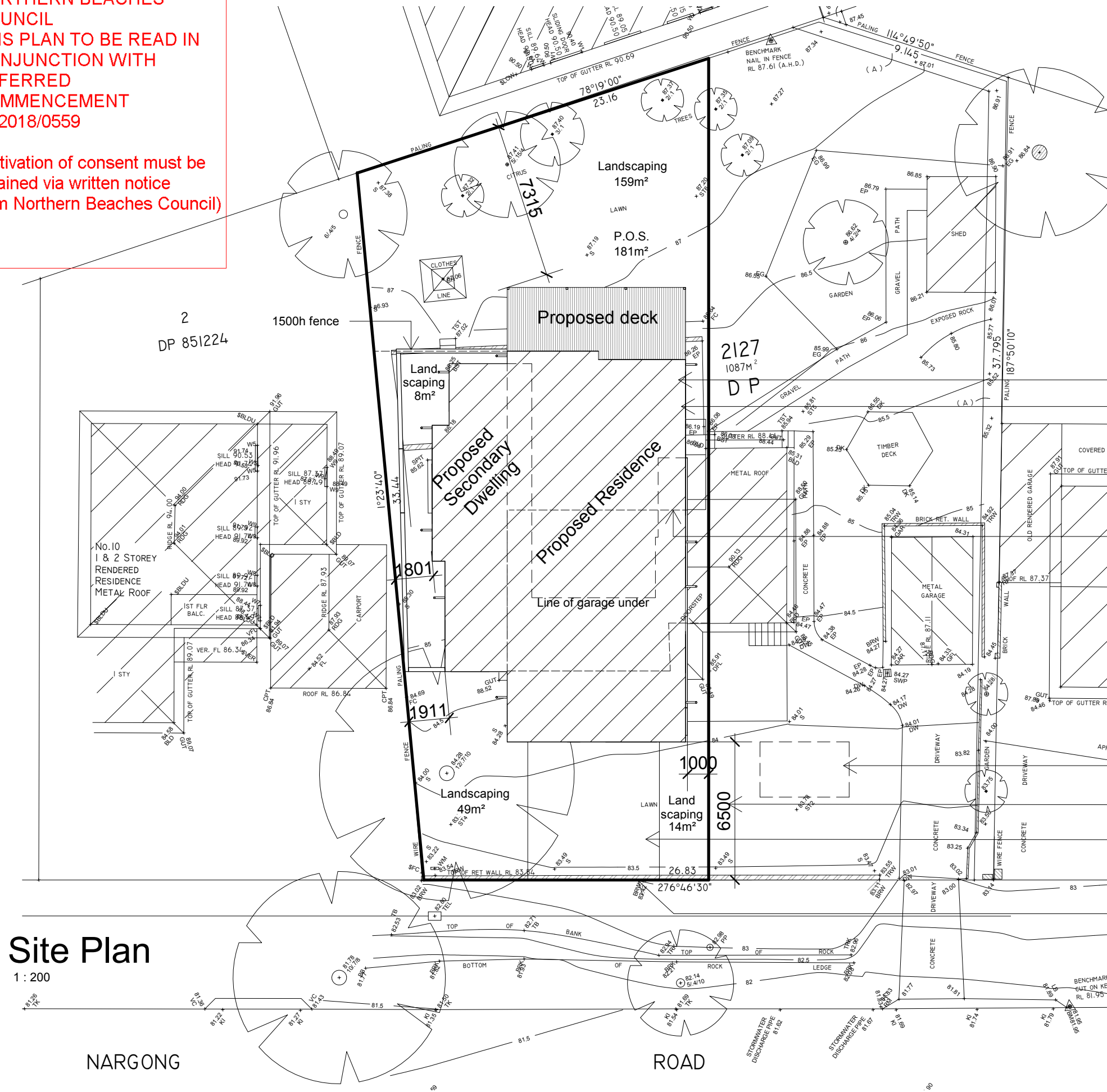


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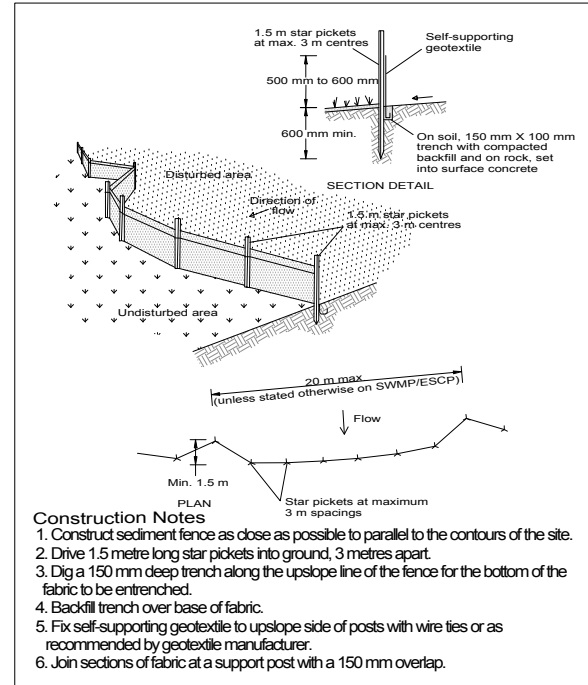
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AREAS:

| | |
|-----------------------|----------------------------|
| Site Area | 543.47m ² |
| Footprint | 187.44m ² |
| Entry Area | 10.74m ² |
| First Floor Area | 151.93m ² |
| Total Residence Area | 159.37m ² |
| Uncovered Deck Area | 26.84m ² |
| Secondary Dwelling | 59.81m ² |
| Total Roof Area | 225.34m ² |
| Floor Space Ratio | 38.9% |
| Site Coverage | 34.4% |
| Landscaped Open Space | 230m ² 42.3% |

SEDIMENT FENCE:



Sewer to be connected to legal point of discharge and to be disposed of in accordance with council specifications

Stormwater to be disposed in accordance with Civil and Stormwater Drainage drawings prepared by Thomas Lau.

Line of existing dwelling to be demolished

On site sorting and storage area for re-use, recycling and disposal of material during construction stage

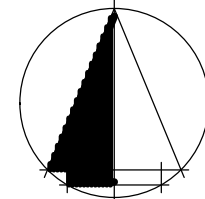
Silt control fence to council requirements

Provide all weather access via proposed driveway to prevent tracking of sediment. Refer to Civil and Stormwater Drainage drawings prepared by Michal Korecky.

Protective fencing restricting public access in accordance with council regulations

GENERAL NOTES:

Figured dimensions to be taken in preference to scaling from drawings
Dimensions are in millimetres. R.L.'s are in metres to A.H.D.
All dimensions shall be checked by the building designer prior to the commencement of works
All discrepancies shall be referred to the building designer for decision before proceeding with the work
All workmanship shall be in accordance with the requirements of the SAA codes & by-laws & ordinances of the relevant building authority
All timber framing sizes & spans to be in accordance with the SAA timber framing code AS 1684
All bracing of roof & wall framing to satisfy wind speed design category in accordance with BCA & AS4055 to engineers details
All reinforced concrete shall be in accordance with engineers details
Builder /developer to maintain erosion control in accordance with the clean waters act
During construction the building shall be maintained in a stable condition & no part shall be overstressed
Termite treatments in accordance with AS3660 & AS 3660 part 1
Builder to verify location of all services & vegetation prior to commencement of works
All opening sizes to be confirmed on site prior to ordering of windows & doors
These drawings shall be read in conjunction with all structural & other consultants drawings & specifications and with such other written instruction as may be issued during the course of the contract



0m 5m 10m

Scale 1:200

Site Plan

1 : 200

NARGONG

ROAD

project title
Proposed Residence and Granny Flat
project address
8 Nargong Rd, Allambie Heights

client
Pender
drawing title
Site Plan

drawing number
A02
scale
1 : 200 @ A3

date
16 Aug 17
drawn
DO

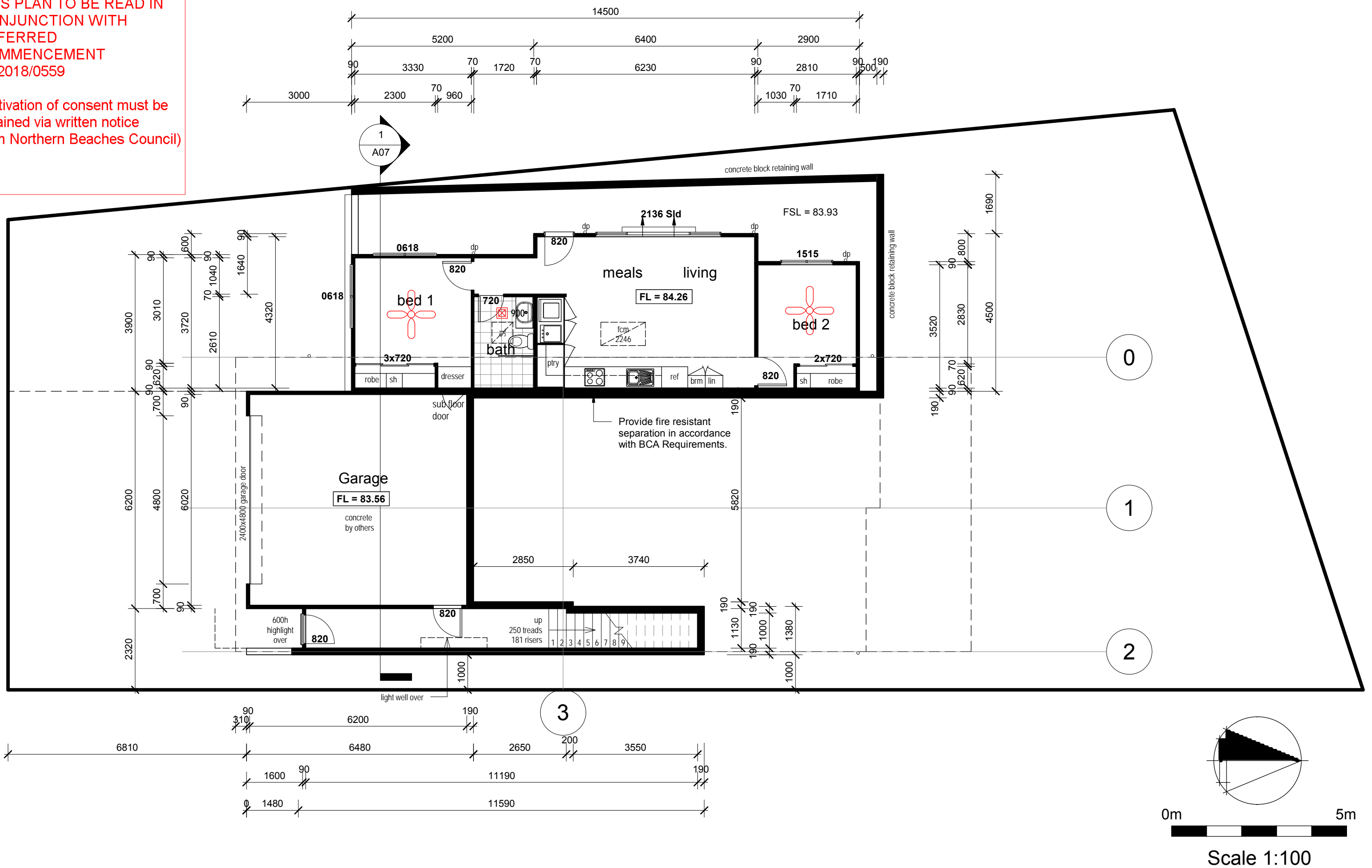
amendment

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DA2018/0559

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from Northern Beaches Council)



project title
Proposed Residence and Granny Flat
project address
8 Nargong Rd, Allambie Heights

client
Pender
drawing title
Ground Floor Plan

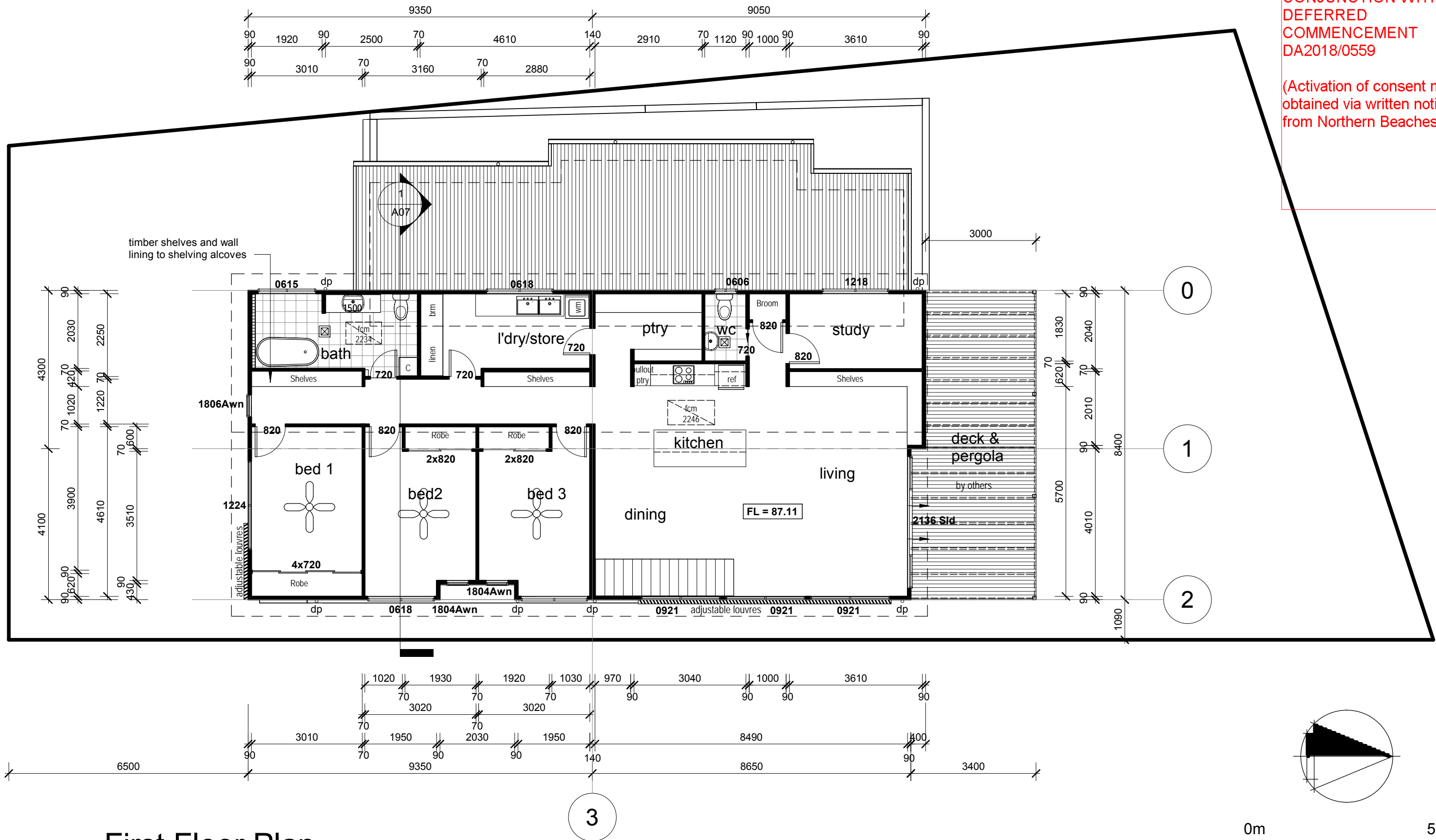
drawing number
A03
scale
1 : 100 @ A3
date
16 Aug 17
drawn
DO
amendment

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First Floor Plan

1 : 100

0m 5m

Scale 1:100

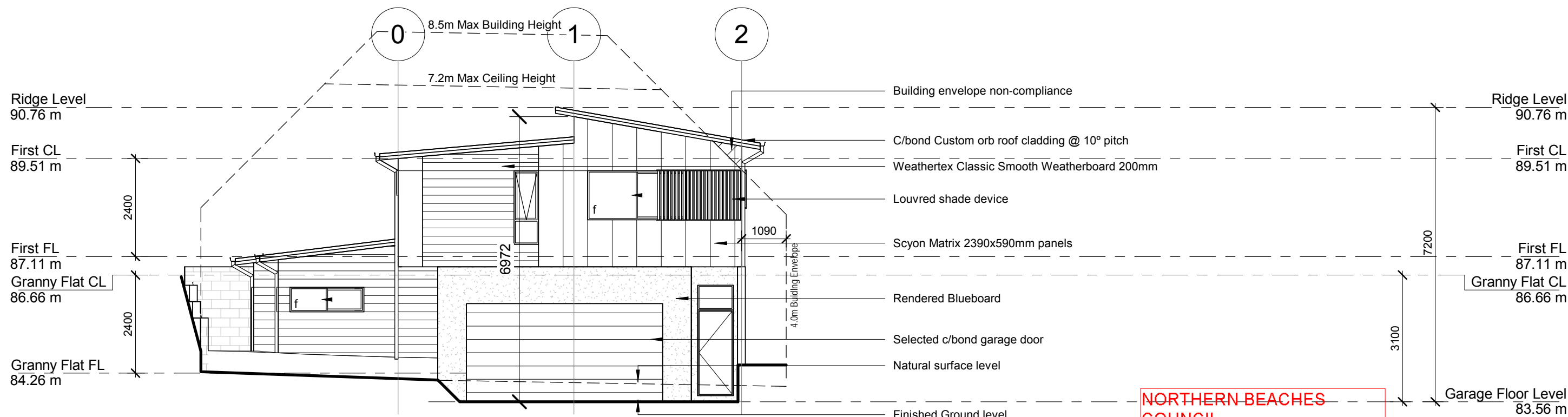
project title
Proposed Residence and Granny Flat
project address
8 Nargong Rd, Allambie Heights

client
Pender
drawing title
First Floor Plan

drawing number
A04
scale
1 : 100 @ A3
date
16 Aug 17
drawn
DO
amendment

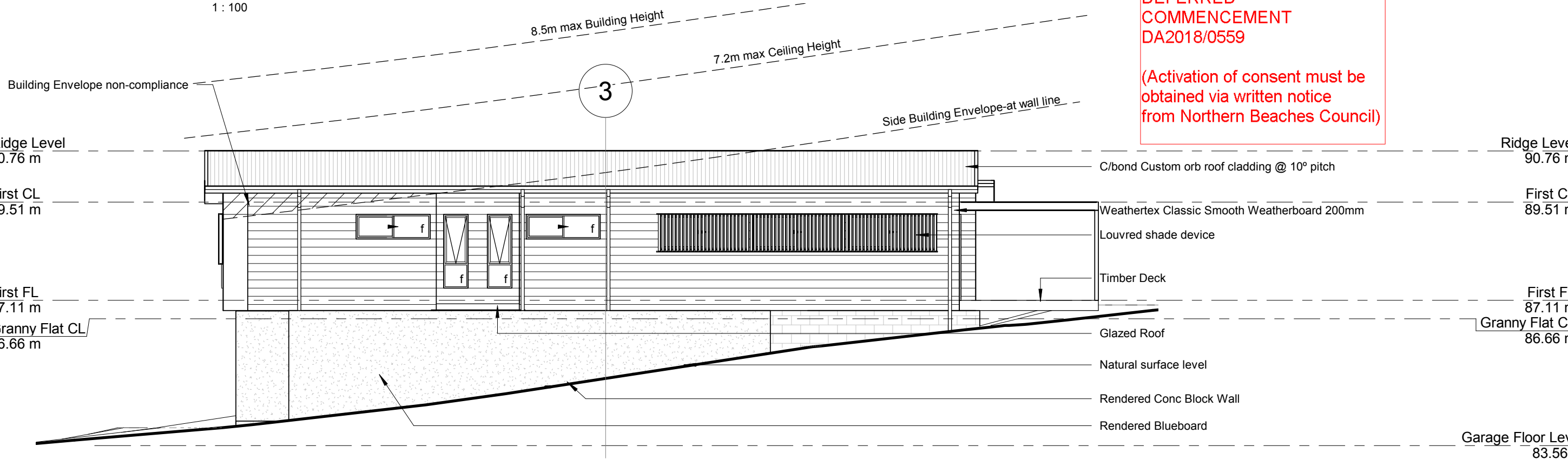
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South Elevation

1 : 100



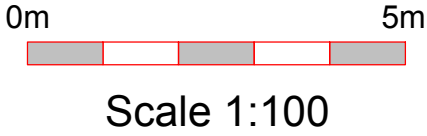
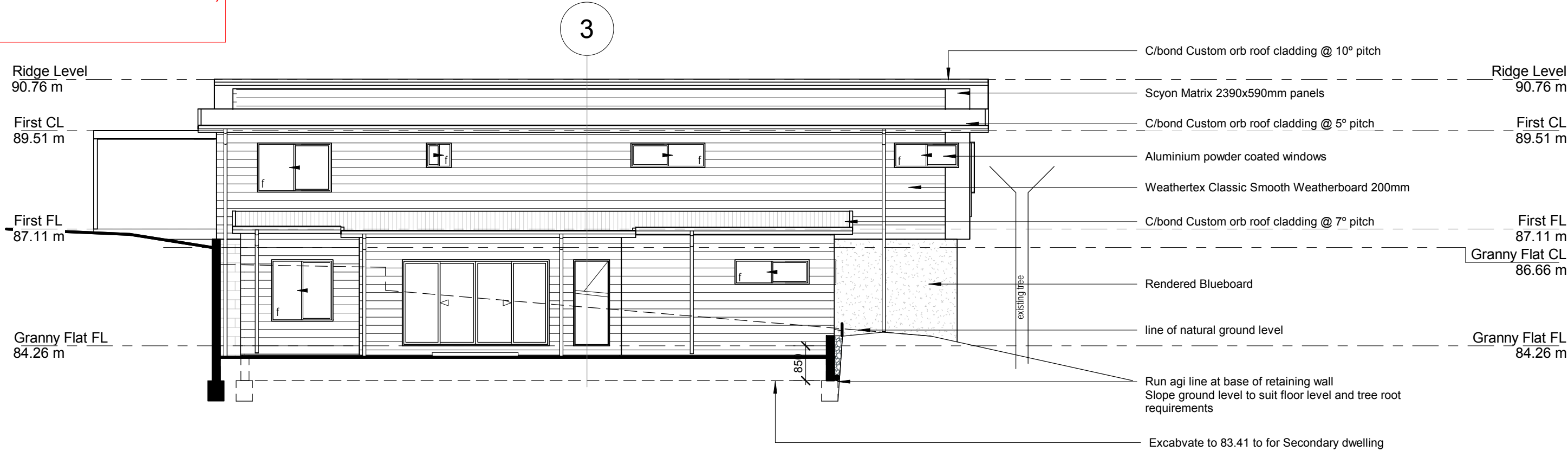
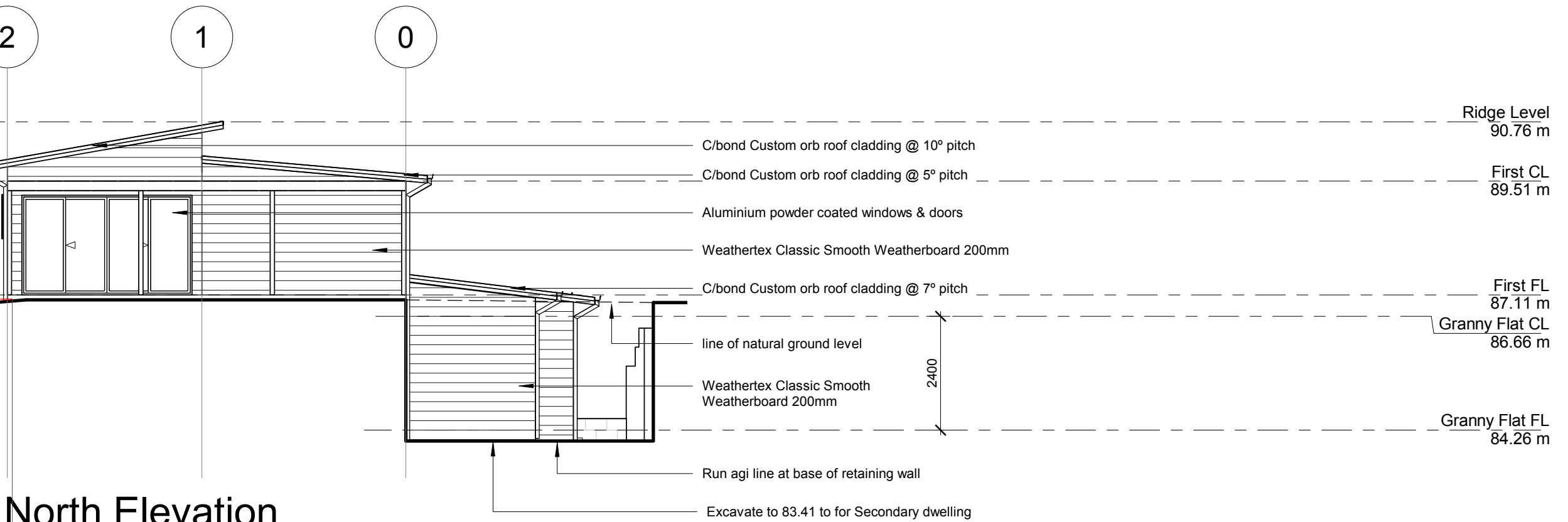
East Elevation

1 : 100



Scale 1:100

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(Activation of consent must be obtained via written notice from Northern Beaches Council)



project title
Proposed Residence and Granny Flat

project address
8 Nargong Rd, Allambie Heights

client
Pender

drawing title
North & West Elevations

drawing number
A06

scale
1 : 100 @ A3

date
16 Aug 17

drawn
Author

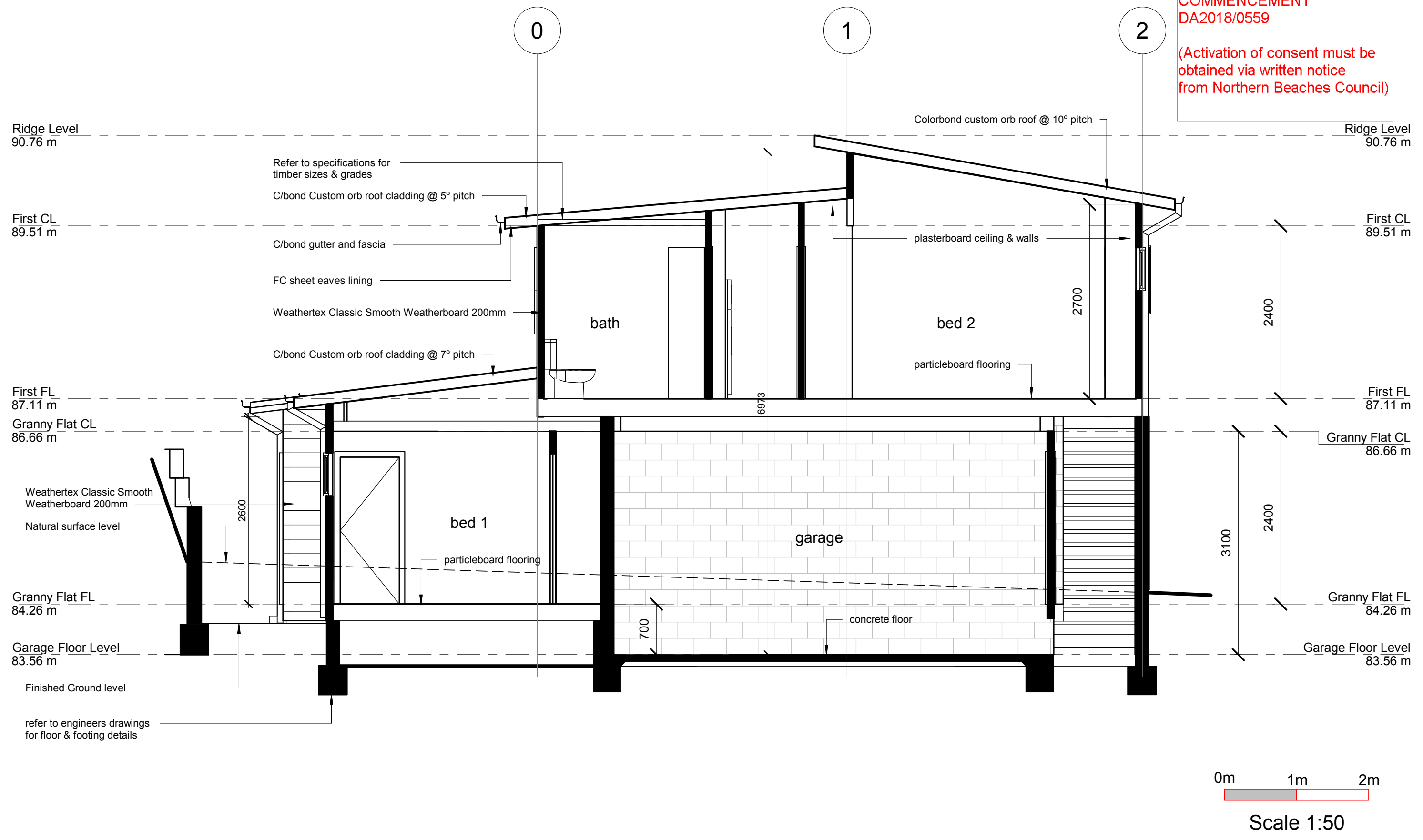
amendment

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|---|---------------|----------------|-----------|-----------|--|
| project title | client | drawing number | date | amendment | Documentation relating to the design and specification for Parkwoods' home designs always remains the intellectual property of the Company (Parkwood Modular Buildings Pty. Ltd). We calculate the cost of this documentation and include it in the sale price of each home. Parkwood designs may not be copied, adapted or reproduced by others without the prior approval and agreed compensation paid for the work and experience involved in developing our designs and construction methods |
| Proposed Residence and Granny Flat | Pender | A07 | 16 Aug 17 | | |
| project address | drawing title | scale | drawn | | |
| 8 Nargong Rd, Allambie Heights | Section | 1 : 50 @ A3 | Author | | |
| | | | | | |
| Parkwood Modular Buildings - 7-11 Kangoo Road Somersby, NSW 2250 - Ph: 02 4340 4077 - Fax: 02 4340 4088 - www.parkwood.com.au | | | | | |



