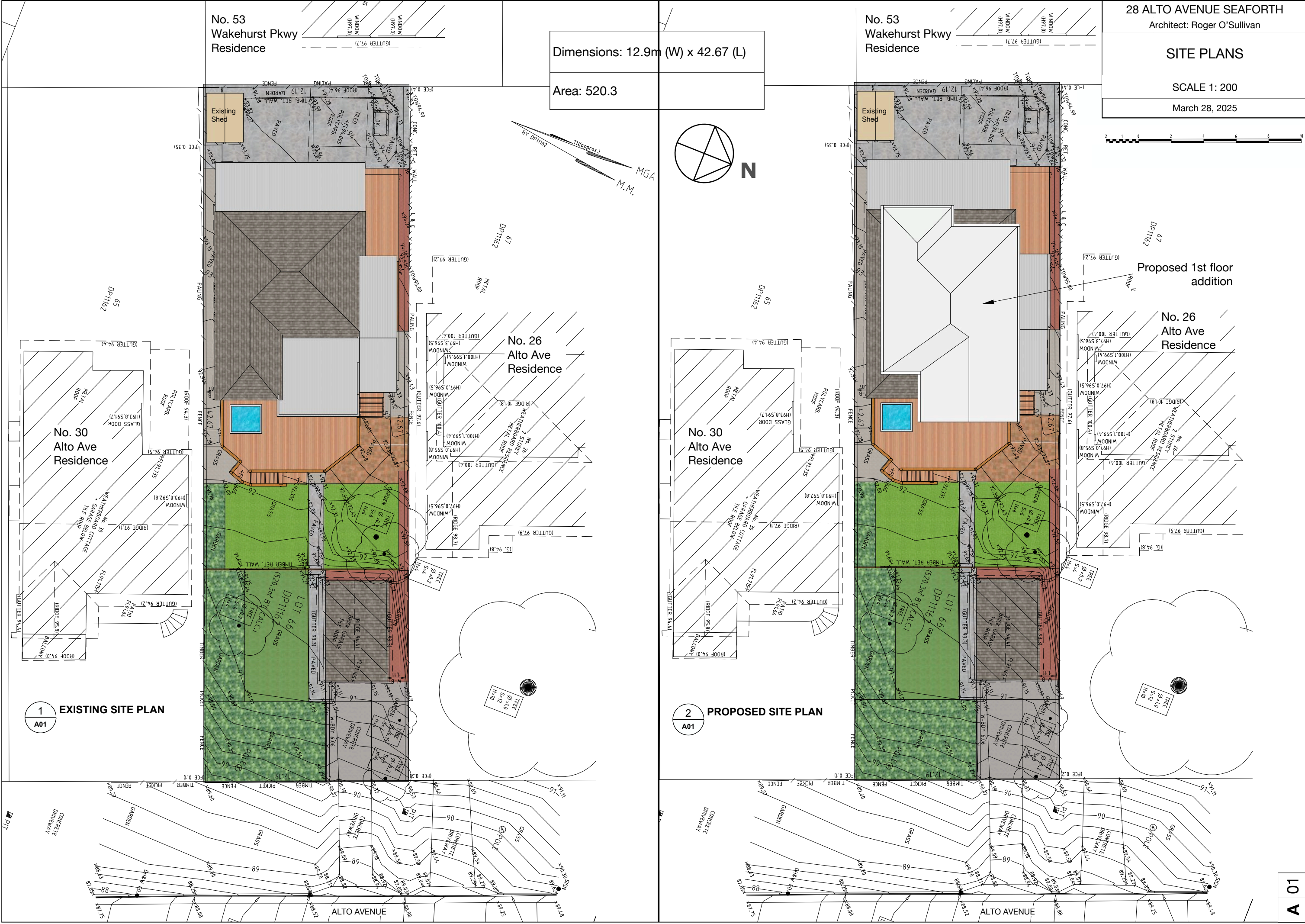


DRAWING SCHEDULE	
PAGE NO.	PAGE TITLE
1	SITE PLAN
2	SITE ANALYSIS
3	EXISTING FLOOR PLAN
4	PROPOSED LOWER FLOOR PLAN
5	PROPOSED UPPER FLOOR PLAN
6	SETBACKS
7	EAST AND WEST ELEVATION
8	NORTH AND SOUTH ELEVATION
9	ROOF STRUCTURE
10	CROSS SECTION
11	LONG SECTION
12	STAIRCASE
13	BATHROOM DETAIL
14	LIGHTING PLAN
15	WINDOW AND DOOR SCHEDULE
16	WASTE MANAGEMENT PLAN
17	SCHEDULE OF COLOURS AND MATERIALS
18	SIGN PLAN
19	BALCONY SECTION
20	STORMWATER
21	EXISTING PIERS

LEGEND	DESCRIPTION
AFW	ALUMINIUM FRAMED WINDOW
ALD	ALUMINIUM SLIDING DOORS
BDY	BOUNDARY
BL	150MM REINFORCED BLOCKWORK
BTH	BATHROOM
CT	CERAMIC TILES
GT	COLORBOND GUTTER
LDY	LAUNDRY
MR	METAL ROOF CORRUGATED COLORBOND
MRK	METAL ROOF KLIPLOK
MRM	MUSIC ROOM
PBP	PLASTERBOARD PAINTED
PLYS	YELLOW TONGUE
PR	POWDER ROOM
RB	ROBE
RL	RELATIVE LEVEL
SPT	SPITTER
TF	T&G TIMBER FLOOR ON WFS ON PLYS
TST	TIMBER STAIR TREADS
TH	TIMBER HANDRAIL
WB	WEATHERBOARDS
WFS	WATERPROOF MEMBRANE
W1 - W10	ALUMINIUM WINDOWS AND DOORS
XALD	EXISTING ALUMINIUM SLIDING DOORS
XAFW	EXISTING ALUMINIUM FRAMED WINDOW
XBL	EXISTING BLOCKWORK
XBTH	EXISTING BATHROOM
XEN	EXISTING ENSUITE
XGT	EXISTING GUTTER
XMRK	EXISTING KLIPLOK ROOF
XPLB	EXISTING PLASTERBOARD LINING
XRB	EXISTING ROBE
XRT	EXISTING ROOF TILES
XTD	EXISTING TIMBER DECK
XTF	EXISTING TIMBER FENCE
XTFB	EXISTING TIMBER FLOOR BOARDS
XWB	EXISTING WEATHERBOARDS



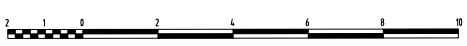


28 ALTO AVENUE SEAFORTH  
Architect: Roger O'Sullivan

**SITE PLANS**

SCALE 1: 200

March 28, 2025



Dimensions: 12.9m (W) x 42.67 (L)

Area: 520.3

1 EXISTING SITE PLAN

2 PROPOSED SITE PLAN



SITE ANALYSIS

SCALE 1: 200  
March 28, 2025



Concept view from street



Existing view from street

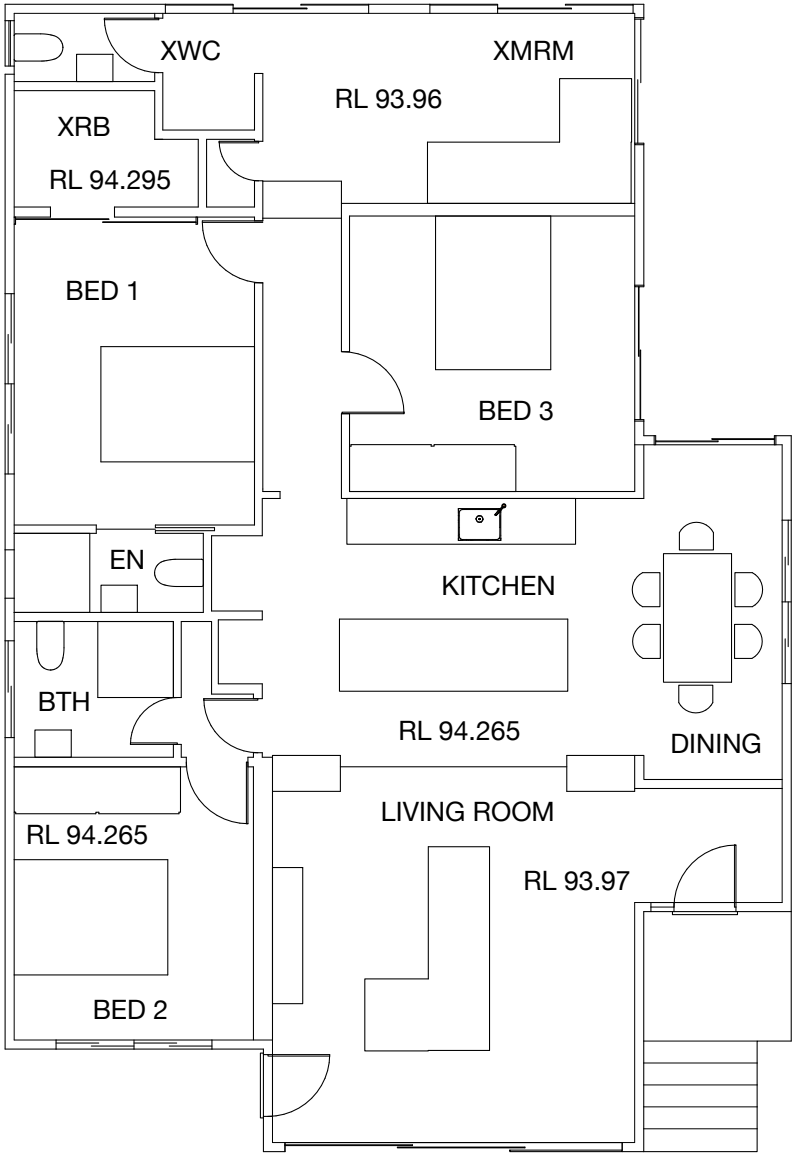
Noise Source:  
Wakehurst Parkway  
distance 40m

Distance Ocean Views

District Views



Existing Gross Floor Area Lower Level:  
129.7m2



1  
A03  
EXISTING FLOOR PLAN

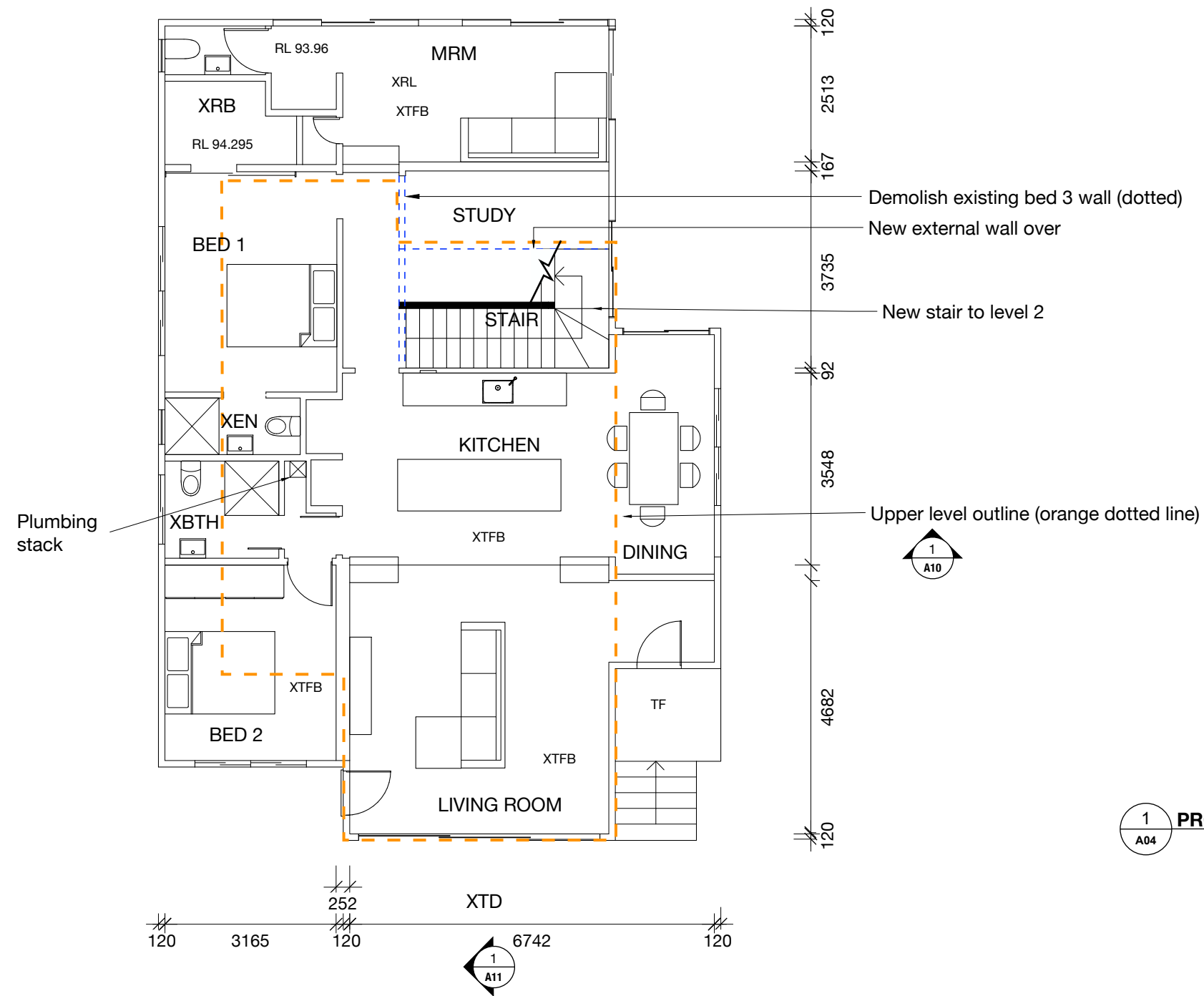


FLOOR PLANS

SCALE 1: 100

March 28, 2025

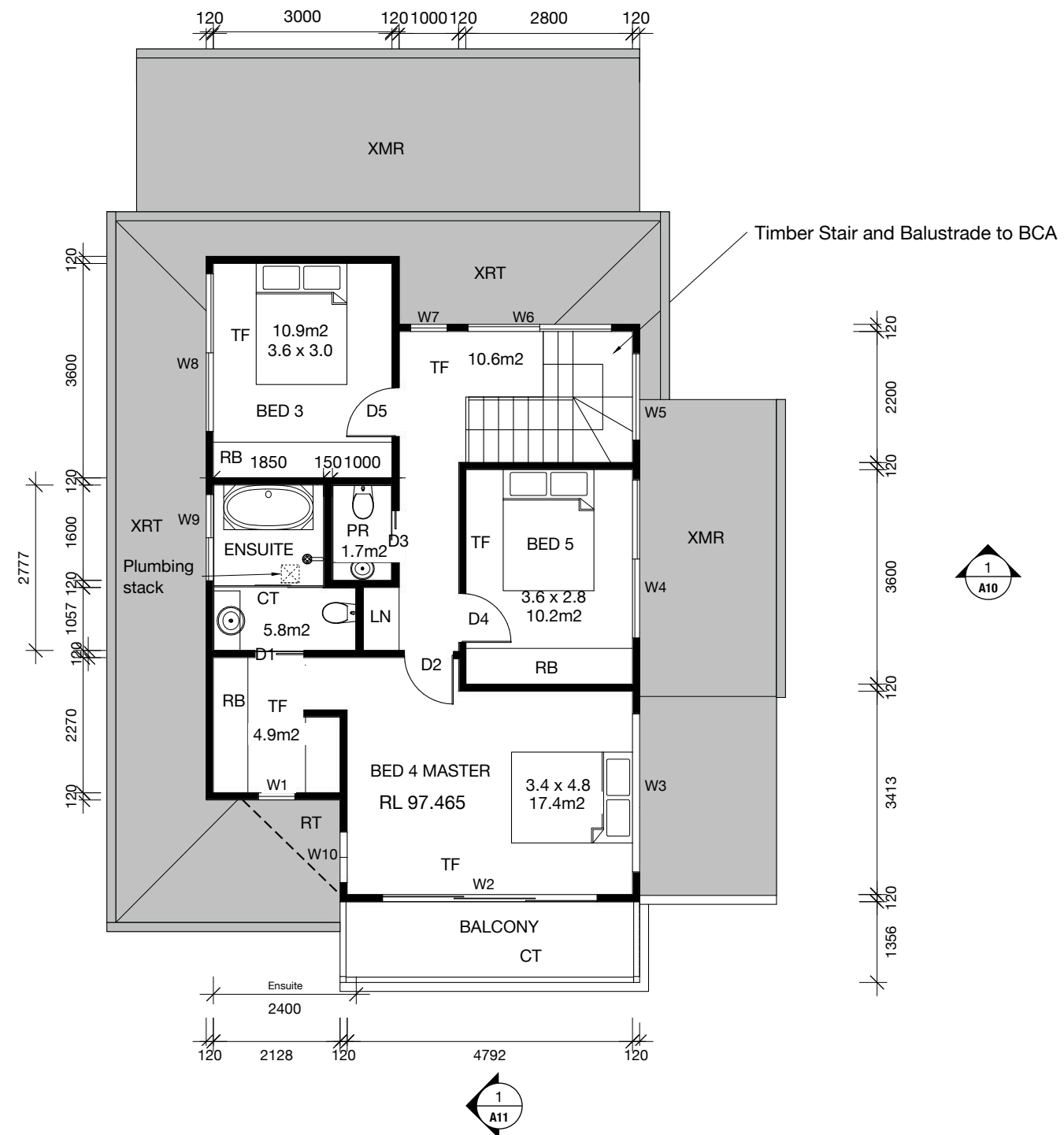
Proposed Gross Floor Area Lower Level:  
129.7m<sup>2</sup>



1 A04 **PROPOSED LOWER FLOOR PLAN**

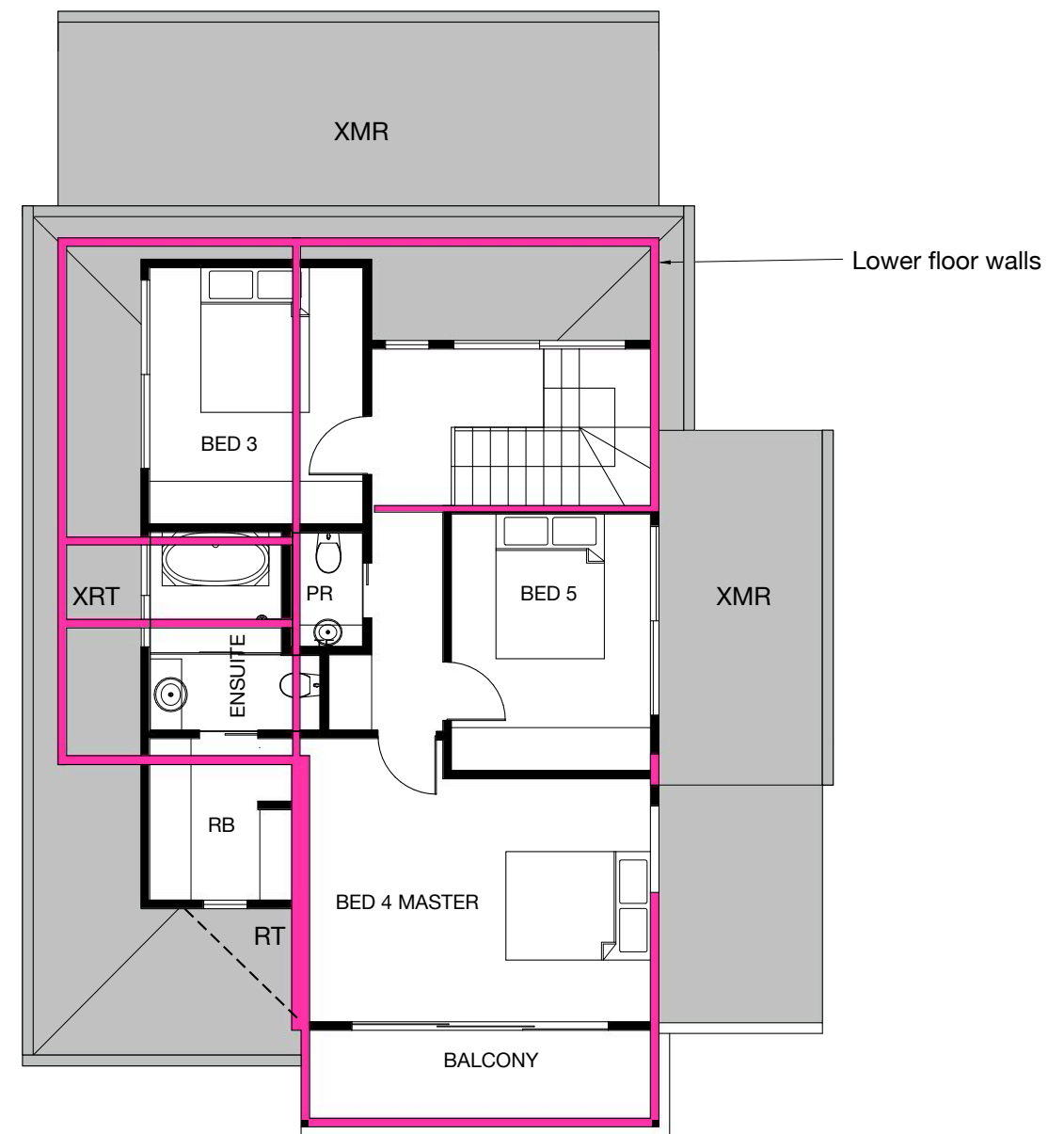


Proposed Gross Floor Area Upper Level:  
61.5m<sup>2</sup>



Walls in black are new timber framed stud walls  
sheeted both sides to match existing

1 PROPOSED UPPER FLOOR PLAN  
A 05



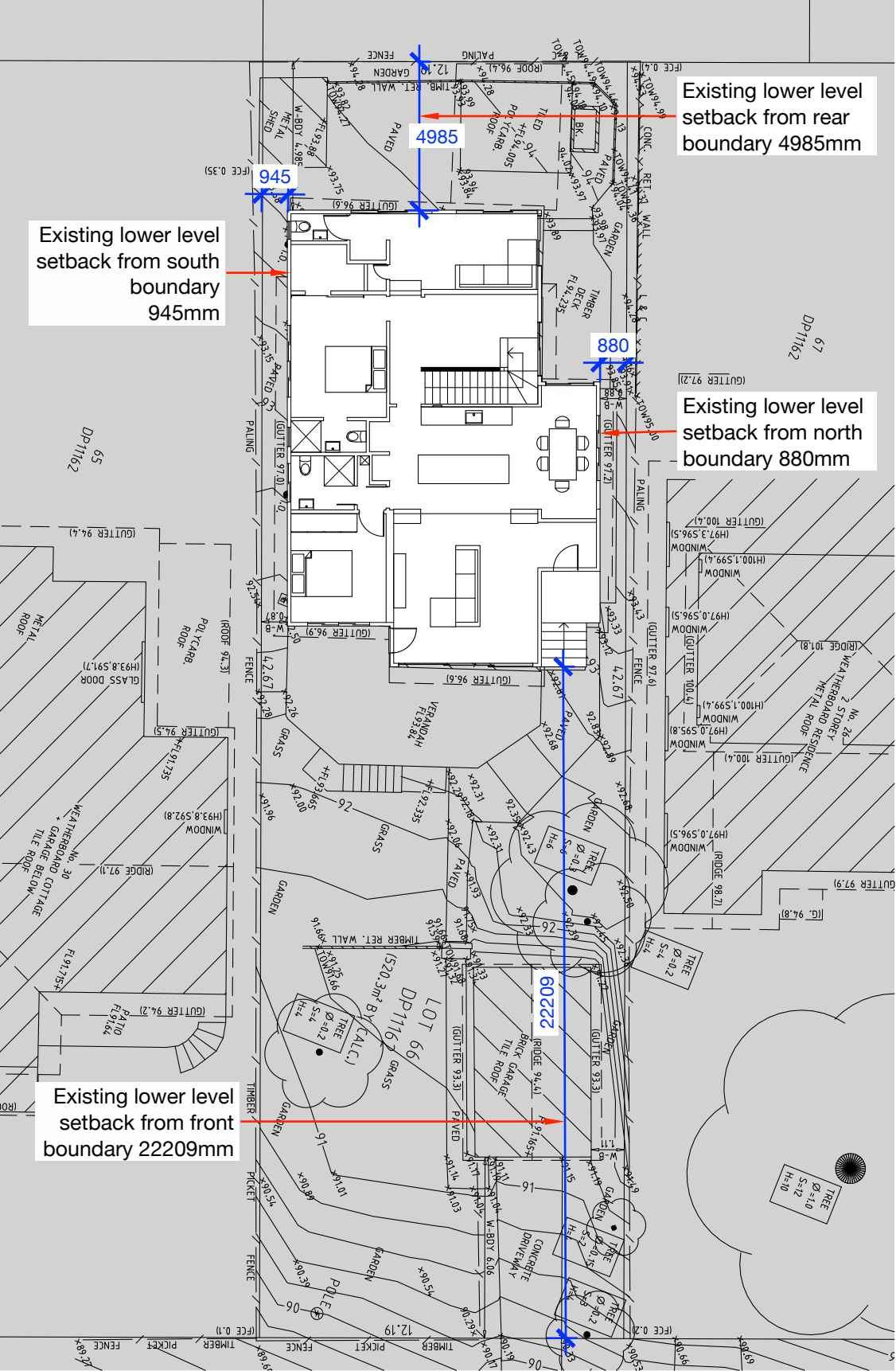
PROPOSED UPPER FLOOR PLAN  
INCLUDING EXISTING STRUCTURAL  
WALLS BELOW  
2  
A 05





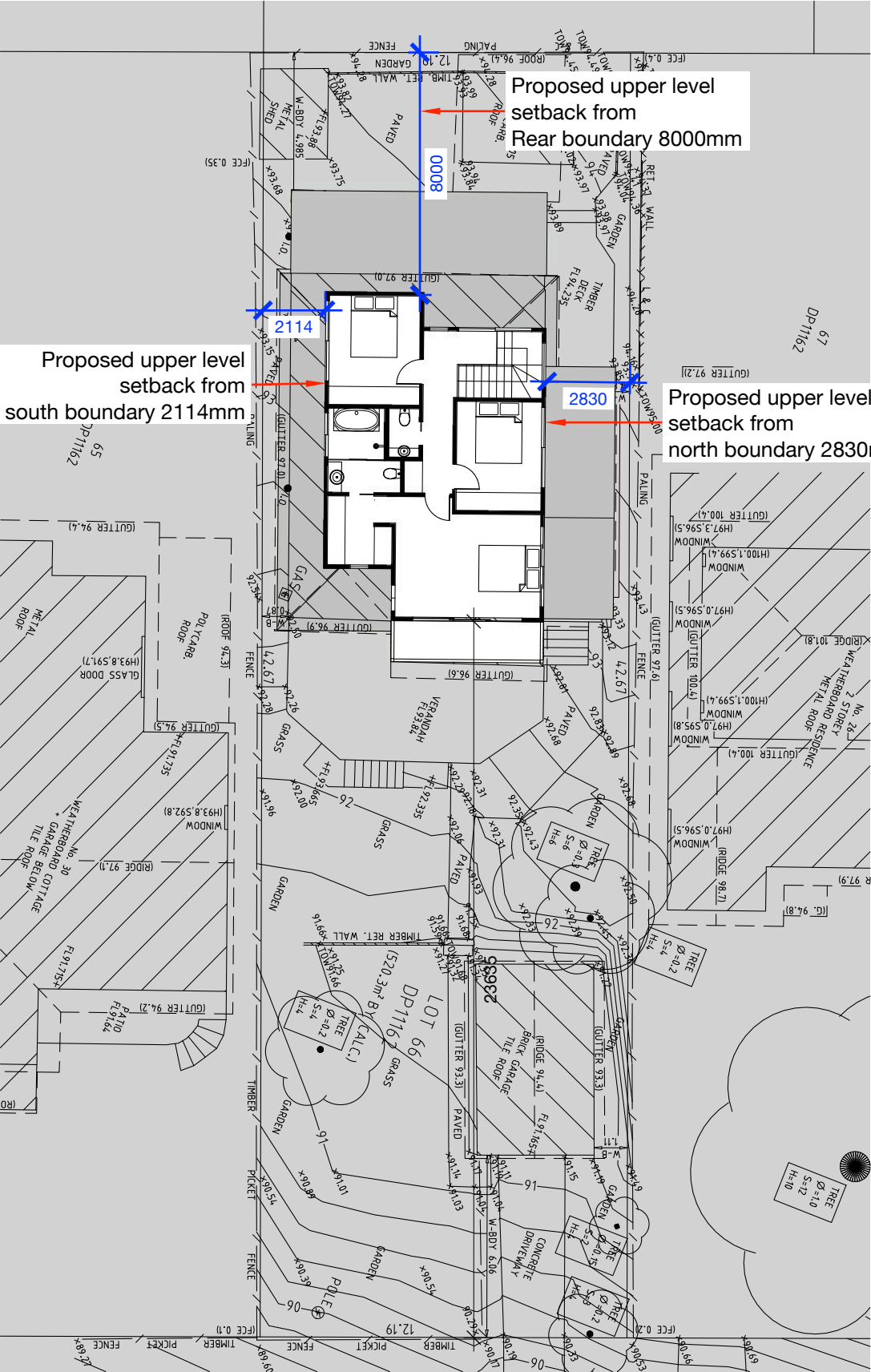
SETBACKS

SCALE 1: 200  
March 28, 2025



PROPOSED LOWER FLOOR PLAN  
BOUNDARY SETBACKS

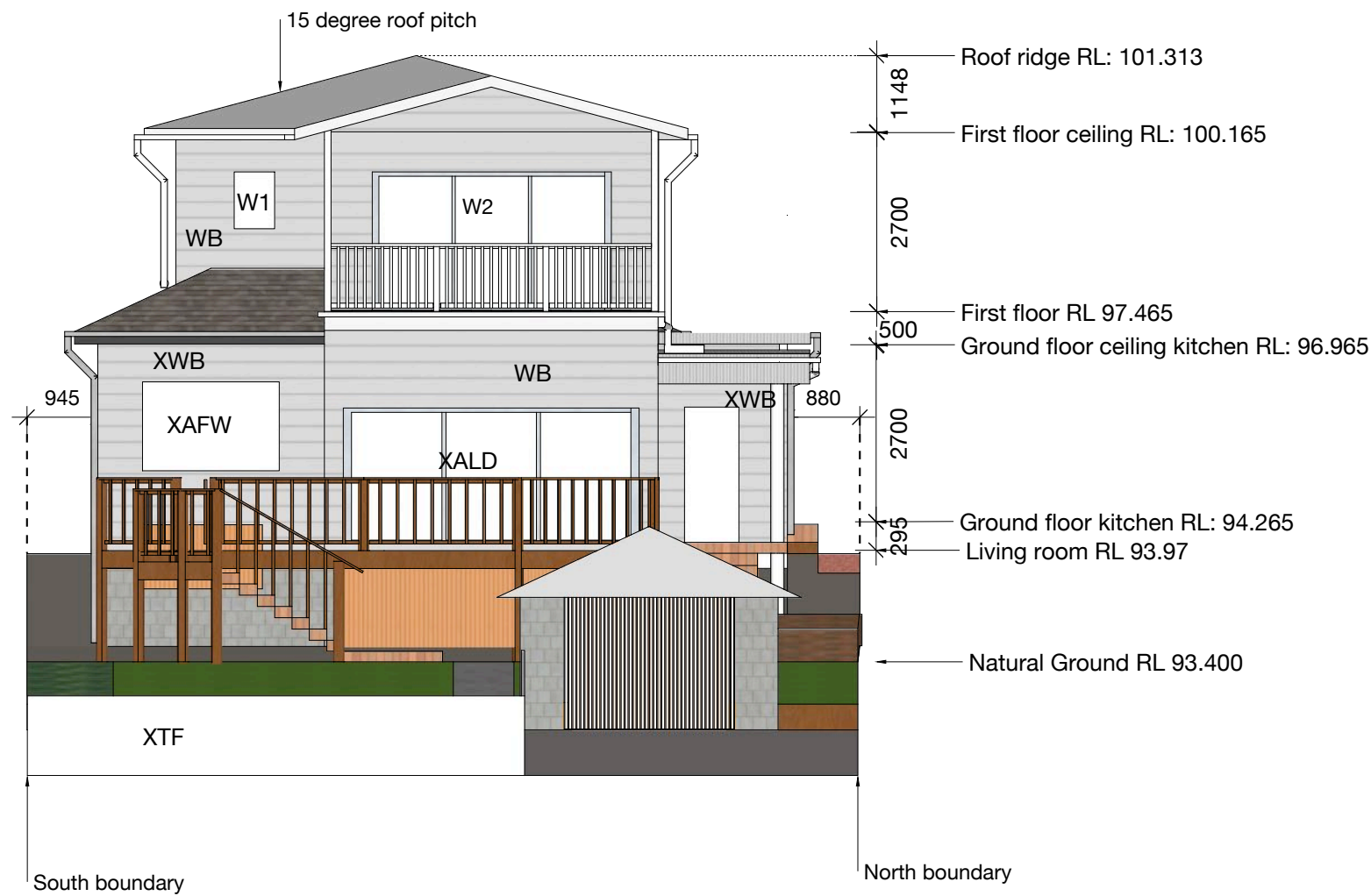
1  
A06



PROPOSED UPPER FLOOR PLAN  
BOUNDARY SETBACKS

2  
A06





1 EAST ELEVATION

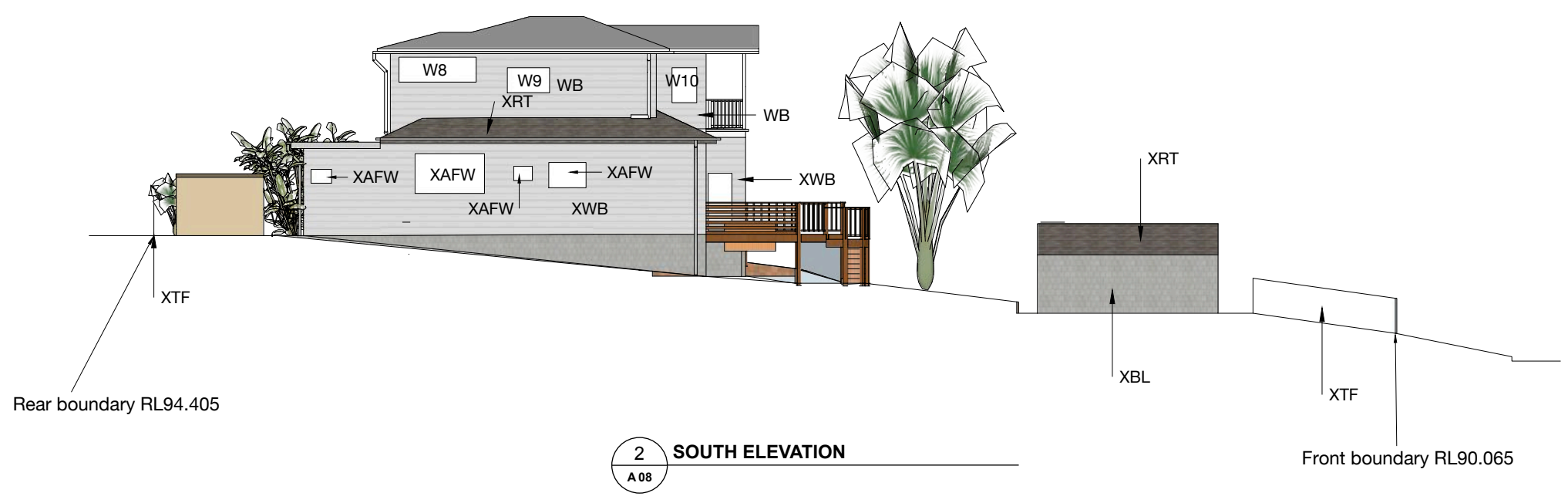
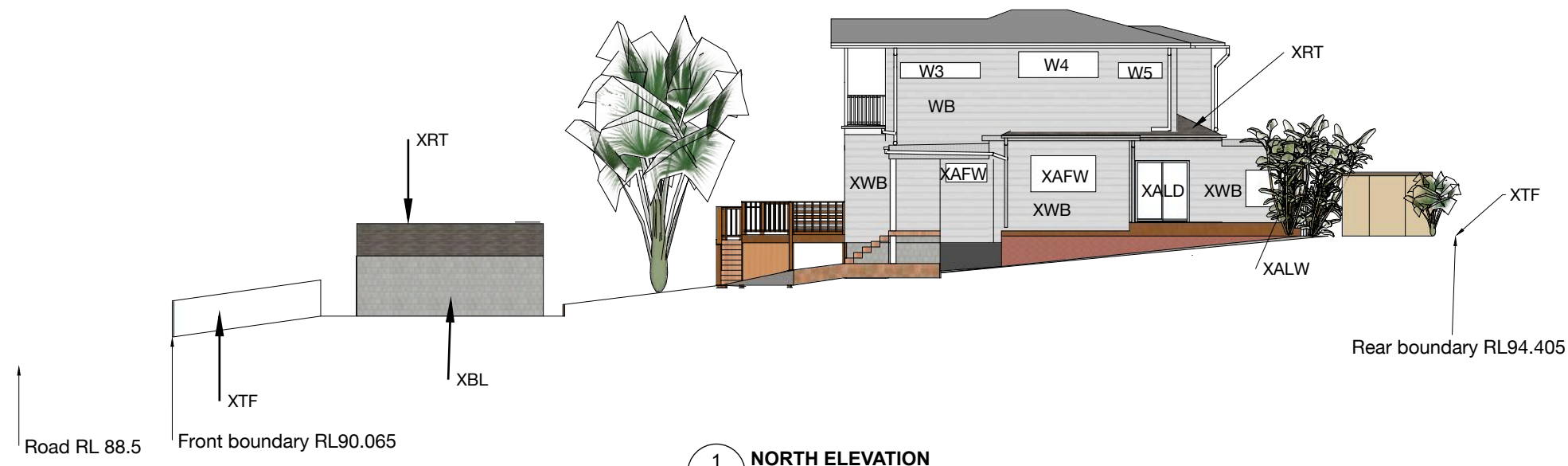
A 07

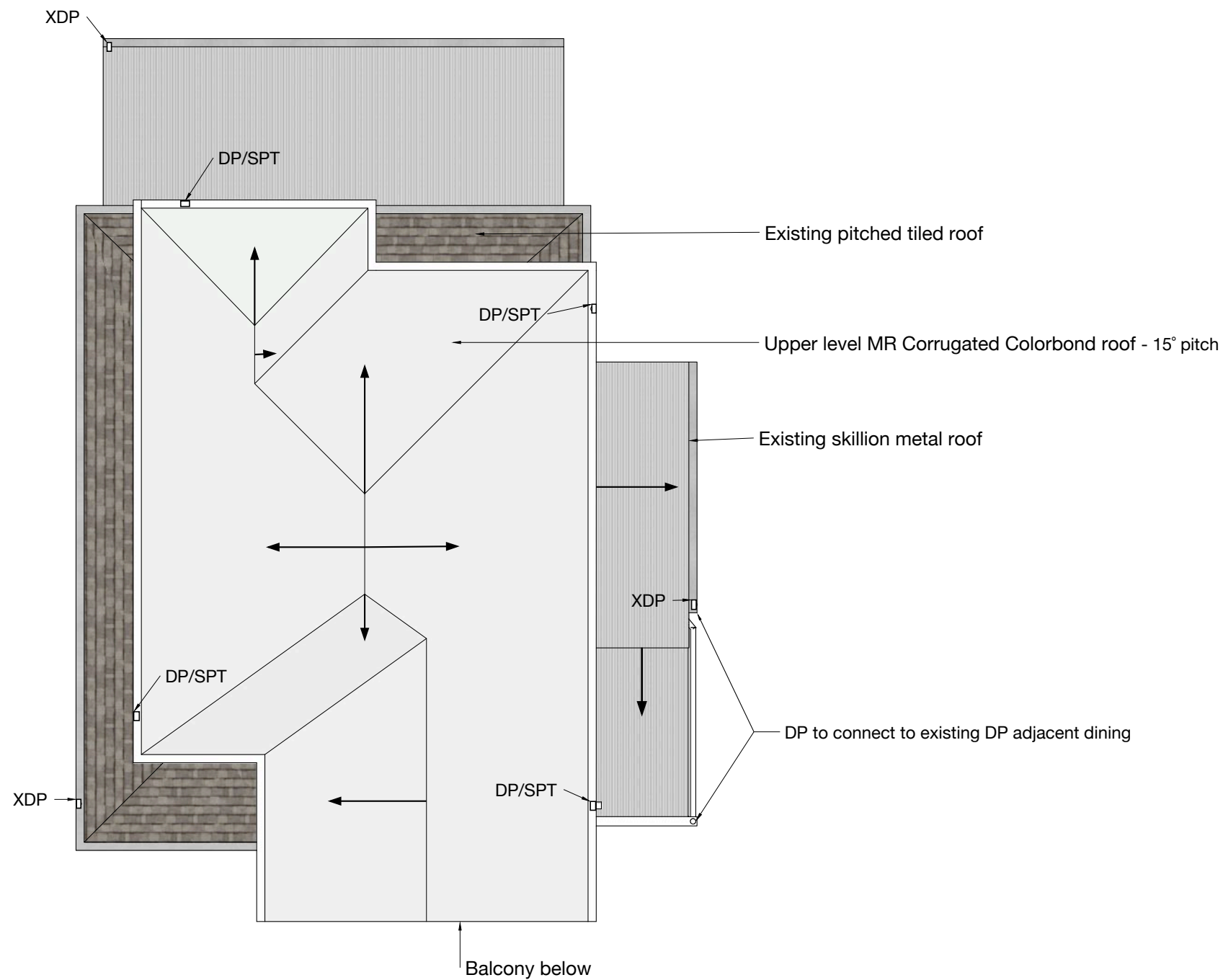


2 WEST ELEVATION

A 07





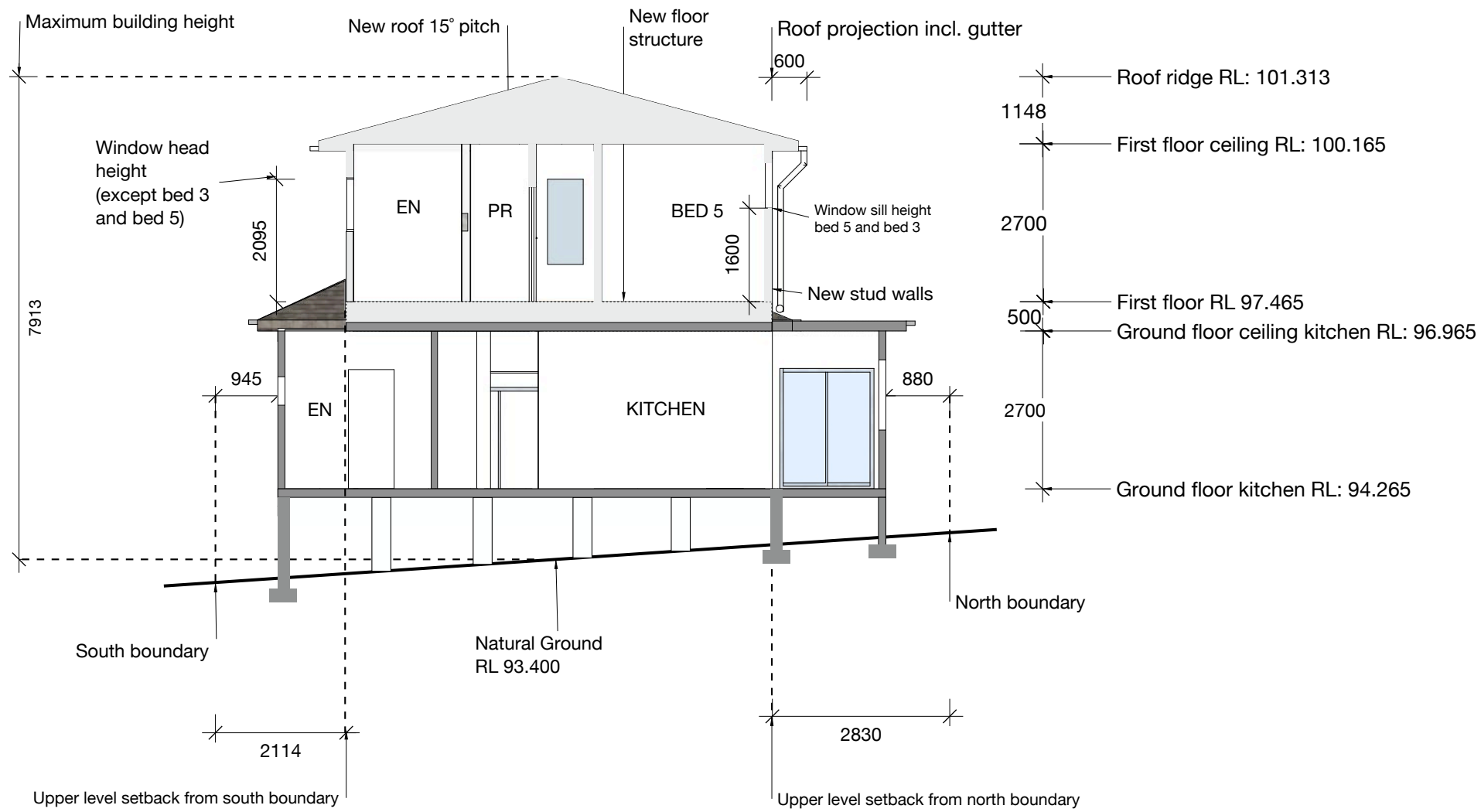


1 ROOF STRUCTURE  
A 09

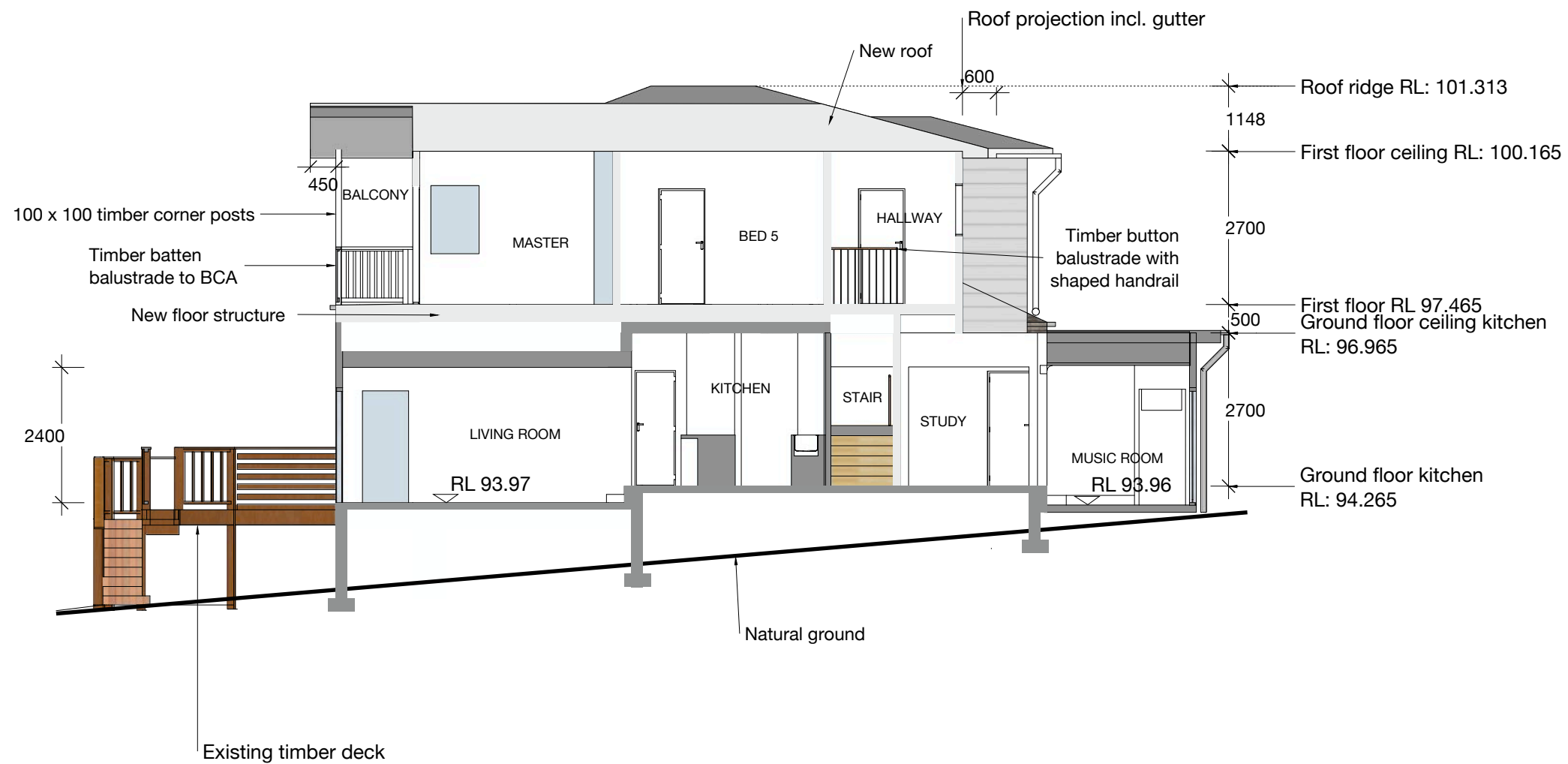
New down pipe (DP) to connect to existing down pipe (XDP) below.





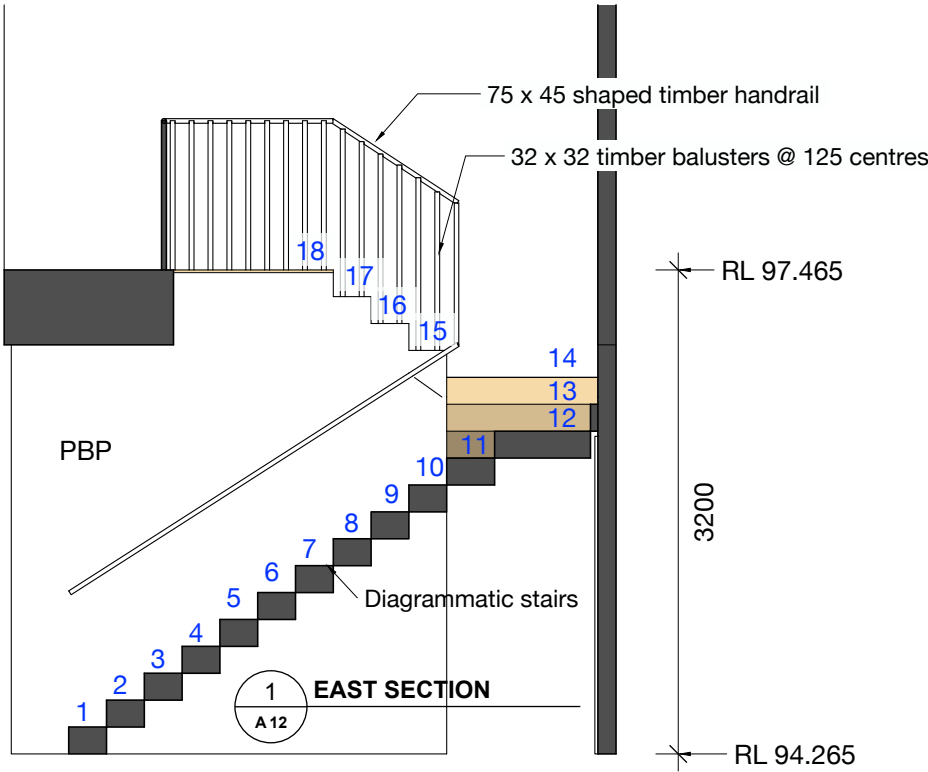


1 CROSS SECTION  
A 10



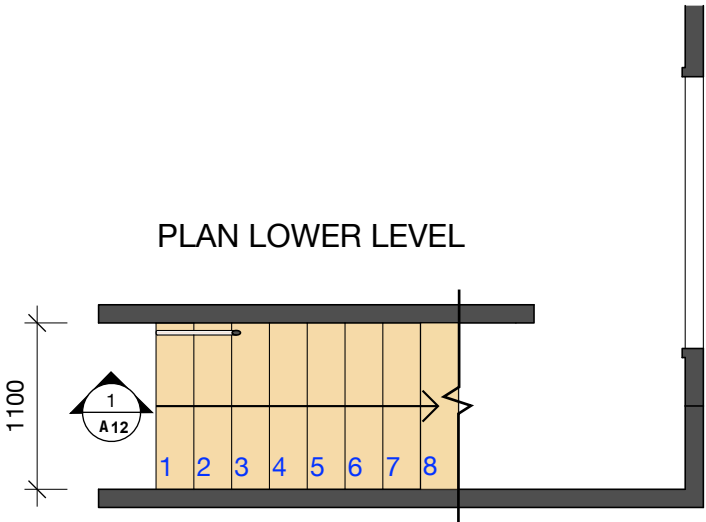
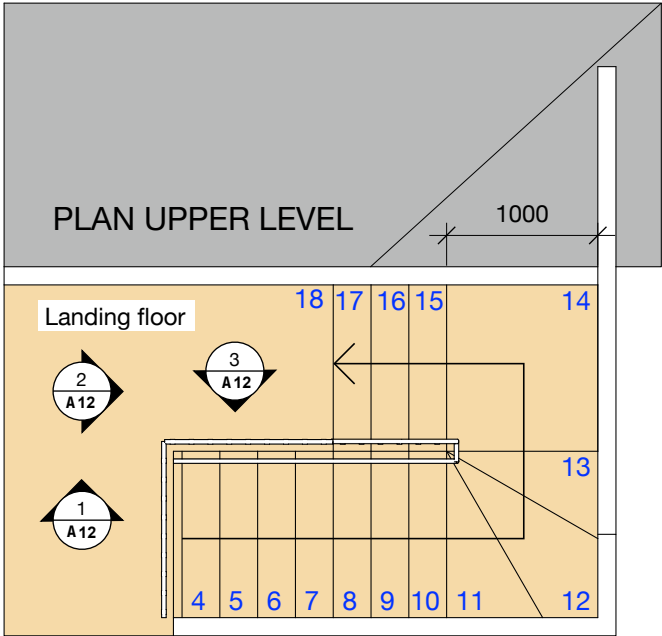
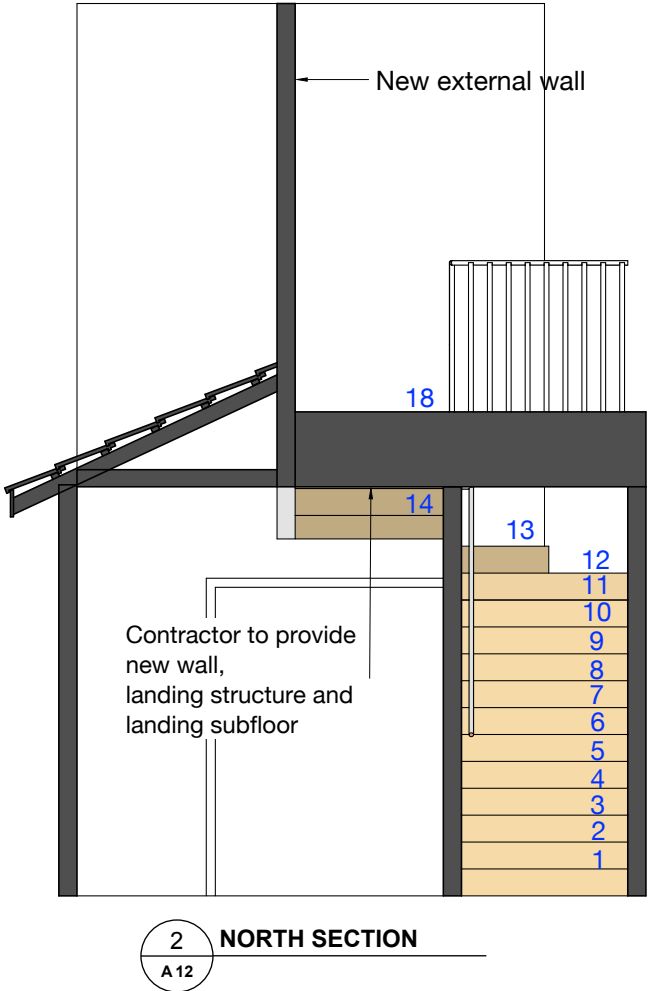
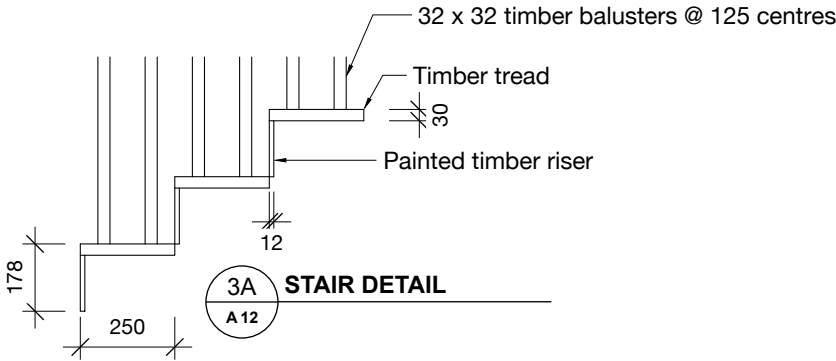
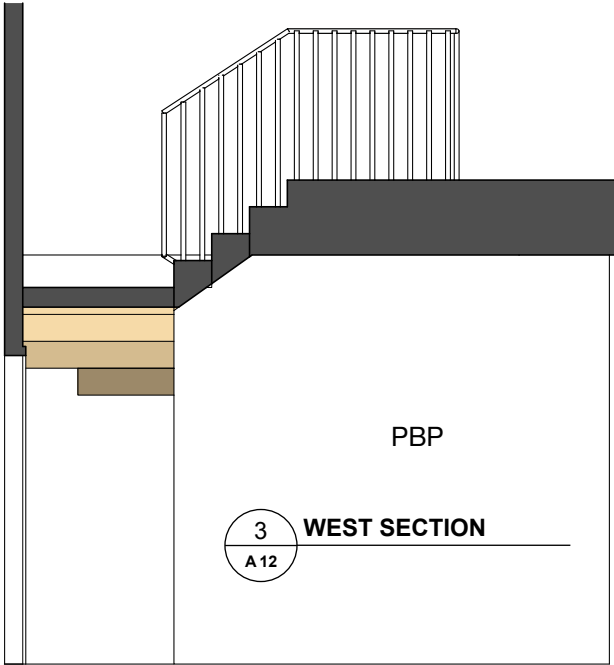
1 LONG SECTION  
A 11





$R = 3200 \div 18 = 177.7777$  say 178

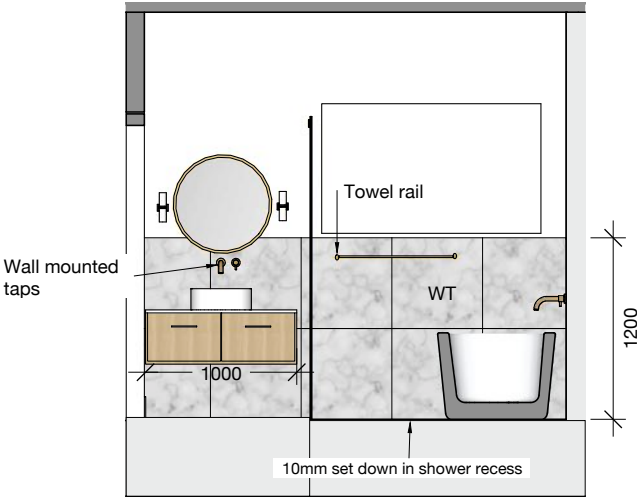
$2R + T = 606$  (complies with BCA)



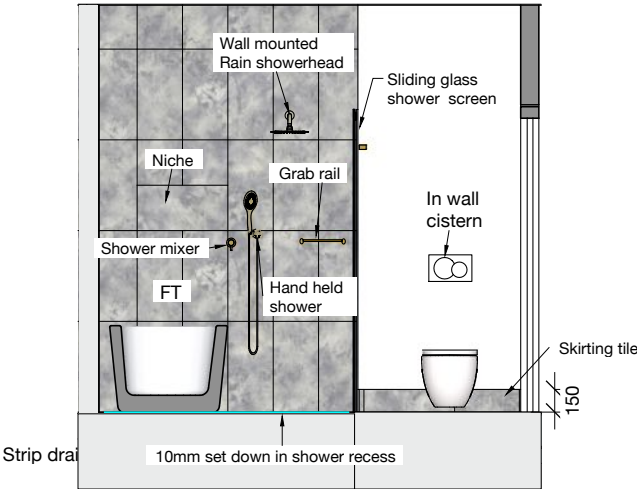
BATHROOM DETAIL

SCALE 1: 50  
March 28, 2025

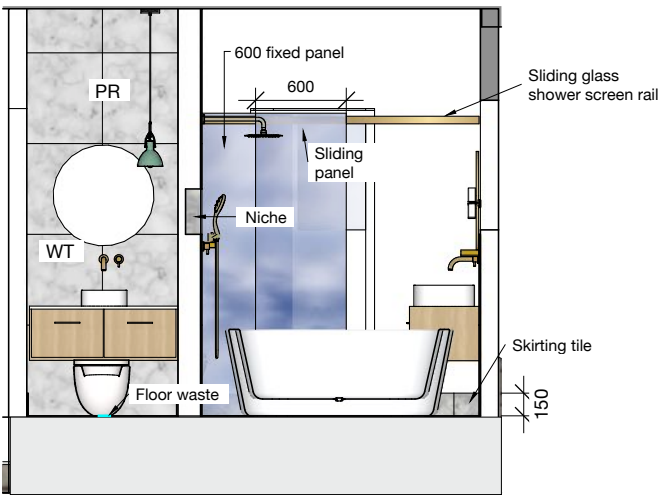
EN	Ensuite	
PR	Powder Room	
FT	Floor tile	600 x 300
WT	Wall tile	600 x 600



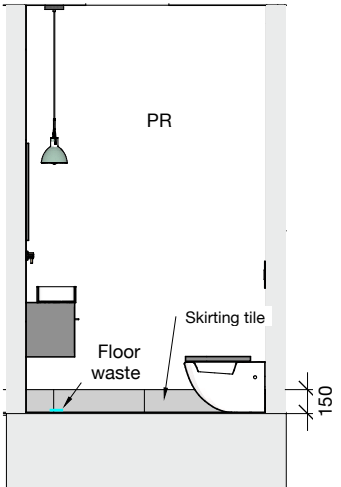
3 SOUTH SECTION  
A 13



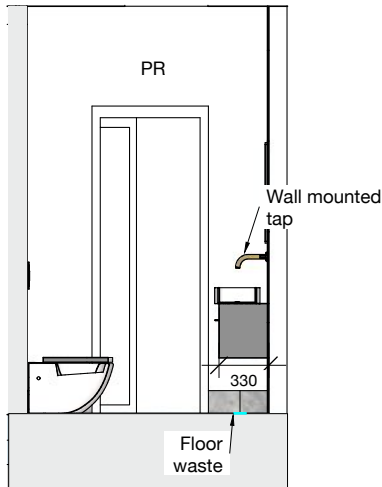
2 NORTH SECTION  
A 13



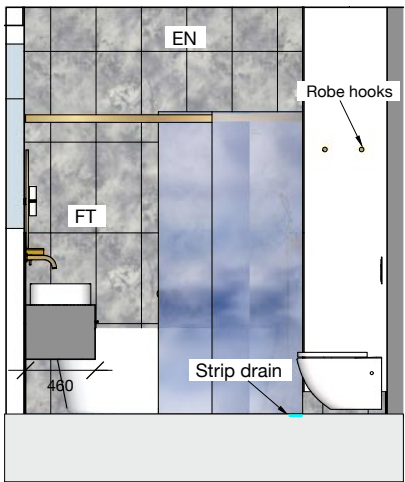
1 EAST SECTION  
A 13



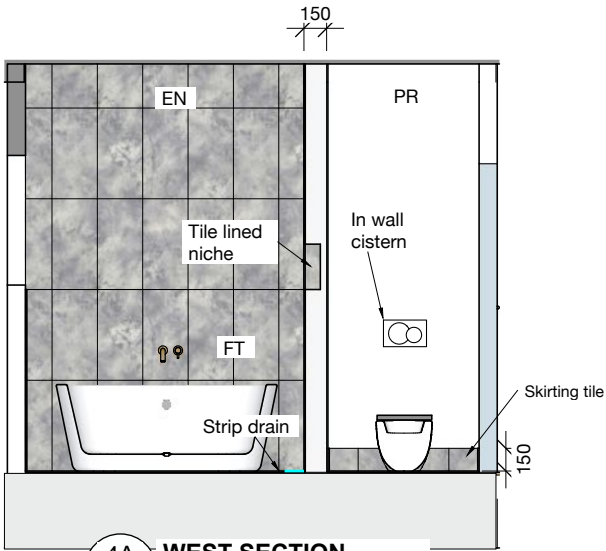
3A SOUTH SECTION  
A 13



2A NORTH SECTION  
A 13

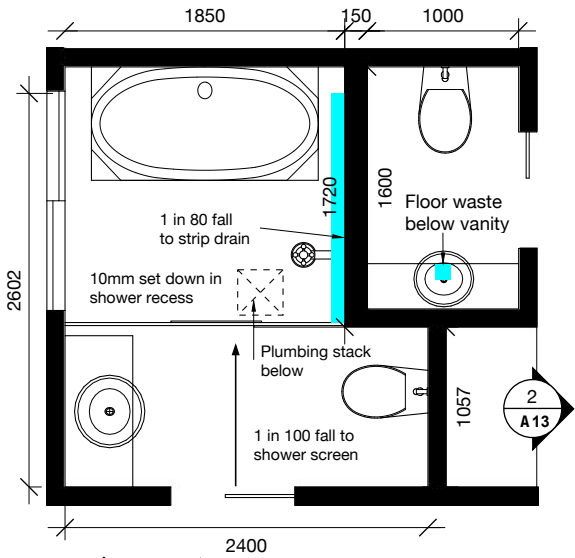
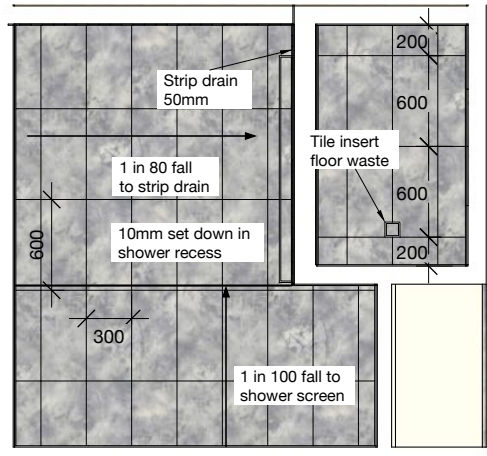


4 WEST SECTION  
A 13



4A WEST SECTION  
A 13

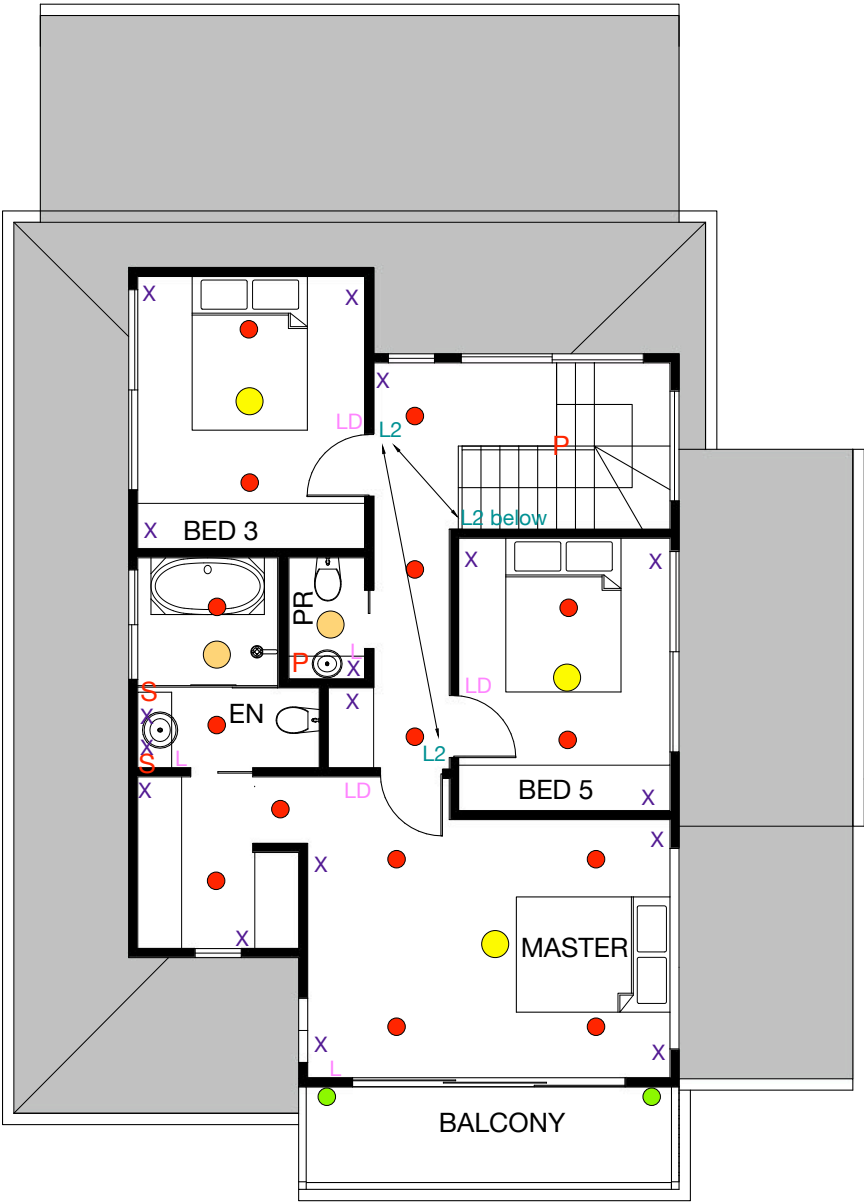
FLOOR PLAN ENSUITE AND POWDER ROOM



4 A 13  
3 A 13  
1 A 13







- Downlights x 15
- S Wall sconce x 2
- P Pendant x 2
- Outdoor wall sconce x 2
- Ceiling Fan x 3
- Exhaust Fan x 2
- X Power points x 17
- L Lights switches x 6 (LD = Dimmer)
- L2 2 way lights switches x 3

1  
A 14

LIGHTING PLAN



DOOR SCHEDULE

Code	Room	Type	Dimension
D1	Ensuite	Pocket slider	820 x 2040 x 35
D2	Master	Hollow core	820 x 2040 x 35
D3	Powder	Pocket slider	770 x 2040 x 35
D4	Bed 5	Hollow core	820 x 2040 x 35
D5	Bed 3	Hollow core	820 x 2040 x 35

28 ALTO AVENUE SEAFORTH

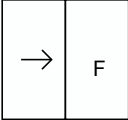
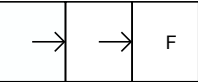
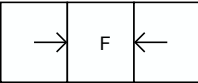
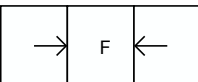

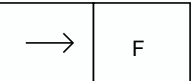
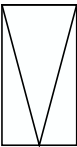
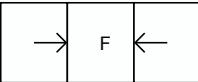
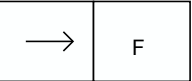
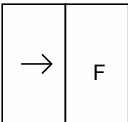
Architect: Roger O’Sullivan

WINDOW AND DOOR  
SCHEDULE

SCALE 1: 100

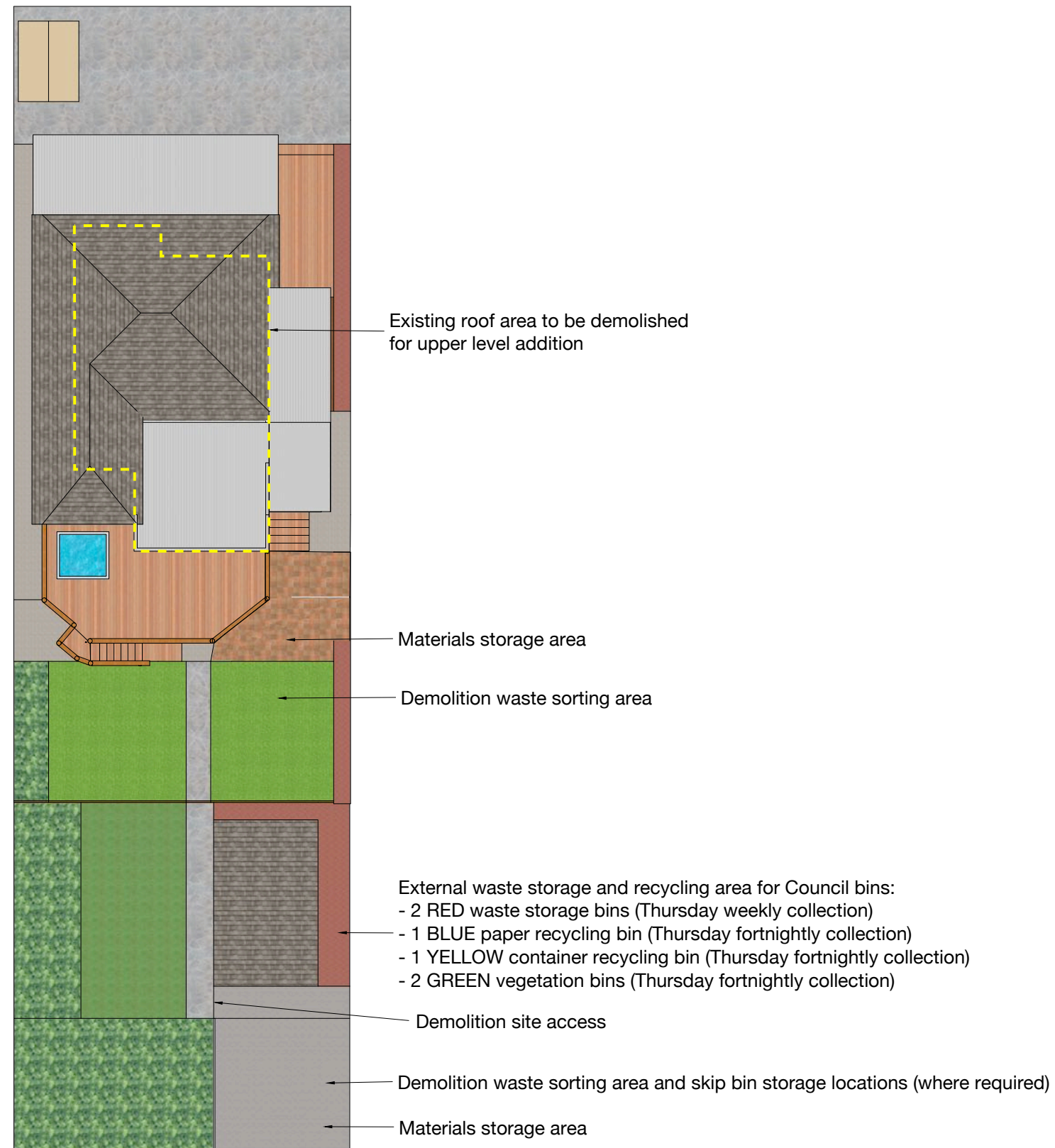
March 28, 2025

WINDOW SCHEDULE

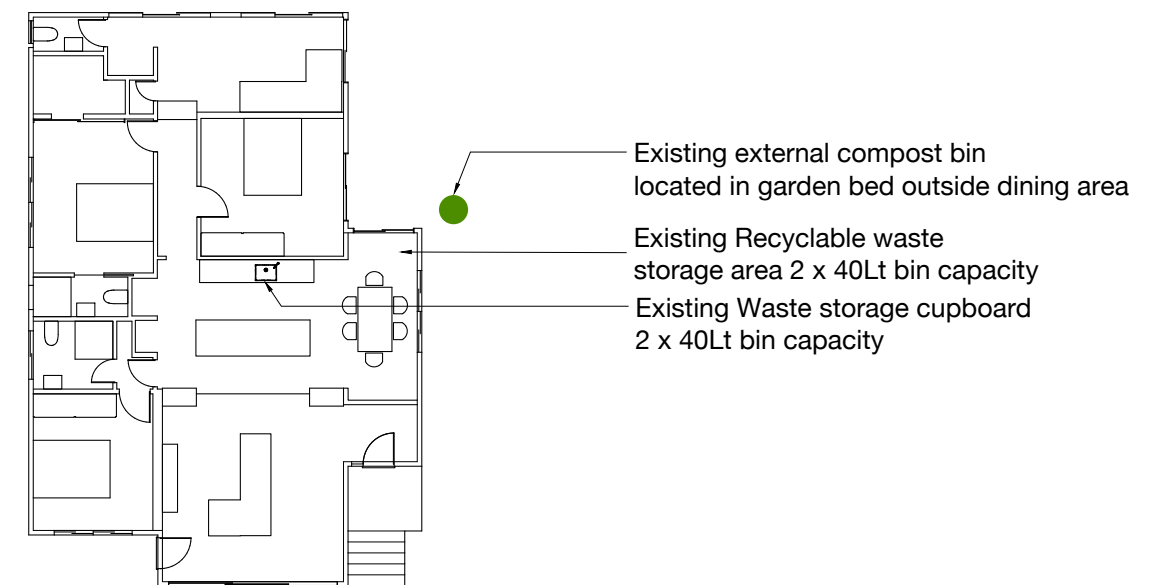
Code	Room/ Orientation	Type	Dimension (WxH)	Configuration	Area	Shading device	Frame and glass type	Overshadowing Height x Distance
W1	RB East	Sliding	610 x 857		0.52	projection/ height above sill ratio 0.43 (Basix requirement is >=0.43)	standard aluminium, single clear	
W2	Master East	Stacker Sliding	3605 x 2095		7.55	eaves and gutter >=600 mm	standard aluminium, single clear	
W3	Master North	Sliding	2650 x 514		1.36	eaves and gutter >=600 mm	standard aluminium, single clear	
W4	Bed 5 North	Sliding	2650 x 857 (Sil height 1600)		2.27	eaves and gutter >=600 mm	standard aluminium, single clear	
W5	Stairwell North	Fixed	1450 x 514		0.87	eaves and gutter >=600 mm	standard aluminium, single clear	
W6	Stairwell West	Sliding	2410 x 857		2.06	projection/ height above sill ratio 0.43 (Basix requirement is >=0.43)	standard aluminium, single clear	
W7	Stairwell West	Awning (Low-e glass)	610 x 1457		0.89	eaves and gutter >=600 mm	standard aluminium, single pyrolytic low-e, (Uvalue: 5.7, SHGC: 0.47)	
W8	Bed 3 South	Sliding	2650 x 857 (Sil height 1600)		2.27	eaves and gutter >=600 mm	standard aluminium, single clear	
W9	Ensuite South	Sliding	1457 x 900		1.31	eaves and gutter >=600 mm	standard aluminium, single clear	
W10	Master South	Sliding	850 x 1200		1.02	eaves and gutter >=600 mm	standard aluminium, single clear	







### On going waste management in existing dwelling



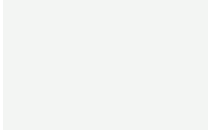
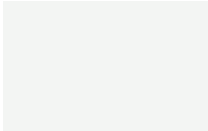

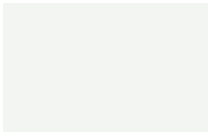





SCHEDULE OF COLOURS  
AND MATERIALS

SCALE 1: 1

March 28, 2025

SCHEDULE OF COLOURS AND MATERIALS

Description	Material	Colour	Colour Swatch
Roof	Corrugated Colorbond	Dulux Southerly	
Facia	Timber	Dulux Basalt (closest match to existing)	
Soffits	Fibre Cement	Dulux Lexicon Quarter	
Trims	Timber	Dulux Lexicon Quarter	
Cladding	Fibre Cement Weatherboard	Dulux Silkworth (closest match to existing)	
Balcony Balustrade	Timber	Dulux Lexicon Quarter	
Gutters	Colorbond Alluminium	Dulux Basalt (closest match to existing)	
Downpipes	Colorbond Alluminium	Dulux Basalt (closest match to existing)	
Footing	Brickwork	Dulux Silkworth (closest match to existing)	

# Signage Plan

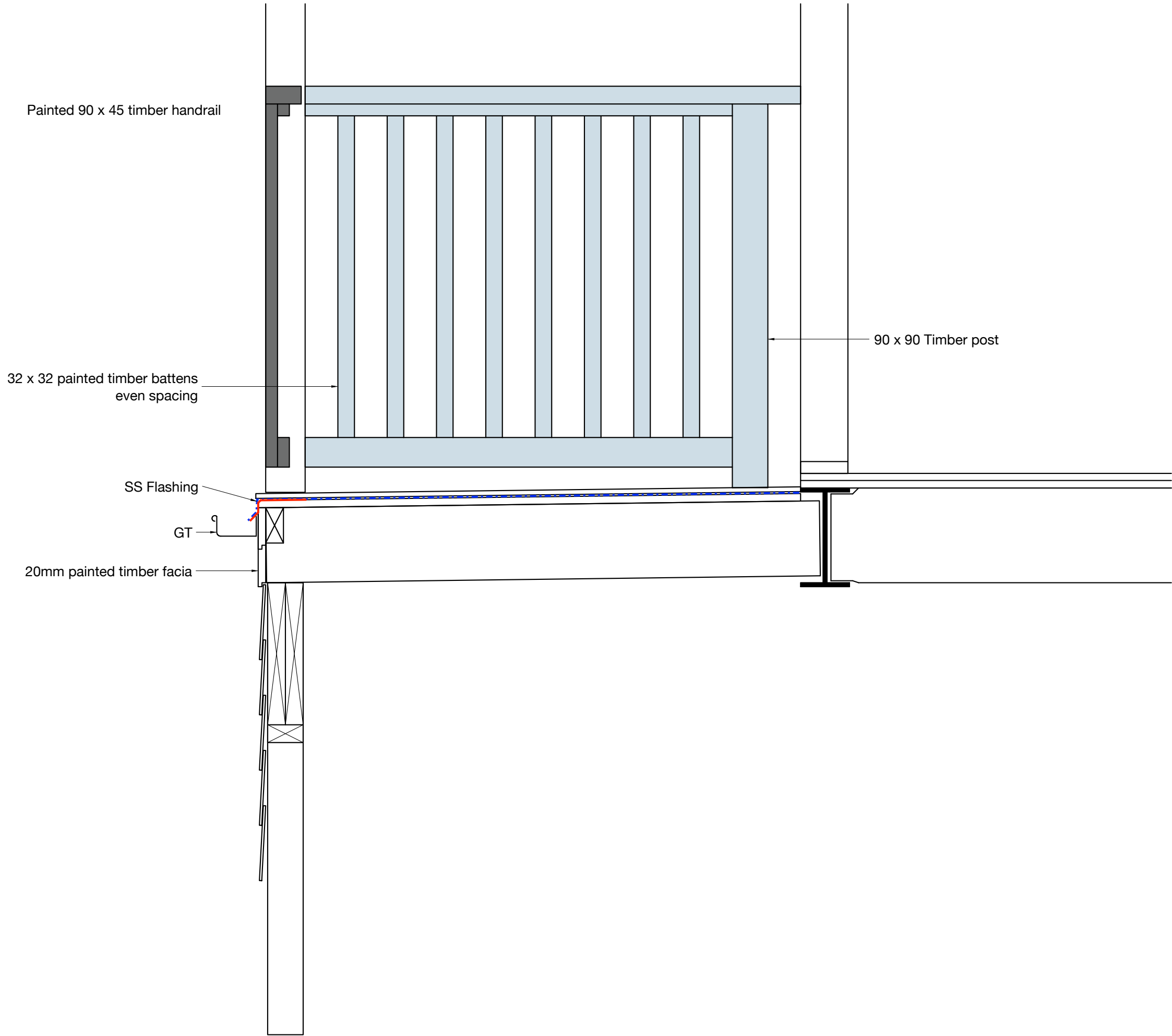
28 Alto Ave, Seaforth

## Proposed Site Signage Plan

- Advertising Structure / Sign:**
  - A single 900mm x 600mm builders sign will be erected at the front of the site.
  - Temporary fencing with mesh branding will also be installed, consistent in colour and writing with the builder's sign.
- Materials and Installation:**
  - The builders sign and mesh branding will be made from durable materials suitable for outdoor use.
  - Both will be fixed securely to temporary fencing and positioned along the front boundary of the property.
- Dimensions and Design:**
  - Builders Sign: 900mm (width) x 600mm (height).
  - Mesh Branding: Dimensions to match the temporary fencing.
  - Colours and Lettering: Consistent with the builder's branding and design.
  - Overall Design: Reflects professional branding and is visually consistent with the builder's identity.
- Proposed Location:**
  - The signage will be positioned along the front boundary of the property as indicated in the site plan.
  - Distances to boundaries will adhere to local regulations and DCP requirements.
- Existing Signage:**
  - There are no existing signage structures on the property that require removal.
  - The proposed signage does not necessitate removal of any existing structures.
- Illuminated Signage:**
  - There will be no illuminated signage as part of this proposal.
  - Compliance with SEPP (Industry and Employment) 2021 and DCP requirements is achieved by ensuring no light spill beyond permissible limits.
  - A light spill diagram will be available upon request to demonstrate adherence to regulatory standards.
- SEPP (Industry and Employment) 2021 and DCP Compliance:**
  - The signage plan has been developed in accordance with SEPP (Industry and Employment) 2021 guidelines and local Development Control Plan (DCP) requirements.
  - Specific attention has been given to ensuring the design, dimensions, and placement of signage meet all relevant criteria and standards.







## STORMWATER

SCALE 1: 100

March 28, 2025

South boundary

North boundary

Existing stormwater  
pipes below ground

XDP

DP/SPT

Existing pitched tiled roof

Upper level MR Corrugated Colorbond roof - 15° pitch

DP/SPT

XDP

DP to connect to XDP adjacent dining

Gutter to face of balcony below to connect to DP adjacent master bedroom

XDP

DP/SPT

Stormwater will be directed to existing  
stormwater installation below ground floor.

New down pipe (DP) connect to existing down pipe (XDP) below.

Continues towards the street

1  
SW20

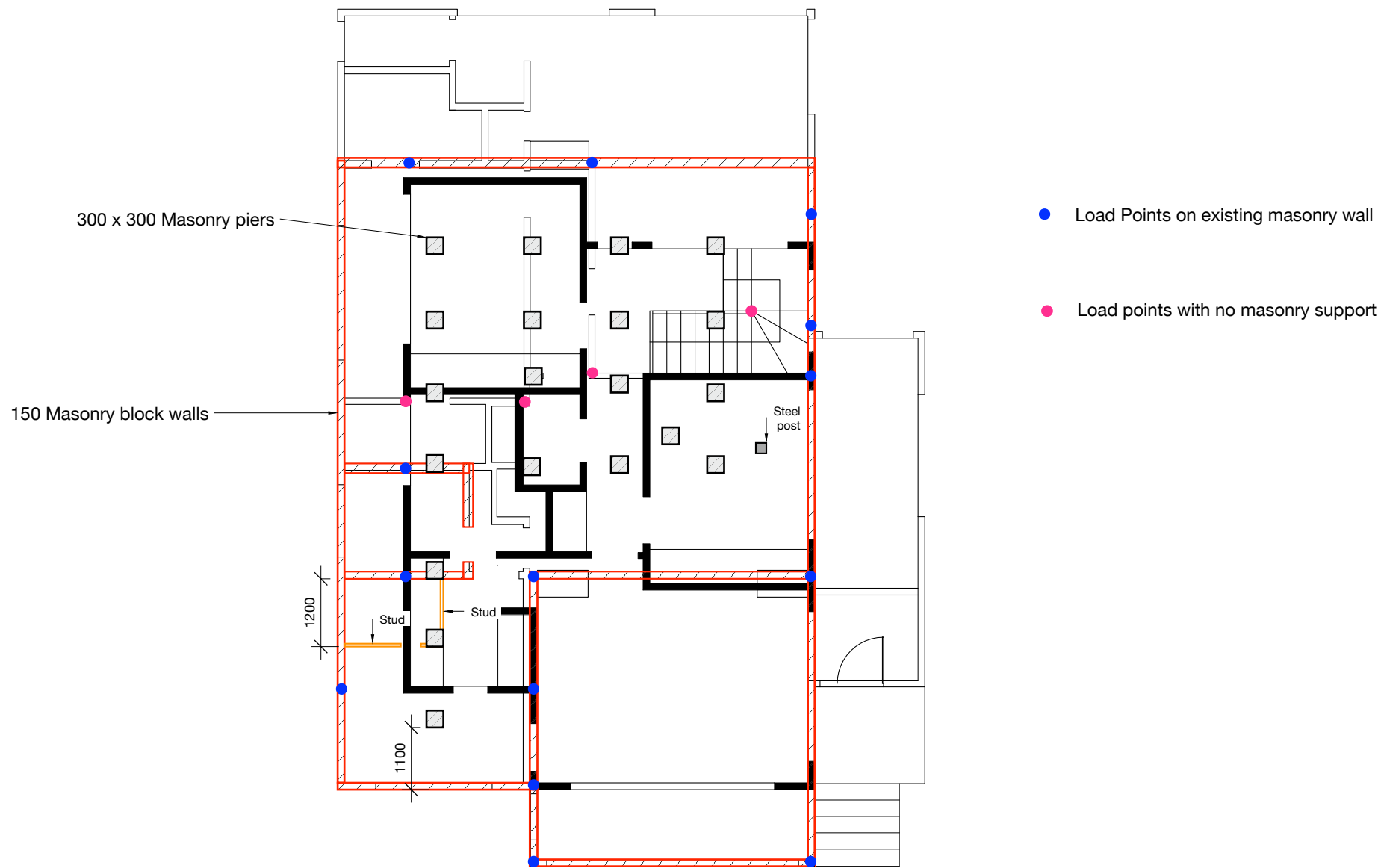
STORMWATER PLAN



EXISTING PIERS

SCALE 1: 100

March 28, 2025



1  
A21

EXISTING PIERS BELOW GROUND FLOOR

