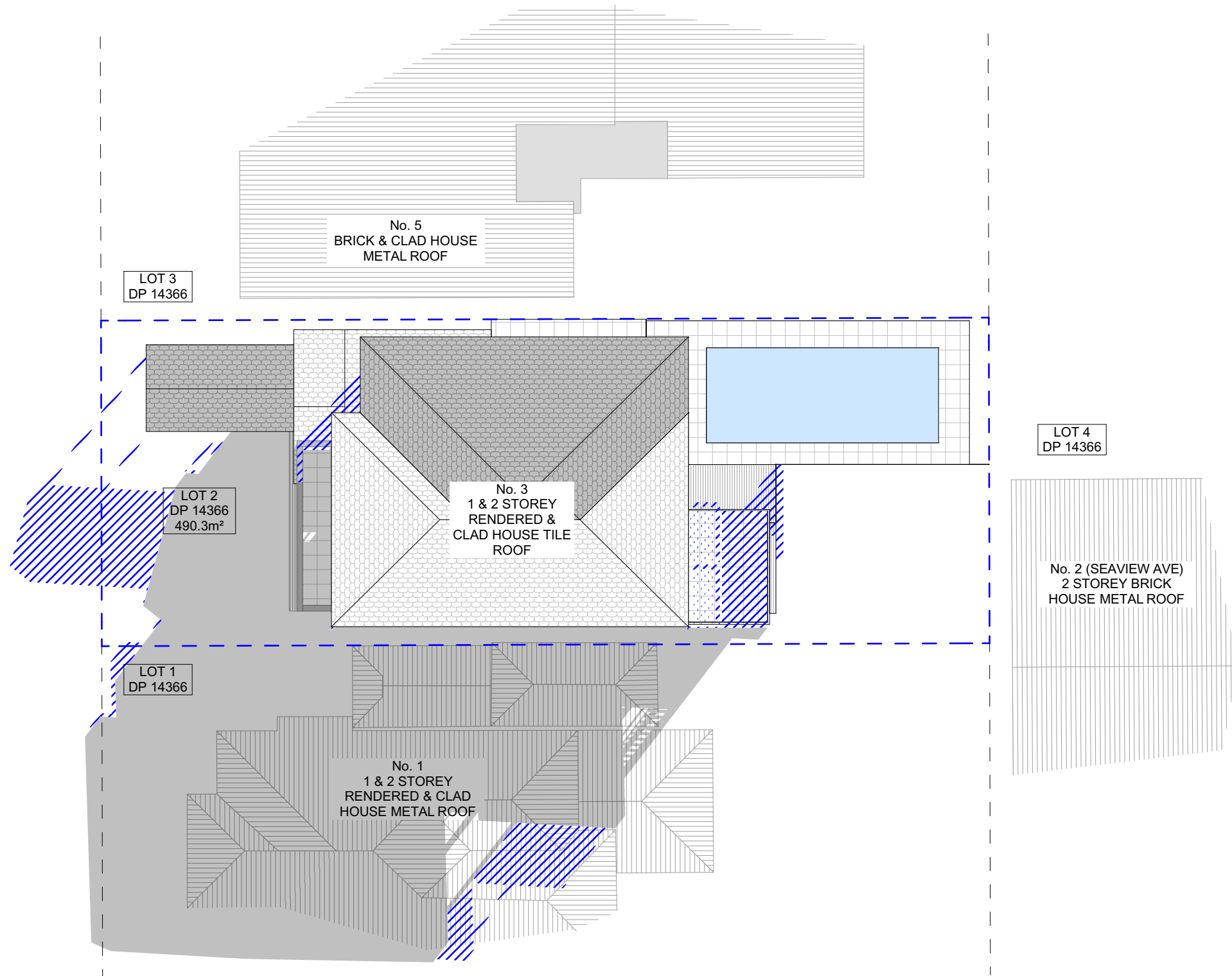
DRAWING NO.
S4.55-12

DATE
Wednesday, April 29,
2020

DRAWING NAME
WINTER SOLSTICE 12 PM

SCALE
1:200 @A3





1

WINTER SOLSTICE 3PM

1:200

NO CHANGE TO
SHADOW DIAGRAM






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REV.	DATE	COMMENTS	DRWN
A	29.04.2020	SECTION 4.55 LODGEMENT SET	AM

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LEGEND
 EXISTING SHADOWS
 PROPOSED SHADOWS
 NEIGHBOURING SHADOWS

CLIENT
James & Kelly Mooney

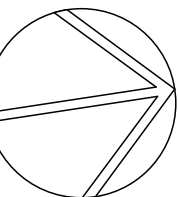
PROJECT ADDRESS
3 Wyadra Avenue,
Freshwater NSW 2096

DRAWING NO.
S4.55-13

DATE
Wednesday, April 29,
2020

DRAWING NAME
WINTER SOLSTICE 3 PM

SCALE
1:200 @A3



BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A355022_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A355022 lodged with the consent authority or certifier on 10 Sep 2019 with application DA2019/0994.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary
Date of issue: Tuesday, 21, April 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	3 Wyadra Ave _02
Street address	3 Wyadra Avenue Freshwater 2096
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 14366
Lot number	2
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Action Plans	
ABN (if applicable): 17118297587	


Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements	✓	✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
floor above existing dwelling or building.	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing	Shading device	Frame and glass type	
			Height (m)	Distance (m)		
W1	E	1.25	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	E	1.25	0	0	eave/verandah/pergola/balcony	standard aluminium, single clear, (or

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
					>=600 mm	U-value: 7.63, SHGC: 0.75)			
W3	W	1.3	0.99	0.65	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W4	W	2.92	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W5	N	2.17	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W6	S	2.17	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W7	W	1.59	0.33	0.65	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W8	W	1.09	0.33	0.65	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W9	W	1.59	0.33	0.65	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D01	W	6.48	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D02	N	7.07	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W10	N	6.48	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W11	W	6.48	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D03	N	6.48	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

 <div>ACTION PLANS m: 0426 957 518 e:operations@actionplans.com.au w: www.actionplans.com.au</div>	REV.	DATE	COMMENTS	DRWN	NOTES This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components. All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works. All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place. U value takes precedence over glazing type/colour in all cases. all new glazing must meet the BASIX specified frame and glass type, <i>OR</i> meet the ecified U value and SHGC value.	CLIENT James & Kelly Mooney	DRAWING NO. S4.55-14	DRAWING NAME BASIX COMMITMENTS
	A	29.04.2020	SECTION 4.55 LODGEMENT SET	AM				
						PROJECT ADDRESS 3 Wyadra Avenue, Freshwater NSW 2096	DATE Wednesday, April 29, 2020	