



notes



# development application

*living in landscapes of the palm beach ridge*

Proposed New Dwellings, Garages, Pools + Landscape

26 Ralston Road, Palm Beach NSW - Lots 4 + 5

december 2019

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Lots 4 + 5  
for  
Tony + Georgina Nassif

stephen lesiuk

po box 30 palm beach nsw 2108  
tel: 0414 468 186  
email stephenlesiuk@mac.com



# Introduction



notes

Living in Landscapes on the Palm Beach Ridge

- This document constitutes the Development Application for;
  - a) The proposed Demolition of an existing dwelling and existing driveway structure and garage,
  - b) The liberation of Lots 4 and 5,
  - c) The construction of two (2) new dwellings,
  - d) The construction of two(2) new driveways and garage structures,
  - e) The construction of two (2) plunge pools, and
  - f) The construction of new Landscape Structures and associated plantings.
- A Pre-DA Meeting (Application No. PLM2019/0243) took place on the 26/11/2019.
- As a consequence of this meeting, significant changes were made to the proposed design consistent with the recommendations made by Council's Planning staff, and in particular;
  1. The plunge pools have been moved further into the site and away from the street,
  2. A 'landscape' opening has been provided from the street into the property to improve the "character" of the development along the streetscape.
  3. The plunge pools have been reduced in scale to further reduce the Built Upon Area of the development.
  4. Significant landscape works are proposed including the planting of three (3) Angophora costata species to the street (refer Ecological Report and Landscape Plan)

I'd like to thank Council's Planning staff for their thorough review at the Pre-DA process, and we look forward to a favorable assessment of this proposal

Dr. Stephen Lesiuk  
December 2019.

Photomontage

Detailed view of Lot 5 as seen from Ralston Road Palm Beach



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# Document List



notes

- Survey
- Analysis Drawings
- Architectural Documents
- Landscape Plans
- Photomontages
- Schedule of Materials / Finishes
- Shadow Studies
- Notification Plans
- Construction Management Plan
- Statement of Environmental Effects (SEE)

## Additional Documents

- # Arborist Report
- # Ecology Report
- # Bushfire Report
- # Geotechnical Report
- # Stormwater + Hydraulics
- # Driveway Profiles
- # BASIX Report + Schedules

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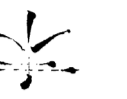
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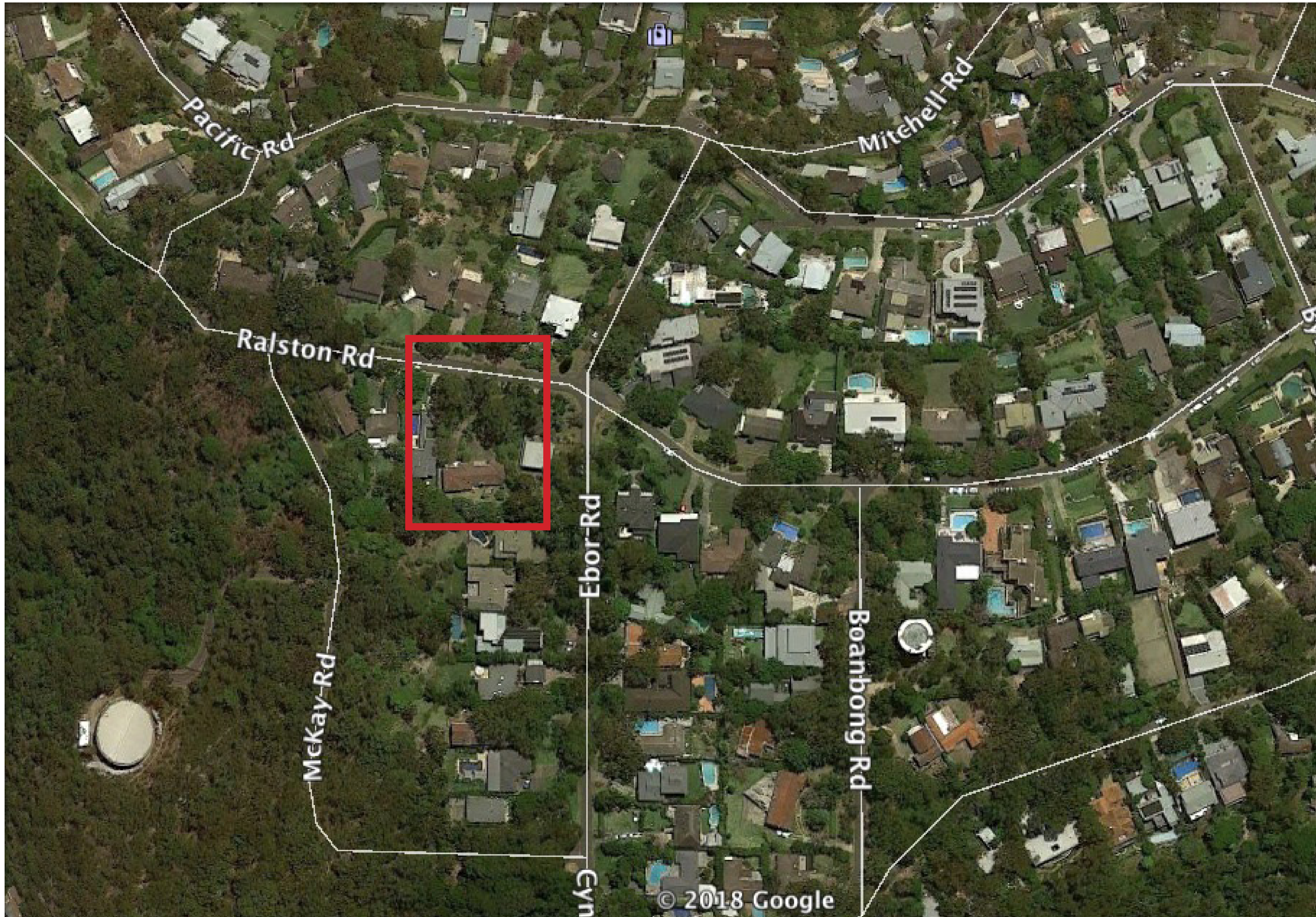
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# site context



notes



Site Context

The site, 26 Ralston Road Palm Beach, is located a little to the West of Ebor Road. To the South the site is partially bounded by an existing dwelling lot and in part MacKay Reserve.

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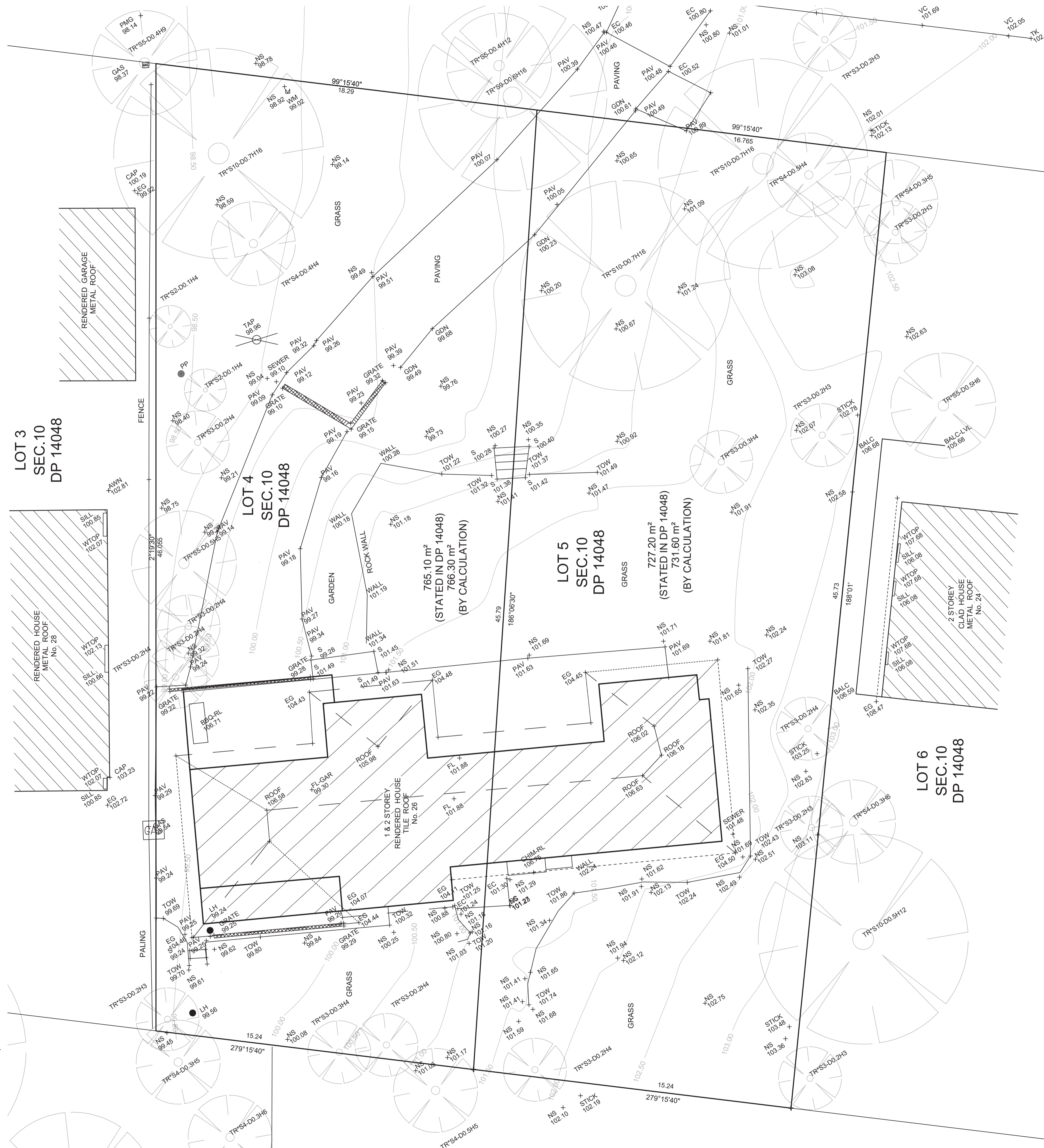
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# site survey



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## Site Survey

Note: A pdf copy of the original survey with title block, date, and confirmation is provided as an attachment to the DA Documents.

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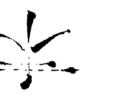
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# site analysis

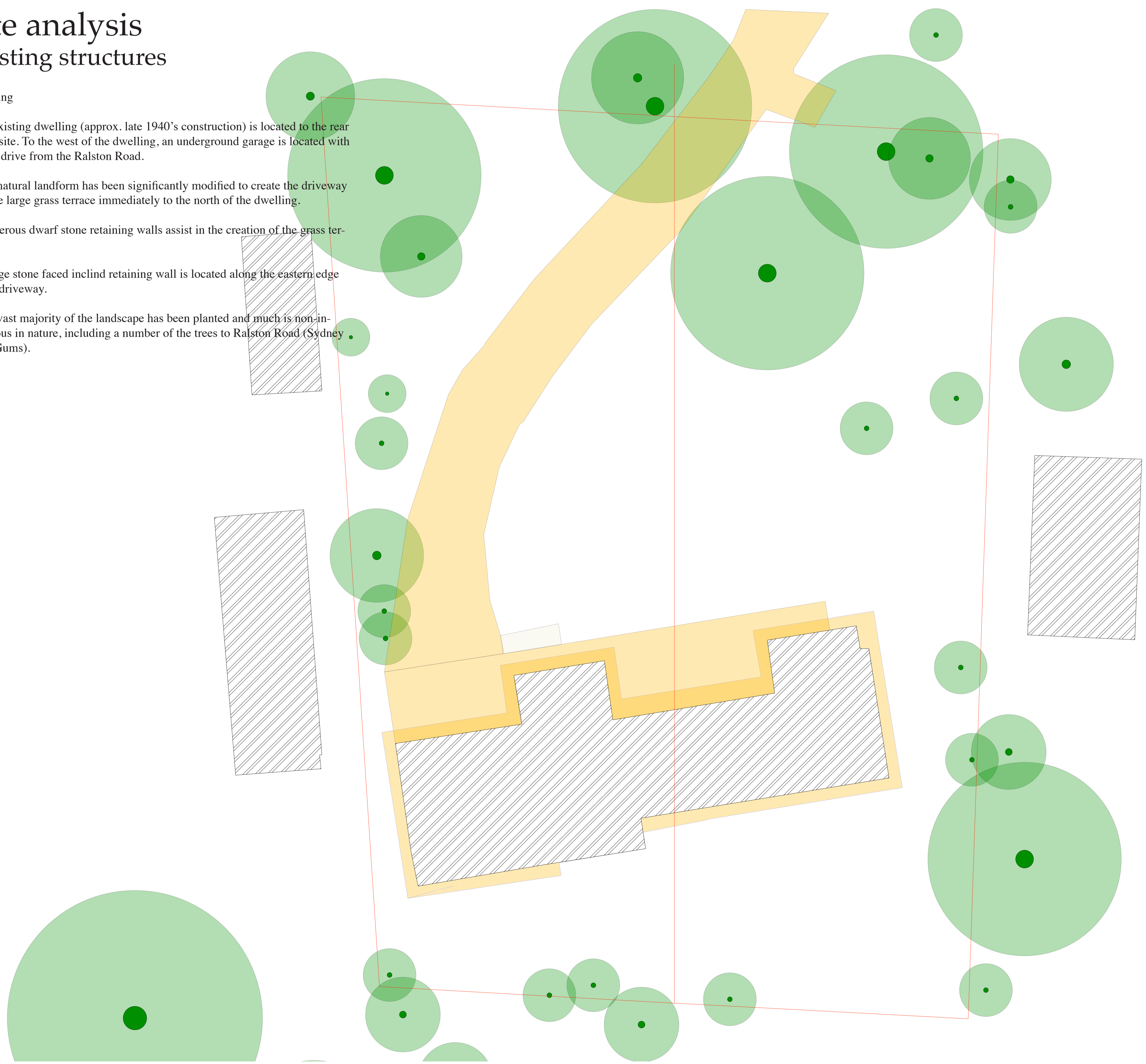
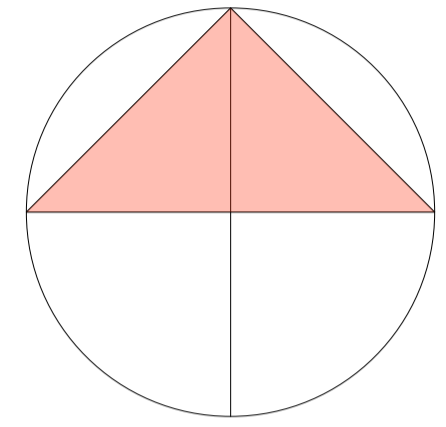
## existing structures



notes

### Dwelling

- An existing dwelling (approx. late 1940's construction) is located to the rear of the site. To the west of the dwelling, an underground garage is located with a long drive from the Ralston Road.
- The natural landform has been significantly modified to create the driveway and the large grass terrace immediately to the north of the dwelling.
- Numerous dwarf stone retaining walls assist in the creation of the grass terrace.
- A large stone faced inclined retaining wall is located along the eastern edge of the driveway.
- The vast majority of the landscape has been planted and much is non-indigenous in nature, including a number of the trees to Ralston Road (Sydney Blue Gums).



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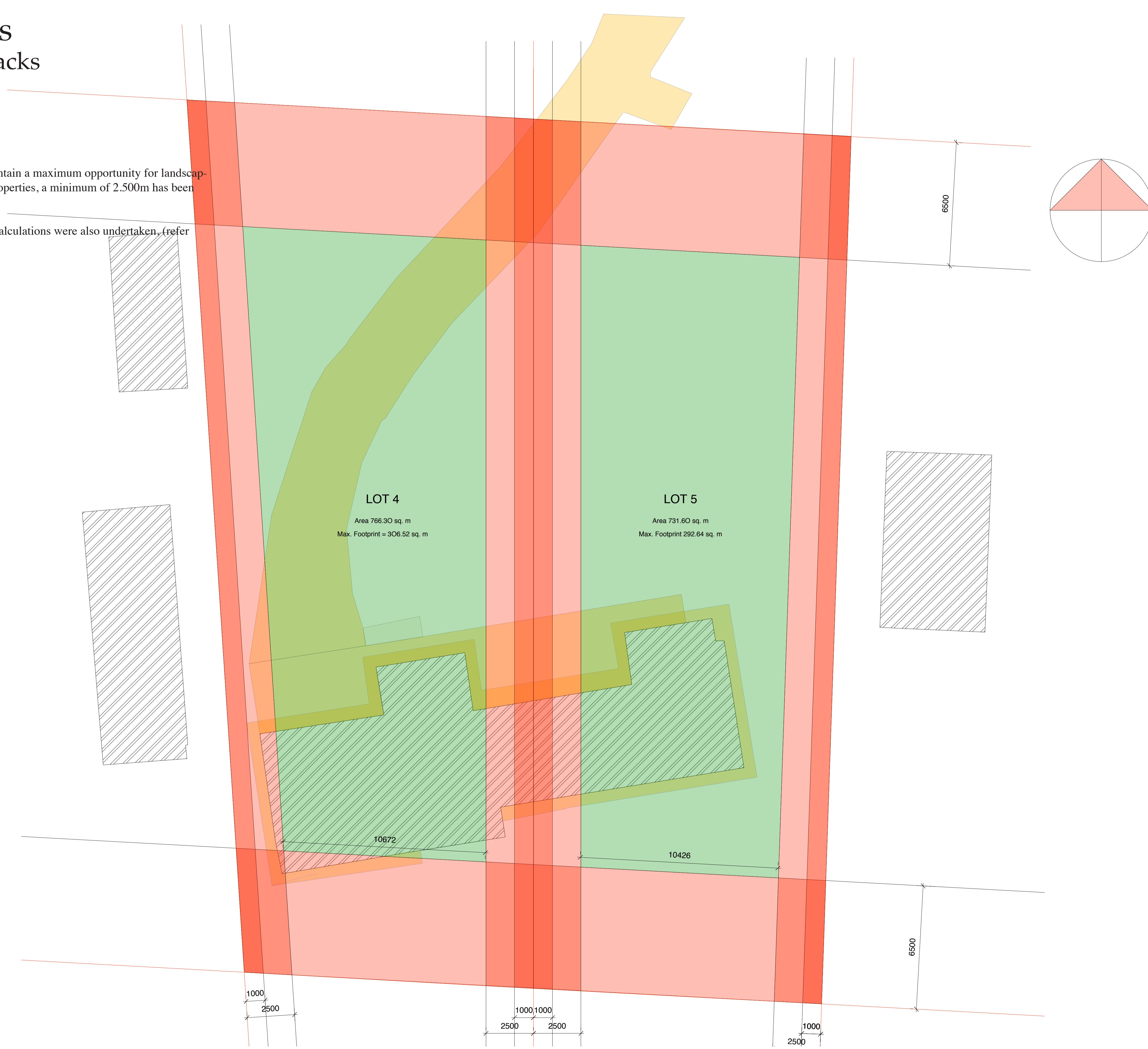


# site analysis planning set-backs



- Front Setback - 6.500 m
- Rear Setback - 6.500 m
- Side Setbacks - In order to maintain a maximum opportunity for landscaping and privacy between ALL properties, a minimum of 2.500m has been selected.
- Preliminary Built Upon Area Calculations were also undertaken, (refer notes on drawing).

notes



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# site analysis

## micro-climate



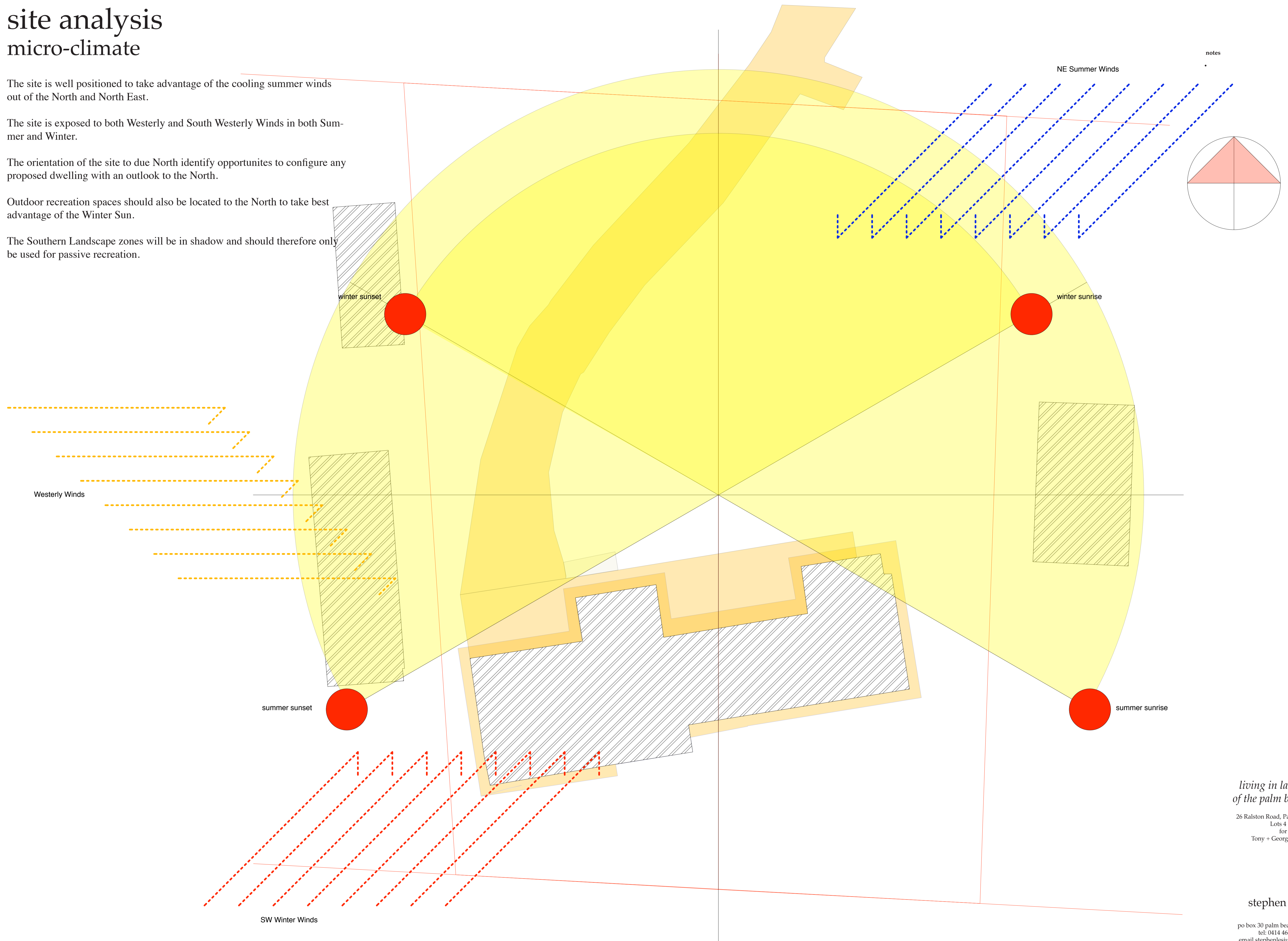
The site is well positioned to take advantage of the cooling summer winds out of the North and North East.

The site is exposed to both Westerly and South Westerly Winds in both Summer and Winter.

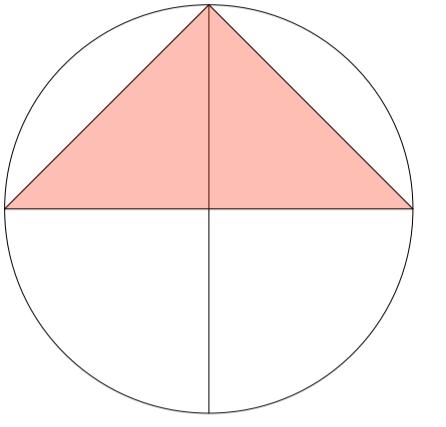
The orientation of the site to due North identifies opportunities to configure any proposed dwelling with an outlook to the North.

Outdoor recreation spaces should also be located to the North to take best advantage of the Winter Sun.

The Southern Landscape zones will be in shadow and should therefore only be used for passive recreation.



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# site analysis

## bushfire - BAL determinations



notes

A preliminary assessment of Bushfire Hazards clearly identified that much of the property was located in a BAL FZ (Flame Zone) rating.

The proposed design, construction and including doors and windows would need to be rated at BAL FZ.

(Refer Bushfire Report).



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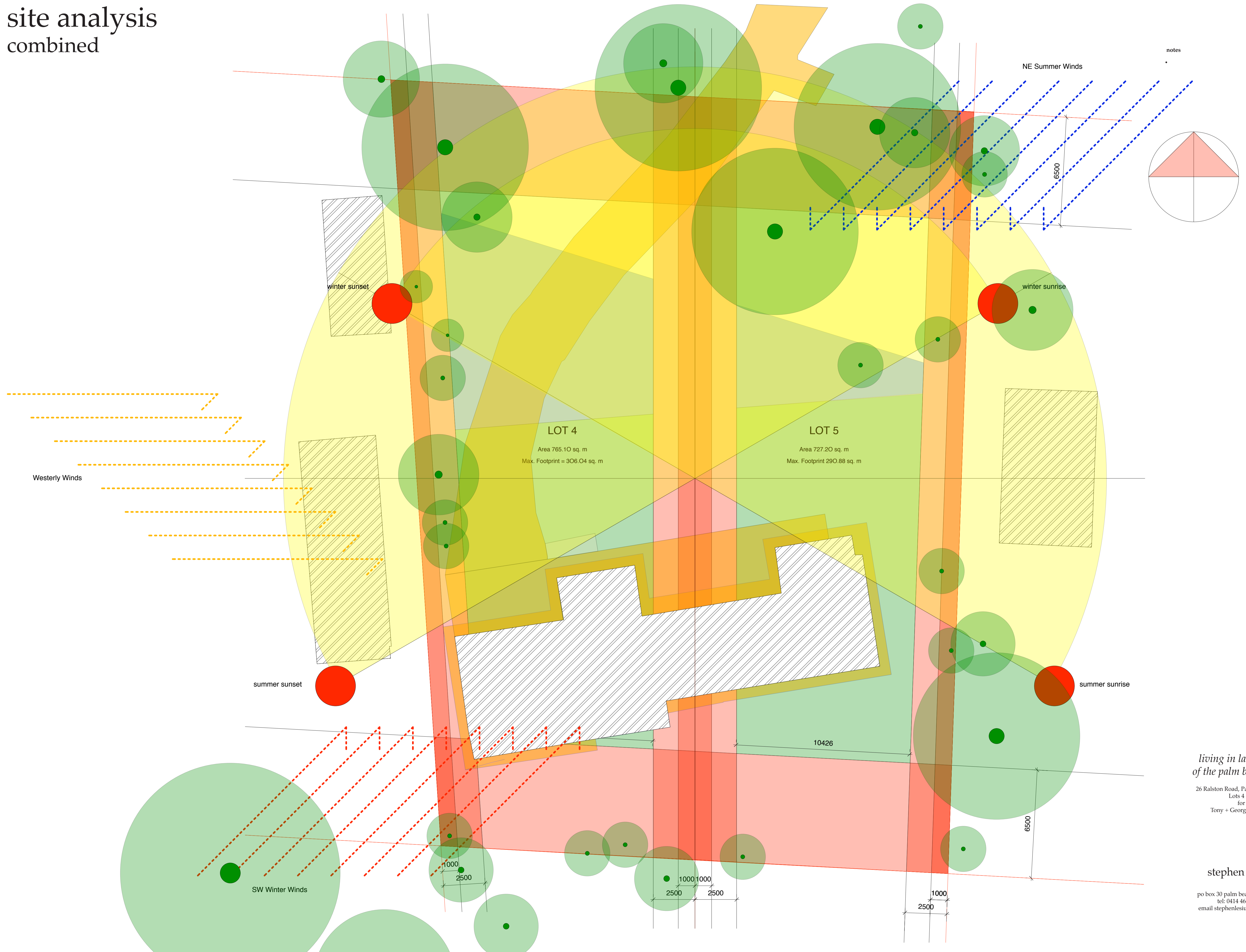
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# site analysis combined



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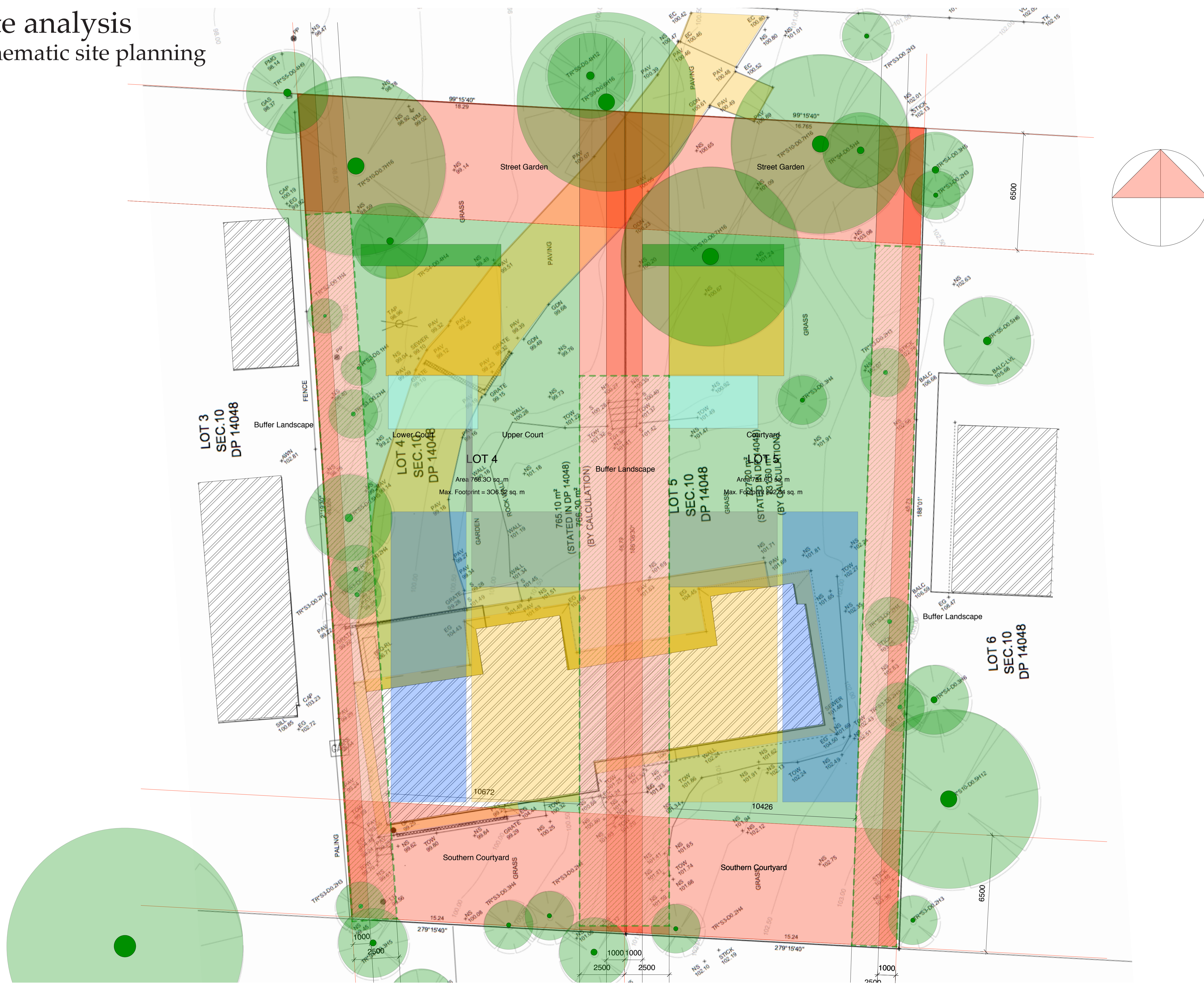
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site analysis  
schematic site planning



notes



LOT 3  
SEC.10  
DP 14048

LOT 4  
SEC.10  
DP 14048  
Area 766.30 sq. m  
Max. Footprint = 306.92 sq. m

LOT 5  
SEC.10  
DP 14048  
Area 1,680 m<sup>2</sup>  
(BY CALCULATION)  
Max. Footprint 842.94 sq. m

LOT 6  
SEC.10  
DP 14048

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# images



notes

The following are a set of images previously undertaken which have been used as inspiration for this project.



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email [stephenlesiuk@mac.com](mailto:stephenlesiuk@mac.com)





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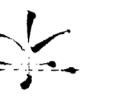
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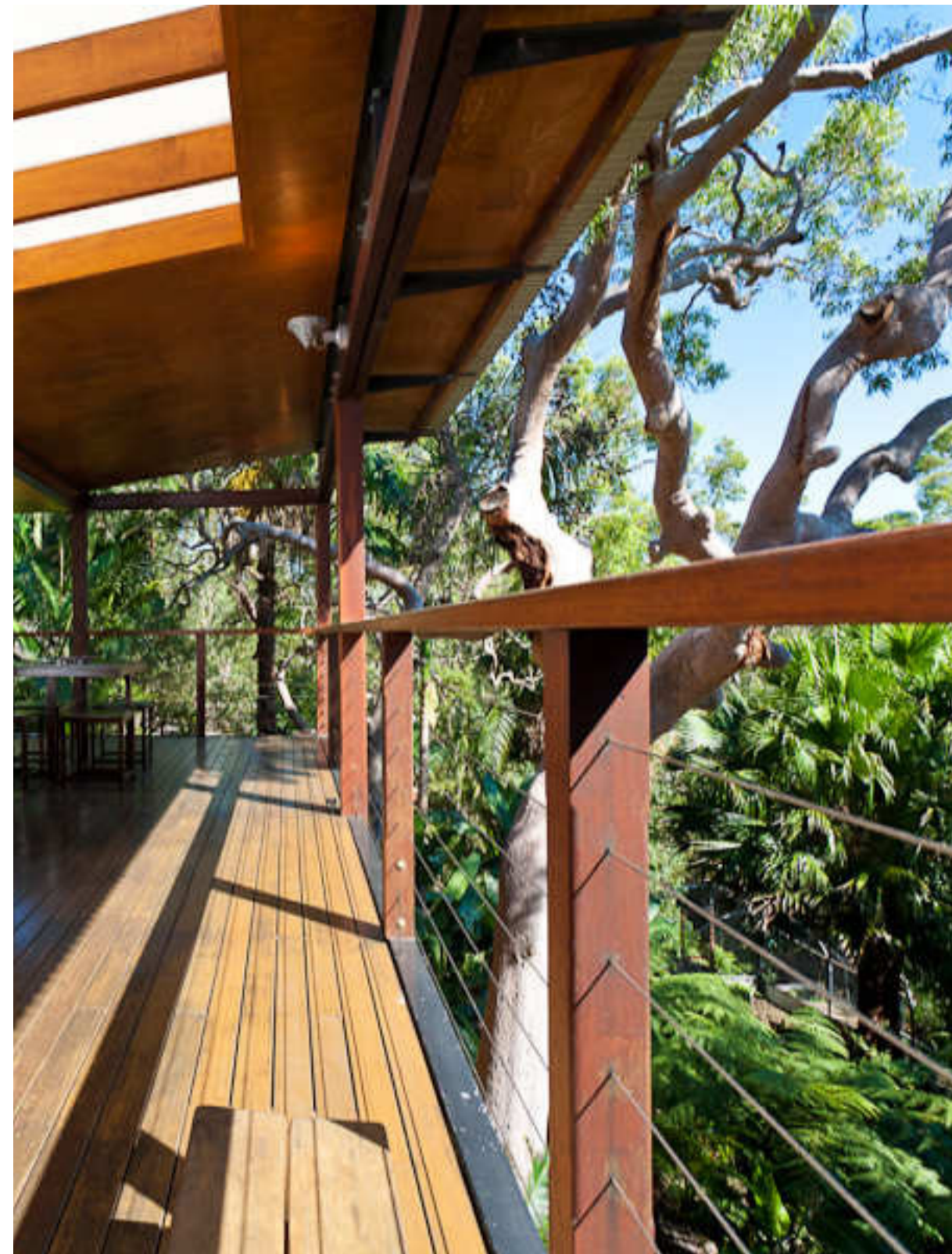
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