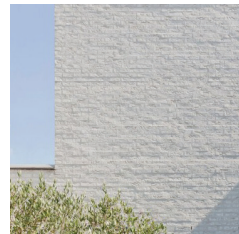


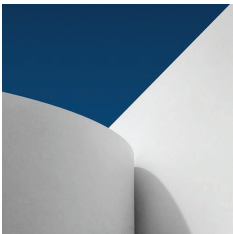
DA DOCUMENTATION SCHEDULE

DWG NO.	SUBSET	TITLE	SCALE	REV.	DATE	STATUS
DA-000	COVER & SITE INFORMATION	COVER PAGE & DRAWING SCHEDULES	1:1	01	23/11/21	DA
DA-001	COVER & SITE INFORMATION	SITE PLAN	1:200	01	23/11/21	DA
DA-100	GENERAL ARRANGEMENT PLANS	LOWER GROUND FLOOR	1:100	01	23/11/21	DA
DA-101	GENERAL ARRANGEMENT PLANS	GROUND FLOOR	1:100	01	23/11/21	DA
DA-300	ELEVATIONS	NORTH ELEVATION	1:100	01	23/11/21	DA
DA-301	ELEVATIONS	EAST ELEVATION	1:100	01	23/11/21	DA
DA-302	ELEVATIONS	SOUTH ELEVATION	1:100	01	23/11/21	DA
DA-303	ELEVATIONS	WEST ELEVATION	1:100	01	23/11/21	DA
DA-400	SECTIONS	SECTION X	1:100	01	23/11/21	DA
DA-401	SECTIONS	SECTION Y	1:100	01	23/11/21	DA
DA-402	SECTIONS	SECTION Z	1:100	01	23/11/21	DA
DA-500	SITE STRATEGY PLANS	LANDSCAPE CONCEPT PLANS	1:200	01	23/11/21	DA
DA-501	SITE STRATEGY PLANS	SITE ANALYSIS PLANS	1:200	01	23/11/21	DA
DA-502	SITE STRATEGY PLANS	WASTE MANAGEMENT, EROSION & SEDIMENT CONTROL PLAN	1:200	01	23/11/21	DA
DA-900	SHADOW DIAGRAMS	SHADOWS JUNE 21 9AM	1:250	01	23/11/21	DA
DA-901	SHADOW DIAGRAMS	SHADOWS JUNE 21 12pm	1:250	01	23/11/21	DA
DA-902	SHADOW DIAGRAMS	SHADOWS JUNE 21 3PM	1:250	01	23/11/21	DA

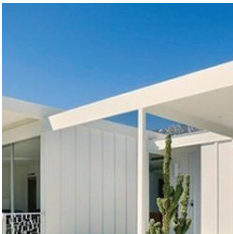
EXTERNAL FINISHES



1. Brick - White Paint Finish To Match Existing



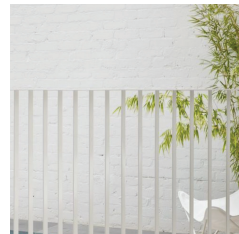
2. Concrete - Render & White Paint Finish to Match Existing



3. Expressed Timber Structure - White Paint Finish to Match Existing



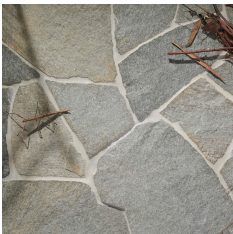
4. Metal Roof Sheetting - Flashings, Gutters - Mid Tone Grey



5. Metal Balustrading - White Powdercoated Finish



6. Timber Windows & Doors - White Paint Finish To Match Existing



7. Natural Stone Crazy Paving - Grey Tone



8. Native Gardens

EXTERNAL FINISHES SCHEDULE

THOMPSON RESIDENCE
16a Ruskin Rowe, Avalon Beach

r a m a

SCHEDULE OF BASIX COMMITMENTS

Certificate Number: A441280
Dated: 08/12/21

Pool & Spa

Rainwater Tank

The applicant must install a rainwater tank of at least 1585 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 236.14 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor Swimming Pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 51.4 kilolitres. The applicant must install a pool pump timer for the swimming pool. The applicant must not incorporate any heating system for the swimming pool that is part of this development.

Fixtures & Systems

Hot Water

The applicant must install the following hot water system in the development: gas instantaneous.

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Construction

Concrete slab on ground:

Additional Insulation

nil

Other Specifications

-

Suspended floor above garage: framed (R0.7)

nil

External wall: cavity brick

nil

-

External wall: framed (weatherboard, fibro, metal clad)

R1.30 (or R1.70 including construction)

-

Internal wall shared with garage: plasterboard (R0.36)

nil

-

Flat ceiling, flat roof: framed

ceiling:R2.50 (up), roof: foil/sarking

medium (solar absorptance)

Glazing Requirements

Window & Glazed Doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

-Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

- For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

- Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

- Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Window /

door no.

Orientation

Area of Glass inc. frame (m2)

Overshadowing

Shading Device

Frame & Glass Type

W2

SW

1.97

0.0

eave/verandah/pergola/balcony >=750 mm

timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

W3

NE

1.97

0.0

awning (Adjustable) >=900mm

timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

W4

SE

1.75

0.0

eave/verandah/pergola/balcony >=900 mm

timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

D01

SE

2.64

0.0

eave/verandah/pergola/balcony >=900 mm

timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

D02

SE

3.68

0.0

eave/verandah/pergola/balcony >=900 mm

timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

D03

SE

5.04

0.0

eave/verandah/pergola/balcony >=900 mm

timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

PROJECT:
ALTERATIONS AND ADDITIONS TO AN
EXISTING DWELLING INCLUDING A NEW
POOL & ASSOCIATED LANDSCAPING

CLIENT:
NICK AND JENNY THOMPSON

LOCATION:
16a RUSKIN ROWE,
AVALON BEACH, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
COVER & SITE INFORMATION: COVER PAGE
& DRAWING SCHEDULES

SCALE:
1:1 @ A3

DATE OF ISSUE:
23/11/21

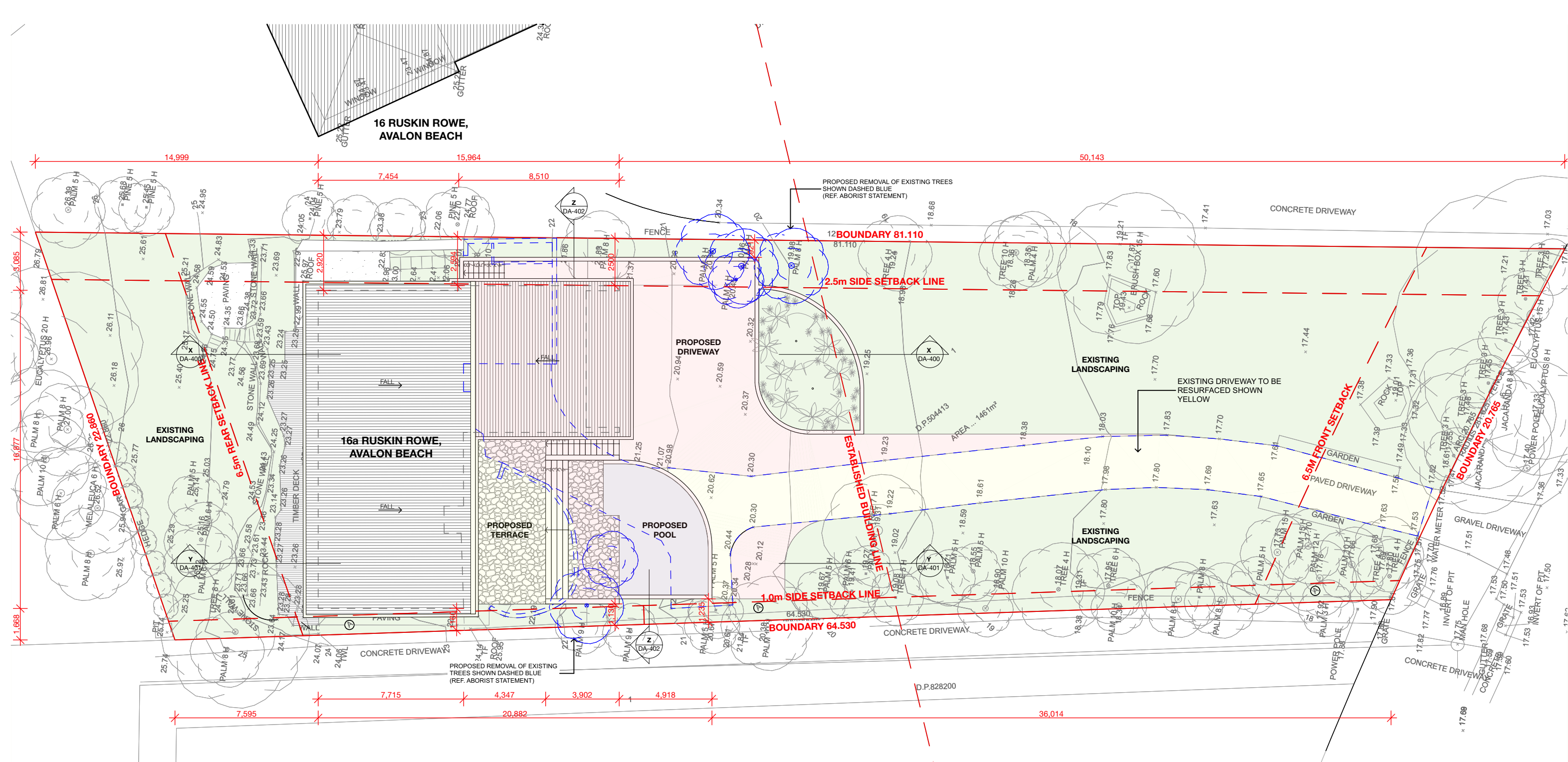
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DA-000

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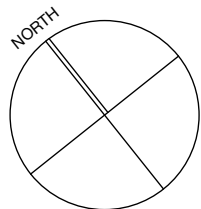
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CALCULATIONS			
TOTAL SITE AREA		1461m ²	
EXISTING		PROPOSED	
GROUND FLOOR GROSS FLOOR AREA		GROUND FLOOR GROSS FLOOR AREA	154.53m ²
TOTAL GROSS FLOOR AREA		LOWER GROUND FLOOR GROSS FLOOR AREA	12.10m ²
GARAGE GROSS FLOOR AREA		TOTAL GROSS FLOOR AREA	166.63m ²
TOTAL PROPOSED GROSS FLOOR AREA (INCL. GARAGE)		GARAGE GROSS FLOOR AREA	46.15m ²
TOTAL DECK AREA		TOTAL PROPOSED GROSS FLOOR AREA (INCL. GARAGE)	212.78
TOTAL ROOF AREA		TOTAL DECK AREA	49.39m ²
		TOTAL TERRACE AREA (INCL. STAIRS)	67.52m ²
		TOTAL ROOF AREA	236.14m ²
		POOL VOLUME	51.4m ³
HARD SURFACE AREA (INCL. 6% PERMEABLE SURFACE)		HARD SURFACE AREA (INCL. 6% PERMEABLE SURFACE)	611.07m ² (41.83%)
SOFT LANDSCAPE AREA		SOFT LANDSCAPE AREA	849.93m ² (58.17%)

SITE PLAN

A3 @1:200



- KEY:**
- DENOTES AREA OF PROPOSED ALTERATIONS
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 - DENOTES EXISTING STRUCTURE TO BE DEMOLISHED
 - DENOTES EXISTING STRUCTURE TO BE RETAINED
 - DENOTES PROPOSED NEW STRUCTURE

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PROJECT:
ALTERATIONS AND ADDITIONS TO AN
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POOL & ASSOCIATED LANDSCAPING

CLIENT:
NICK AND JENNY THOMPSON

LOCATION:
16a RUSKIN ROWE,
AVALON BEACH, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
COVER & SITE INFORMATION: SITE PLAN

SCALE:
1:200 @ A3

DATE OF ISSUE:
23/11/21

DRAWING NO.
DA-001

REVISION:
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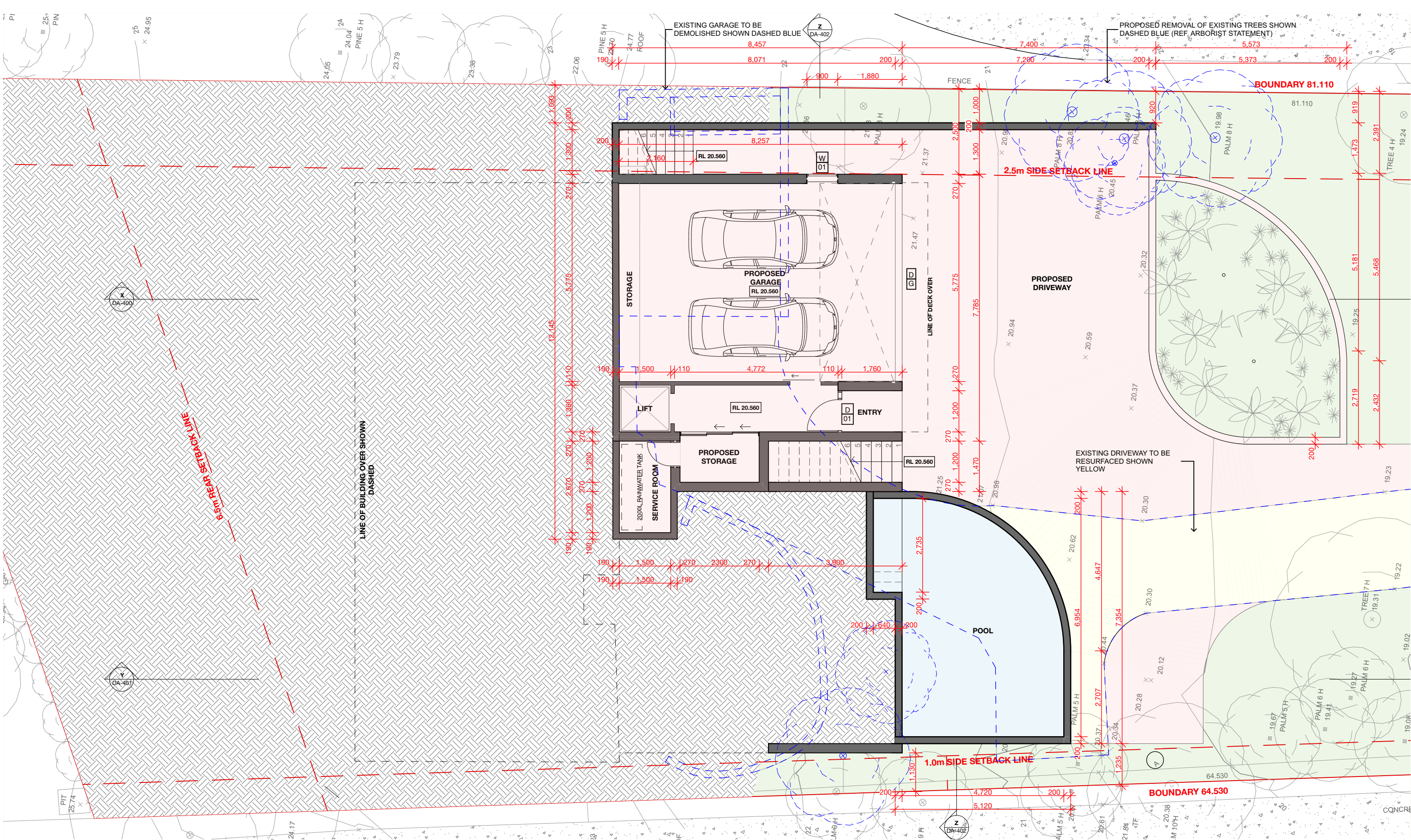
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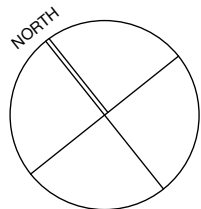
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LOWER GROUND FLOOR

A3 @1:100



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CLIENT:
NICK AND JENNY THOMPSON

LOCATION:
16a RUSKIN ROWE,
AVALON BEACH, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
GENERAL ARRANGEMENT PLANS: LOWER
GROUND FLOOR

SCALE:
1:100 @ A3

DATE OF ISSUE:
23/11/21

DRAWING NO.
DA-100

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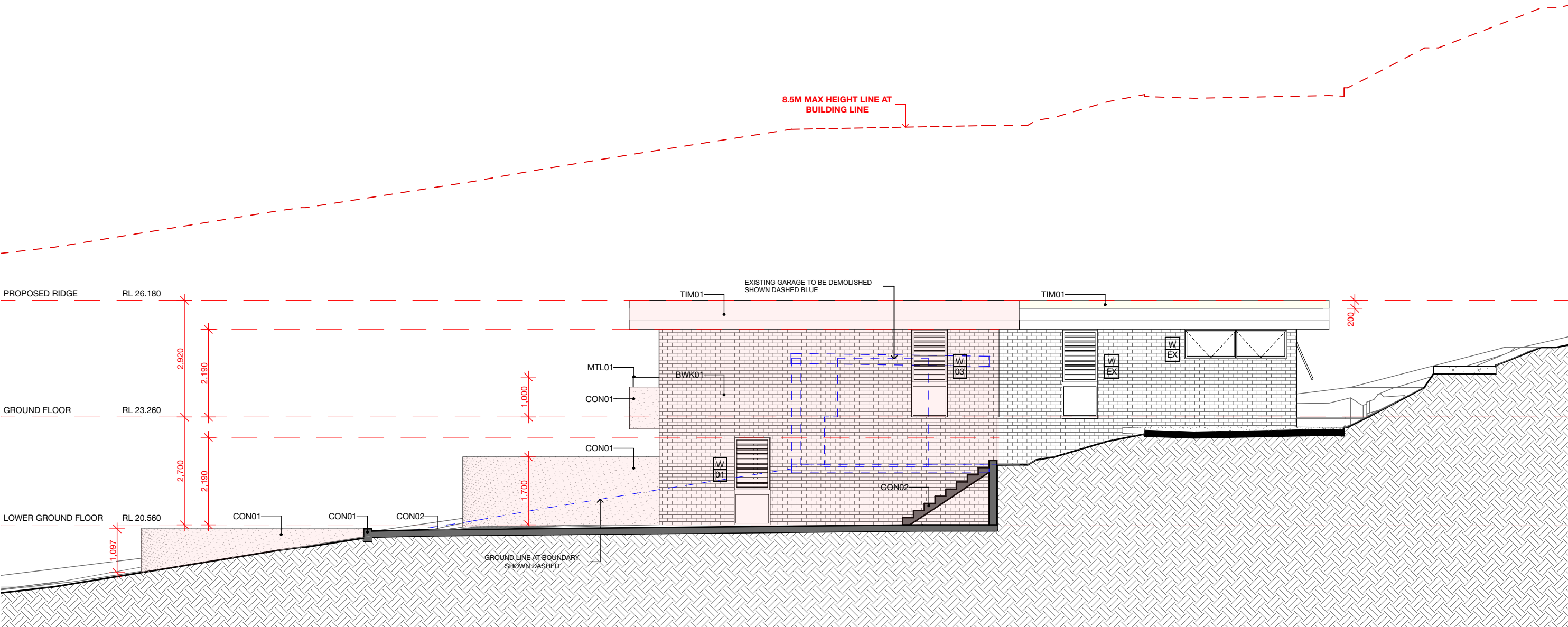
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NORTH ELEVATION A3 @1:100

MATERIALS SCHEDULE	
ID	DESCRIPTION
D	TIMBER FRAMED DOOR - WHITE PAINT FINISH TO MATCH EXISTING
W	TIMBER FRAMED WINDOW - WHITE PAINT FINISH TO MATCH EXISTING
BWK01	BRICKWORK - WHITE PAINT FINISH TO MATCH EXISTING
CFC01	FIBER CEMENT SHEET - WHITE PAINT FINISH TO MATCH EXISTING
CON01	CONCRETE - RENDER & WHITE PAINT FINISH TO MATCH EXISTING
CON02	CONCRETE - NATURAL FINISH
TIM01	TIMBER - WHITE PAINT FINISH TO MATCH EXISTING
MTL01	METAL RAILING - WHITE POWDERCOAT FINISH TO MATCH EXSTING
MRF01	METAL ROOF SHEETING - MID-TONE FINISH
GLZ01	GLASS POOL BALUSTRADING

KEY:

DENOTES AREA OF PROPOSED ALTERATIONS

DENOTES AREA OF PROPOSED ADDITIONS

DENOTES EXISTING STRUCTURE TO BE DEMOLISHED

DENOTES EXISTING STRUCTURE TO BE RETAINED

DENOTES PROPOSED NEW STRUCTURE

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CLIENT:
NICK AND JENNY THOMPSON

LOCATION:
16a RUSKIN ROWE,
AVALON BEACH, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
ELEVATIONS: NORTH ELEVATION

SCALE:
1:100 @ A3

DATE OF ISSUE:
23/11/21

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DA-300

REVISION:
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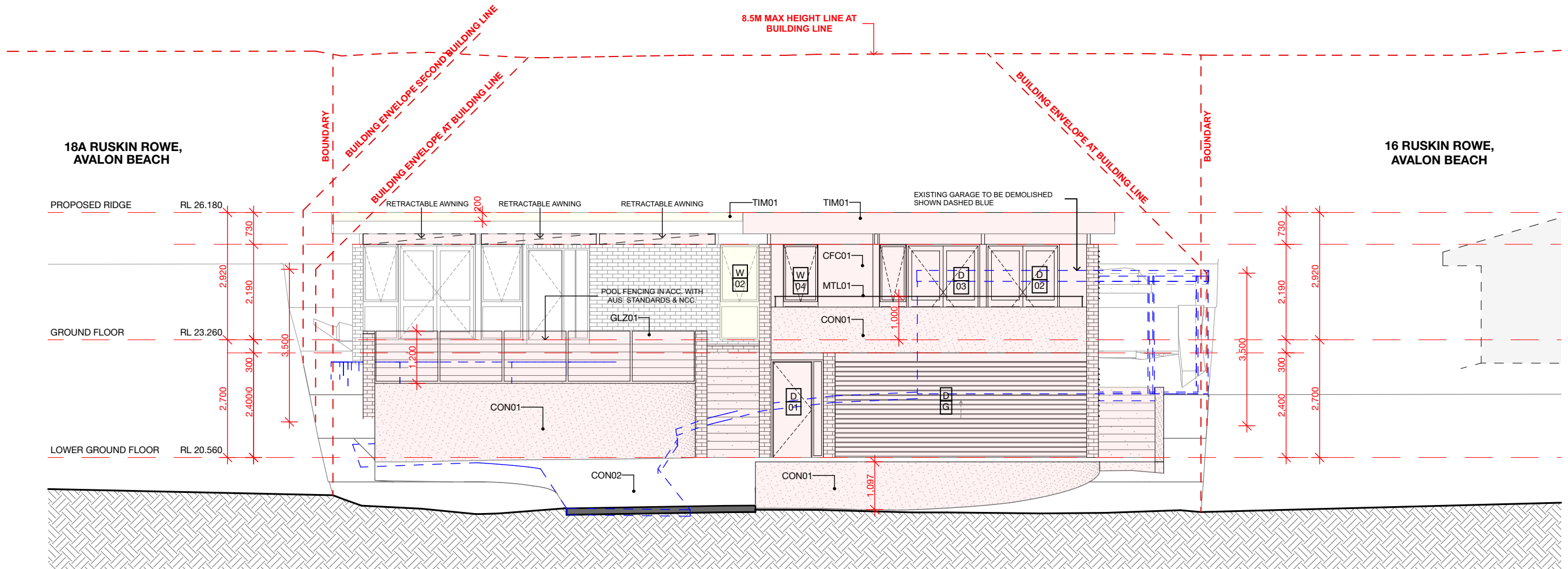
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EAST ELEVATION

A3 @1:100

MATERIALS SCHEDULE	
ID	DESCRIPTION
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CON01	CONCRETE - RENDER & WHITE PAINT FINISH TO MATCH EXISTING
CON02	CONCRETE - NATURAL FINISH
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MTL01	METAL RAILING - WHITE POWDERCOAT FINISH TO MATCH EXSTING
MRF01	METAL ROOF SHEETING - MID-TONE FINISH
GLZ01	GLASS POOL BALUSTRADING

KEY:	
<div></div>	DENOTES AREA OF PROPOSED ALTERATIONS
<div></div>	DENOTES AREA OF PROPOSED ADDITIONS
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CLIENT:
NICK AND JENNY THOMPSON

LOCATION:
16a RUSKIN ROWE,
AVALON BEACH, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
ELEVATIONS: EAST ELEVATION

SCALE:
1:100 @ A3

DATE OF ISSUE:
23/11/21

DRAWING NO.
DA-301

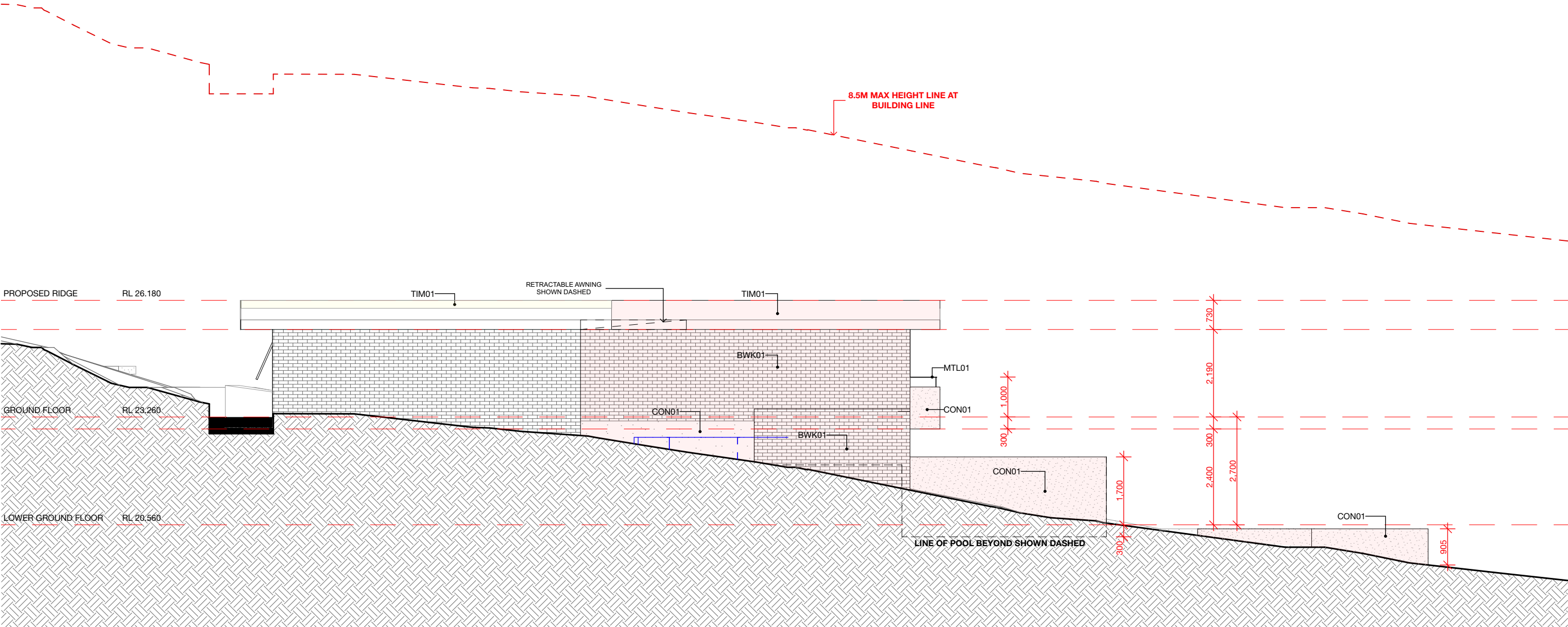
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SOUTH ELEVATION A3 @1:100

MATERIALS SCHEDULE	
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W	TIMBER FRAMED WINDOW - WHITE PAINT FINISH TO MATCH EXISTING
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CON02	CONCRETE - NATURAL FINISH
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MTL01	METAL RAILING - WHITE POWDERCOAT FINISH TO MATCH EXSTING
MRF01	METAL ROOF SHEETING - MID-TONE FINISH
GLZ01	GLASS POOL BALUSTRADING

KEY:

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DENOTES PROPOSED NEW STRUCTURE

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PROJECT:
ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING INCLUDING A NEW POOL & ASSOCIATED LANDSCAPING

CLIENT:
NICK AND JENNY THOMPSON

LOCATION:
16a RUSKIN ROWE,
AVALON BEACH, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
ELEVATIONS: SOUTH ELEVATION

SCALE:
1:100 @ A3

DATE OF ISSUE:
23/11/21

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DA-302

REVISION:
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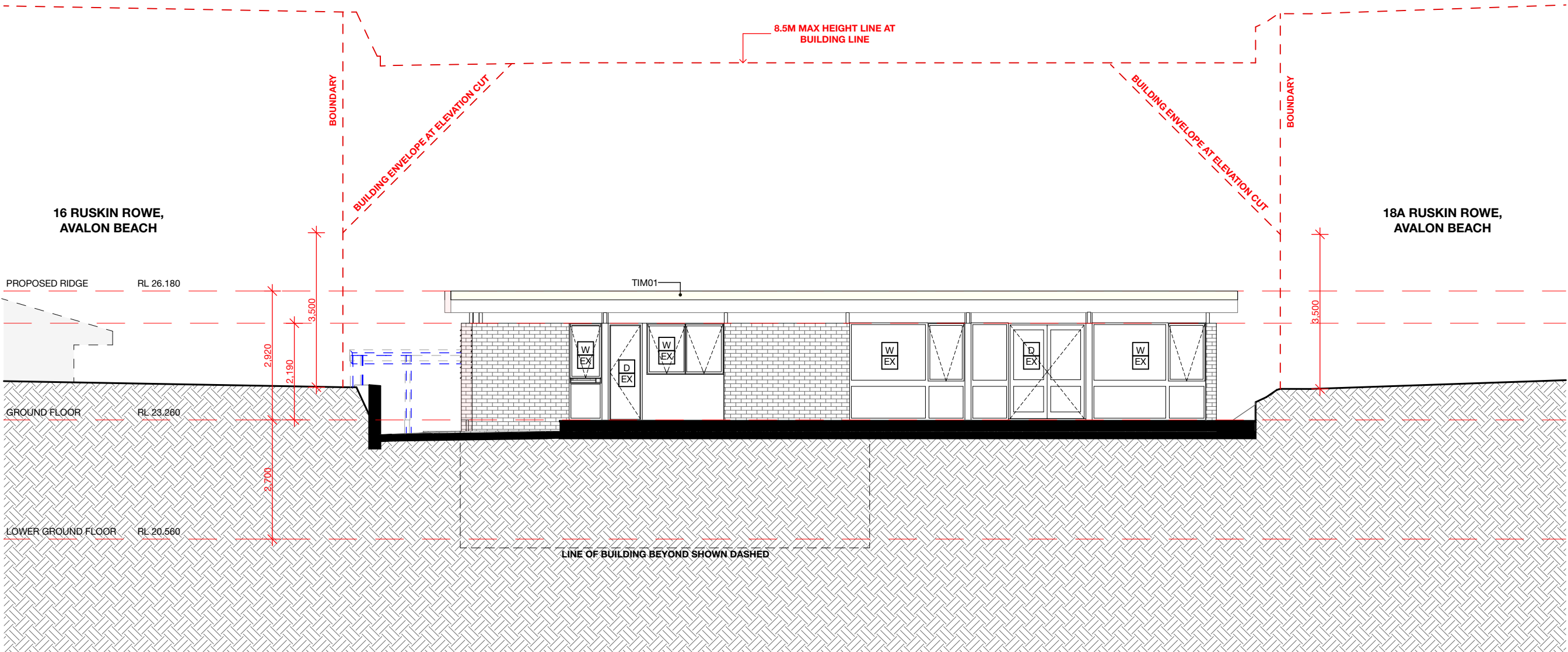
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WEST ELEVATION

A3 @1:100

MATERIALS SCHEDULE	
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W	TIMBER FRAMED WINDOW - WHITE PAINT FINISH TO MATCH EXISTING
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GLZ01	GLASS POOL BALUSTRADING

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NICK AND JENNY THOMPSON

LOCATION:
16a RUSKIN ROWE,
AVALON BEACH, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
ELEVATIONS: WEST ELEVATION

SCALE:
1:100 @ A3

DATE OF ISSUE:
23/11/21

DRAWING NO.
DA-303

REVISION:
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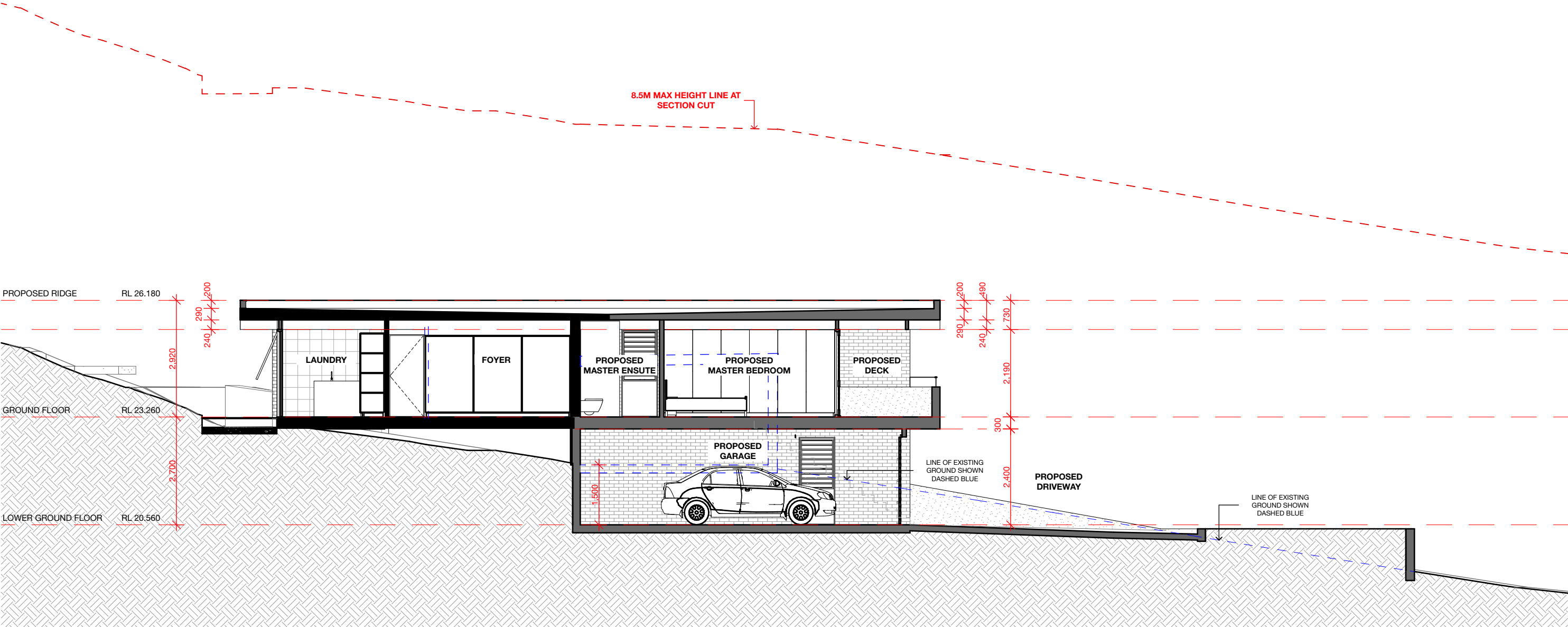
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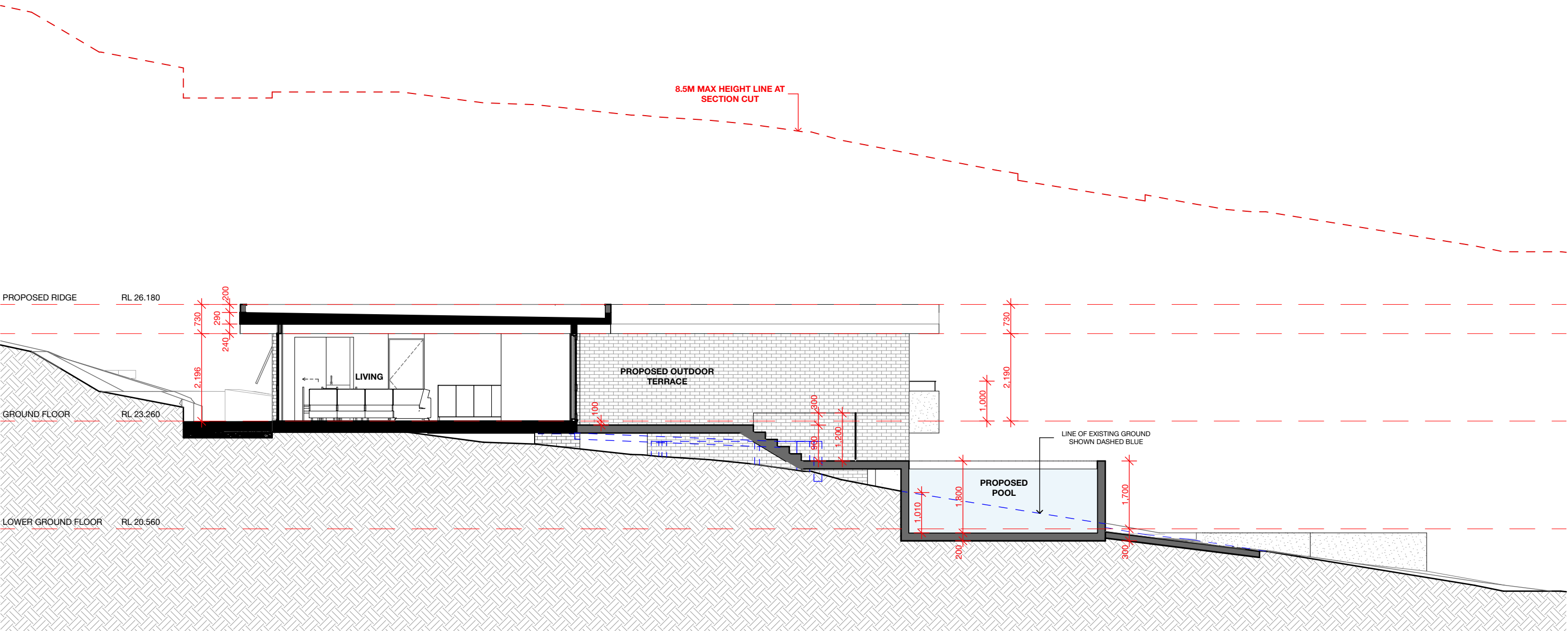
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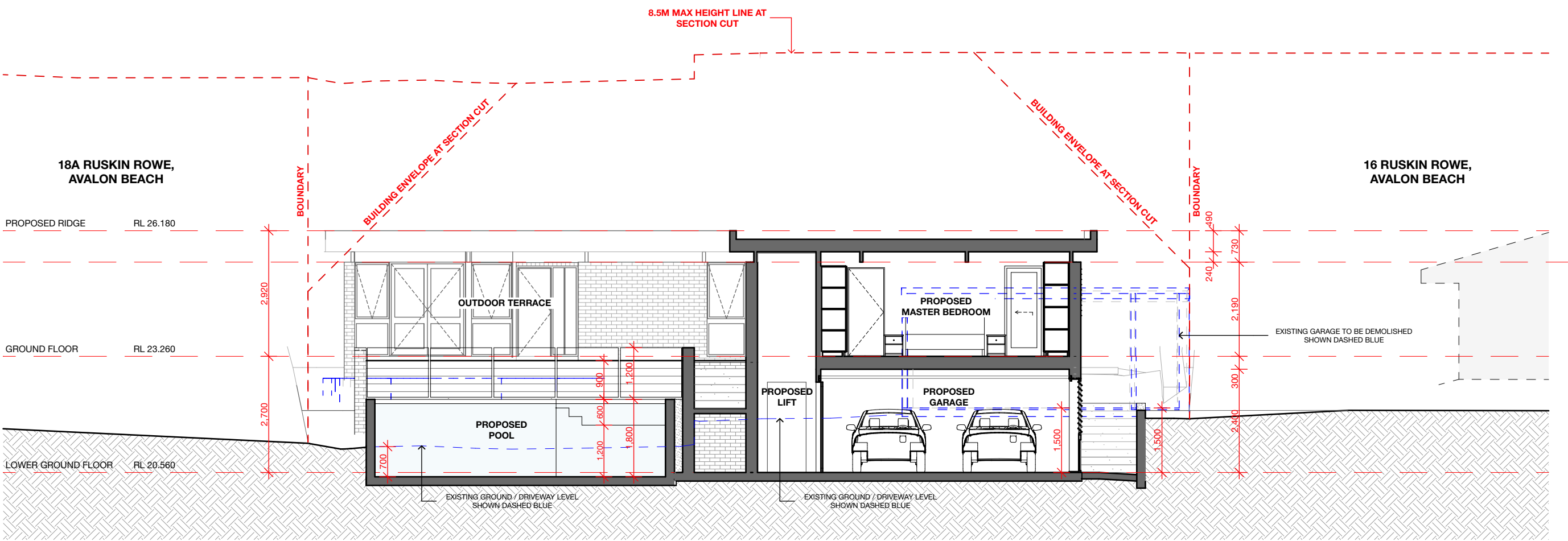
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	<div><div><div><div><div></div><div></div><div></div><div></div></div><div>KEY:</div><div><div><div></div></div><div>DENOTES AREA OF PROPOSED ALTERATIONS</div></div><div><div><div></div></div><div>DENOTES AREA OF PROPOSED ADDITIONS</div></div><div><div><div></div></div><div>DENOTES EXISTING STRUCTURE TO BE DEMOLISHED</div></div><div><div><div></div></div><div>DENOTES EXISTING STRUCTURE TO BE RETAINED</div></div><div><div><div></div></div><div>DENOTES PROPOSED NEW STRUCTURE</div></div></div></div><div><div>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY</div><div>NOTE: DO NOT SCALE OFF THIS DRAWING</div><div>NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE N.C.C. 2019</div><div>NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS</div><div>NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</div></div></div>	<div><div><div>PROJECT:</div><div>ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING INCLUDING A NEW POOL & ASSOCIATED LANDSCAPING</div></div><div><div>CLIENT:</div><div>NICK AND JENNY THOMPSON</div></div><div><div>LOCATION:</div><div>16a RUSKIN ROWE, AVALON BEACH, NSW</div></div></div>	<div><div><div>PROJECT STAGE:</div><div>DA</div></div><div><div>DRAWING TITLE:</div><div>SECTIONS: SECTION X</div></div><div><div>SCALE:</div><div>1:100 @ A3</div></div></div>	<div><div><div>DATE OF ISSUE:</div><div>23/11/21</div></div><div><div>DRAWING NO.</div><div>DA-400</div></div><div><div>REVISION:</div><div>01</div></div></div>	<div><div><div>r a m a</div><div><div><div>daniel raymond</div><div>architect</div><div>nsw reg. #57788</div></div><div><div>thomas martin</div><div>architect</div><div>nsw reg. #10385</div></div></div><div><div>6 / 20 AVALON PARADE, AVALON BEACH, NSW 2107</div><div><div>www.ramarchitects.com</div><div>e. info@ramarchitects.com</div></div><div><div>ABN 612 713 425</div><div><div>COPYRIGHT OF RAMA ARCHITECTS PTY LTD.</div><div>THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT.</div><div>DO NOT SCALE FROM THIS DRAWING</div></div></div></div></div></div>
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SECTION Y A3 @1:100

<div><div><div>KEY:</div><div><div><div></div><div>DENOTES AREA OF PROPOSED ALTERATIONS</div></div><div><div></div><div>DENOTES AREA OF PROPOSED ADDITIONS</div></div><div><div><div></div><div>DENOTES EXISTING STRUCTURE TO BE DEMOLISHED</div></div><div><div></div><div>DENOTES EXISTING STRUCTURE TO BE RETAINED</div></div><div><div></div><div>DENOTES PROPOSED NEW STRUCTURE</div></div></div></div><div><div>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION. FOR DA APPROVAL ONLY</div><div>NOTE: DO NOT SCALE OFF THIS DRAWING</div><div>NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE N.C.C. 2019</div><div>NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS</div><div>NOTE: ALL WORKS TO BE IN ACCORDANCE WITH THE BASIX REQUIREMENTS</div></div></div></div>	<div><div><div>PROJECT:</div><div>ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING INCLUDING A NEW POOL & ASSOCIATED LANDSCAPING</div></div><div><div>CLIENT:</div><div>NICK AND JENNY THOMPSON</div></div><div><div>LOCATION:</div><div>16a RUSKIN ROWE, AVALON BEACH, NSW</div></div></div>	<div><div><div>PROJECT STAGE:</div><div>DA</div></div><div><div>DRAWING TITLE:</div><div>SECTIONS: SECTION Y</div></div><div><div>SCALE:</div><div>1:100 @ A3</div></div></div>	<div><div><div>DATE OF ISSUE:</div><div>23/11/21</div></div><div><div>DRAWING NO.</div><div>DA-401</div></div><div><div>REVISION:</div><div>01</div></div></div>	<div><div><div>r a m a</div><div><div><div>daniel raymond</div><div>architect</div><div>nsw reg. #5788</div></div><div><div>thomas martin</div><div>architect</div><div>nsw reg. #10383</div></div></div><div><div>6 / 20 AVALON PARADE, AVALON BEACH, NSW 2107</div><div><div>www.ramarchitects.com</div><div>e. info@ramarchitects.com</div></div><div><div>ABN 612 713 425</div><div><div>COPYRIGHT OF RAMA ARCHITECTS PTY LTD.</div><div>THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT.</div><div>DO NOT SCALE FROM THIS DRAWING</div></div></div></div></div></div>
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SECTION Z
A3 @1:100

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PROJECT:
ALTERATIONS AND ADDITIONS TO AN
EXISTING DWELLING INCLUDING A NEW
POOL & ASSOCIATED LANDSCAPING

CLIENT:
NICK AND JENNY THOMPSON

LOCATION:
16a RUSKIN ROWE,
AVALON BEACH, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
SECTIONS: SECTION Z

SCALE:
1:100 @ A3

DATE OF ISSUE:
23/11/21

DRAWING NO.
DA-402

REVISION:
01

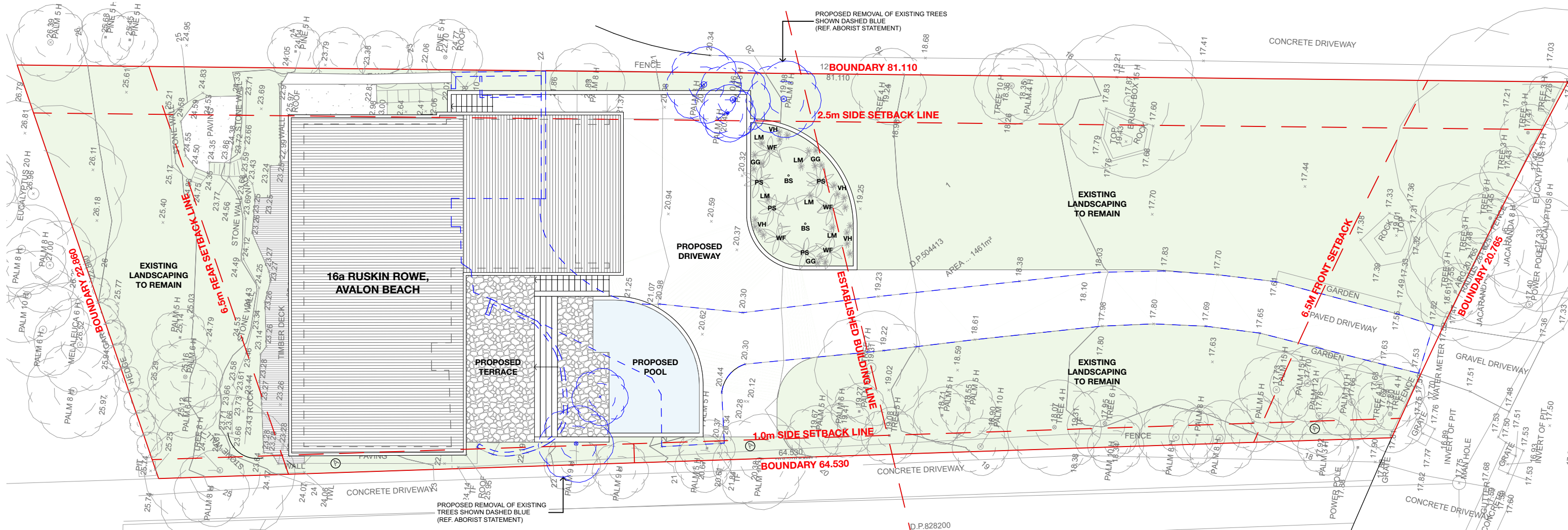
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LANDSCAPE PLAN A3 @1:200

LANDSCAPE LEGEND	
ID	DESCRIPTION
	PROPOSED FEATURE TREE
	PROPOSED SCREENING PLANTS
	PROPOSED SHRUBS
	PROPOSED FEATURE PLANT
	PROPOSED GRASSES AND GROUNDS COVERS
	PROPOSED LANDSCAPED AREA
	PROPOSED POOL AREA

CALCULATIONS			
TOTAL SITE AREA		1461m²	
EXISTING		PROPOSED	
GROUND FLOOR GROSS FLOOR AREA		117.1m²	
TOTAL GROSS FLOOR AREA		117.1m²	
GARAGE GROSS FLOOR AREA		29.45m²	
TOTAL PROPOSED GROSS FLOOR AREA (INCL. GARAGE)		146.55	
TOTAL DECK AREA		33.52m²	
TOTAL ROOF AREA		165.43m²	
HARD SURFACE AREA		430.85m² (29.49%)	
SOFT LANDSCAPE AREA		1030.15m² (70.51%)	
GROUND FLOOR GROSS FLOOR AREA		117.1m²	
TOTAL GROSS FLOOR AREA		117.1m²	
GARAGE GROSS FLOOR AREA		29.45m²	
TOTAL PROPOSED GROSS FLOOR AREA (INCL. GARAGE)		146.55	
TOTAL DECK AREA		49.39m²	
TOTAL TERRACE AREA (INCL. STAIRS)		67.52m²	
TOTAL ROOF AREA		236.14m²	
POOL VOLUME		51.4m³	
HARD SURFACE AREA (INCL. 6% PERMEABLE SURFACE)		611.07m² (41.83%)	
SOFT LANDSCAPE AREA		849.93m² (58.17%)	

PLANT SCHEDULE				
ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
BS	2	BANKSIA SERRATE	OLD MAN BANKSIA	100L
SHRUBS/ACCENTS				
PR	0	PITTOSPORUM REVOLUTUM	ROUGH FRUIT PITTOSPORUM	300MM
WF	5	WESTRINGIA FRUTICOSA	COSTAL ROSEMARY	300MM
PS	4	POLYSCIAS SAMBUCIFOLIA	ELDERBERRY PANAZ	300MM
GRASSES/GROUND COVERS				
LM	6	LOMANDRA LONGIFOLIA	SPINY-HEADED MAT RUSH	140MM
GG	10	HIBERTIA SCANDENS	GOLDEN GUINEA FLOWER	140MM
VH	15	VIOLA HEDERACEA	NATIVE VIOLET	140MM

LANDSCAPE CONSTRUCTION NOTES

TREE PROTECTION
All trees nominated to be retained are to be protected throughout the duration of the demolition and construction periods. All tree protection enclosures must be established prior to commencement of demolition works and shall comprise a fence enclosure around the TPZ of the tree. The project Arborist must be present to supervise any excavation, trenching or tunneling within the PZ of any retained trees if required. Keep the area within the enclosure free of construction material and debris. Do not place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown materials such as cement from harming trees and plants. Do not cut tree roots exceeding 50mm diameter. Where it is necessary to cut tree roots, use hand saw, cut cleanly, do not rip with machinery and such that the cutting does not unduly disturb the remaining root system. If damage does occur to a tree, the project Arborist is to attend prior to repairing damage and during repair work. If a tree is damaged and repair work is considered impractical, or is attempted and fails, give notice and obtain instructions.

SUBSOIL
Excavate to bring the subsoil to a minimum of 300mm below finished design levels, to allow for infilling with topsoil mix. Break up the soil to a further depth of 100mm. Remove all building rubble, waste oil, cement and other material harmful to plant growth from planting beds prior to placement of topsoil. Cultivate to a minimum depth of 100mm over areas to be planted or grassed. Do not disturb services or tree roots; if necessary, cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Trim the surface to the required design levels after cultivation. Confirm that the planting beds are free draining. If not install sub-soil drainage lines and connect to stormwater system. Apply additives after ripping or cultivation and incorporate into the upper 100mm layer of the subsoil.

TOPSOIL
Where possible use site topsoil and compost mixed at a rate of 4 soil : 1 compost, thoroughly mixed before placement. If imported soil is required soil shall be same or similar to Australian Native Landscapes Premium garden mix or similar for garden bed areas or Turf Underlay mix for turf areas. Spread topsoil on the prepared subsoil and grade evenly, making the necessary allowances so that required finished levels and contours are achieved after light compaction. Compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which is ready for planting. Spread topsoil to the following typical depths:
Planting beds: 300mm
Grass areas: 100mm

PLANTING
trees: excavate a plant hole to twice the diameter of the root ball and at least 100mm deeper than the root ball. Break up the base of the hole to a further depth of 100mm, and loosen the compacted sides of the hole.
shrubs/ground covers: excavate a hole big enough for the plant plus 100mm all round. provide plants which have large healthy root systems, with no evidence of root curl, restriction or damage, are vigorous, well established, free from disease and pests, of good form consistent with the species or variety; and are hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the

site. Trees: provide trees which, unless required to be multi-stemmed, have a single leading shoot. trees should be staked as specified. Label at least one plant of each species or variety in a batch using a durable, readable tag. do not plant in unsuitable weather conditions such as extreme heat, cold, wind or rain. in other than sandy soils, suspend excavation when the soil is wet, or during frost periods, when the hold is of the correct size, remove the plant from the container with minimum disturbance to the root ball. ensure that the root ball is moist and place in the final position, in the hole and plumb, with the top soil level of the plant root ball level with the finished surface of the surrounding soil, or 75mm below paving level to allow placement of mulch. backfill with topsoil mixture. lightly tamp and water to eliminate air pockets. ensure that topsoil is not placed over the top of the rootball, so that the plant stem is the same height as in the container. Thoroughly water plants before planting and immediately after planting. In planting beds and individual plantings, place slow release fertiliser pellets around plants at the time of planting at the rate recommended by the manufacturer.

MULCHING
All garden bed areas are to be mulched to 75mm depth with same or similar to Forest Blend. Provide mulch/gravel which is free of deleterious and extraneous matter such as stones, soil, weeds and sticks. Place mulch/gravel clear of plant stems, and rake to an even surface flush with the surrounding finished levels.

FERTILISER
Fertiliser is to be slow release fertiliser equivalent to "Osmocote" and is to be applied at manufacturer's specified rates.

DRAINAGE
Ensure adequate drainage to all garden beds, gravel and lawn areas. Install 100mm agricultural pipe with sock as required in garden beds and behind all retaining walls. Agricultural pipes to drain to junction pits and connect to stormwater system. Ensure paved areas are free draining. Install pits if required. (Refer to Hydraulic Engineering).

RETAINING WALLS
Retaining walls to be constructed as per Engineer's details.

CONCRETE WORKS
All paths, steps, slabs and footings shall be to Engineer's specification. Materials and construction to AS3600 and AS3610. Supply and install ready mixed concrete to AS1379 with selected aggregate. Ensure all appropriate PVC conduits for garden lighting and irrigation systems are placed before concrete and paving installation.

MAINTENANCE
Throughout the planting establishment period (minimum 12 weeks), carry out maintenance work including watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, reseedling, reurfing, staking and tying, replanting, cultivating, pruning, hedges clipping, aerating, reinstatement of mulch, renovating, top dressing and keeping the site neat and tidy. Continue to replace failed, damaged or stolen plants.

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ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING INCLUDING A NEW POOL & ASSOCIATED LANDSCAPING

CLIENT:
NICK AND JENNY THOMPSON

LOCATION:
16a RUSKIN ROWE,
AVALON BEACH, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
SITE STRATEGY PLANS: LANDSCAPE CONCEPT PLANS

SCALE:
1:200 @ A3

DATE OF ISSUE:
23/11/21

DRAWING NO.
DA-500

REVISION:
01

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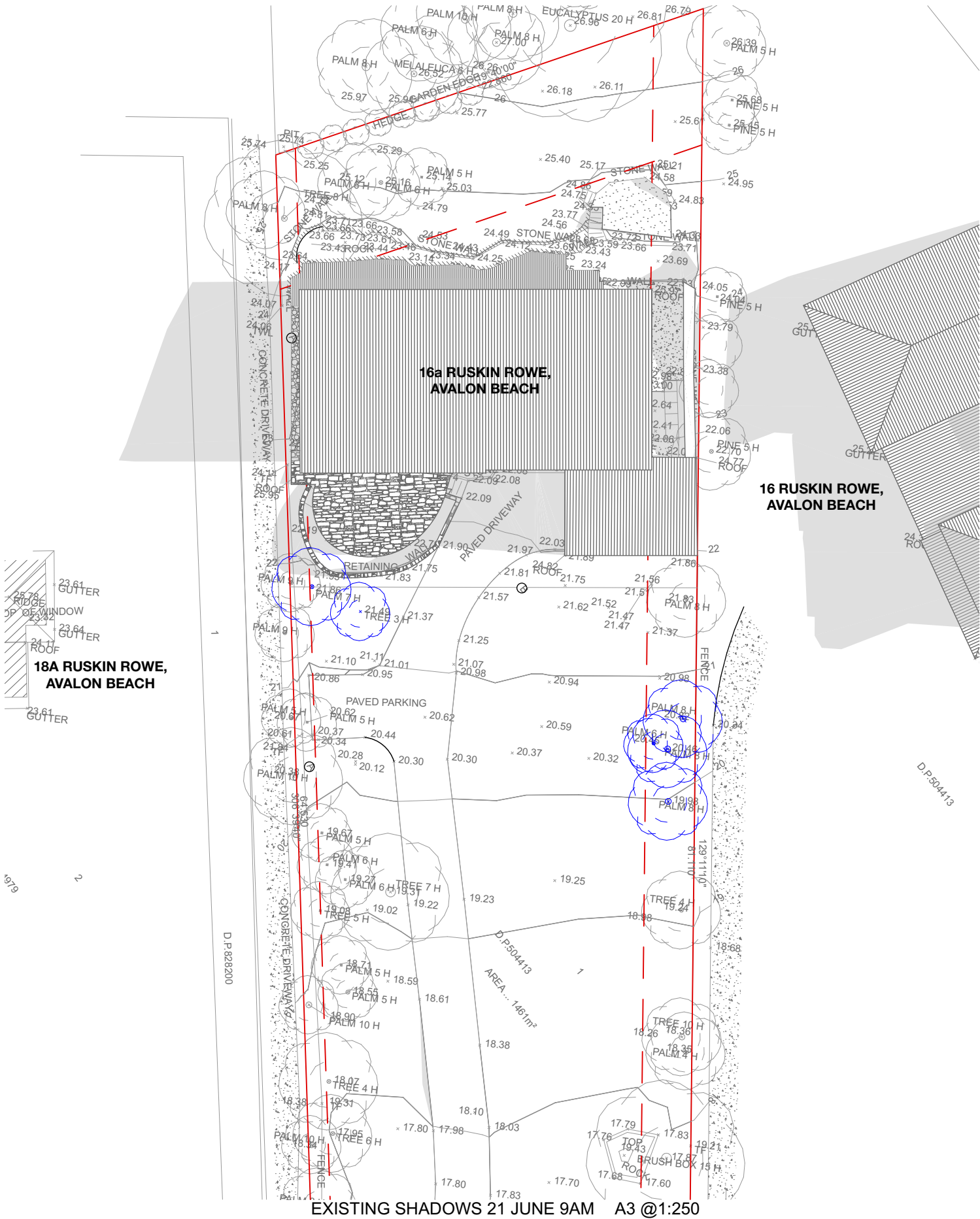
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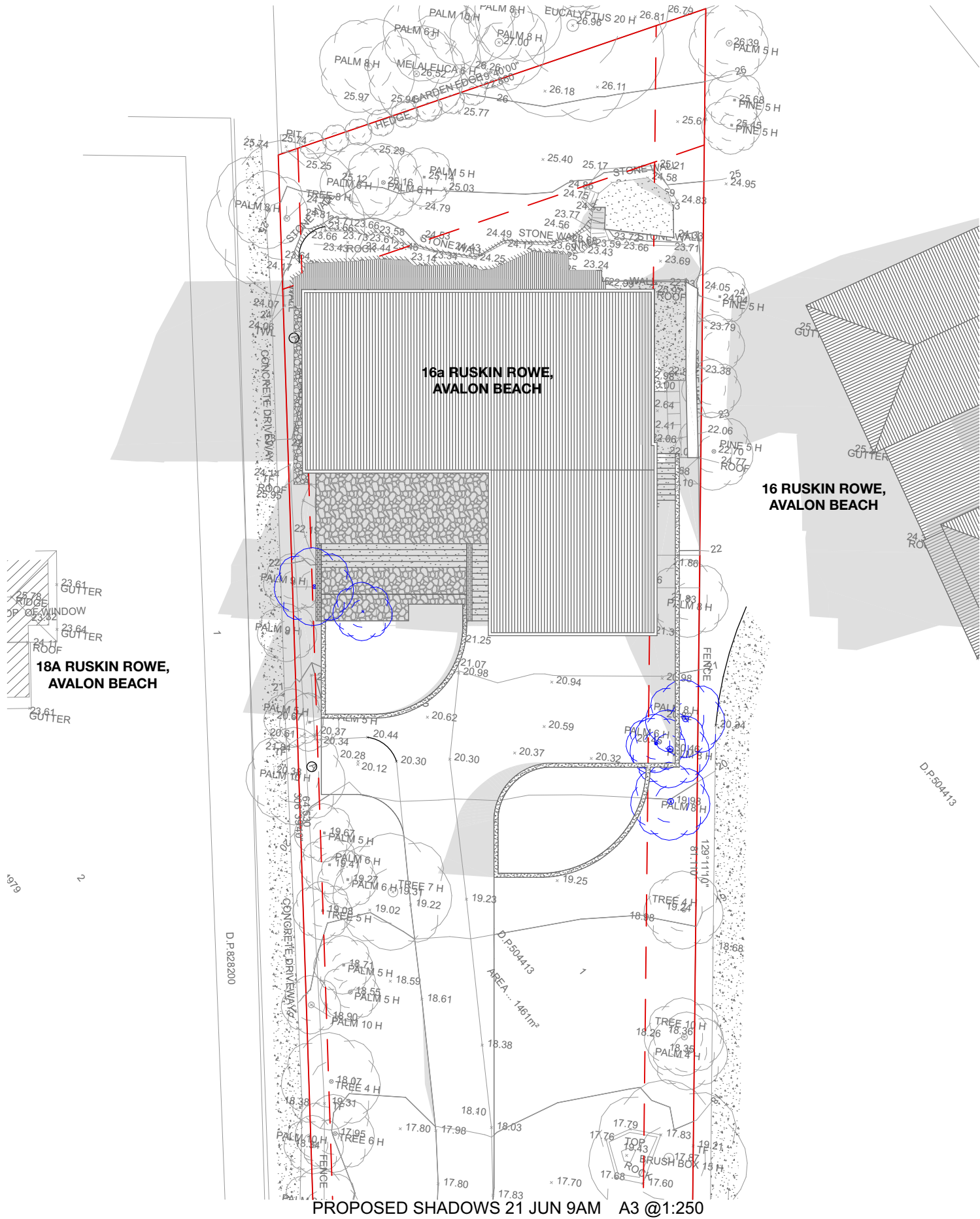
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EXISTING SHADOWS 21 JUNE 9AM A3 @1:250



PROPOSED SHADOWS 21 JUN 9AM A3 @1:250

- KEY:**
- DENOTES AREA OF PROPOSED ALTERATIONS
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CLIENT:
NICK AND JENNY THOMPSON

LOCATION:
16a RUSKIN ROWE,
AVALON BEACH, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
SHADOW DIAGRAMS: SHADOWS JUNE 21
9AM

SCALE:
1:250 @ A3

DATE OF ISSUE:
23/11/21

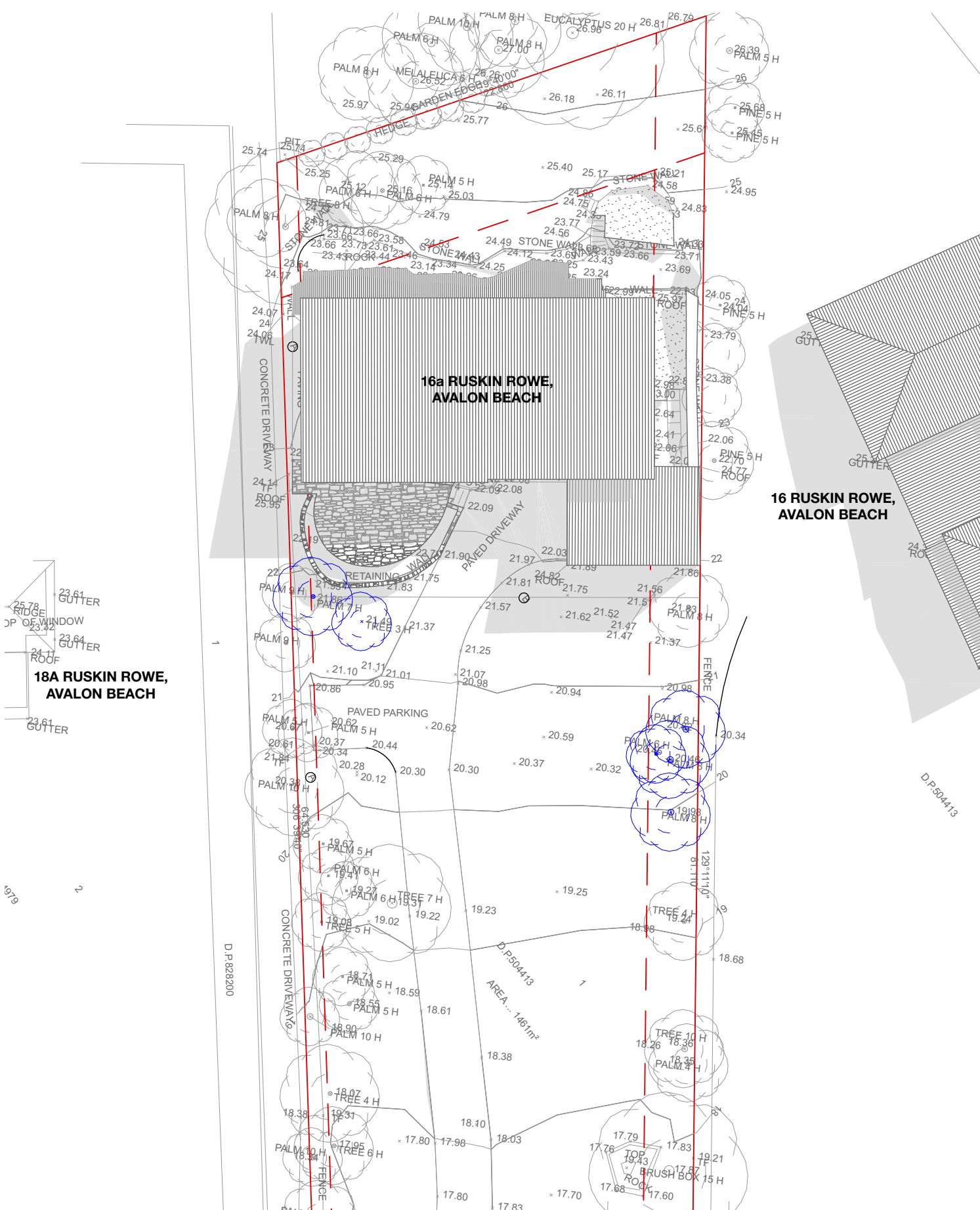
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REVISION:
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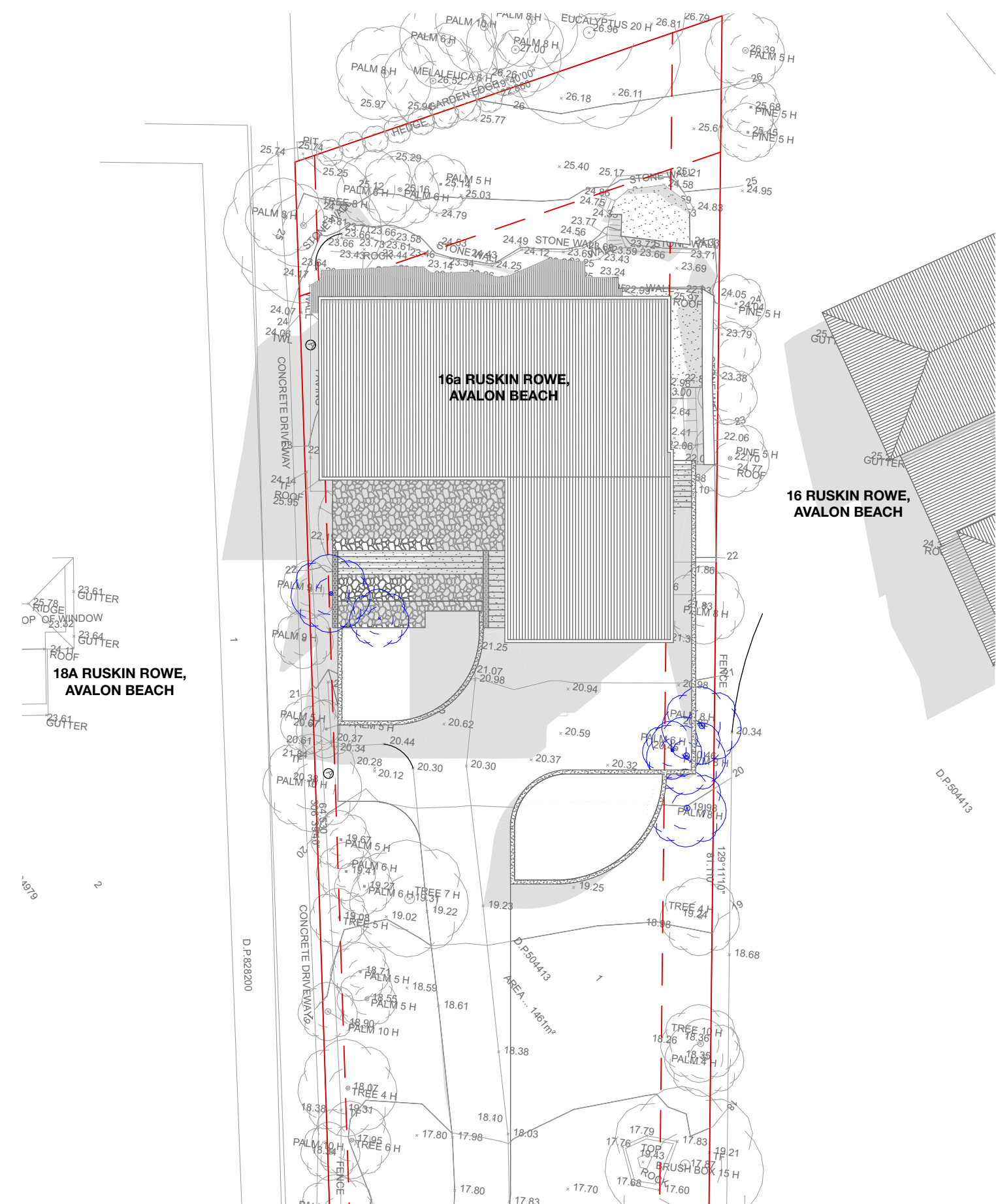
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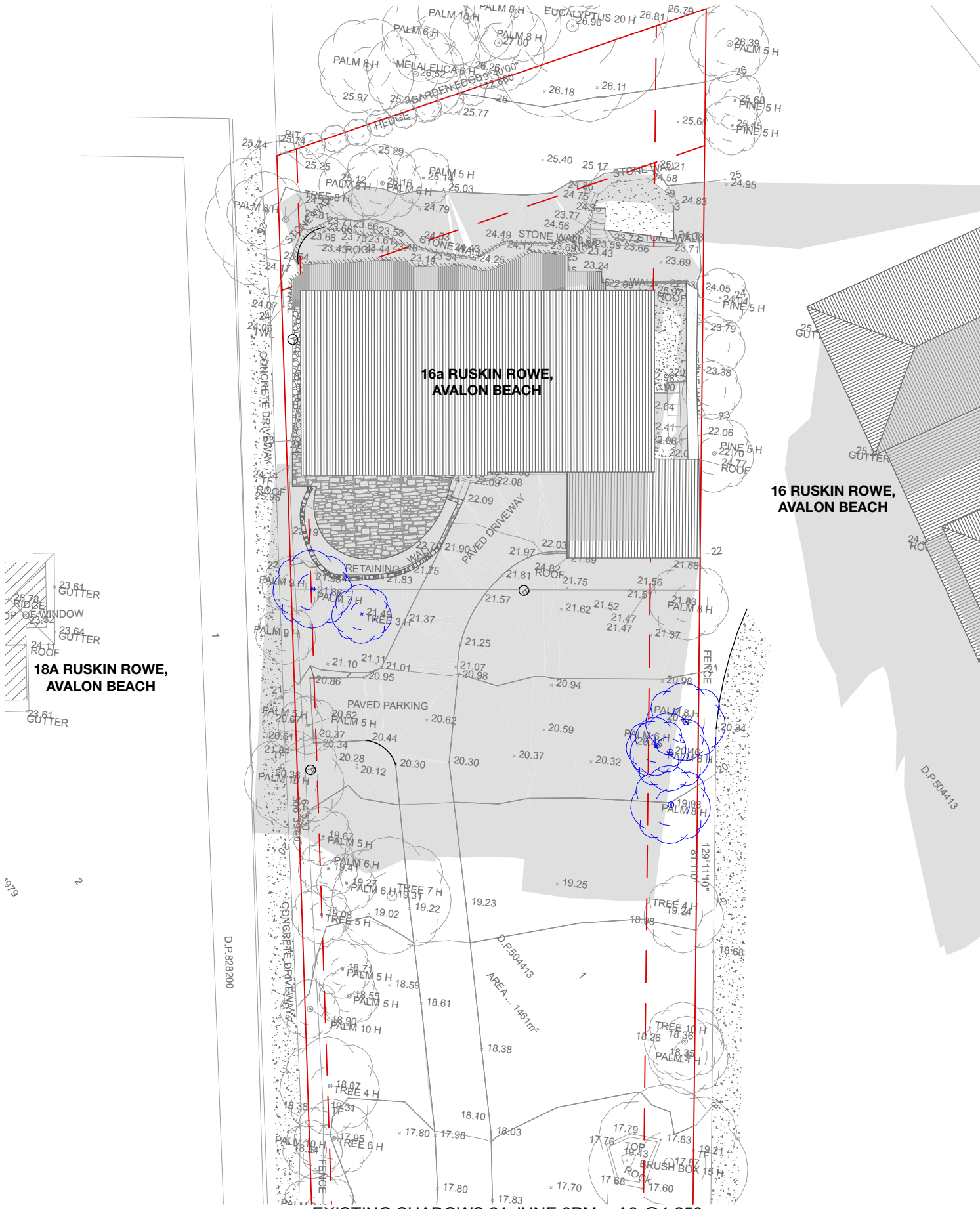


EXISTING SHADOWS 21 JUNE 12PM A3 @1:250

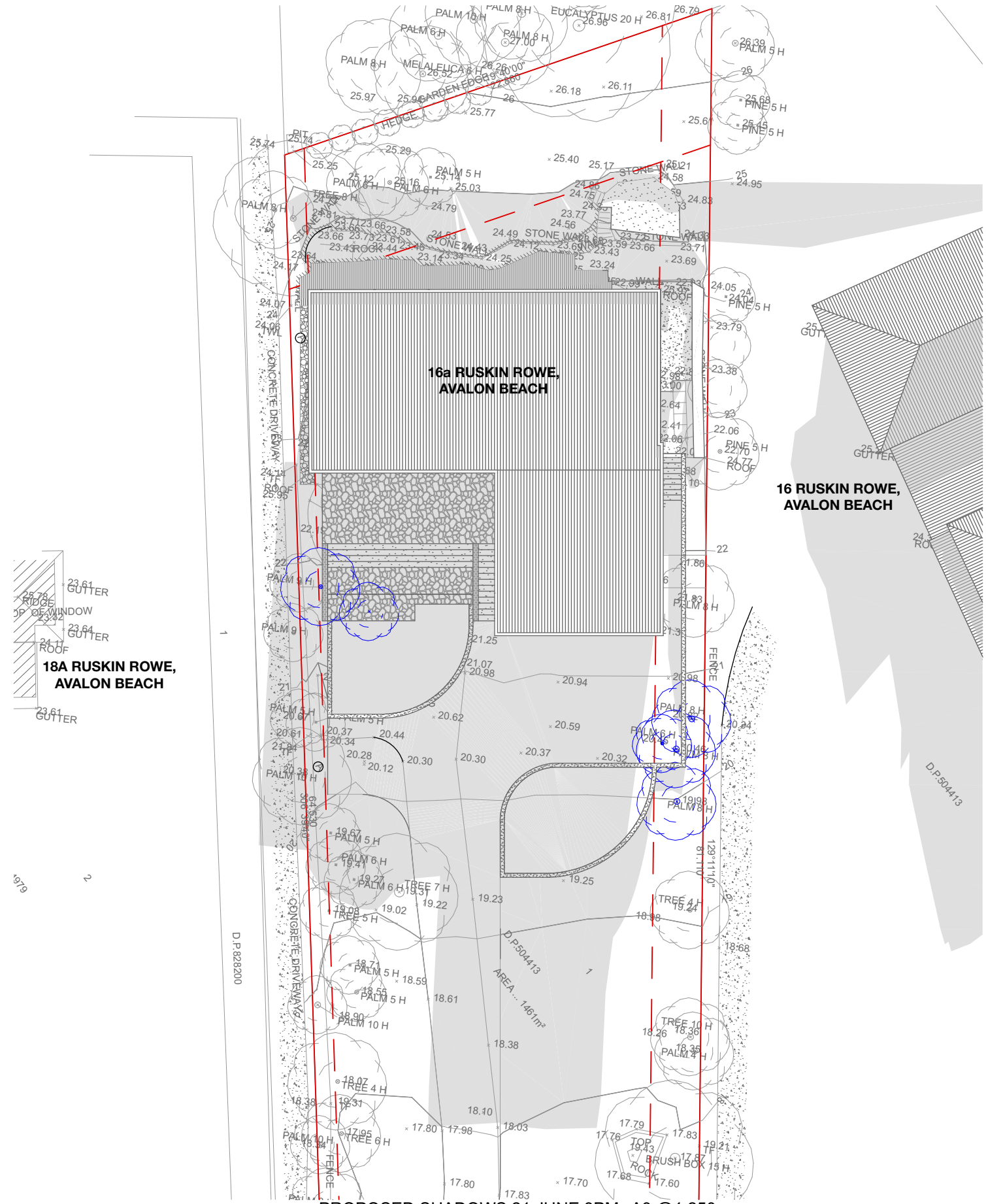


PROPOSED SHADOWS 21 JUNE 12PM A3 @1:250

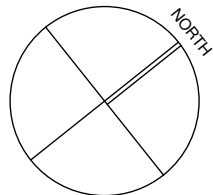
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		<p>CLIENT: NICK AND JENNY THOMPSON</p>	<p>DRAWING TITLE: SHADOW DIAGRAMS: SHADOWS JUNE 21 12pm</p>	<p>DRAWING NO. DA-901</p>	
		<p>LOCATION: 16a RUSKIN ROWE, AVALON BEACH, NSW</p>	<p>SCALE: 1:250 @ A3</p>	<p>REVISION: 01</p>	
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EXISTING SHADOWS 21 JUNE 3PM A3 @1:250



PROPOSED SHADOWS 21 JUNE 3PM A3 @1:250



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POOL & ASSOCIATED LANDSCAPING

CLIENT:
NICK AND JENNY THOMPSON

LOCATION:
16a RUSKIN ROWE,
AVALON BEACH, NSW

PROJECT STAGE:
DA

DRAWING TITLE:
SHADOW DIAGRAMS: SHADOWS JUNE 21
3PM

SCALE:
1:250 @ A3

DATE OF ISSUE:
23/11/21

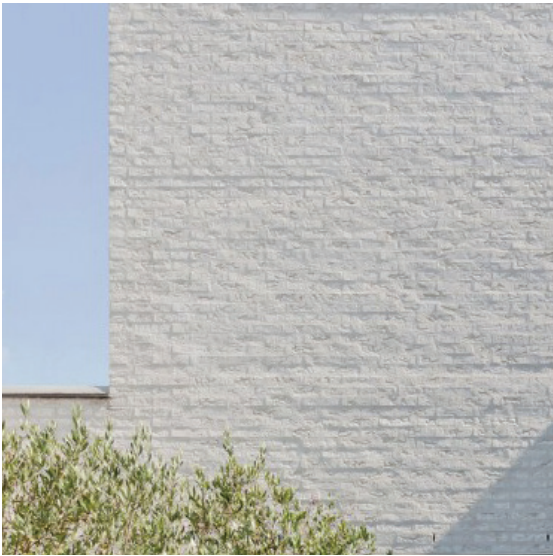
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DA-902

REVISION:
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1. Brick - White Paint Finish To Match Existing



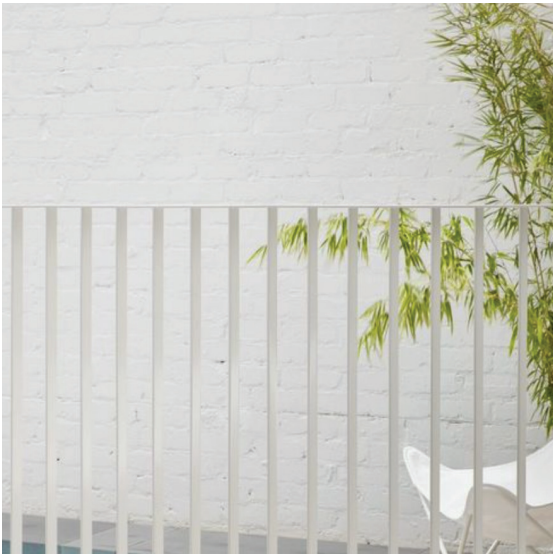
2. Concrete - Render & White Paint Finish to Match Existing



3. Expressed Timber Structure - White Paint Finish to Match Existing



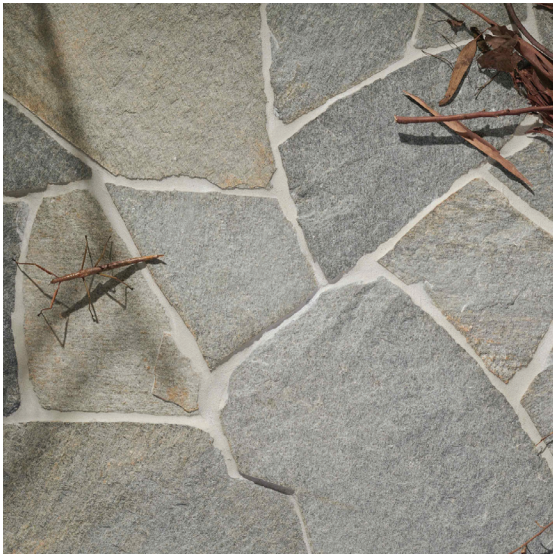
4. Metal Roof Sheetting Flashings, Gutters - Mid Tone Grey



5. Metal Balustrading - White Powdercoated Finish



6. Timber Windows & Doors - White Paint Finish To Match Existing



7. Natural Stone Crazy Paving - Grey Tone



8. Native Gardens

EXTERNAL FINISHES SCHEDULE

THOMPSON RESIDENCE
16a Ruskin Rowe, Avalon Beach

r a m a