

THIS IS CONCEPT PLAN OF SUBDIVISION AND ALL DIMENSIONS ARE SUBJECT TO FINAL SURVEY

(A) RIGHT OF WAY VARIABLE WIDTH  
 (B) EASEMENT TO DRAIN WATER

**SUBDIVISION CONCEPT PLAN**  
**SHEET: 1 OF 1**

Surveyor : SIMON PAK YAN HO  
 Date of Survey :  
 Surveyor's Ref : 2611  
 Date : 20-05-2022

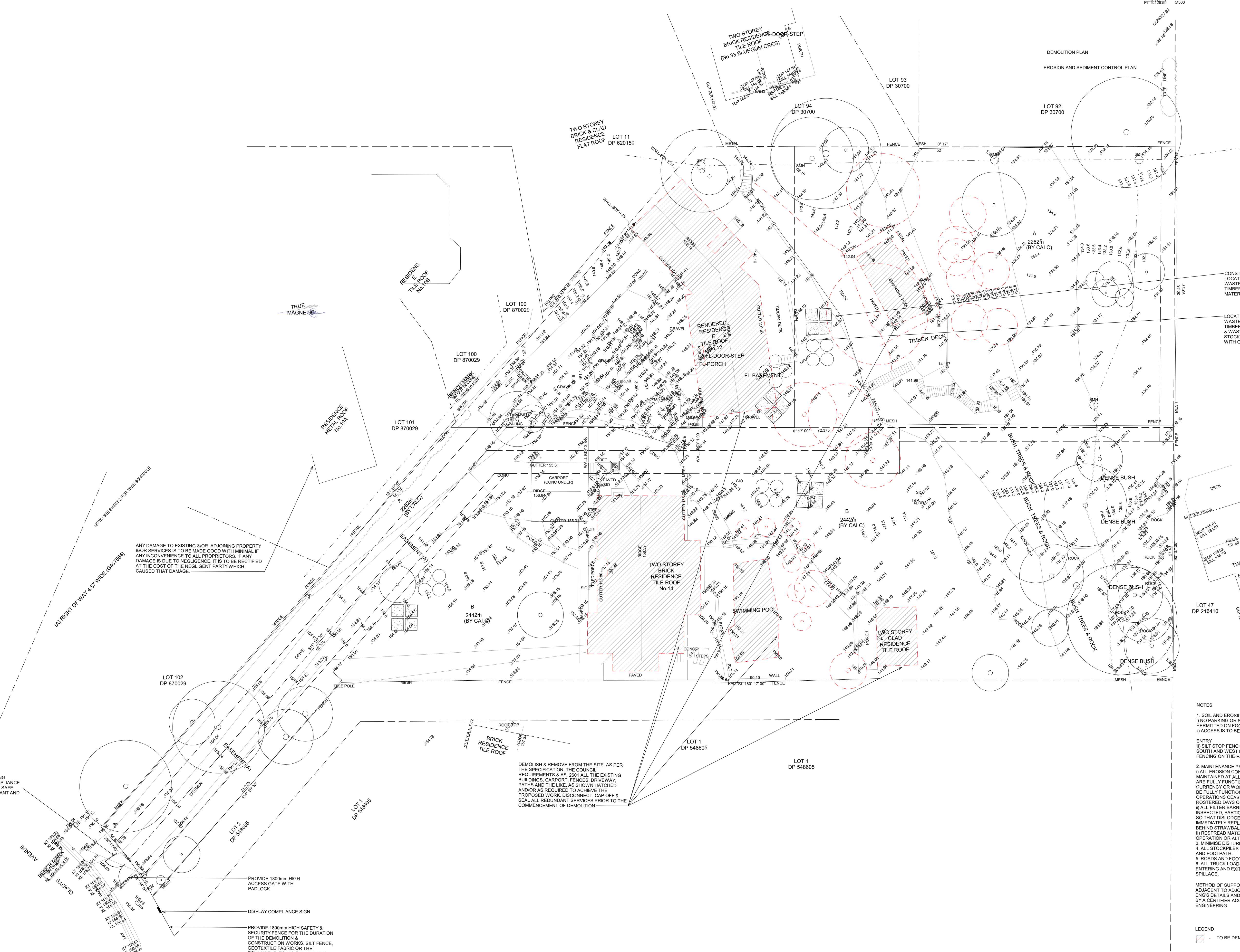
PLAN OF SUBDIVISION OF LOT A & LOT B IN D.P. 393276

LGA: WARRINGAH  
 Locality : FRENCHS FOREST  
 Subdivision No:  
 Lengths are in metres. Reduction Ratio 1:250

Registered

**DP DRAFT**





ANY DAMAGE TO EXISTING &/OR ADJOINING PROPERTY &/OR SERVICES IS TO BE MADE GOOD WITH MINIMAL IF ANY INCONVENIENCE TO ALL PROPRIETORS. IF ANY DAMAGE IS DUE TO NEGLIGENCE, IT IS TO BE RECTIFIED AT THE COST OF THE NEGLIGENT PARTY WHICH CAUSED THAT DAMAGE.

NOTE SEE SHEET FOR TREE SCHEDULE  
(A) RIGHT OF WAY 4.57 WIDE (G4873504)

VEHICLES CARRYING LOOSE BUILDING MATERIALS TO BE COVERED IN COMPLIANCE WITH ROAD TRAFFIC REGULATIONS. SAFE ACCESS FOR HEAVY EQUIPMENT PLANT AND MATERIALS DELIVERY.

PROVIDE 1800mm HIGH ACCESS GATE WITH PADLOCK.

DISPLAY COMPLIANCE SIGN

PROVIDE 1800mm HIGH SAFETY & SECURITY FENCE FOR THE DURATION OF THE DEMOLITION & CONSTRUCTION WORKS. SILT FENCE, GEOTEXTILE FABRIC OR THE EQUIVALENT TO ALL BOUNDARIES

DEMOLISH & REMOVE FROM THE SITE, AS PER THE SPECIFICATION, THE COUNCIL REQUIREMENTS & AS 2801 ALL THE EXISTING BUILDINGS, CARPORT, FENCES, DRIVEWAY, PATHS AND THE LIKE, AS SHOWN HATCHED AND/OR AS REQUIRED TO ACHIEVE THE PROPOSED WORK. DISCONNECT, CAP OFF & SEAL ALL REDUNDANT SERVICES PRIOR TO THE COMMENCEMENT OF DEMOLITION

CONSTRUCTION MATERIALS STORAGE AREA LOCATION OF STOCKPILE MATERIAL AND WASTE IN BRICKS, TILES & SIMILAR MATERIALS, TIMBER OFFCUTS AND RECYCLABLE MATERIALS & WASTE FOR LANDFILL

LOCATION OF STOCKPILE MATERIAL AND WASTE IN BRICKS, TILES & SIMILAR MATERIALS, TIMBER OFFCUTS AND RECYCLABLE MATERIALS & WASTE FOR LANDFILL. TOP SOIL SAND STOCKPILE TO BE COVERED AND PROTECTED WITH GEOTEXTILE FABRIC

NOTES  
1. SOIL AND EROSION CONTROL MEASURES:  
a) NO PARKING OR STOCKPILING OF MATERIAL IS PERMITTED ON FOOTPATH.  
b) ACCESS IS TO BE GAINED VIA TEMPORARY ENTRY

2. MAINTENANCE PROCEDURES DURING CONSTRUCTION:  
a) ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AT ALL TIMES SO THAT THOSE MEASURES ARE FULLY FUNCTIONAL OPERATIONAL DURING THE CURRENTLY OR WORKS. ALL SUCH CONTROLS MUST ALSO BE FULLY FUNCTIONAL OPERATIONAL SHOULD WORK OPERATIONS CEASE TEMPORARILY (eg WEEKENDS, ROSTERED DAYS OFF, etc.)  
b) ALL FILTER BARRIERS ARE TO BE REGULARLY INSPECTED, PARTICULARLY FOLLOWING RUNOFF EVENTS, SO THAT DISLODGED OR BROKEN BALES/BAGS CAN BE IMMEDIATELY REPLACED. SEDIMENT ACCUMULATION BEHIND STRAINABLE SANDBAGS SHALL BE REMOVED.  
c) SPREAD MATERIAL GAINED DURING MAINTENANCE OPERATION OR ALTERNATIVELY PLACE ON STOCKPILES.  
3. MINIMISE DISTURBED AREAS.  
4. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATH.  
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.  
6. ALL TRUCK LOADS ARE TO BE COVERED WHEN ENTERING AND EXITING THE SITE SO AS TO AVOID SPILLAGE.

METHOD OF SUPPORT OF EXCAVATION ADJACENT TO ADJOINING PROPERTIES TO ENO'S DETAILS AND IT IS TO BE CERTIFIED BY A CERTIFIER ACCREDITED IN CIVIL ENGINEERING

LEGEND  
- TO BE DEMOLISHED

1 DEMOLITION PLAN  
1 : 200

GENERAL NOTES  
All dimensions are to be confirmed on site by the builder/subcontractor; any incongruities must be reported to the Designer before commencement of any work. No survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A survey must be carried out to confirm the exact boundary locations.  
No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The survey work must be performed by a registered surveyor. In the event of encountering any discrepancies on these drawings, or subsequent instructions issued, the Builder/Subcontractor shall contact the Designer before proceeding further with any work.  
All construction control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.  
Measurements to the fabrication of assembly components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.  
All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.  
All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

Drawn	Date	Issue	Amendment
EU	03/05/22	A	ISSUE FOR CLIENT
RK	18/05/22	B	REVISION B
RK	20/05/22	C	ISSUE FOR FIRE DA
MZ	21/07/22	D	ISSUE FOR DA

PROJECT  
SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.  
PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT  
12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

CLIENT  
JACK ZHANG

TRUE NORTH

DRAWING  
DEMOLITION PLAN

PROJECT NO / DATE  
22-46 / 03/05/22

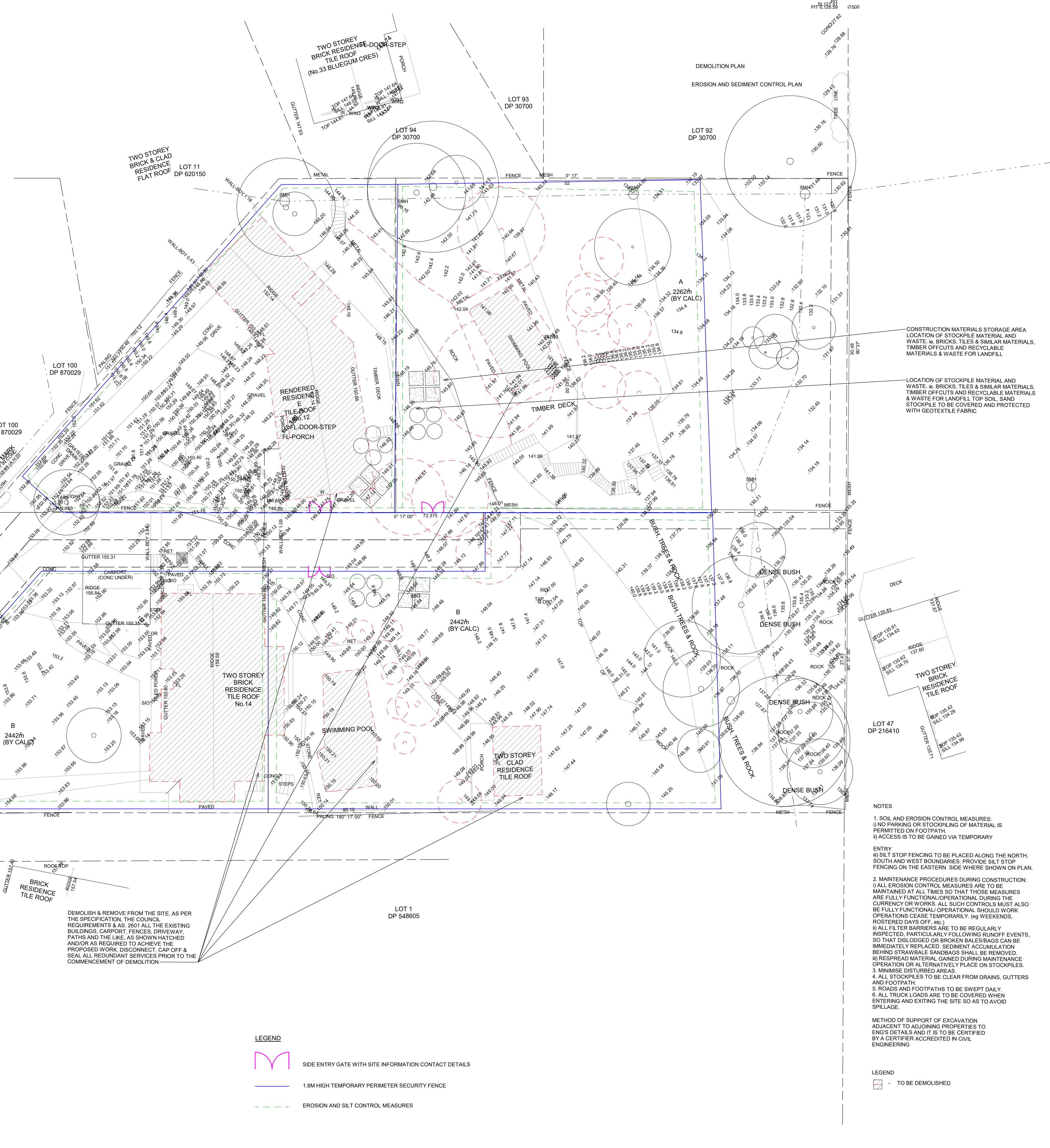
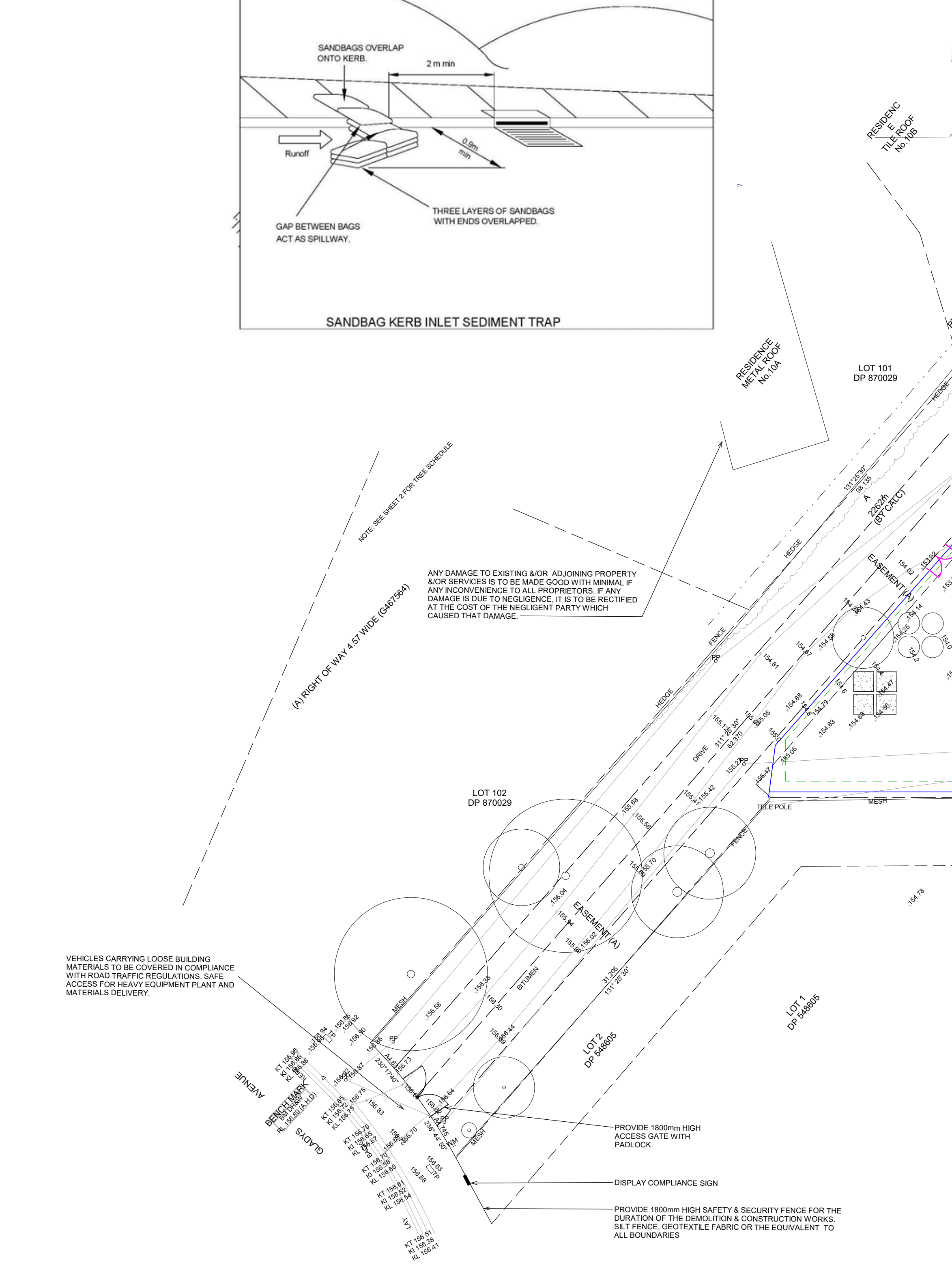
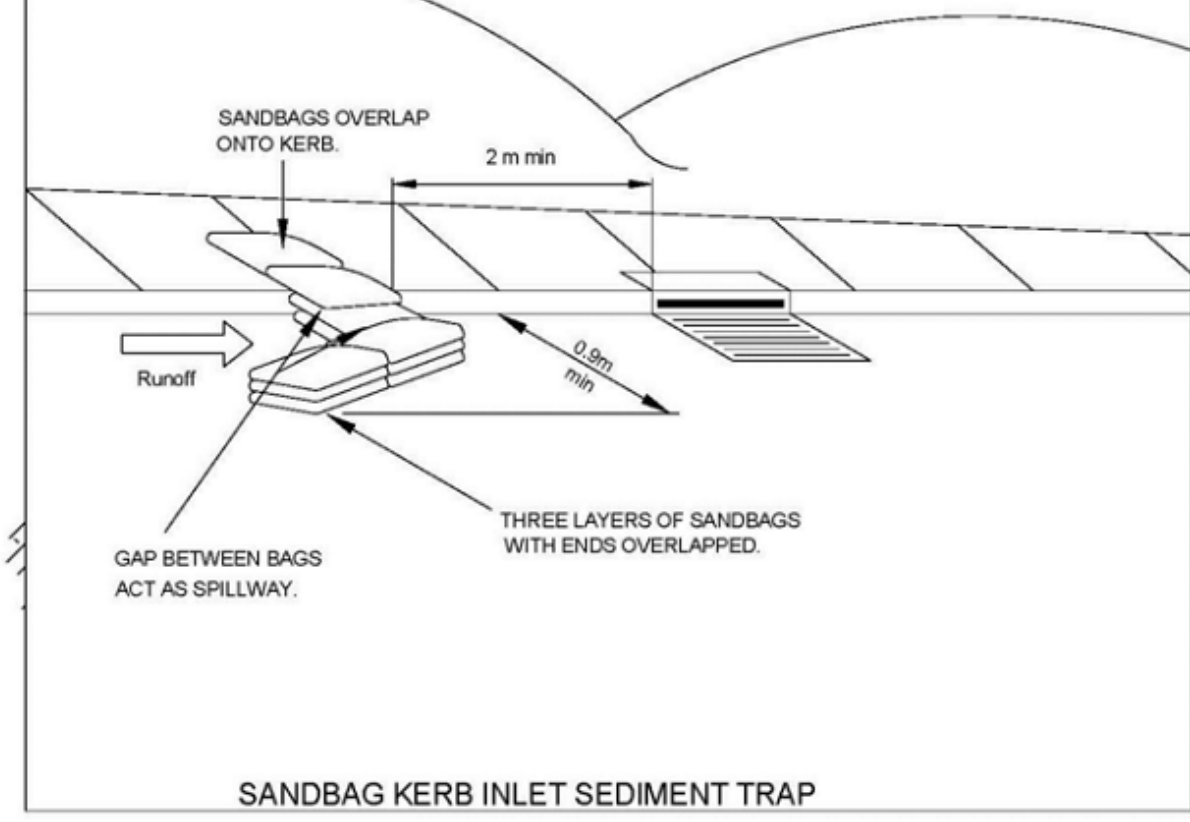
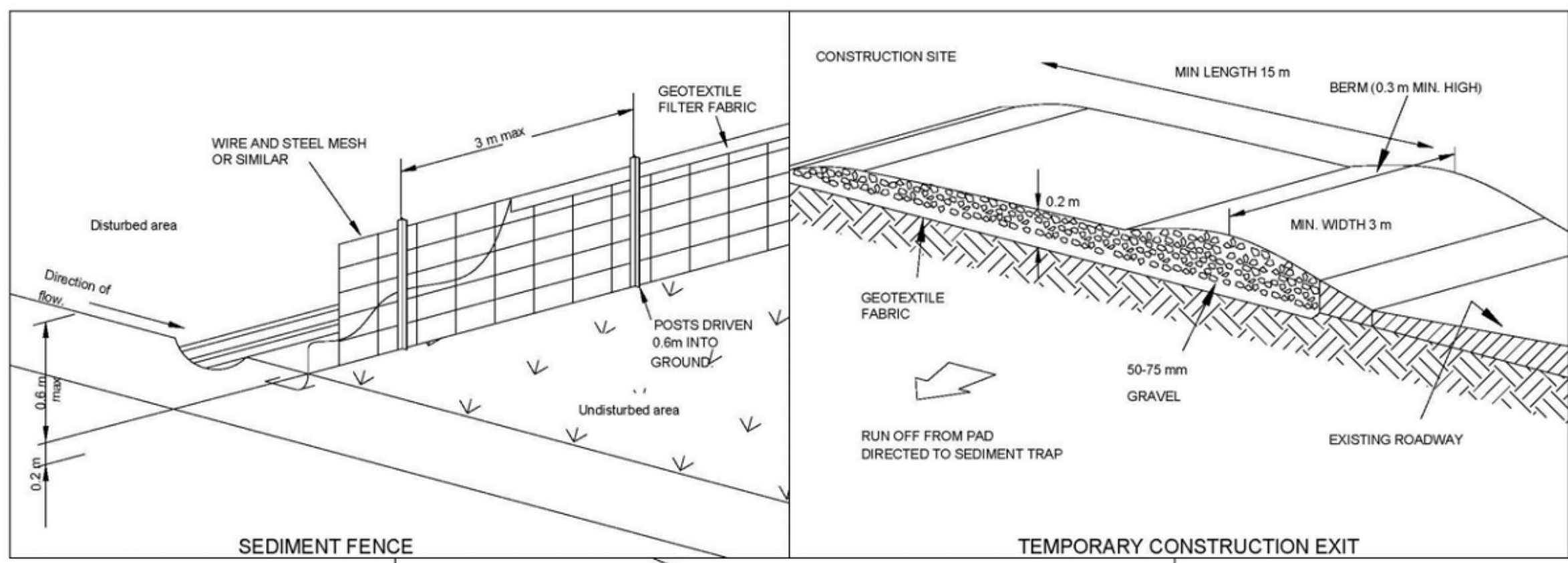
SHEET NO / SCALE @ A1 ISSUE / CHECKED  
.1 of 1 / 1 : 200 / D / RK

bdga  
ACCREDITED  
BUILDING DESIGNER

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www.bdga.com.au  
admin@bdga.com.au  
02 9633 4777  
asn. 68 691 200 369  
spaces designed for life

RK  
DESIGNS





1 EROSION AND SEDIMENT CONTROL PLAN / CONSTRUCTION MANAGEMENT PLAN

1 : 200

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 Measurements for the fabrication of accessory components such as windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.  
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Drawn	Date	Issue	Amendment
EU	03/05/22	A	ISSUE FOR CLIENT
RK	18/05/22	B	REVISION B
RK	08/06/22	C	ISSUE FOR FIRE DA
MZ	21/07/22	D	ISSUE FOR DA

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 SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.  
 PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT  
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

**CLIENT**  
 JACK ZHANG

**DATE**  
 22-46 03/05/22

**SCALE**  
 1 of 1 1 : 200

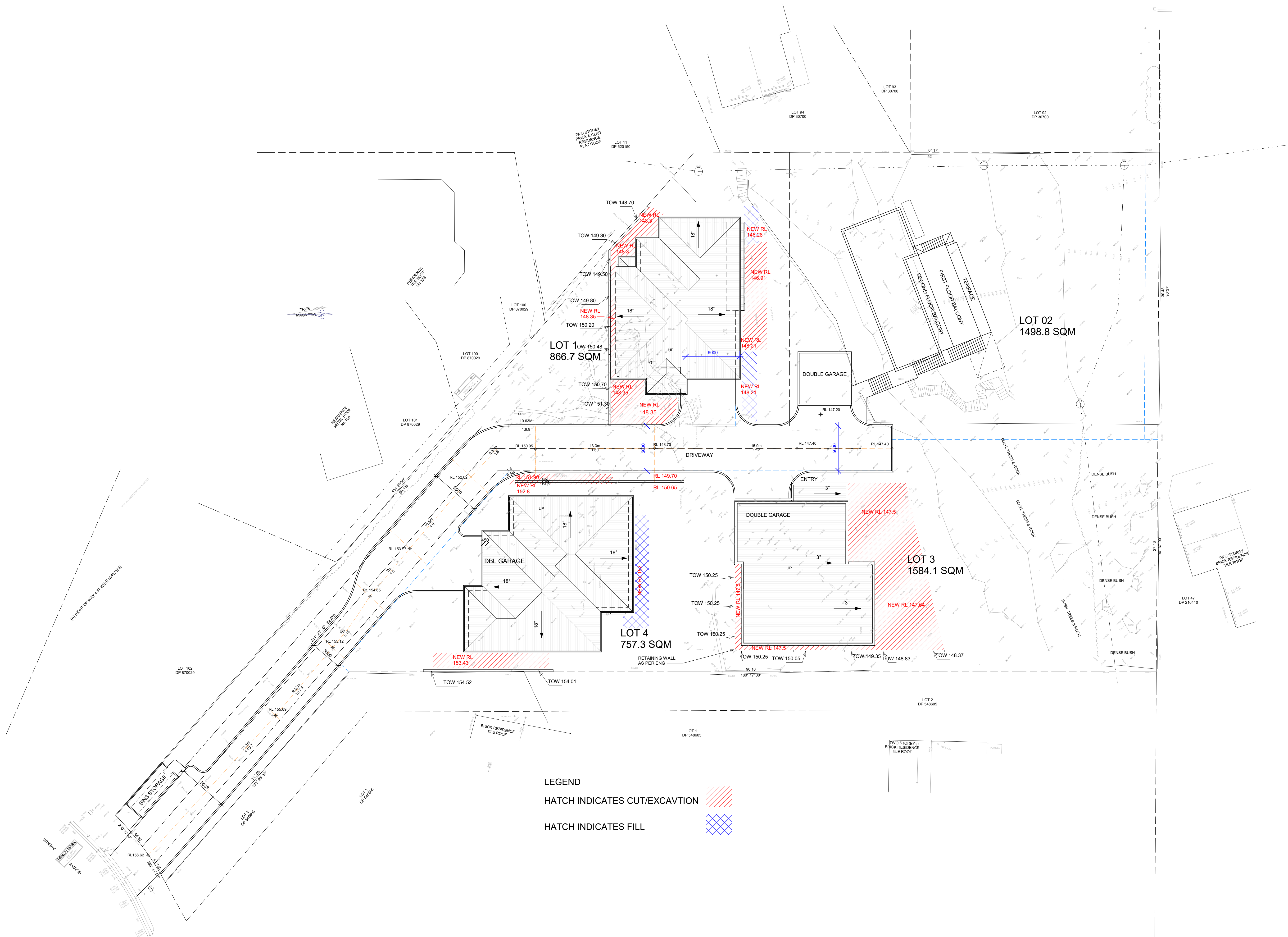
**CHECKED**  
 D RK

**bdga**  
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**RK DESIGNS**





**LEGEND**  
 HATCH INDICATES CUT/EXCAVATION  
 HATCH INDICATES FILL

**1 EXCAVATION AND FILL PLAN**  
 1 : 200

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 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.  
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drawn	date	issue	amendment
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**CLIENT**  
 JACK ZHANG

**bdga**  
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True North  
 Drawing  
 EXCAVATION AND FILL PLAN  
 project no / date  
 22-46 / 03/05/22  
 sheet no. / scale @ A1 issue checked  
 .1 of 1 / 1 : 200 / D / RK

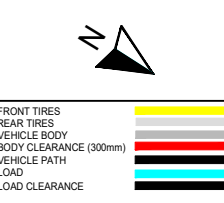






Rev	Date	Description	Drawn	Appr.
0	11.08.22	INITIAL RELEASE	A.S	O.O

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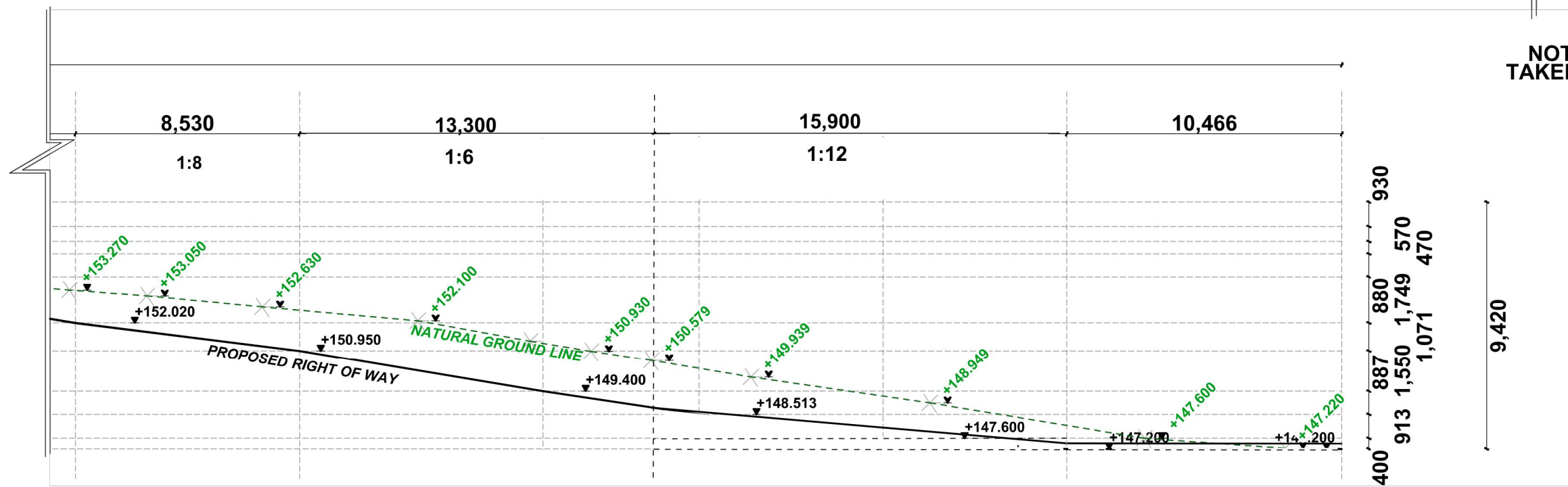
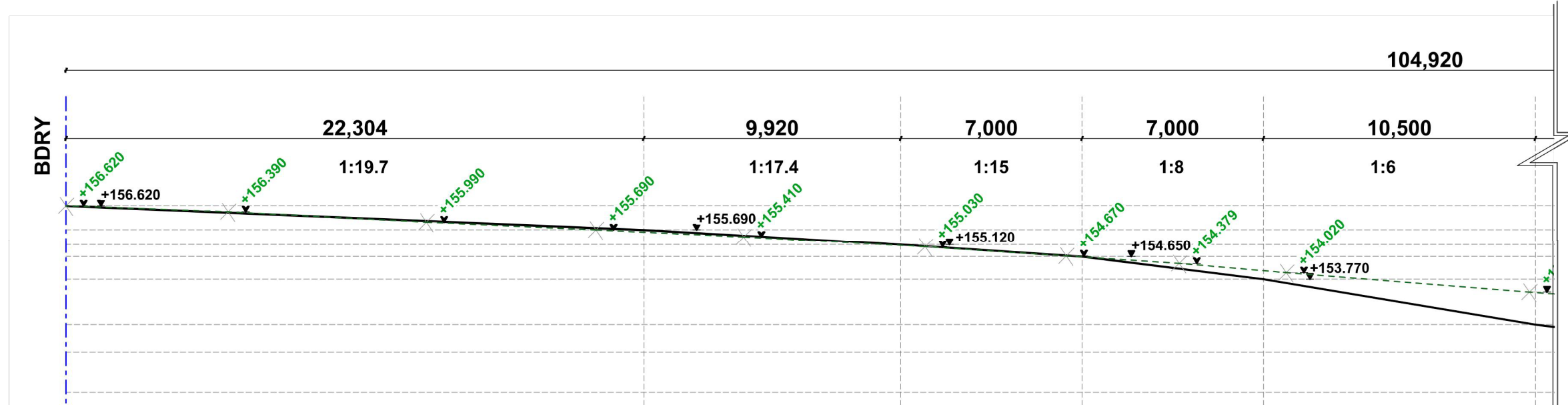
ABN: 21 103 477 742  
 22/73 Assembly Drive,  
 Dandenong South VIC 3175  
 Phone (+61 3) 9066 4417  
 Email: info@trafficplans.com.au  
 Web: www.trafficplans.com.au

Drawn	A.SHASH
Designed	A.SHASH
Checked	O.OZGUR
Authorised	O.OZGUR

Client	GLADYS FOREST PTY LTD		
Project	12-14 GLADYS AVENUE FRENCHS FOREST, NSW 2030		
Title	DRIVEWAY PLAN		

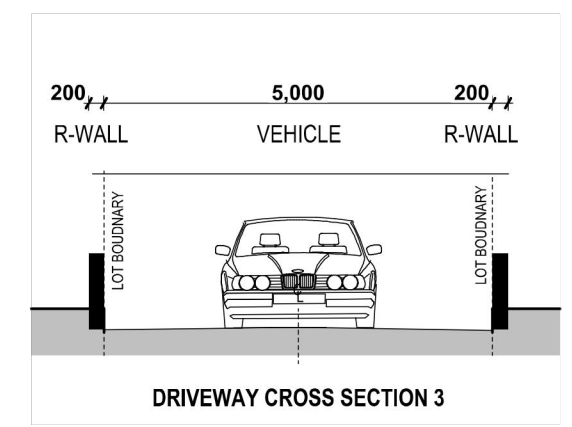
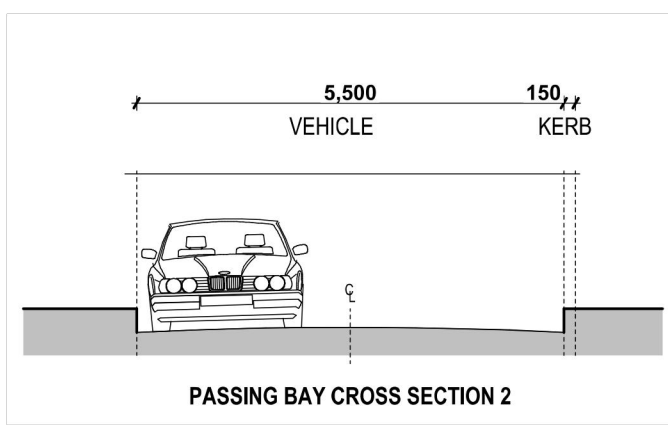
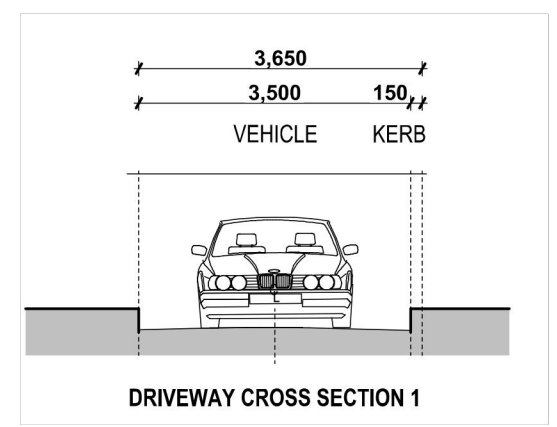
Contact	JACK ZHANG - 0410 063 615		
Municipality	WARINGAH	Site Classification (Long / Short term)	N/A
Date	11.08.22	Map Ref	238 A4
Sheet			1/2
Drawing Number	TPC-2022-10658-002		Revision
			0





NOTE: DRIVEWAY SECTION TAKEN THROUGH CENTRELINE

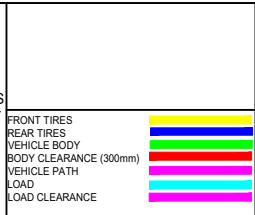
DRIVEWAY LONG SECTION  
SCALE 1:200



TYPICAL CROSS SECTIONS  
SCALE 1:100

Rev	Date	Description	Drawn	Appr.
0	11.08.22	INITIAL RELEASE	A.S	O.O

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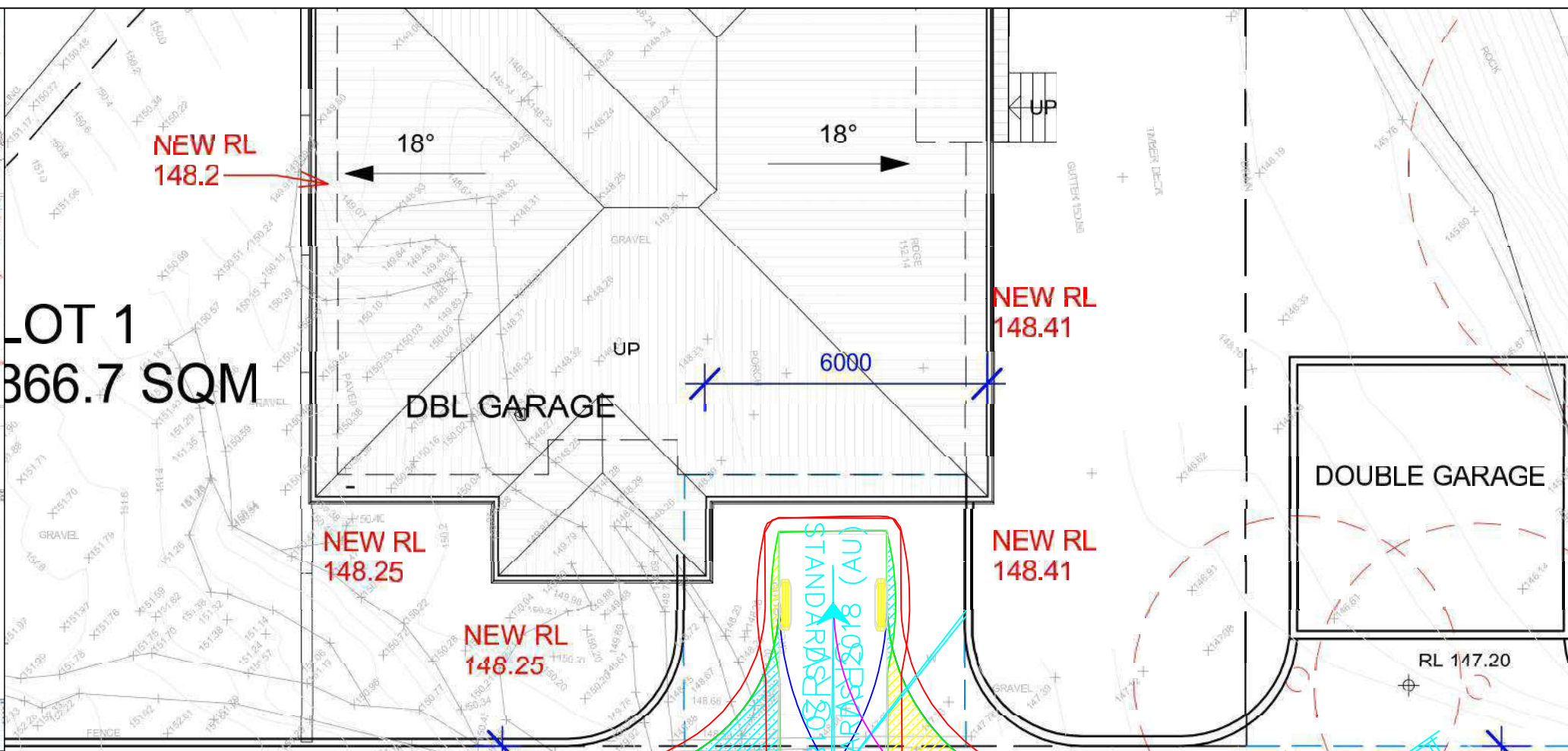
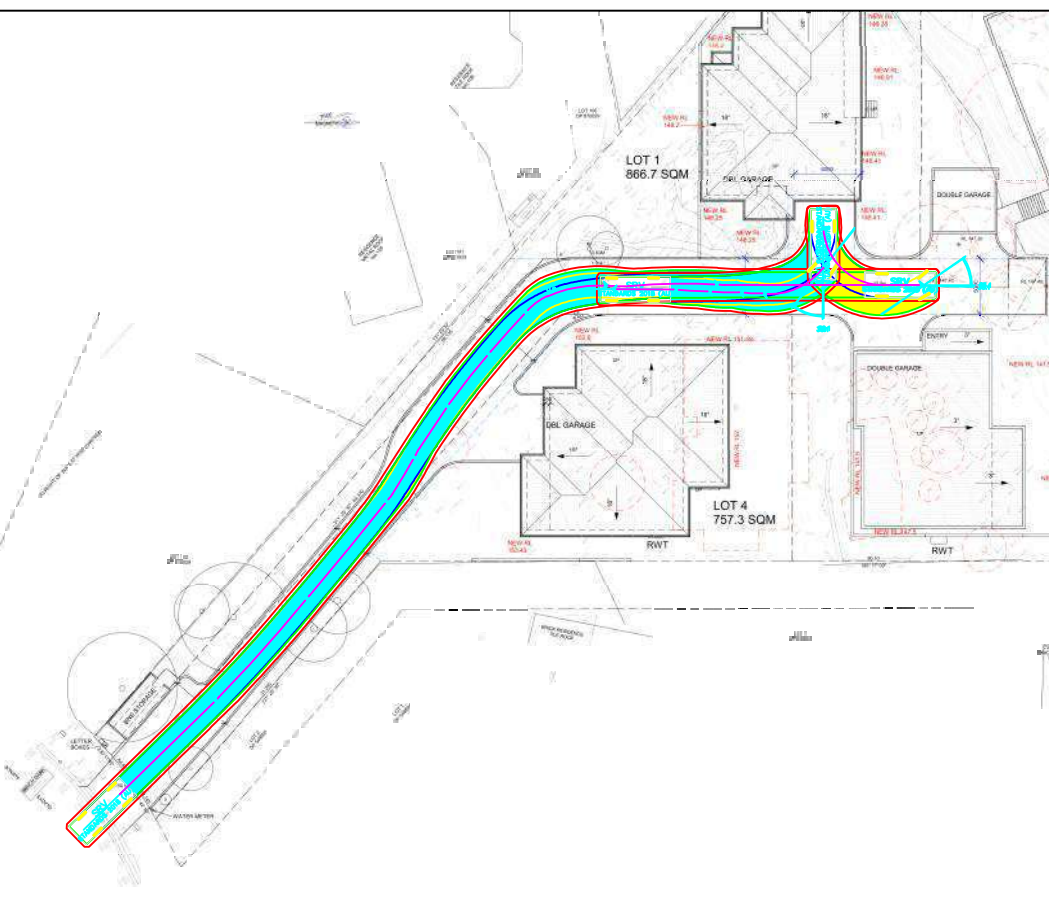
ABN: 21 103 477 742  
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Phone (+61 3) 9066 4417  
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Web: www.trafficplans.com.au

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Designed	A.SHASH
Checked	O.OZGUR
Authorised	O.OZGUR

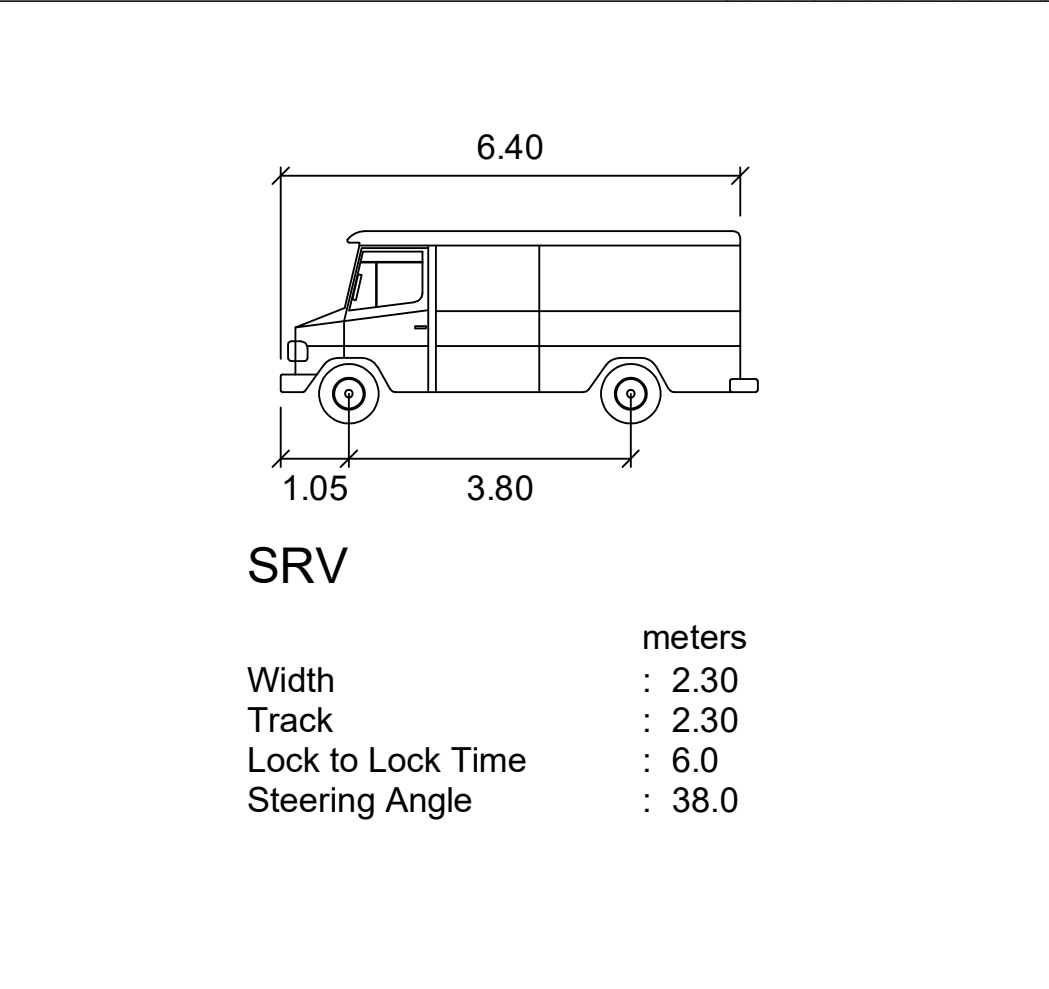
Client	GLADYS FOREST PTY LTD		
Project	12-14 GLADYS AVENUE FRENCHS FOREST, NSW 2030		
Title	SITE DRIVEWAY SECTION		

Contact	JACK ZHANG - 0410 063 615			
Municipality	WARINGAH	Site Classification (Long / Short term)	N/A	
Date	11.08.22	Map Ref	238 A4	
Drawing Number	TPC-2022-10658-002		Sheet	2/2
Revision	0			



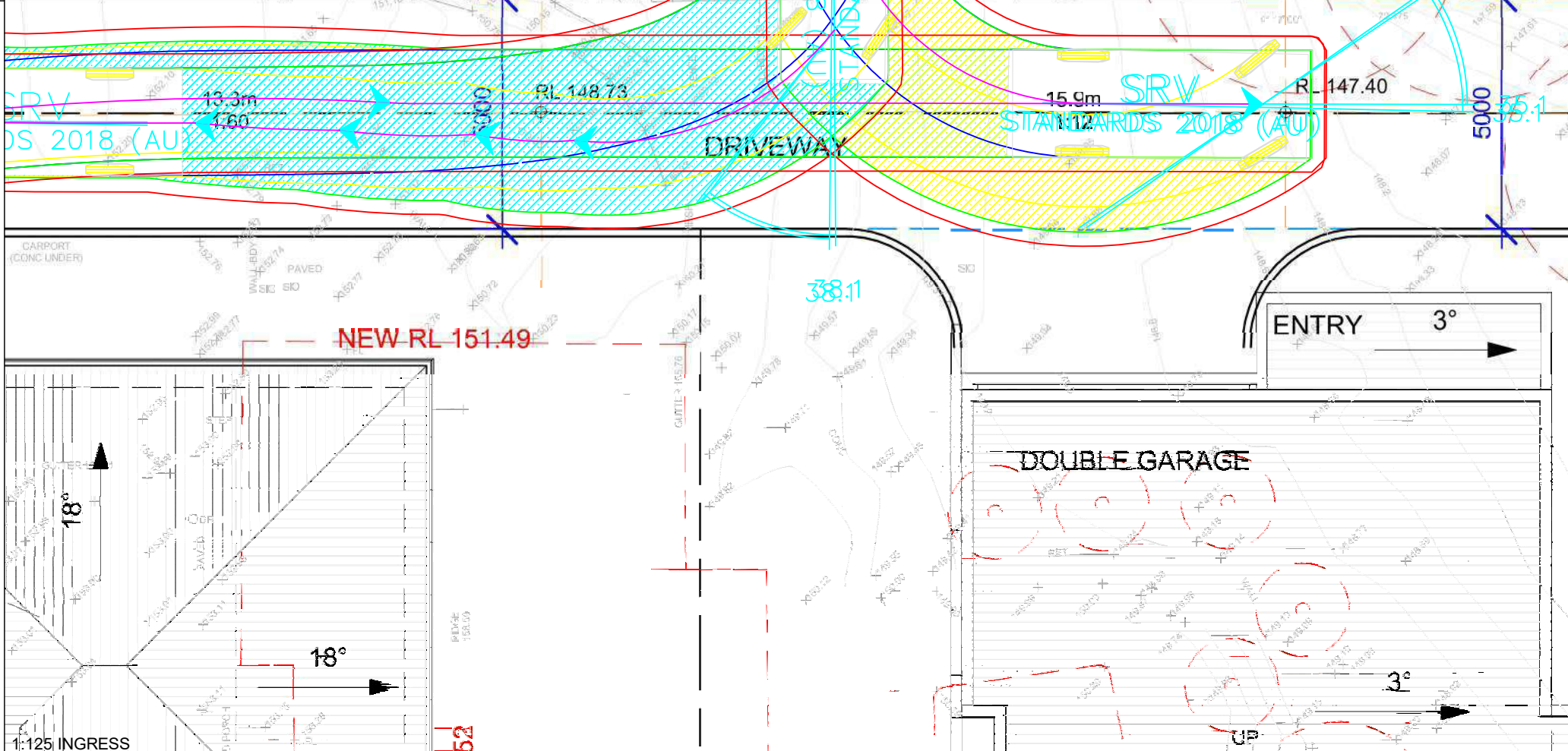


ROOF PLAN  
SUBJECT PROPERTY:



**SRV**

Width : 2.30 meters  
Track : 2.30 meters  
Lock to Lock Time : 6.0  
Steering Angle : 38.0

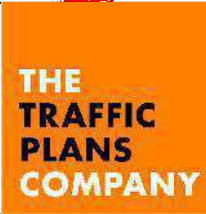


1	04.08.22	UPDATED BASE LAYER	A.S	0.0
0	14.07.22	INITIAL RELEASE	A.S	0.0

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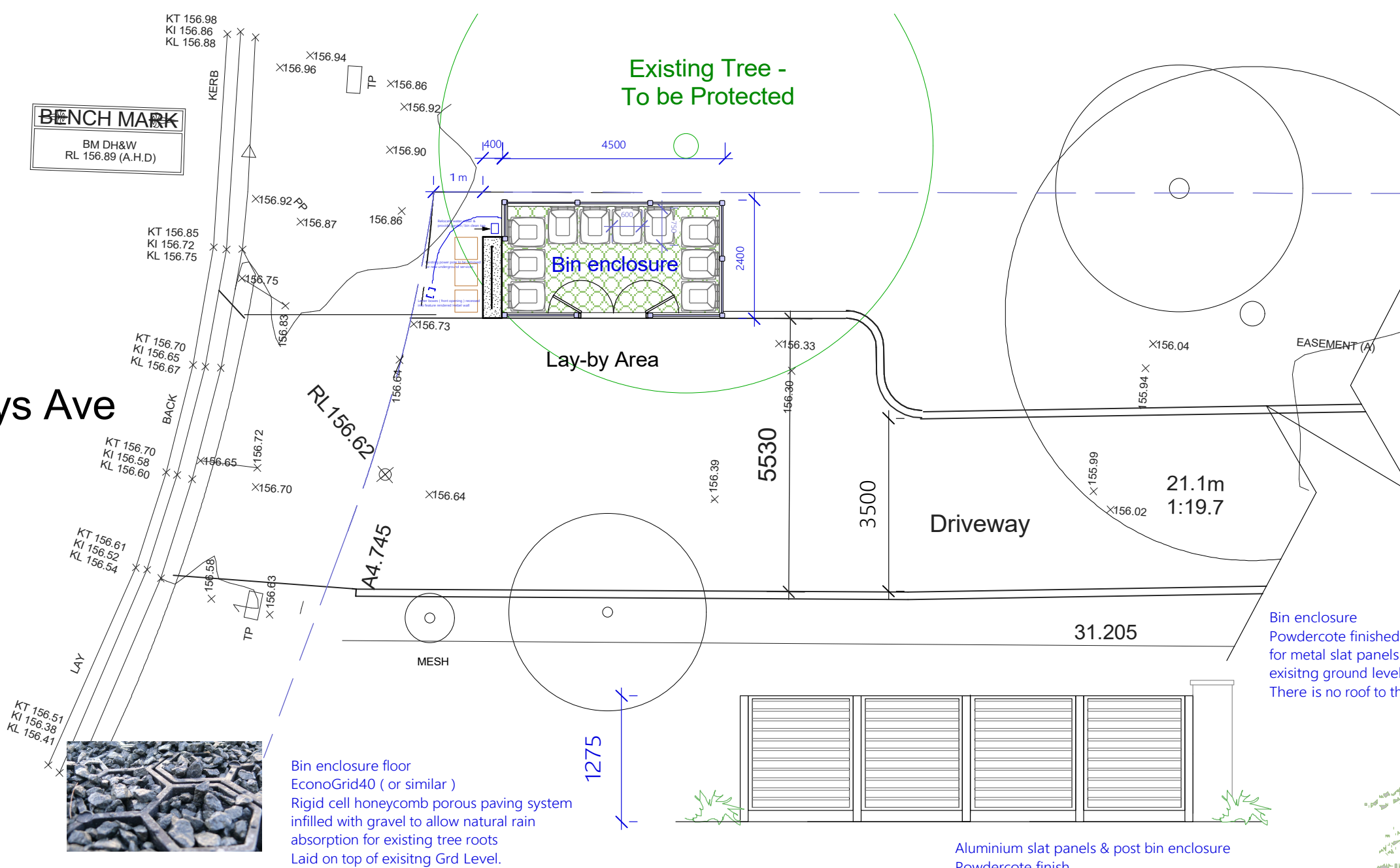
Drawn	A.SHASH
Designed	A.SHASH
Checked	O.OZGUR
Authorised	O.OZGUR

Client: GLADYS FOREST PTY LTD  
Project: 12-14 GLADYS AVENUE  
FRECHS FOREST, NSW 2086  
Title: 6.4m SRV - SWEEP PATH ASSESSMENT  
INGRESS & EGRESS

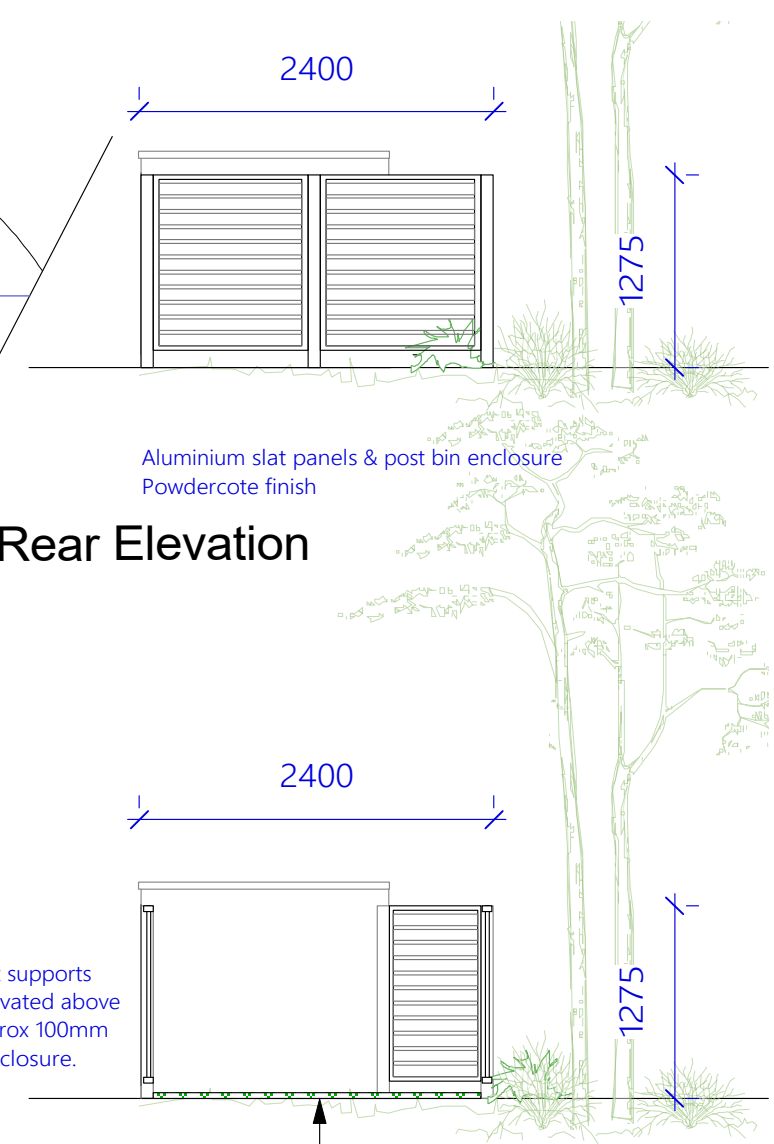
Contact	JACK ZHANG - 0410 063 615
Municipality	WARINGAH
Site Classification (Long / Short term)	N/A
Date	04.08.22
Map Ref	238 A4
Sheet	1/1
Drawing Number	TPC-2022-10658-001
Revision	1



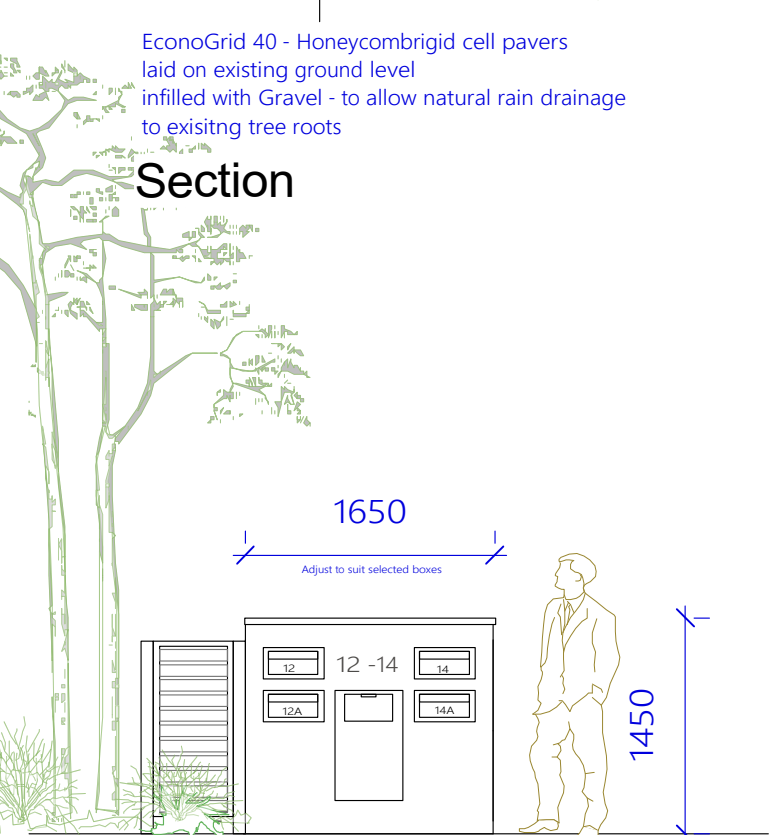
Gladys Ave



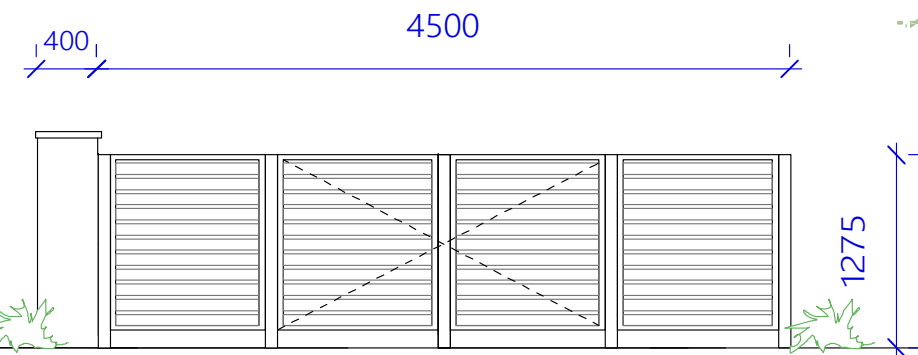
Rear Elevation



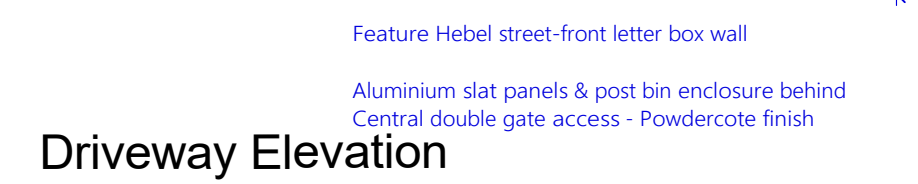
Section



Boundary Elevation



Driveway Elevation



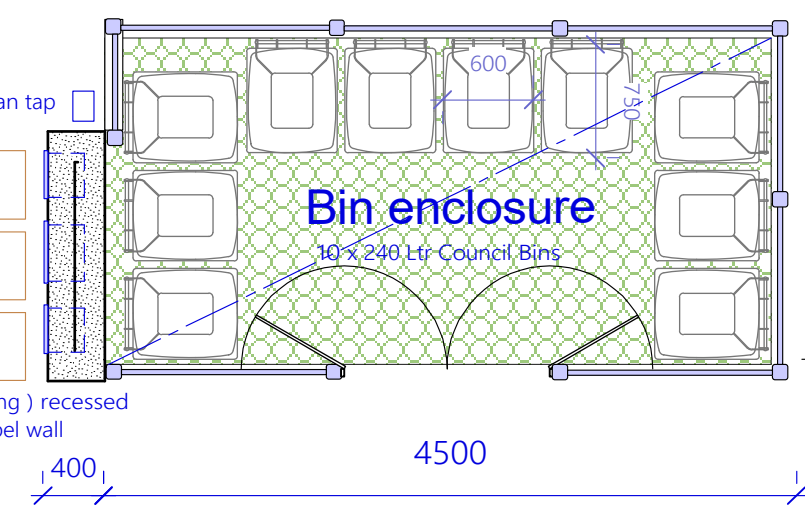
Bin enclosure floor  
EconoGrid40 ( or similar )  
Rigid cell honeycomb porous paving system  
infilled with gravel to allow natural rain  
absorption for existing tree roots  
Laid on top of existing Grd Level.



Relocated water meter  
Provide garden / bin clean tap

Paver path

Letter boxes ( front opening ) recessed  
into feature rendered Hebel wall



Amendments	Date	Issue	No.12 - 14 Gladys Ave, Frenchs Forest Proposed Subdivision and New Dwellings	Diana Prowse Reg. 5740 - Nominated Architect	Drawing No.
			Mr Jack Zhang	Di-Signed Architectural Solutions 9&A Pacific Highway, Roseville PO Box 408 Roseville, NSW 2069 Email - diana@archsolutions.net.au Mob 0414 931 018	Scale

Street Elevation

Feature front wall with parcel & letter boxes  
Hebel ( Lightweight ) block - render & paint finished  
No strip footing required - peg corners only

Aluminium slat bin enclosure behind  
Powdercote finish





## ECONOGRID 40™

POROUS PAVER GRAVEL FINISH

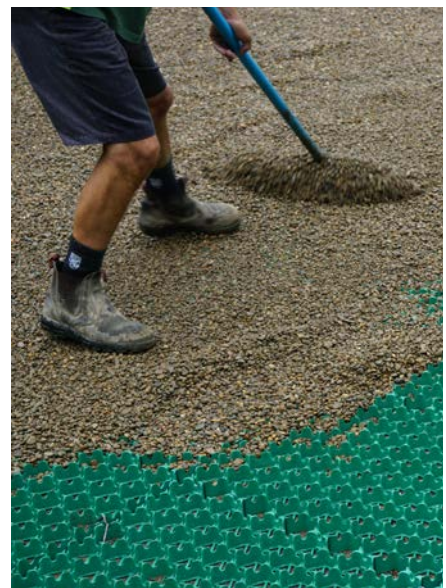
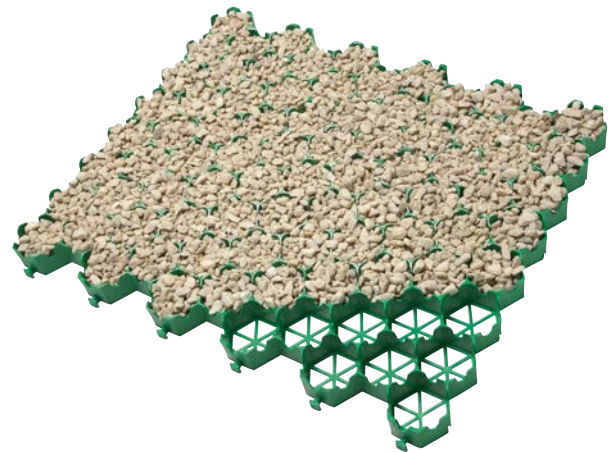


EconoGrid 40 is a porous paver that can provide a solution to a wide range of trafficking needs, especially in providing a stable, free draining pavement surface that retains gravel in situ. The application might be a gravel car park, an emergency access route or wheel chair / disabled access path. EconoGrid 40 plastic paving grids have been designed using carefully selected recycled plastics, to meet the demands and loadings imposed across a wide range of end requirements and site conditions.

### Applications:

- Gravel car parking
- Overflow car parks
- Wheelchair / disabled access paths
- Free draining pedestrian paths
- Fire access roads / lanes
- Cycle paths
- Access routes and roads
- Drives and driveways

EconoGrid 40 porous plastic pavers can be filled with a 5mm to 20mm mixed sharp angular aggregate/ gravel to give a very stable, hardworking and free draining working surface. The design of EconoGrid 40 plastic porous pavers allows excellent interlock with the gravel resisting and negating dynamic and lateral loadings so the gravel and paver remains in situ with little or no maintenance requirements.







For technical and installation information visit:  
[www.grassreinforcement.com.au/econogrid-40](http://www.grassreinforcement.com.au/econogrid-40)

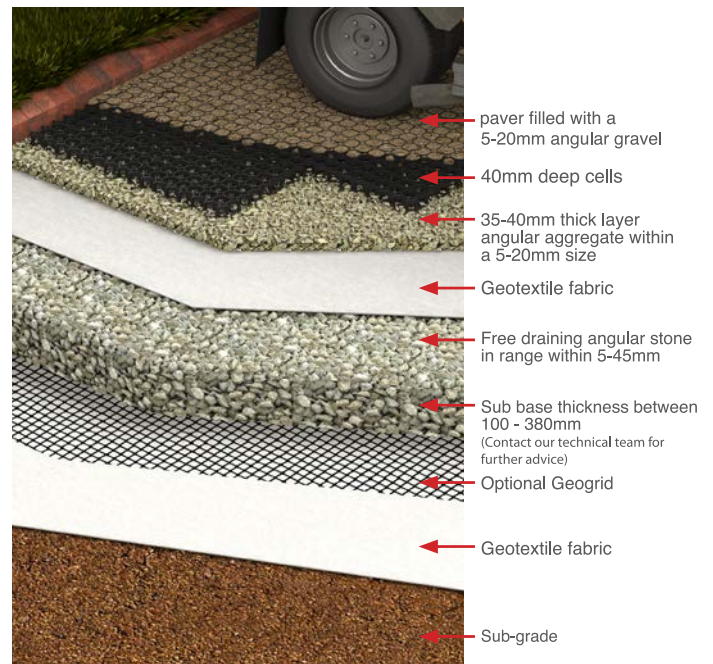


The retained gravel finish, when installed correctly, will provide a hard-wearing, robust and permeable free draining surface that would have an expected lifetime of many years. Please see our installation and design guidance documents for further information.

EconoGrid 40 porous pavers are supplied in easy to handle square grids which interlock with adjacent paving grids to create a stable and robust surface. The plastic pavers have a 40mm deep open honeycomb structure which promotes and allows excellent interlock between angular stone/gravel particles where a gravel pavement is required.

EconoGrid 40 paving grids have been manufactured using specially selected 100% recycled plastics that have the qualities that are required for a strong, long-lasting, stable product suitable for the designed traffic load. These include:

- UV stabilisation to stop degradation by sunlight.
- Tested to 150T/m<sup>2</sup>, capable of withstanding cars, vans, trucks and lorries
- Paver profile allows expansion on warmer days or in direct sunlight when required to stop lifting
- Plastic selection to allow use in cold temperatures – some plastic will become fragile when cold
- Open structure to allow unhindered water permeability
- Paver design maximises support and stability from either a gravel or a grass root structure
- All plastics used are stable, chemically inert and are not toxic so are suitable for normal soil conditions



EconoGrid 40 porous plastic paving grids have been designed to meet the demands laid down by local government regarding flood alleviation and WSUD requirements (Water Sensitive Urban Design). EconoGrid 40 pavers provide a porous / permeable pavement surface that allows rainwater / flood water to infiltrate through the paver surface and fill material into the subgrade below. EconoGrid 40 can be used as part of a source control layer within a WSUD design.



### Product Range

Laid size for 4 grids cover 1m<sup>2</sup>

Product	Size (outer)	Grid per m <sup>2</sup> laid	Paver Cell Depth	Load bearing Strength Capacity	Material	Colour
Econogrid 40	638mmx532mm	3	40mm	150T/m <sup>2</sup>	100% Recycled PP/PE	Green





① SITE LOCATION PLAN  
1 : 2000

NOTE  
SITE ANALYSIS PLAN IS TO BE READ  
IN CONJUNCTION WITH THE  
ARCHITECTURAL DRAWINGS, THE  
SHADOW DIAGRAM PLANS AND THE  
STATEMENT OF ENVIRONMENTAL  
EFFECTS, INCLUSIVE OF THE  
PHOTOGRAPHS & THE STREETSCAPE  
ELEVATION.

GENERAL NOTES  
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EU	03/05/22	A	ISSUE FOR CLIENT
RK	18/05/22	B	REVISION B
RK	20/06/22	C	ISSUE FOR PRE DA
MZ	21/07/22	D	ISSUE FOR DA

Project	Date	Sheet No.	Scale	Checked
SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS. PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086	22-46	03/05/22	.1 of 2	1:2000 D RK

client  
JACK ZHANG

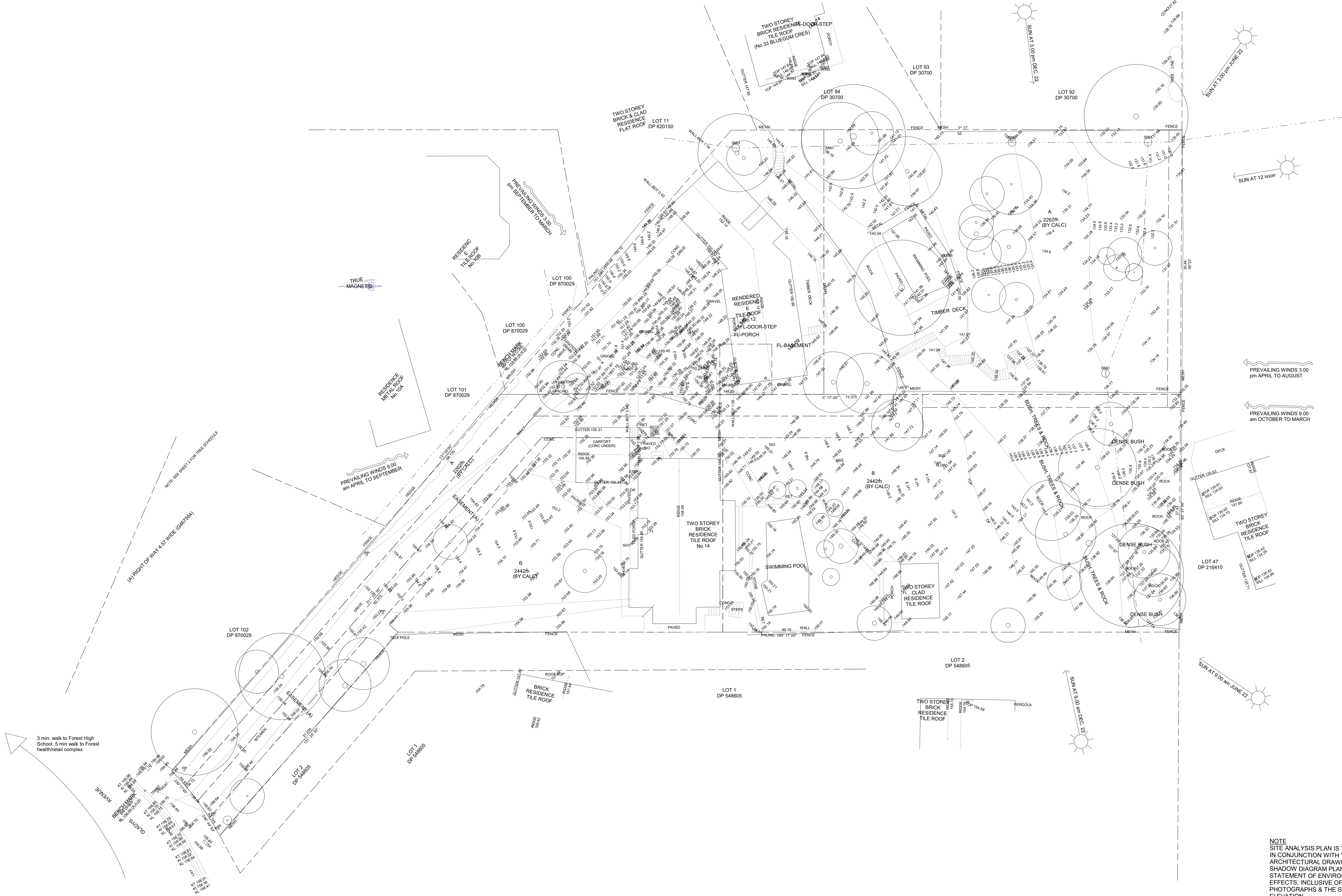
drawing  
SITE LOCATION PLAN

67 Parkes Street,  
Parramatta NSW 2150  
www.rkdesigns.com.au  
admin@rkdesigns.com.au  
02 9633 4797  
asn. 68 619 200 389  
spaces designed for life

**bdga**  
ACCREDITED  
BUILDING DESIGNER

**RK**  
DESIGNS





1 SITE ANALYSIS  
1:200

GENERAL NOTES

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RK	18/05/22	B	REVISION B
RK	20/06/22	C	ISSUE FOR FIRE DA
MZ	21/07/22	D	ISSUE FOR DA

Client	Project
JACK ZHANG	SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS. PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

Project	Client	Project No	Date	Sheet No	Scale	Issue	Checked
SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS. PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086	JACK ZHANG	22-46	03/05/22	2 of 2	1:200	D	RK

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EFFECTS, INCLUSIVE OF THE  
PHOTOGRAPHS & THE STREETScape  
ELEVATION.

bdga  
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BUILDING DESIGNER

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02 9633 4777  
asn: 68 659 200 389  
spaces designed for life

RK  
DESIGNS





TURNING PATH ANALYSIS FOR B99  
SCALE 1:100

Rev	Description	By	App	Date
C	FOR DA APPROVAL	SH	IN	08/08/22
B	FOR DA APPROVAL	SH	IN	13/05/22
A	FOR INFORMATION	SH	IN	20/03/22

Engineering Consultant  
**STRONGHOLD ENGINEERS**  
 Email: admin@shens.com.au  
 Ph: 02 6100 1148  
 Suite 79 89-97 JONES STREET  
 ULTIMO NSW 2007

Client  
**JACK ZHANG**

Project  
**12 & 14 Gladys Ave, Frenchs Forest**

Drawing Title  
**TURNING PATH FOR B99**

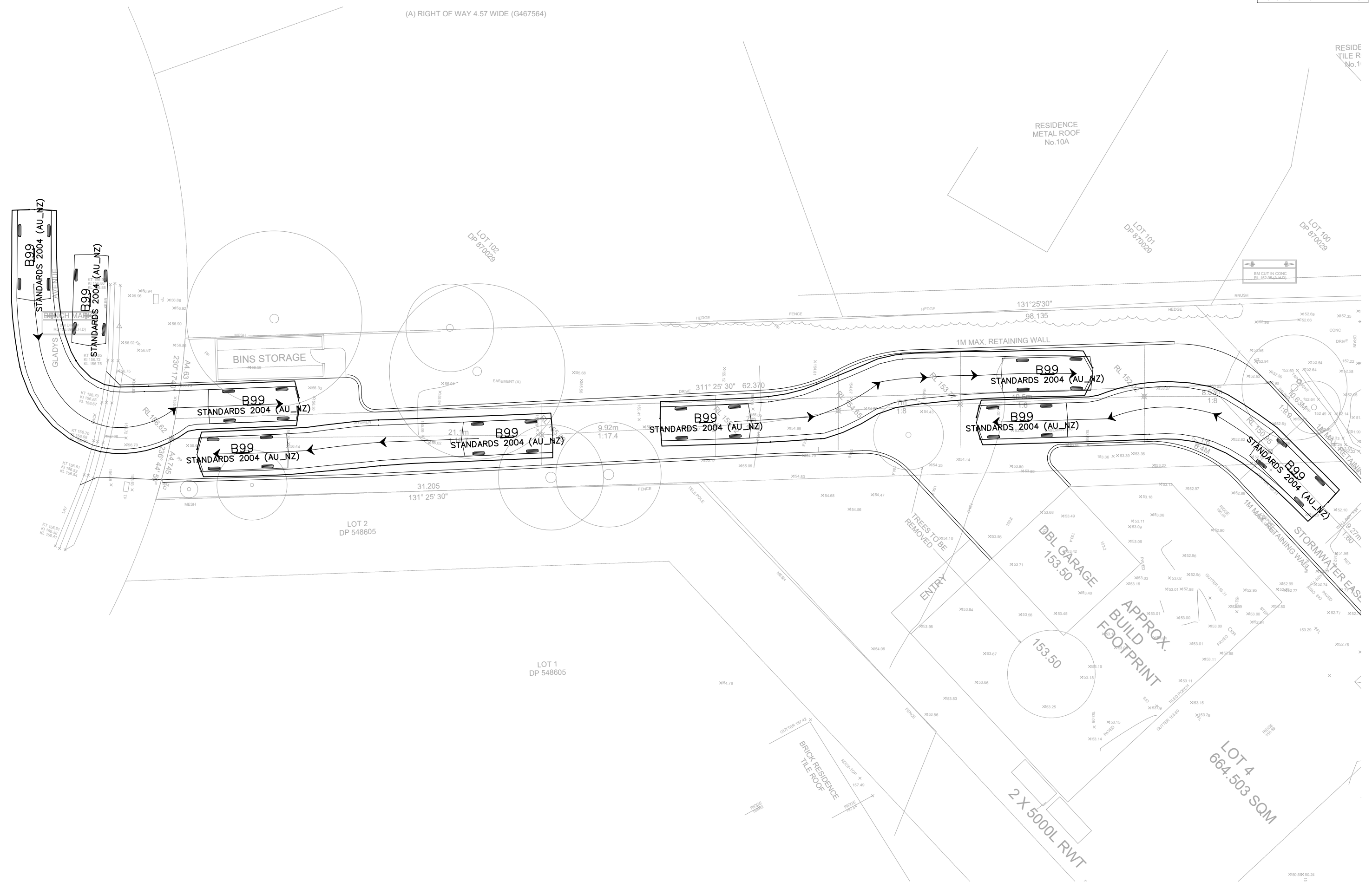
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**NOT FOR CONSTRUCTION**

Project Number SH20198	Drawing Number T01	Revision C
Engineer SH	Drawn IN	Date MAR 2022
Scale 1:100 A1		



(A) RIGHT OF WAY 4.57 WIDE (G467564)



TURNING PATH ANALYSIS FOR B99  
SCALE 1:100

Rev	Description	By	App	Date
B	FOR DA APPROVAL	SH	IN	13/05/22
A	FOR INFORMATION	SH	IN	20/03/22

Engineering Consultant  
**STRONGHOLD ENGINEERS**  
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Suite 79 89-97 JONES STREET  
ULTIMO NSW 2007

Client  
**JACK ZHANG**

Project  
**12 & 14 Gladys Ave, Frenchs Forest**

Drawing Title  
**TURNING PATH FOR B99**

Project Number  
**SH20198**

Drawing Number  
**T06**

Revision  
**B**

Engineer  
**SH**

Drawn  
**IN**

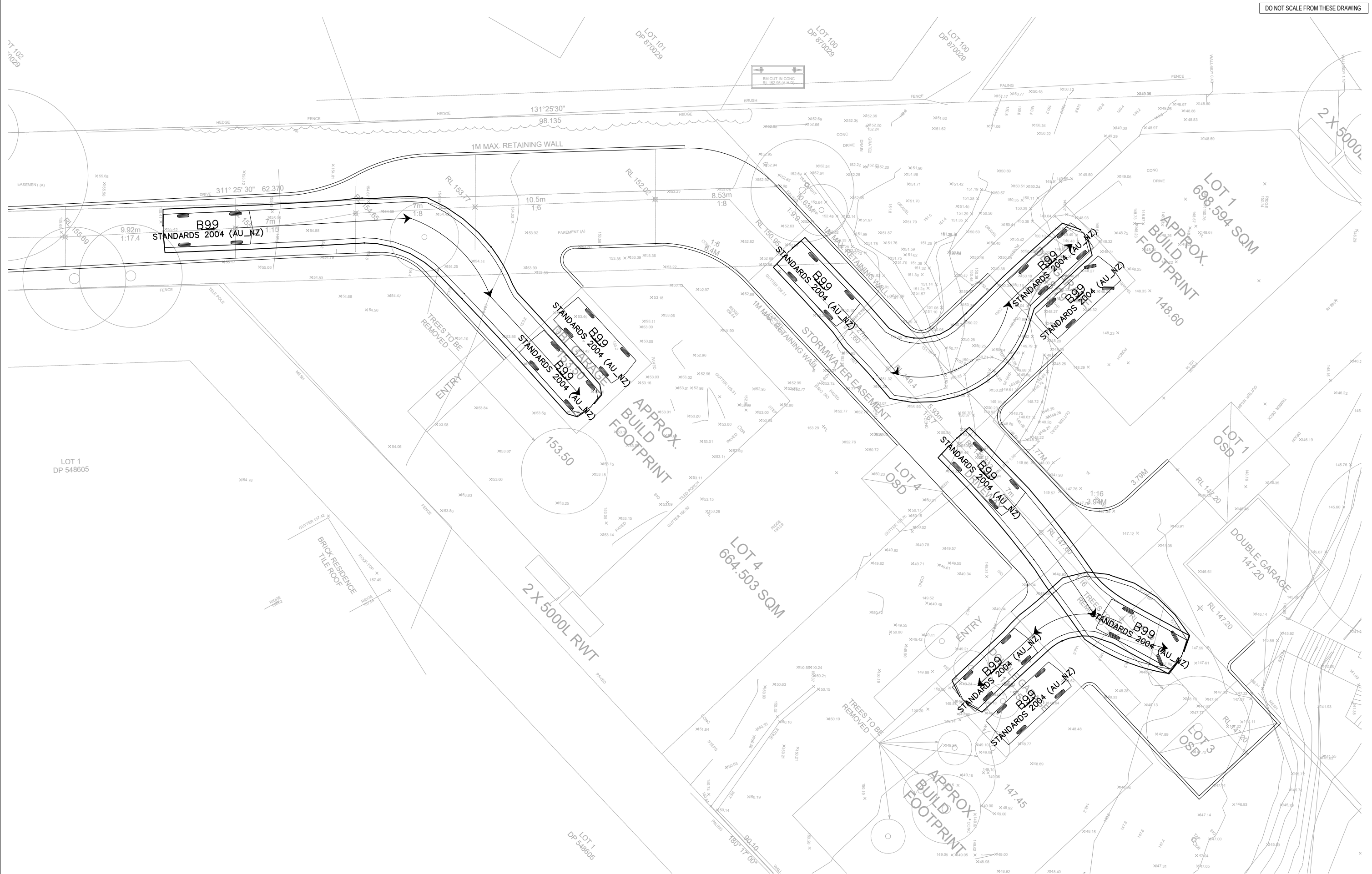
Date  
**MAR 2022**

Scale  
**1:100 A1**

NOT FOR CONSTRUCTION

50  
40  
30  
20  
10  
0





TURNING PATH ANALYSIS FOR B99  
SCALE 1:100

Rev	Description	By	App	Date
B	FOR DA APPROVAL	SH	IN	13/05/22
A	FOR INFORMATION	SH	IN	20/03/22

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ULTIMO NSW 2007

Client  
**JACK ZHANG**

Project  
**12 & 14 Gladys Ave, Frenchs Forest**

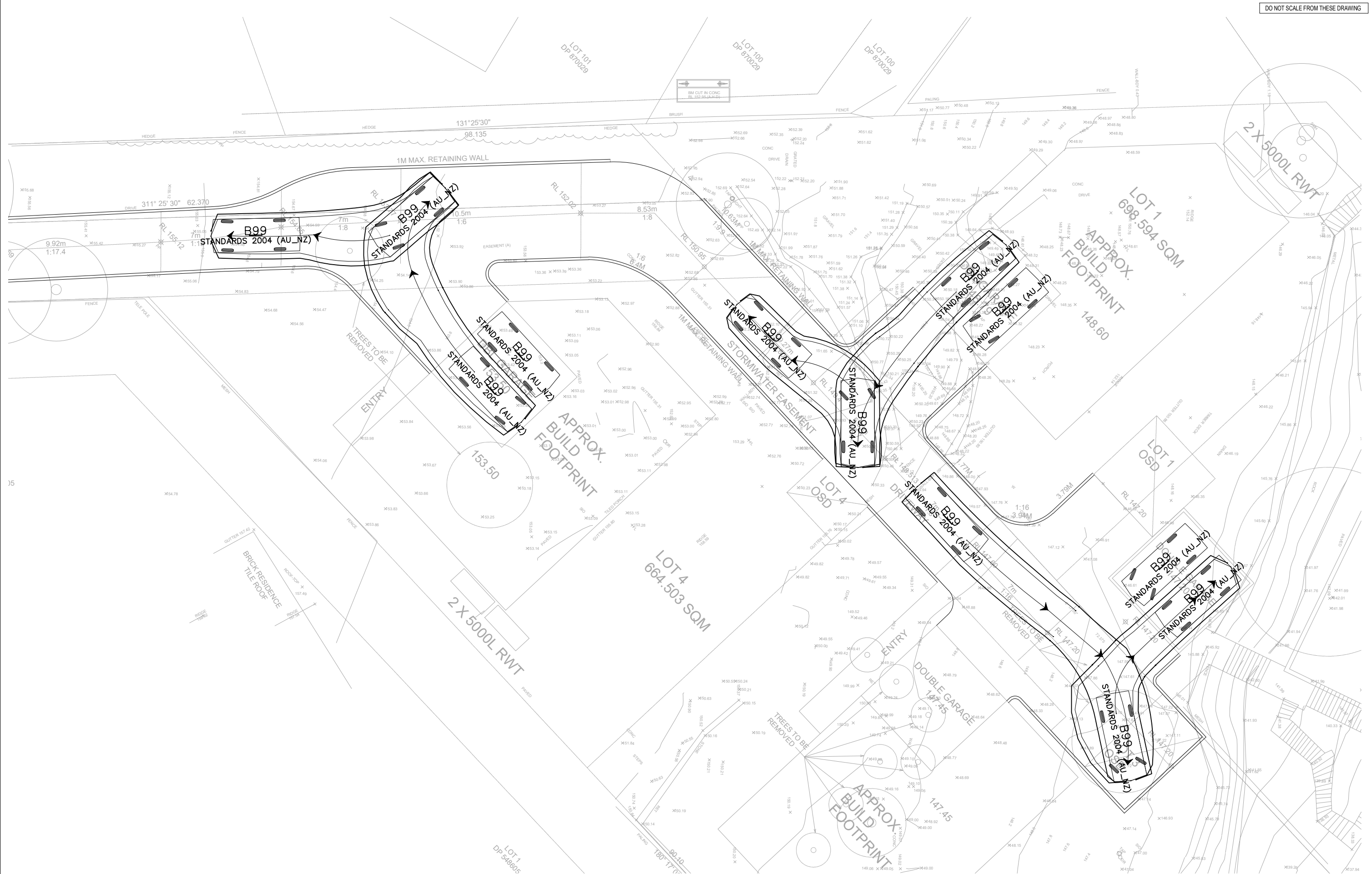
Drawing Title  
**TURNING PATH FOR B99**

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Project Number <b>SH20198</b>	Drawing Number <b>T07</b>	Revision <b>B</b>
Engineer <b>SH</b>	Drawn <b>IN</b>	
Date <b>MAR 2022</b>	Scale <b>1:100 A1</b>	





TURNING PATH ANALYSIS FOR B99  
SCALE 1:100

Rev	Description	By	App	Date
B	FOR DA APPROVAL	SH	IN	13/05/22
A	FOR INFORMATION	SH	IN	20/03/22

Engineering Consultant  
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ULTIMO NSW 2007

Client  
**JACK ZHANG**

Project  
**12 & 14 Gladys Ave, Frenchs Forest**

Drawing Title  
**TURNING PATH FOR B99**

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Project Number <b>SH20198</b>	Drawing Number <b>T08</b>	Revision <b>B</b>
Engineer <b>SH</b>	Drawn <b>IN</b>	
Date <b>MAR 2022</b>	Scale <b>1:100 A1</b>	







1 SITE AND ROOF PLAN  
1 : 200

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EVJ	03/05/22	A	ISSUE FOR CLIENT
SK	28/05/22	B	REVISION B
SK	28/05/22	C	ISSUE FOR PRE DA
SK	21/07/22	D	ISSUE FOR DA

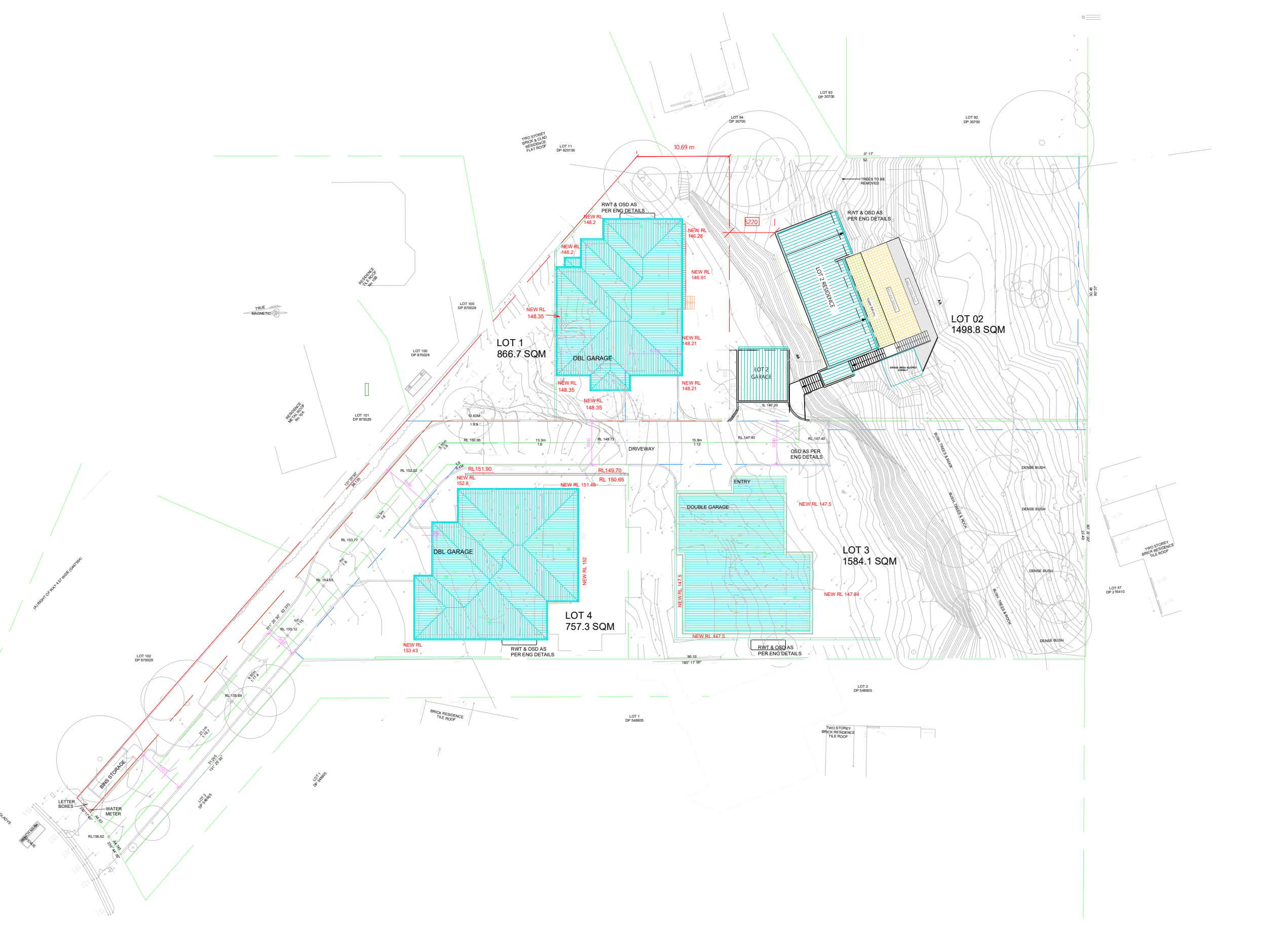
Project: SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.  
 PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT  
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

Client: JACK ZHANG

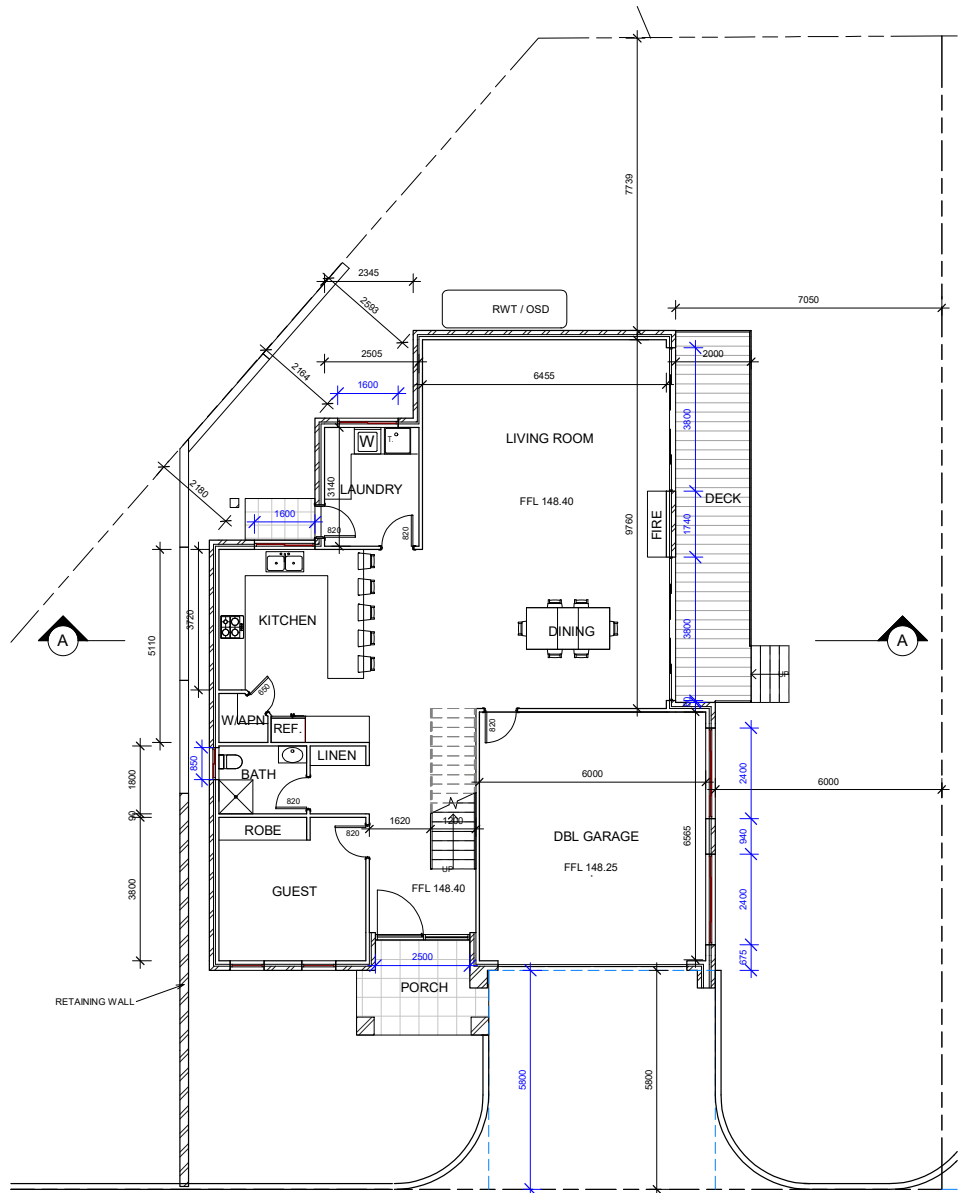
**bdg**  
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 admin@bdesign.com.au  
 (02) 9633 4797  
 mob. 08 6199 200 359  
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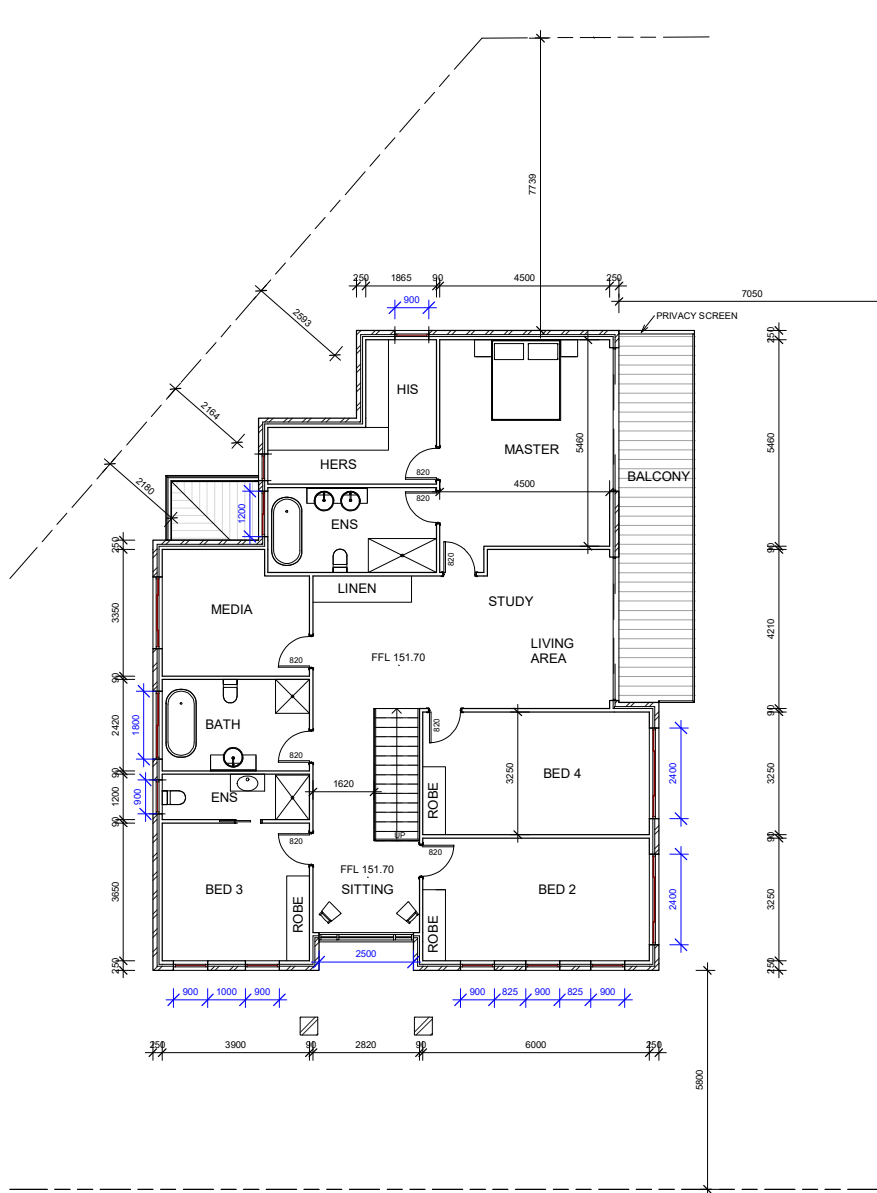
Project no: 22-46 Date: 03/05/22 Sheet no: 1 of 1 Scale: 1:200 Issue: D Checked: RK



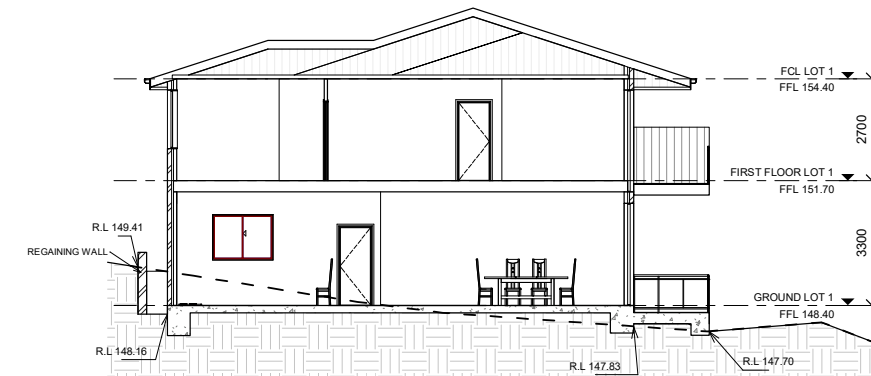




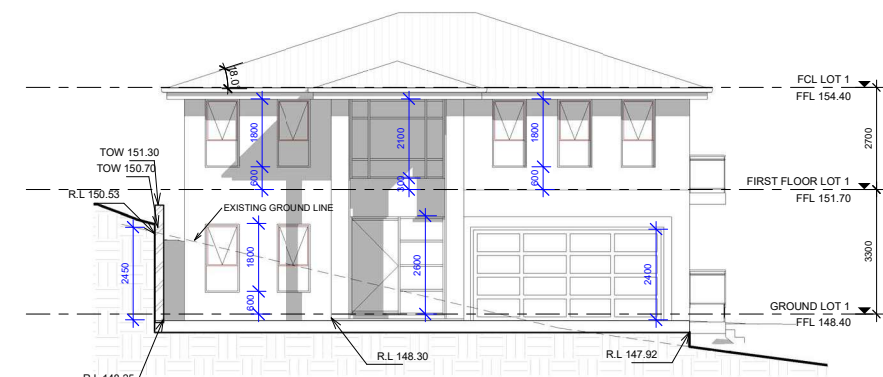
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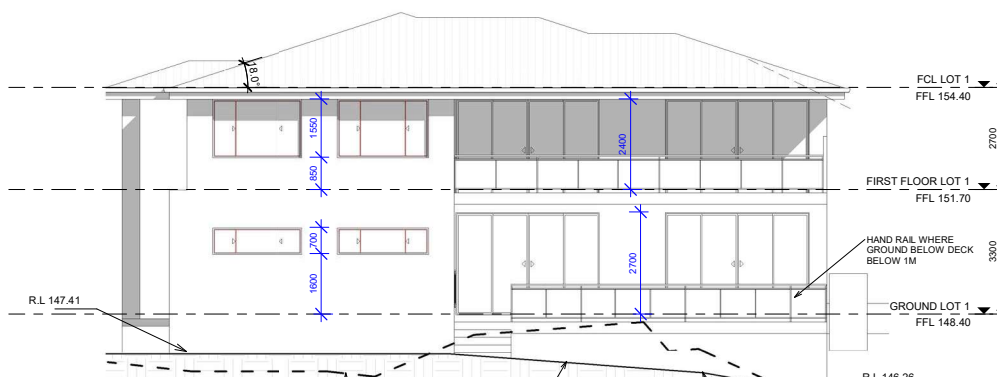
2 FIRST FLOOR LOT 1  
1: 100



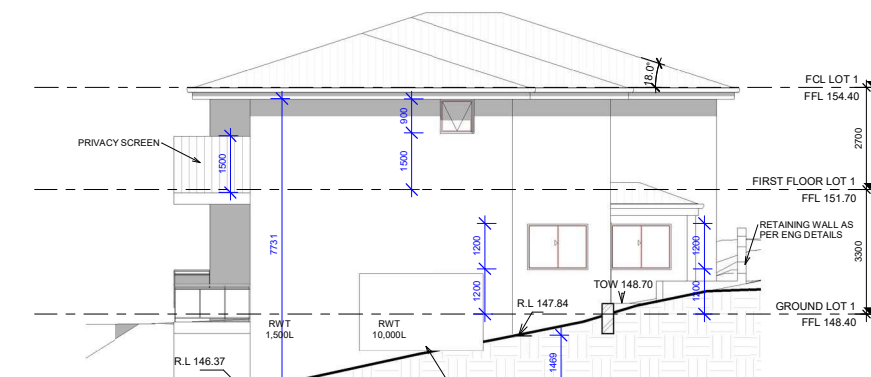
7 SECTION A - A  
1: 100



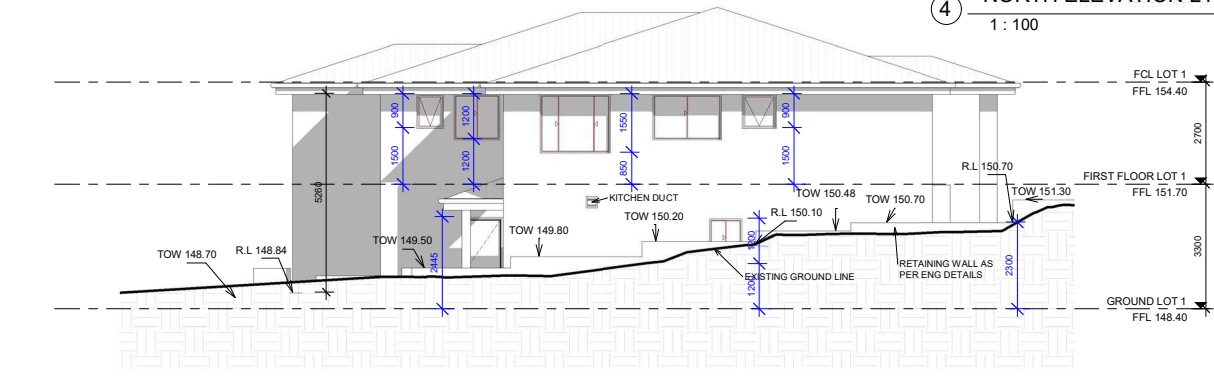
3 EAST ELEVATION L1  
1: 100



4 NORTH ELEVATION L1  
1: 100



6 WEST ELEVATION L1  
1: 100

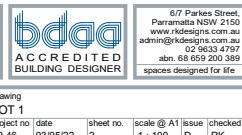


5 SOUTH ELEVATION L1  
1: 100

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EU	03/05/22	A	ISSUE FOR CLIENT
RK	18/05/22	B	REVISION B
RK	18/05/22	C	ISSUE FOR PRE DA
RK	21/07/22	D	ISSUE FOR DA

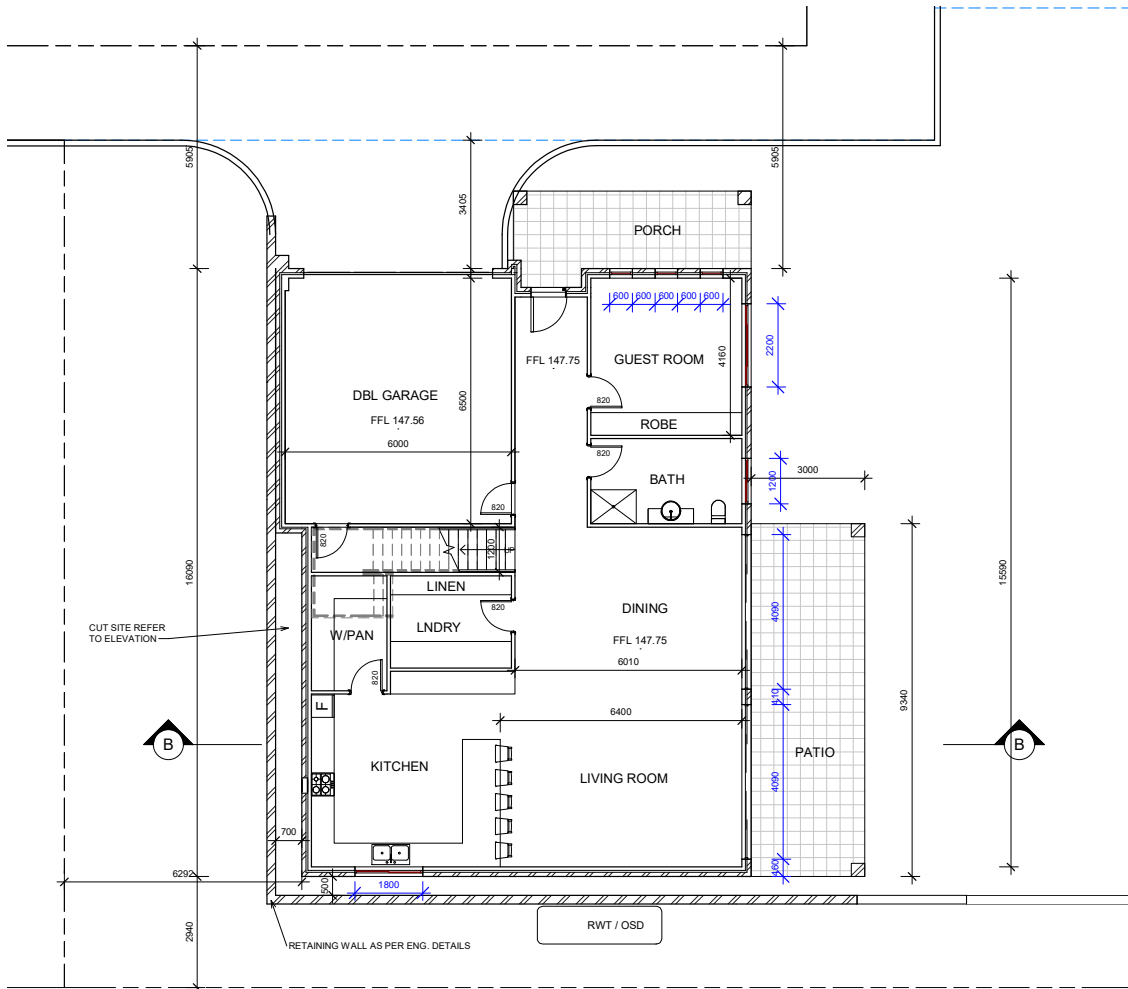
PROJECT  
 SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.  
 PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT  
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086



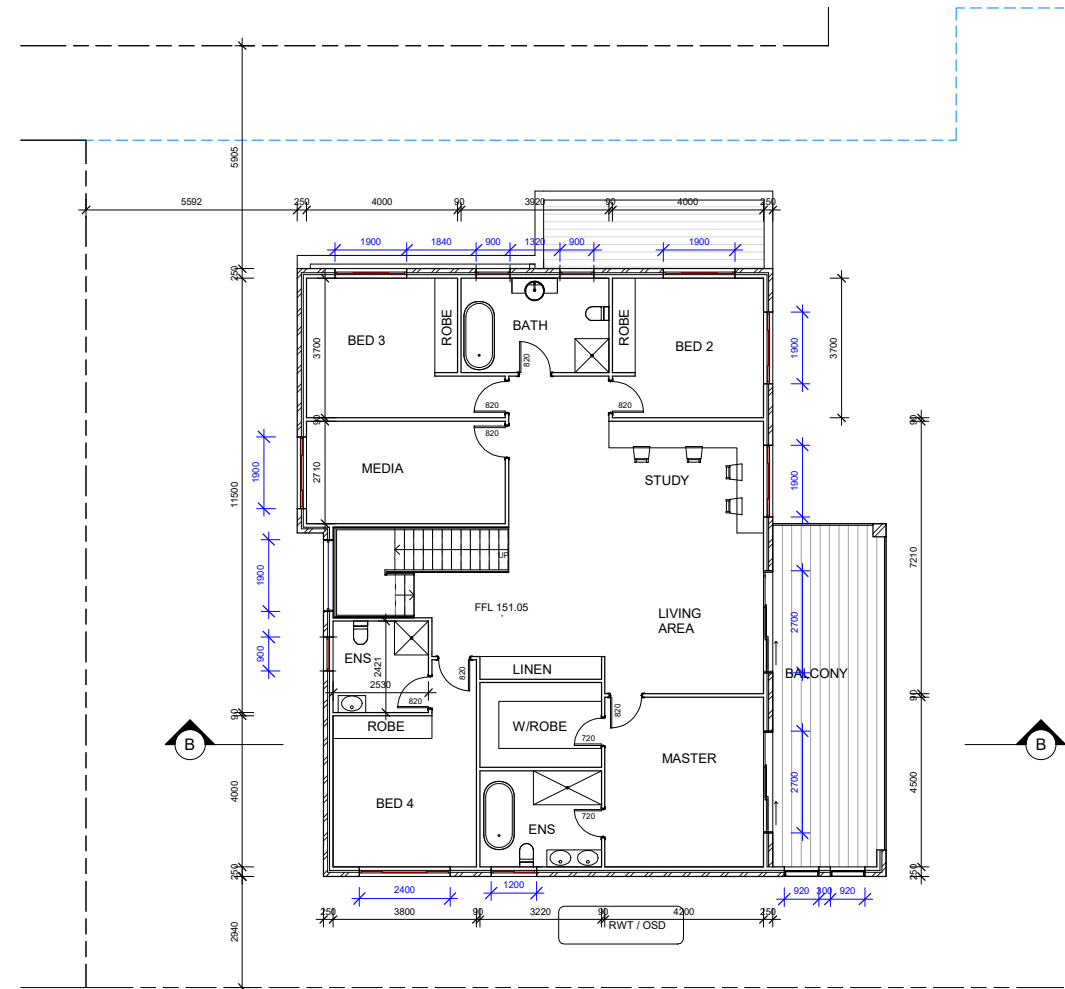
CLIENT  
 JACK ZHANG

TRUE NORTH  
 DRAWING  
 LOT 1  
 PROJECT NO. DATE  
 22-46 03/05/22  
 SHEET NO. SCALE @ A1 ISSUE CHECKED  
 2 1: 100 D RK

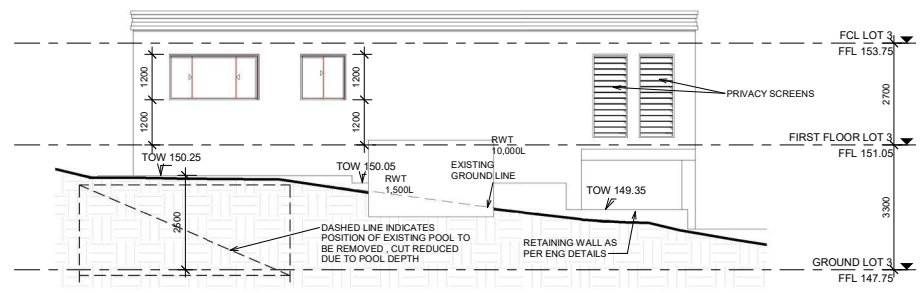




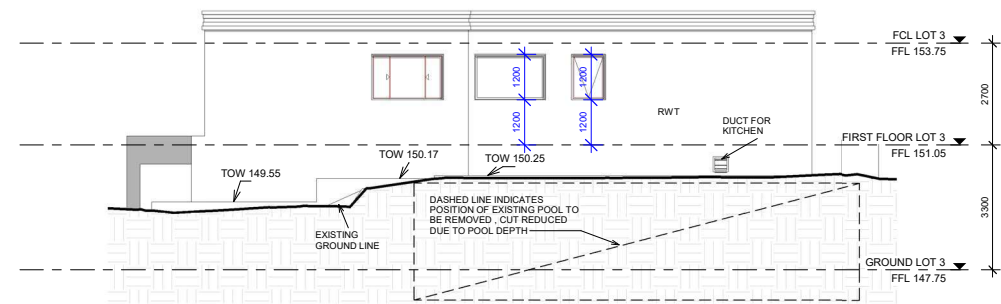
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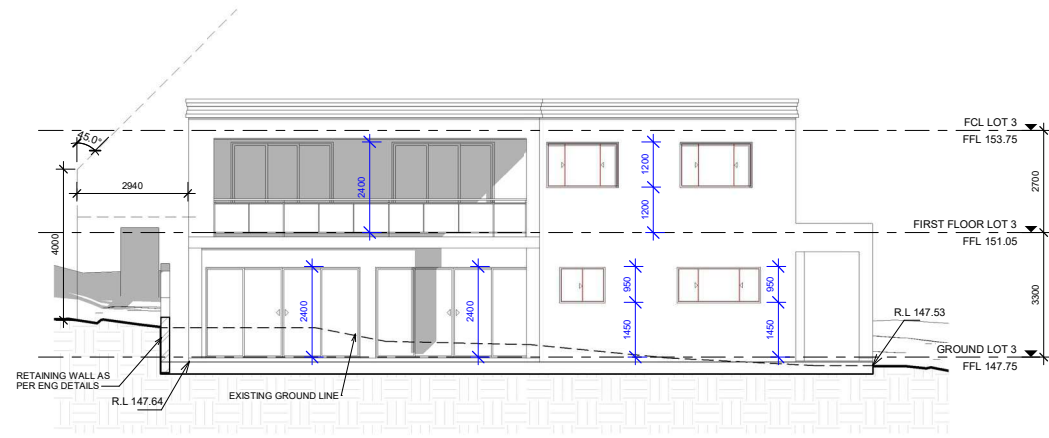
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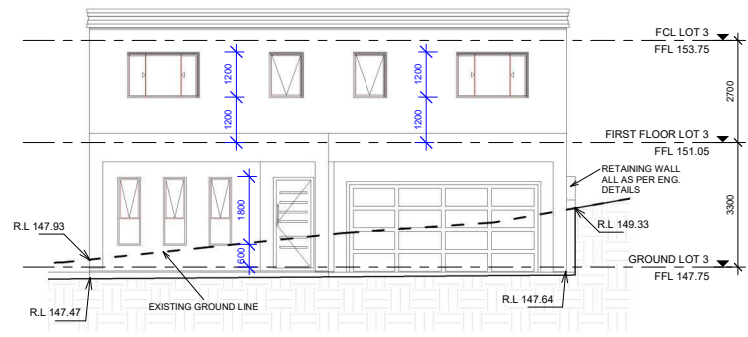
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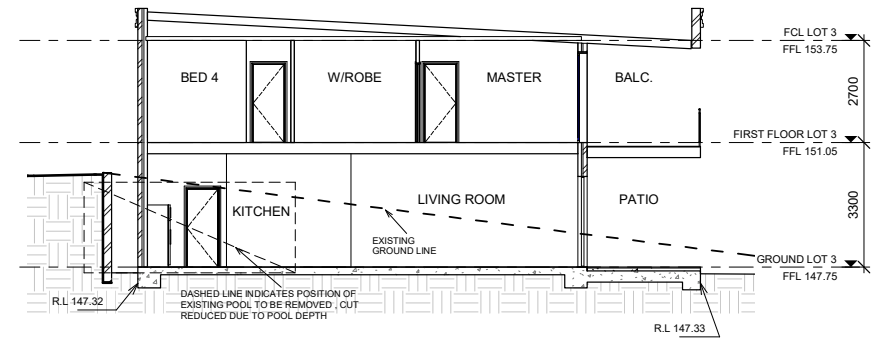
5 SOUTH ELEVATION L3  
1: 100



4 NORTH ELEVATION L3  
1: 100



6 WEST ELEVATION L3  
1: 100



7 SECTION B - B  
1: 100

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project  
 SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.  
 PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT  
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

**bdca**  
 ACCREDITED  
 BUILDING DESIGNER

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 Parramatta NSW 2150  
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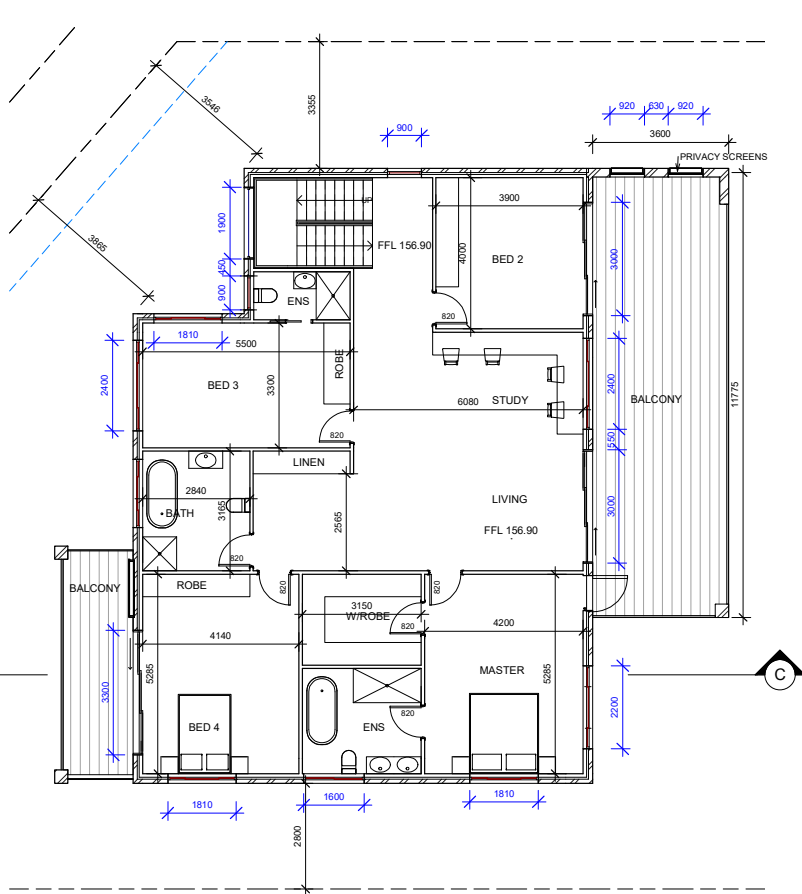
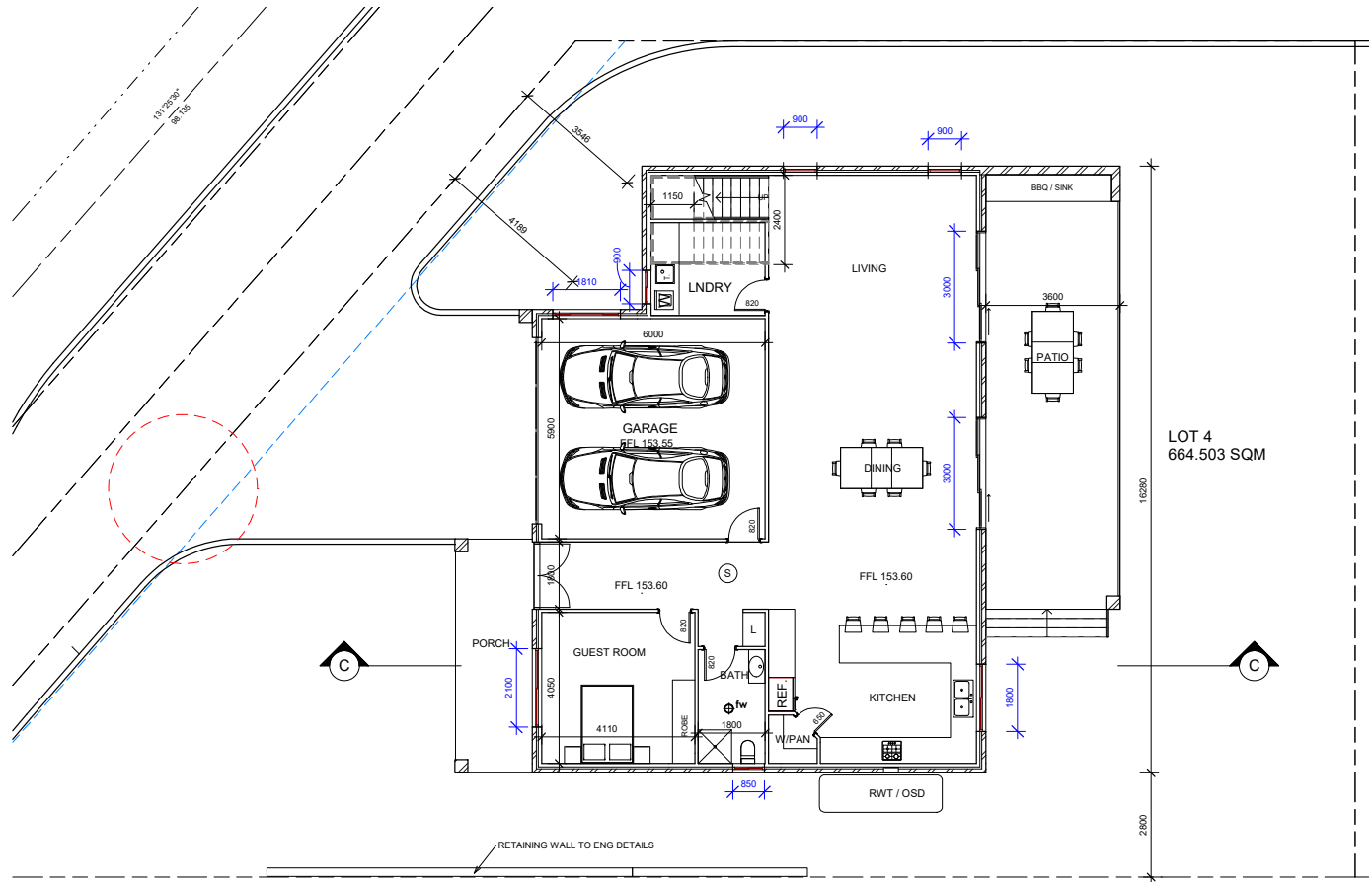
client  
 JACK ZHANG

true north  
 Drawing  
 LOT 3

project no / date  
 22-46 / 03/05/22

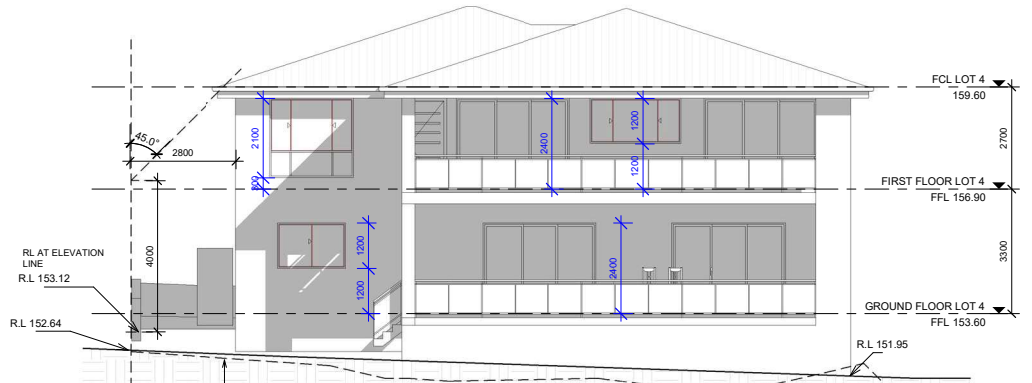
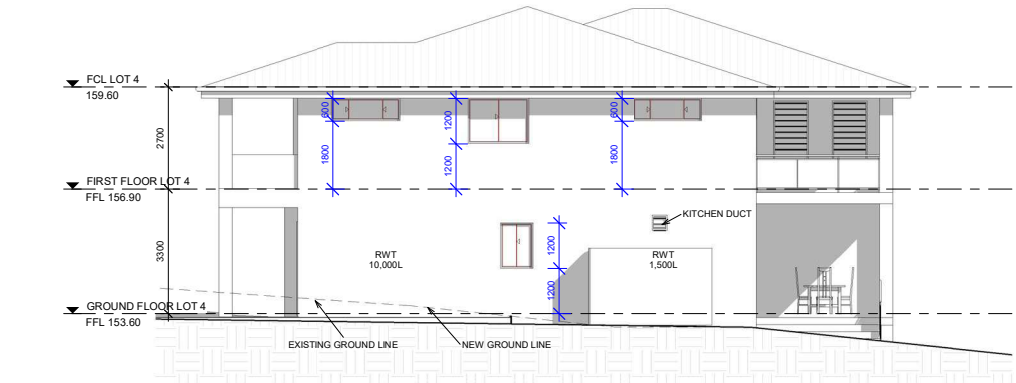
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 3 / 1: 100 / D / RK

**RK**  
 DESIGNS



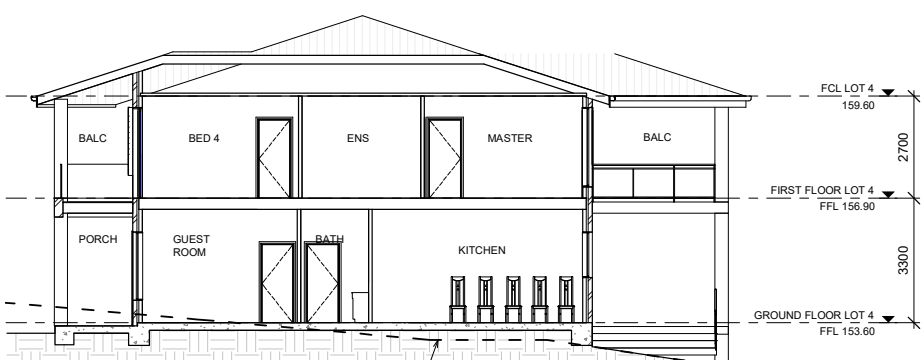
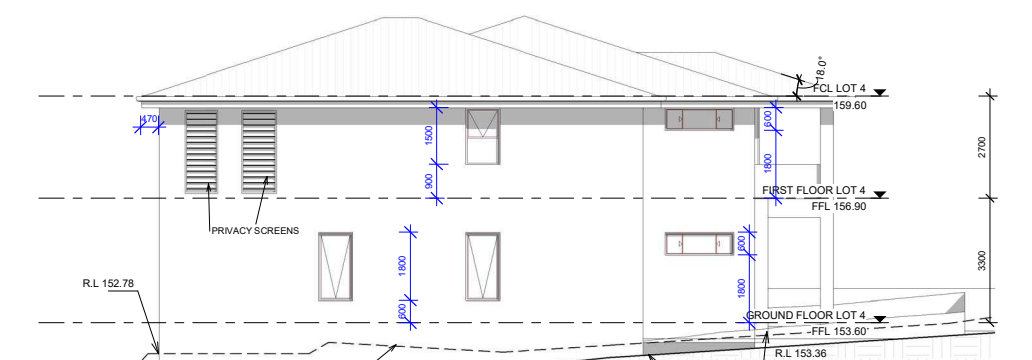
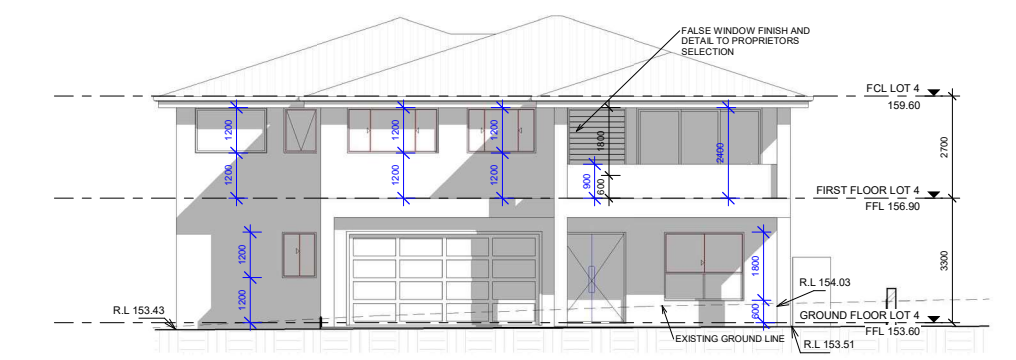
1 GROUND LOT 4  
1: 100

2 FIRST FLOOR LOT 4  
1: 100



3 EAST ELEVATION L4  
1: 100

4 NORTH ELEVATION L4  
1: 100



5 SOUTH ELEVATION L4  
1: 100

6 WEST ELEVATION L4  
1: 100

7 SECTION C - C  
1: 100

**LEGEND**

FLOOR WASTE fwφ

SMOKE ALARM S

(HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC PART 3.7.5 & AS 3786)

PRELIMINARY DO NOT USE FOR CONSTRUCTION

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client  
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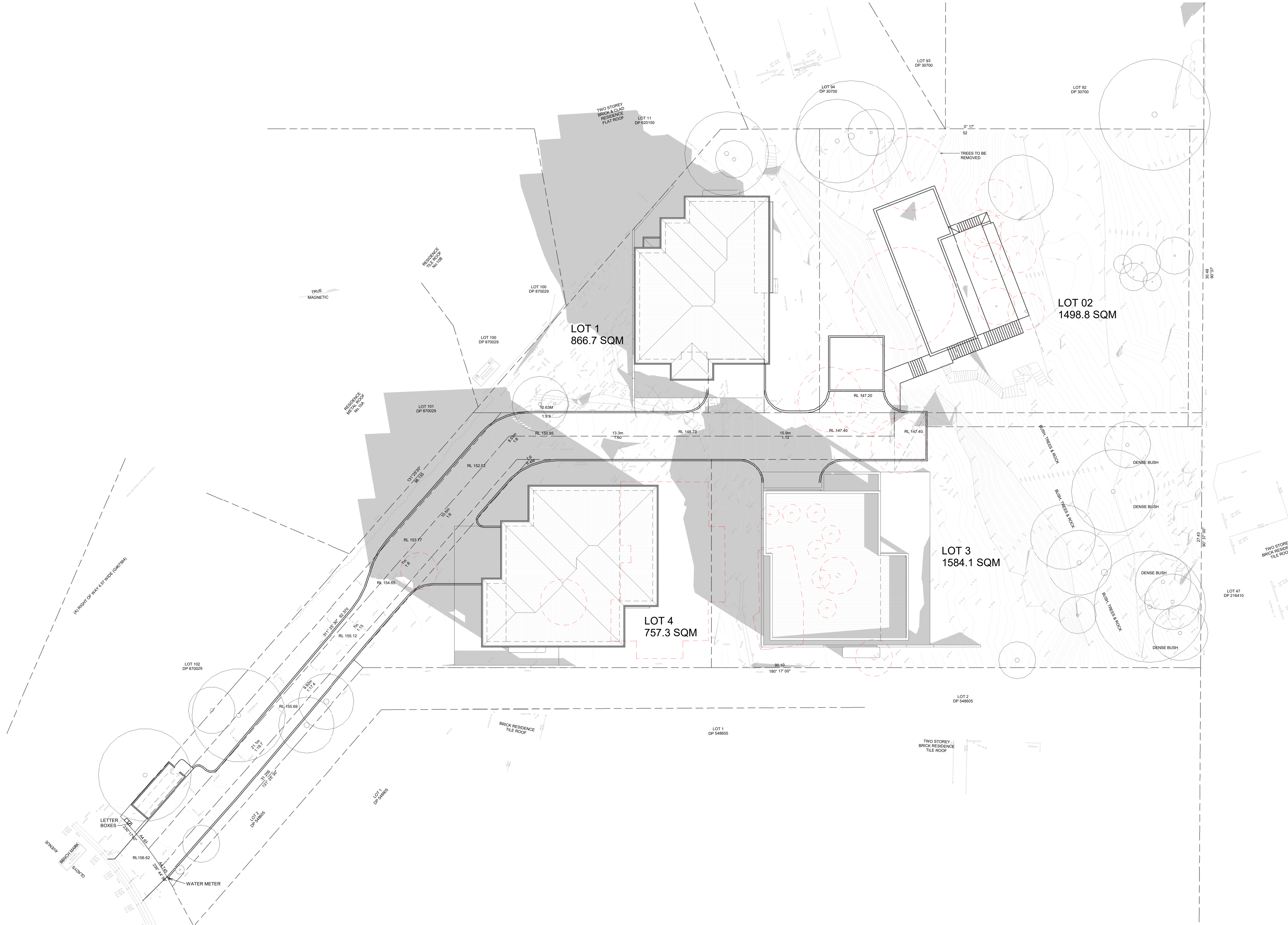


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True North Drawing  
LOT 4  
project no. date sheet no. scale @ A1 issue checked  
22-46 03/05/22 4 1: 100 D RK





1 SHADOW DIAGRAM JUNE 21st 9am  
1 : 200

**GENERAL NOTES**  
 All dimensions are to be confirmed on site by the builder/subcontractor; any incongruities must be reported to the Designer before commencement of any work.  
 No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.  
 No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor. In the event of encountering any discrepancies on these drawings, specification of subsequent instructions issued, the Builder/Subcontractor shall contact the Designer before proceeding further with any work.  
 All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.  
 Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.  
 All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.  
 All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

Drawn	Date	Issue	Amendment
EU	03/05/22	A	ISSUE FOR CLIENT
RK	18/05/22	B	REVISION B
RK	20/06/22	C	ISSUE FOR PRE DA
MZ	21/07/22	D	ISSUE FOR DA

Project: SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.  
 PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT  
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

Client: JACK ZHANG

True North

Drawing: SHADOW DIAGRAM JUNE 21st 9am

Project no / date: 22-46 / 03/05/22

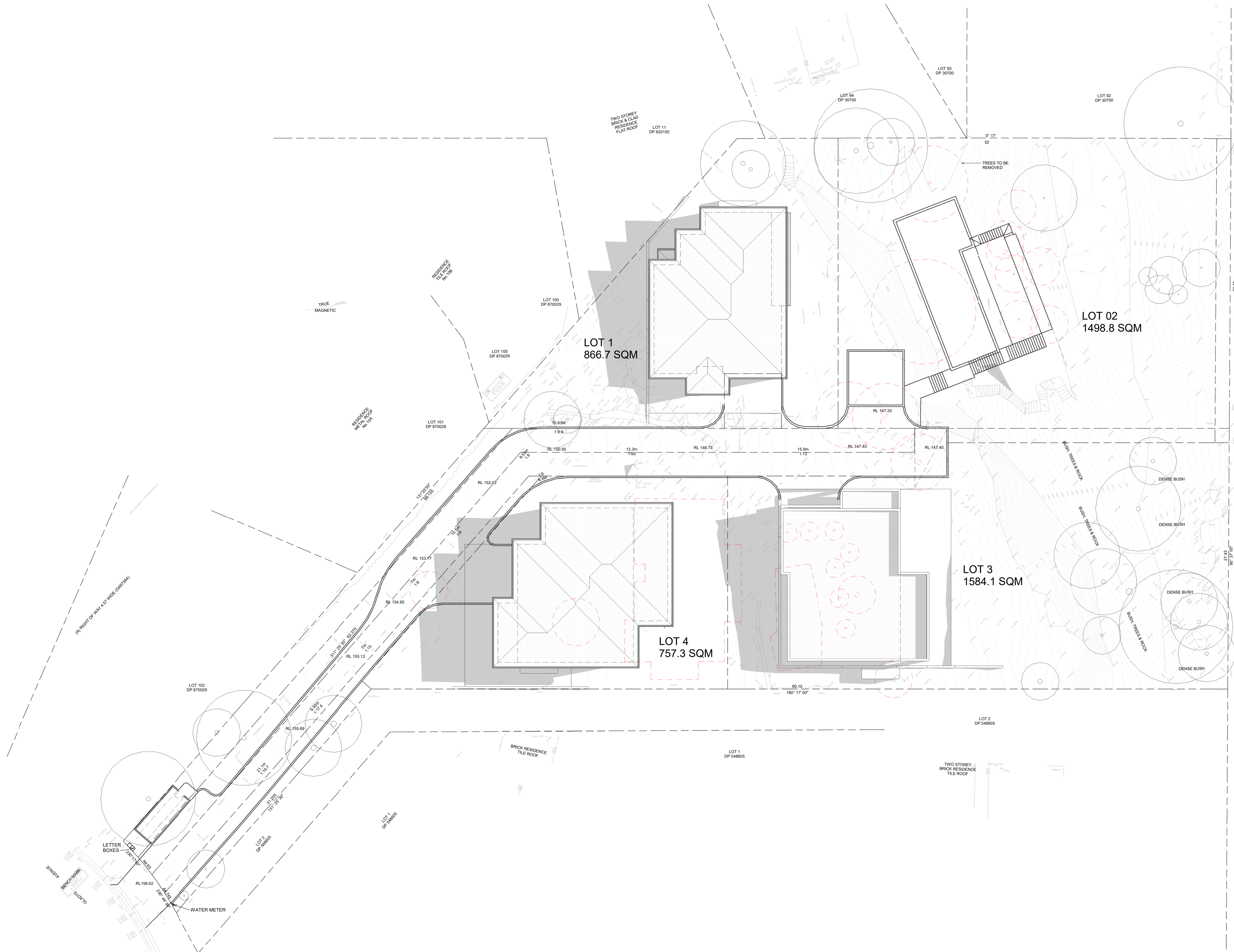
Sheet no. / scale @ A1 issue / checked: 1 of 3 / 1 : 200 / D / RK

**bdga**  
 ACCREDITED  
 BUILDING DESIGNER

67 Parkes Street,  
 Parramatta NSW 2150  
 www.knights.com.au  
 admin@knights.com.au  
 02 9633 4777  
 sbn: 68 659 200 389  
 spaces designed for life

**RK**  
 DESIGNS





1 SHADOW DIAGRAM JUNE 21st 12pm  
1 : 200

**GENERAL NOTES**  
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PROJECT  
 SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.  
 PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT  
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086



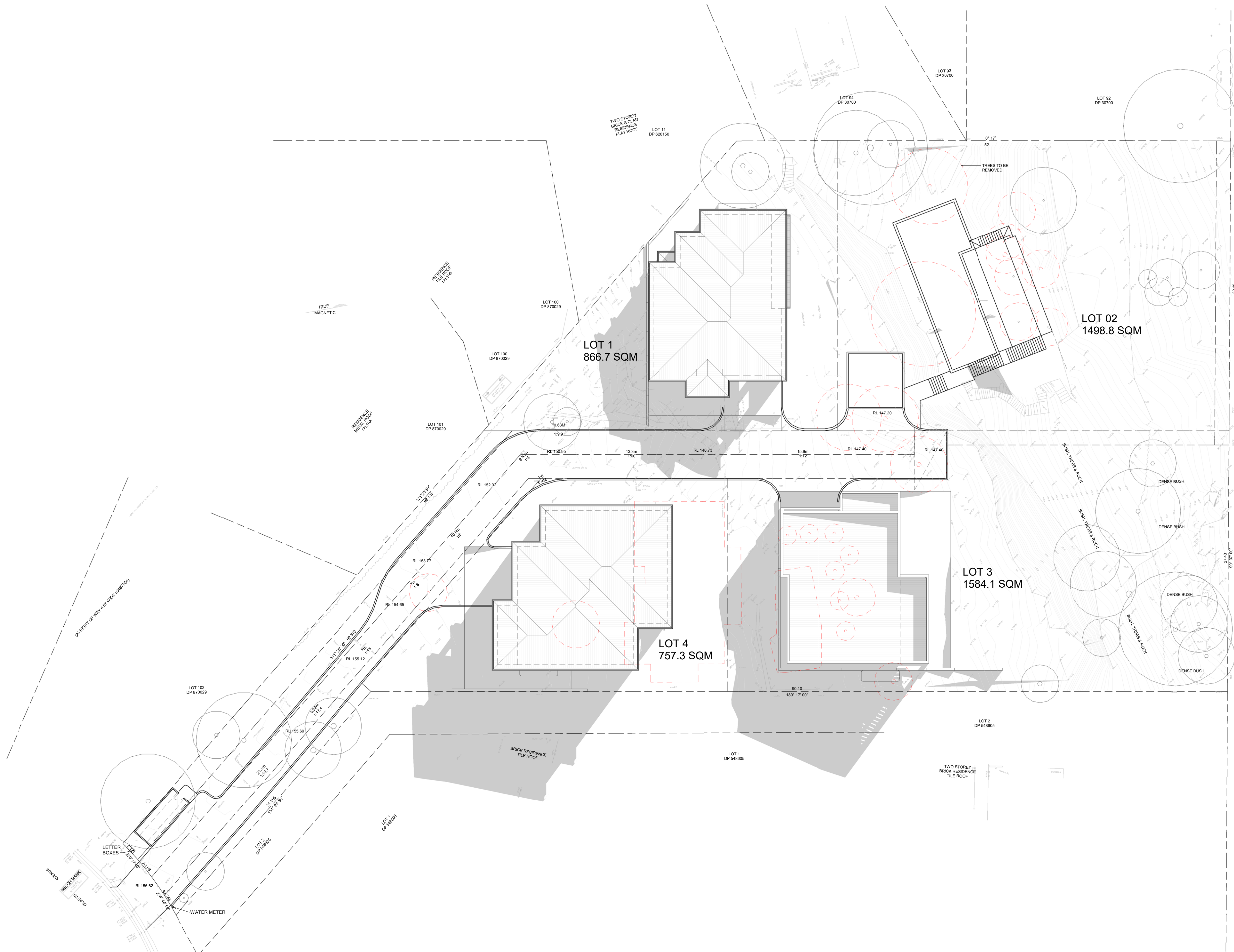
67 Parkes Street,  
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 www.rkdesigns.com.au  
 admin@rkdesigns.com.au  
 02 9633 4797  
 abn: 66 659 200 389  
 spaces designed for life

CLIENT  
 JACK ZHANG

TRUE NORTH  
 DRAWING  
 SHADOW DIAGRAM JUNE 21st 12pm  
 PROJECT NO / DATE  
 22-46 / 03/05/22  
 SHEET NO. / SCALE @ A1 ISSUE CHECKED  
 2 of 3 / 1 : 200 / D / RK







1 SHADOW DIAGRAM JUNE 21st 3pm  
1 : 200

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 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

Client: JACK ZHANG

True North

Scale: 1 : 200

Sheet: 3 of 3

Date: 03/05/22

Checked: RK

**bdga**  
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 02 9633 4797  
 sbn: 68 659 200 389  
 spaces designed for life

**RK**  
 DESIGNS







1/08/2022

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE  
CONSTRUCTION OF 2 STOREY DWELLING AT LOT 1, 12-14 GLADYS AVENUE, FRENCHS FOREST,  
NSW, 2086**

**EXTERNAL WALLS**

Finish	<b>Paint Finish</b>	
Manufacturer	<b>Dulux</b>	
Colour	<b>Puppy</b>	

**ROOF**

Type	<b>Pitched Roof</b>	
Manufacturer	<b>Tiles</b>	
Colour	<b>Monier concrete</b>	
Finish	<b>Caraway</b>	

**GUTTERS, DOWNPIPES AND FASCIA**

Colour	<b>Paint Finish</b>	
Finish	<b>Dulux</b>	
Colour	<b>Dark Metal</b>	

**ALUMINIUM FRAME WINDOWS & SLIDING DOOR**

Finish	<b>Paint Finish</b>	
Paint manufacturer	<b>Dulux</b>	
Colour	<b>Dark Metal</b>	

**POST AND RAILING**

Finish	<b>Paint Finish</b>	
Manufacturer	<b>Dulux</b>	
Colour	<b>Dark Metal</b>	







1/08/2022

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE  
CONSTRUCTION OF 2 STOREY DWELLING AT LOT 3, 12-14 GLADYS AVENUE, FRENCHS FOREST,  
NSW, 2086**

**EXTERNAL WALLS**

Finish	<b>Paint Finish</b>	
Manufacturer	<b>Dulux</b>	
Colour	<b>Charter Grey</b>	


**ROOF**

Type	<b>Flat roof</b>	
Manufacturer	<b>Colorbond</b>	
Colour	<b>Babylon</b>	
Finish	<b>Metal</b>	

**GUTTERS, DOWNPIPES AND FASCIA**

Colour	<b>Paint Finish</b>	
Finish	<b>Dulux</b>	
Colour	<b>Dark Metal</b>	

**ALUMINIUM FRAME WINDOWS & SLIDING DOOR**

Finish	<b>Paint Finish</b>	
Paint manufacturer	<b>Dulux</b>	
Colour	<b>Dark Metal</b>	

**POST AND RAILING**

Finish	<b>Paint Finish</b>	
Manufacturer	<b>Dulux</b>	
Colour	<b>Dark Metal</b>	






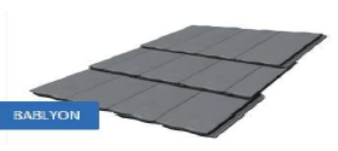
1/08/2022

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE  
CONSTRUCTION OF 2 STOREY DWELLING AT LOT 4, 12-14 GLADYS AVENUE, FRENCHS FOREST,  
NSW, 2086**

**EXTERNAL WALLS**

Finish	<b>Paint Finish</b>	
Manufacturer	<b>Dulux</b>	
Colour	<b>Subdue</b>	

**ROOF**

Type	<b>Pitched Roof</b>	
Manufacturer	<b>Tiles</b>	
Colour	<b>Monier concrete</b>	
Finish	<b>Babylon</b>	

**GUTTERS, DOWNPIPES AND FASCIA**

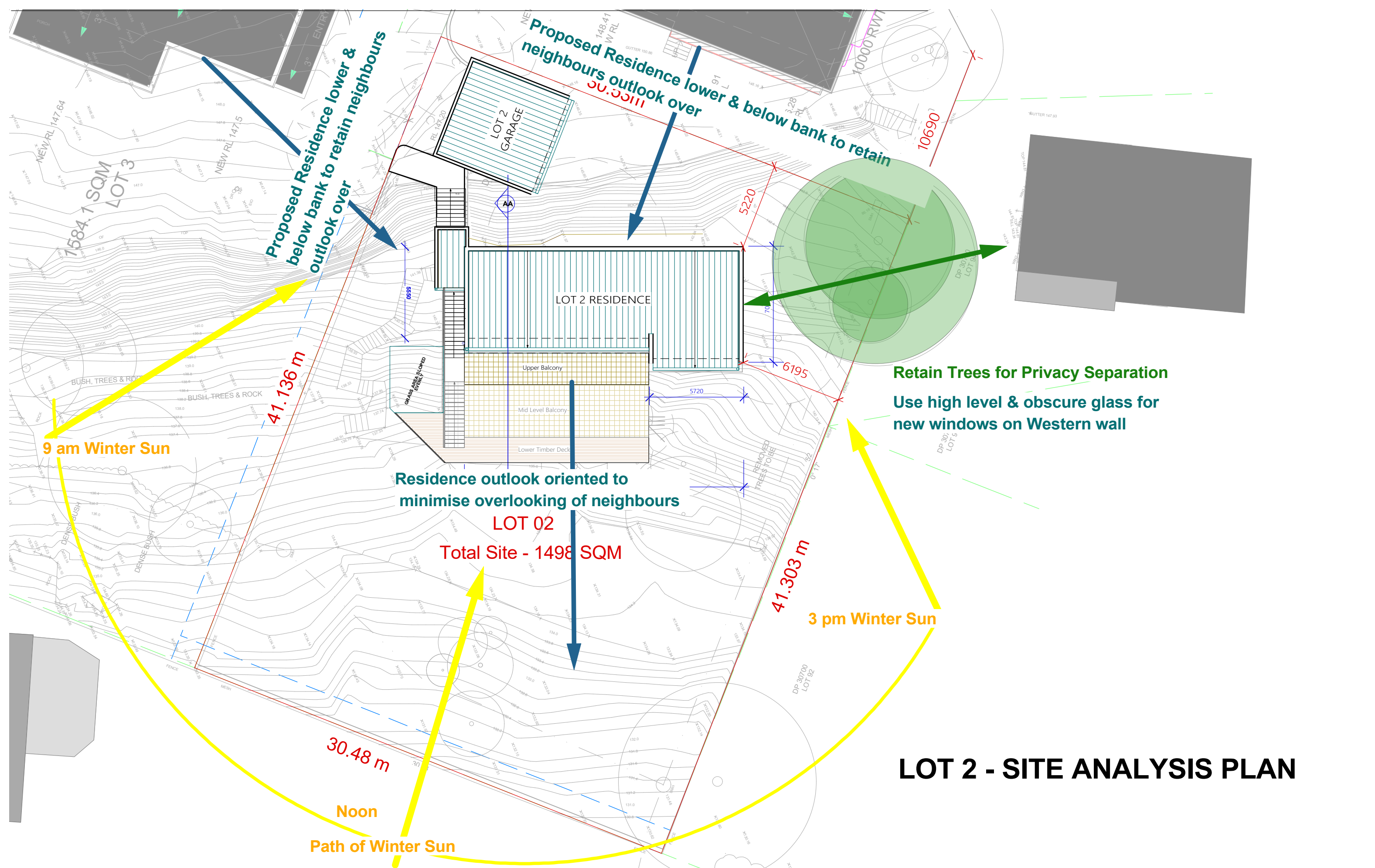
Colour	<b>Paint Finish</b>	
Finish	<b>Dulux</b>	
Colour	<b>Dark Metal</b>	

**ALUMINIUM FRAME WINDOWS & SLIDING DOOR**

Finish	<b>Paint Finish</b>	
Paint manufacturer	<b>Dulux</b>	
Colour	<b>Dark Metal</b>	

**POST AND RAILING**

Finish	<b>Paint Finish</b>	
Manufacturer	<b>Dulux</b>	
Colour	<b>Dark Metal</b>	



# LOT 2 - SITE ANALYSIS PLAN

**NKP ARCHITECTURE**  
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 SYDNEY NSW 2209  
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 E: neil@nkparchitecture.com.au  
 W: nkparchitecture.com.au

CLIENT:  
**MR JACK ZHANG**

PROJECT ADDRESS:  
**No. 12-14 GLADYS AVENUE,  
 FRENCHS FOREST NSW 2030**

REVISION HISTORY:

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

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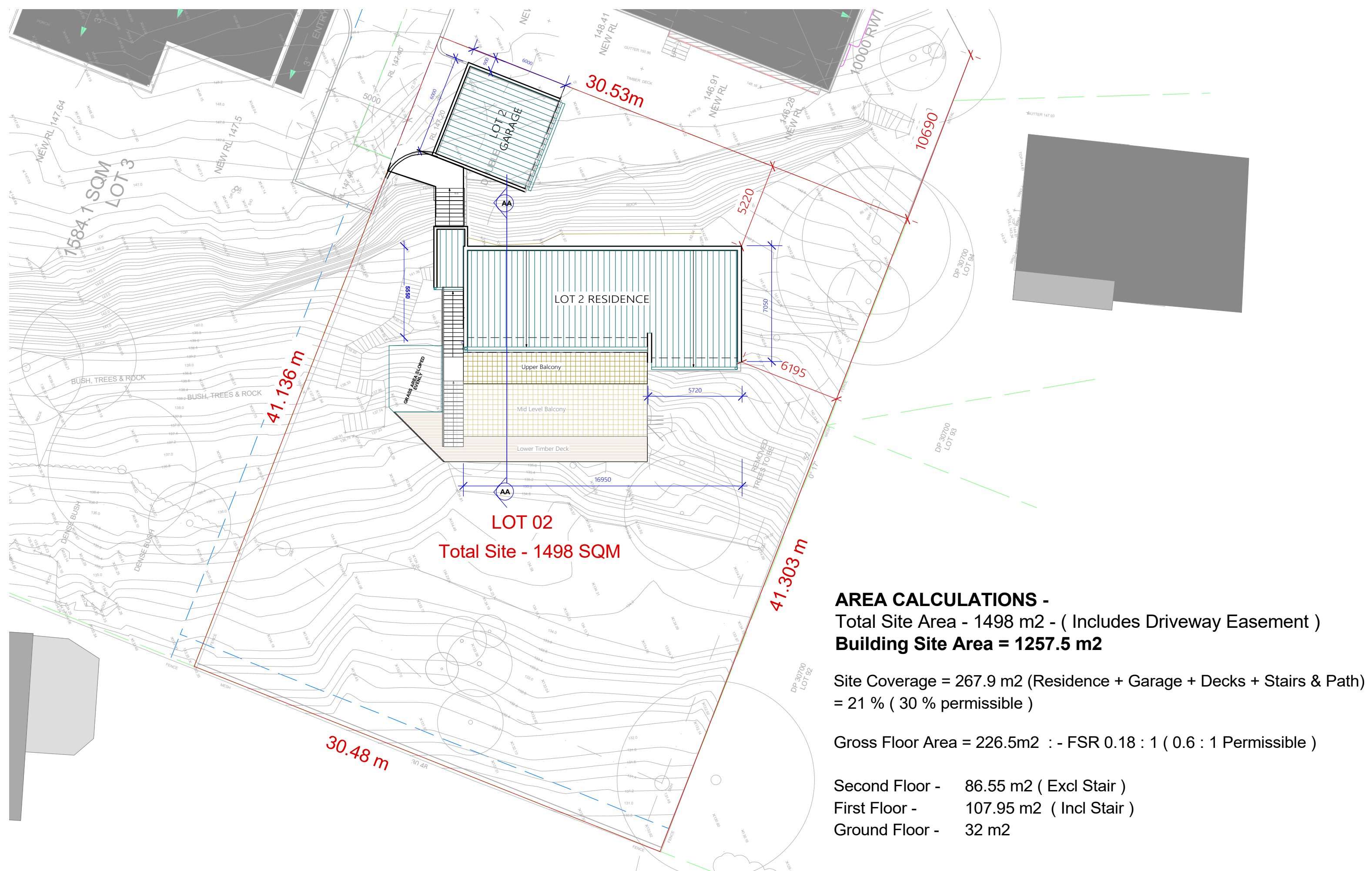
DRAWING:  
**LOT 2 - SITE ANALYSIS PLAN**

Magnetic North

SCALE:  
 1: 200 @ A3

DRAWING NO.  
**DA 00**





**AREA CALCULATIONS -**  
 Total Site Area - 1498 m<sup>2</sup> - ( Includes Driveway Easement )  
**Building Site Area = 1257.5 m<sup>2</sup>**

Site Coverage = 267.9 m<sup>2</sup> (Residence + Garage + Decks + Stairs & Path)  
 = 21 % ( 30 % permissible )

Gross Floor Area = 226.5m<sup>2</sup> :- FSR 0.18 : 1 ( 0.6 : 1 Permissible )

Second Floor - 86.55 m<sup>2</sup> ( Excl Stair )  
 First Floor - 107.95 m<sup>2</sup> ( Incl Stair )  
 Ground Floor - 32 m<sup>2</sup>

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 FRENCHS FOREST NSW 2030**

REVISION HISTORY:

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16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

GENERAL NOTES:

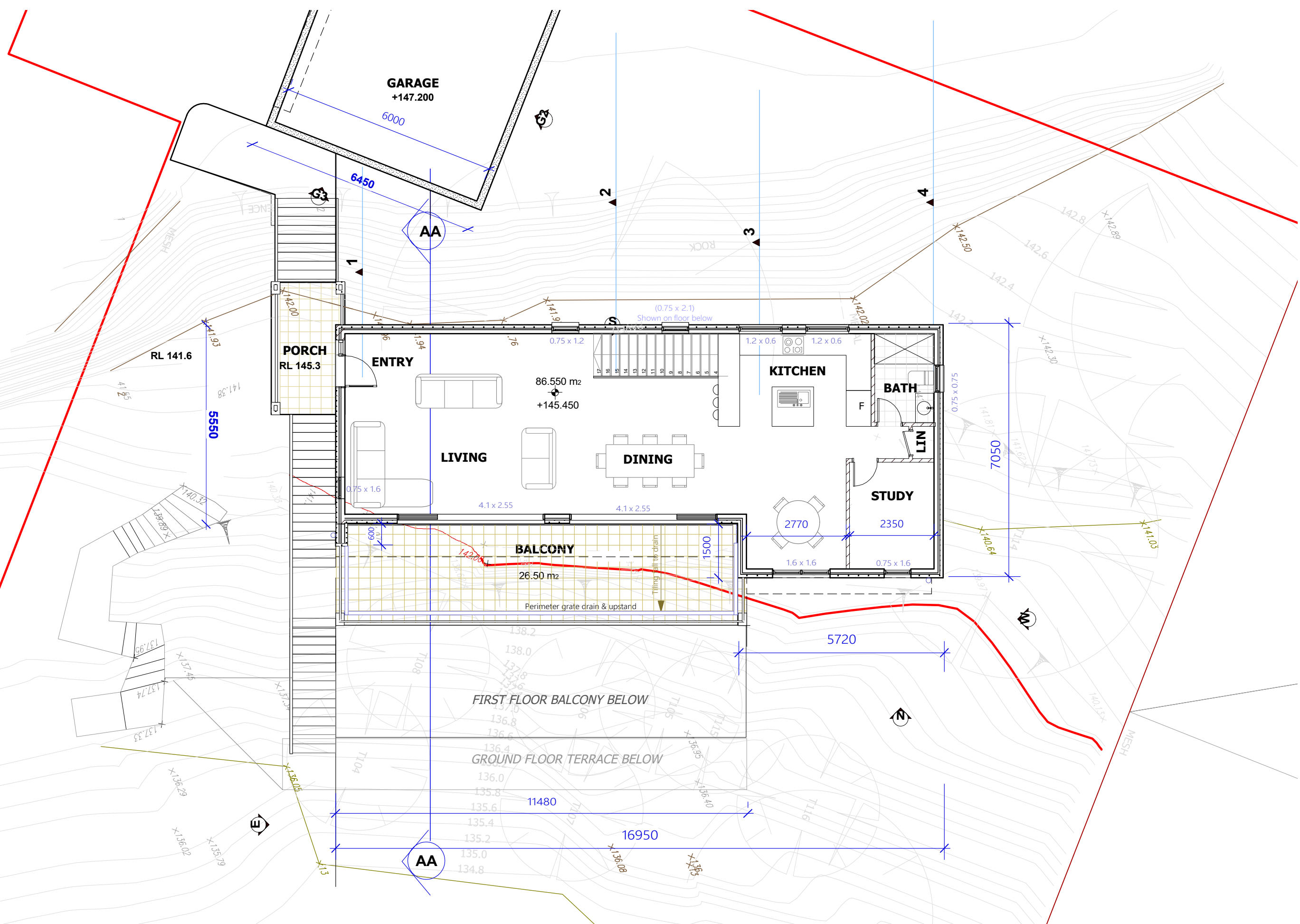
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DRAWING:  
**LOT 2 - PROPOSED SITE & ROOF PLAN**

Magnetic North

SCALE:  
 1: 200 @ A3

DRAWING NO.  
**DA 01**



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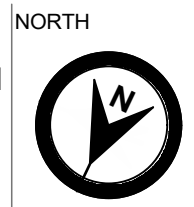
REVISION HISTORY:

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

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DRAWING:  
**LOT 2 - PROPOSED SECOND FLOOR PLAN**

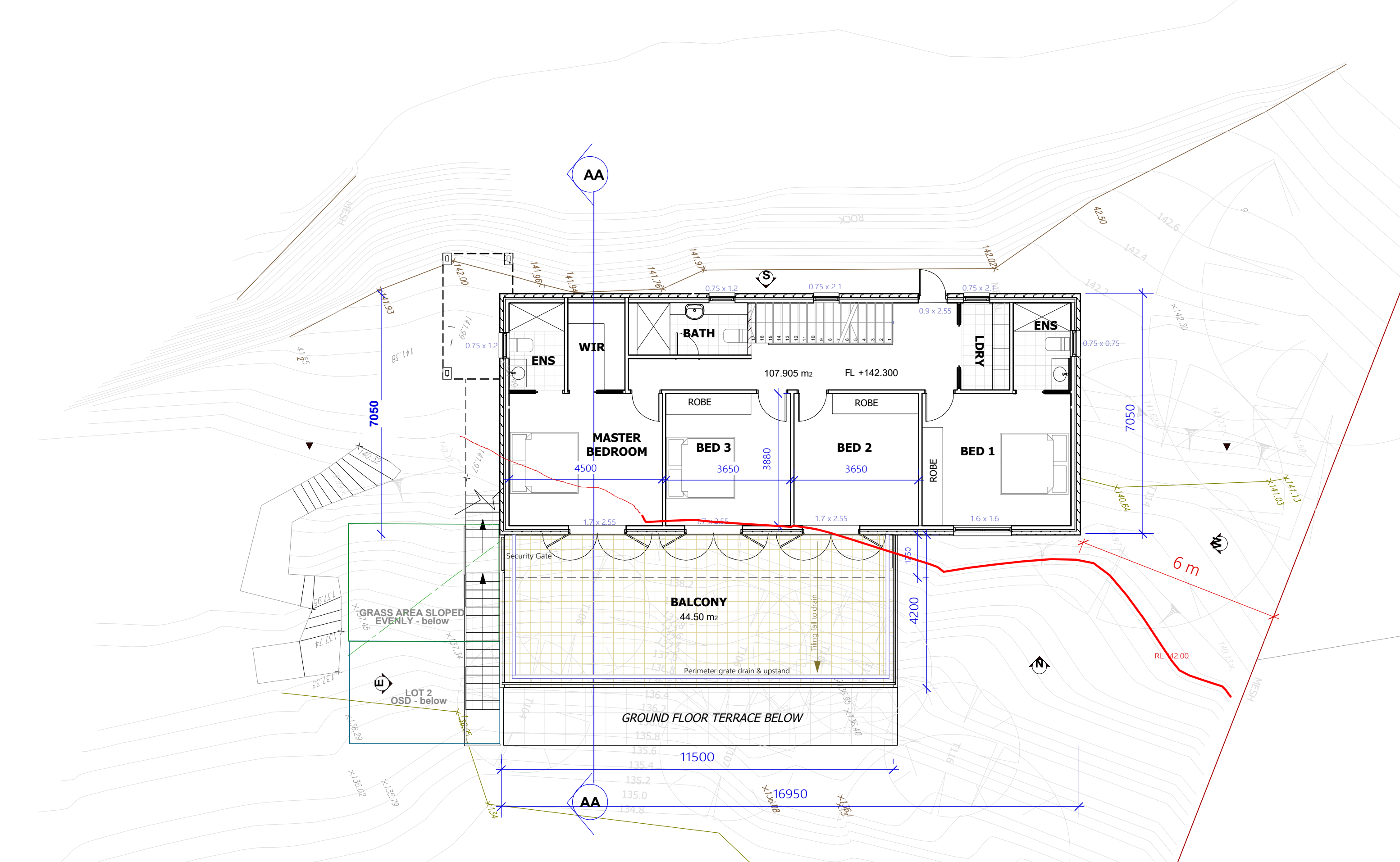


NORTH

SCALE:  
**1:100 @ A3**

DRAWING NO.  
**DA 02**





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 FRENCHS FOREST NSW 2030**

REVISION HISTORY:

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23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

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DRAWING:

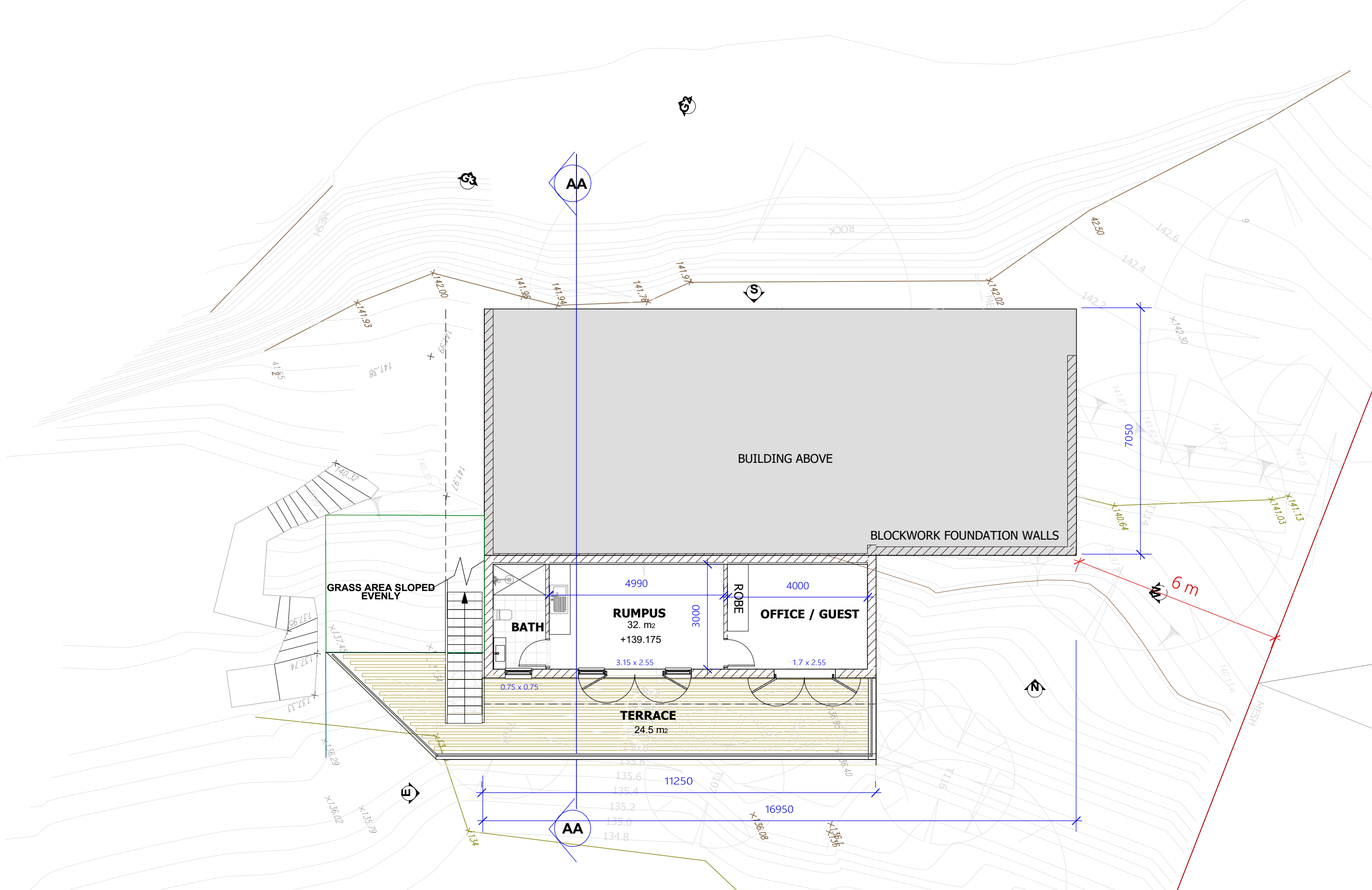
**LOT 2 - PROPOSED FIRST FLOOR PLAN**

Magnetic North



SCALE:  
**1:100 @ A3**

DRAWING NO.  
**DA 03**



**NKP ARCHITECTURE**  
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CLIENT:  
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PROJECT ADDRESS:  
**No. 12-14 GLADYS AVENUE,  
 FRENCHS FOREST NSW 2030**

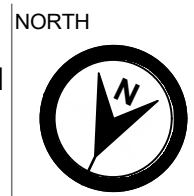
REVISION HISTORY:

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

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DRAWING:  
**LOT 2 - PROPOSED GROUND FLOOR PLAN**

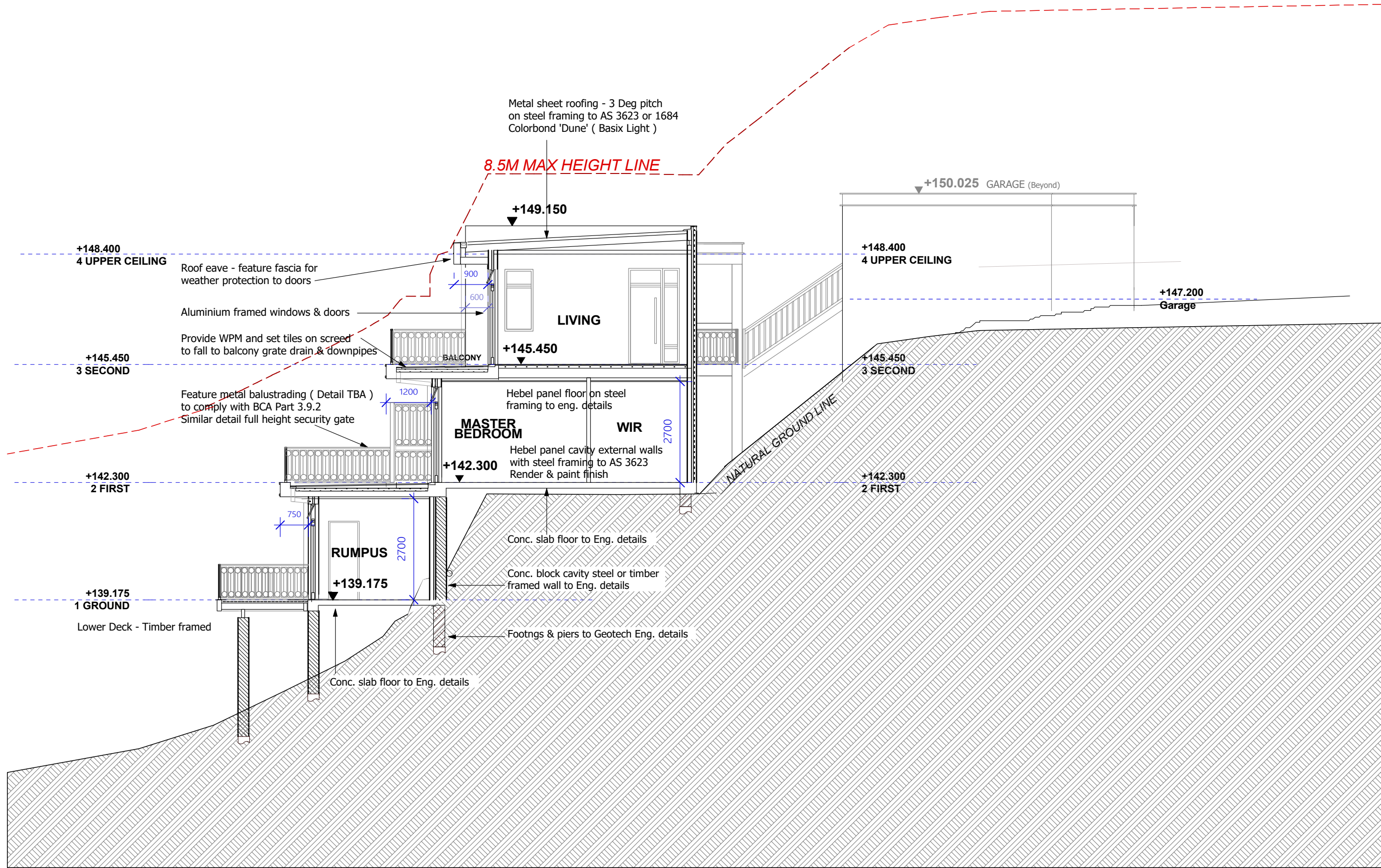


NORTH

SCALE:  
**1:100 @ A3**

DRAWING NO.  
**DA 04**





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CLIENT:  
**MR JACK ZHANG**

PROJECT ADDRESS:  
**No. 12-14 GLADYS AVENUE,  
 FRENCHS FOREST NSW 2030**

REVISION HISTORY:

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Consultant check - DA	A
15 Aug.22	Issued for DA	B

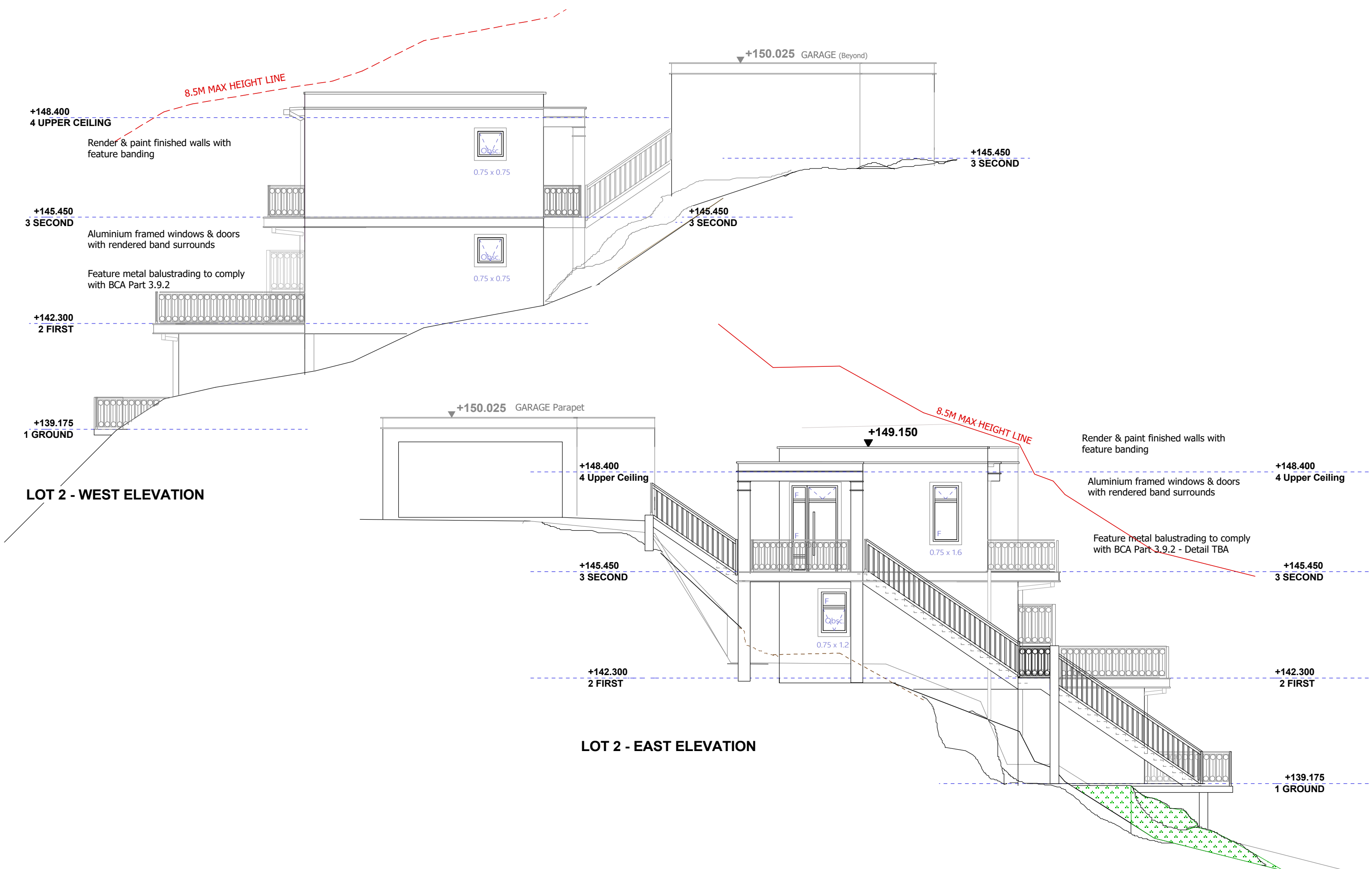
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DRAWING:  
**LOT 2 - PROPOSED SECTION A-A**

SCALE:  
**1:100 @ A3**

DRAWING NO.  
**DA 05**



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CLIENT:  
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 FRENCHS FOREST NSW 2030**

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30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

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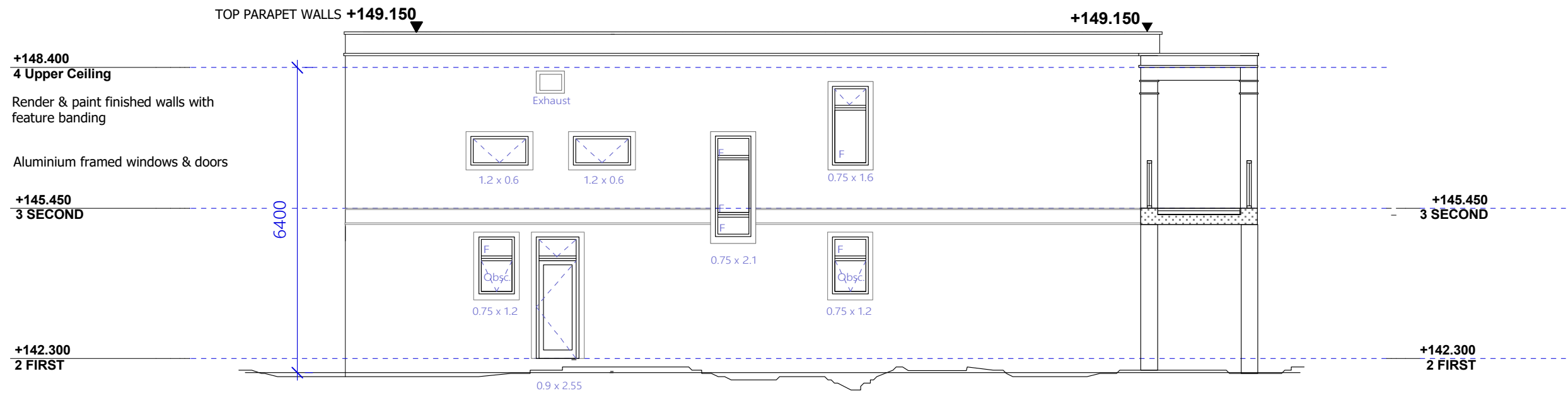
DRAWING:  
**LOT 2 - EAST & WEST ELEVATION**

NORTH

SCALE:  
**1:100 @ A3**

DRAWING NO.  
**DA 06**





**LOT 2 - SOUTH ELEVATION**



**LOT 2 - NORTH ELEVATION**



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DRAWING:

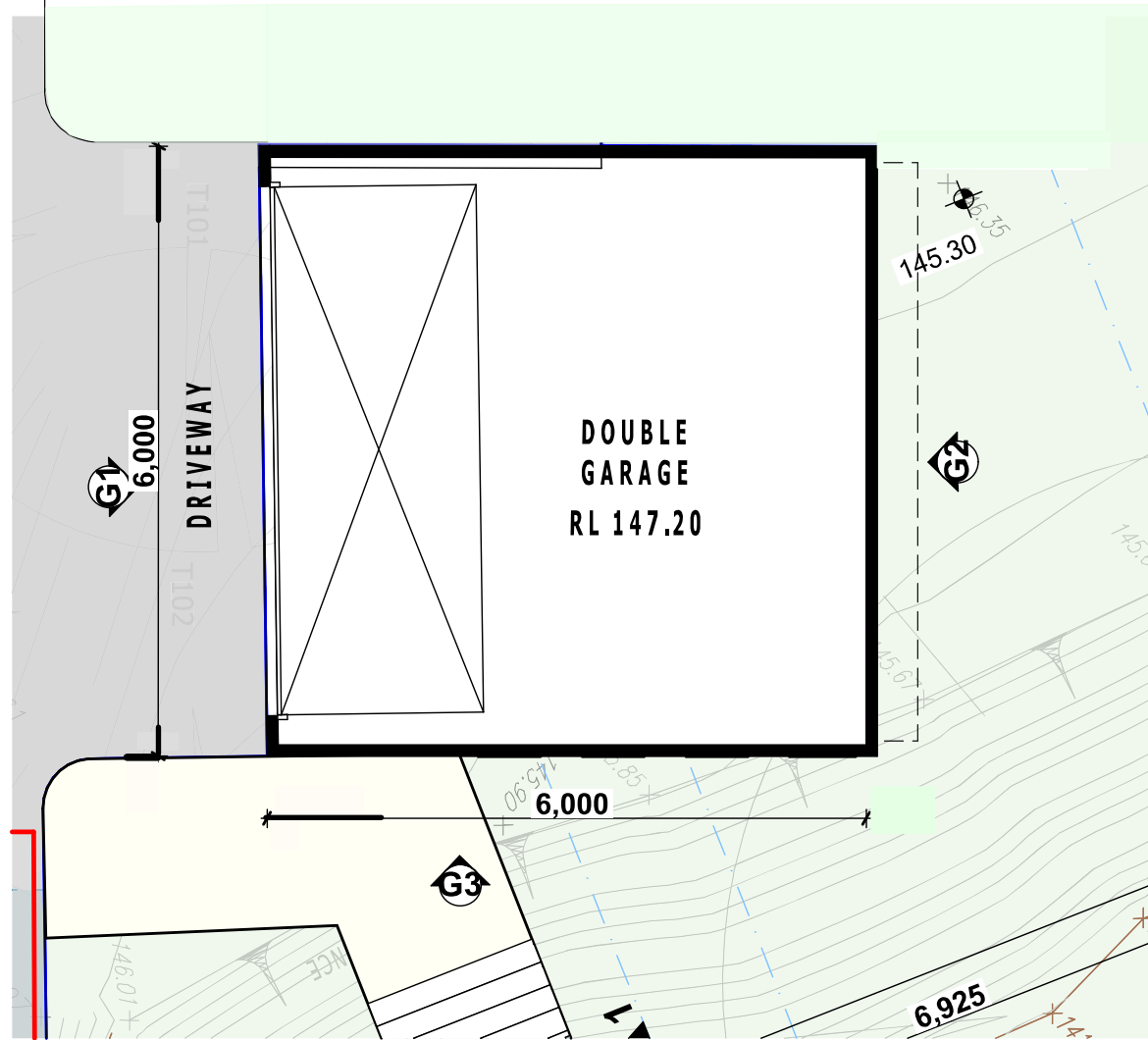
**LOT 2 - NORTH & SOUTH ELEVATION**

NORTH

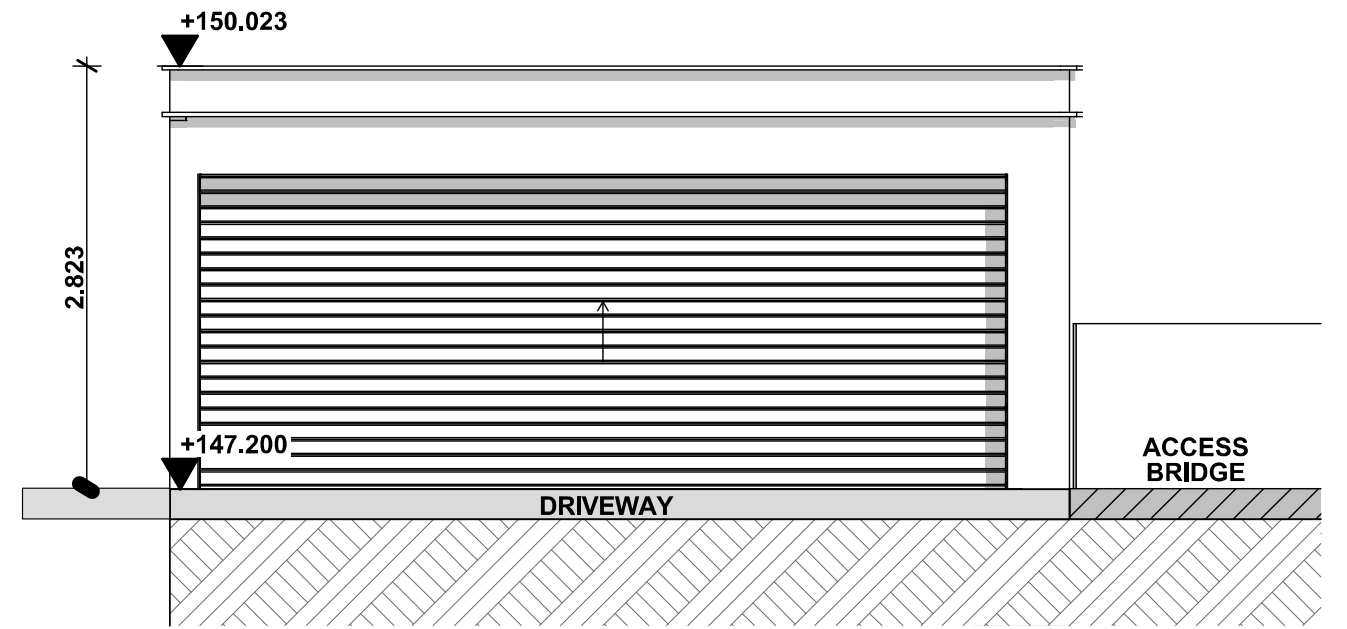
SCALE:  
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DRAWING NO.

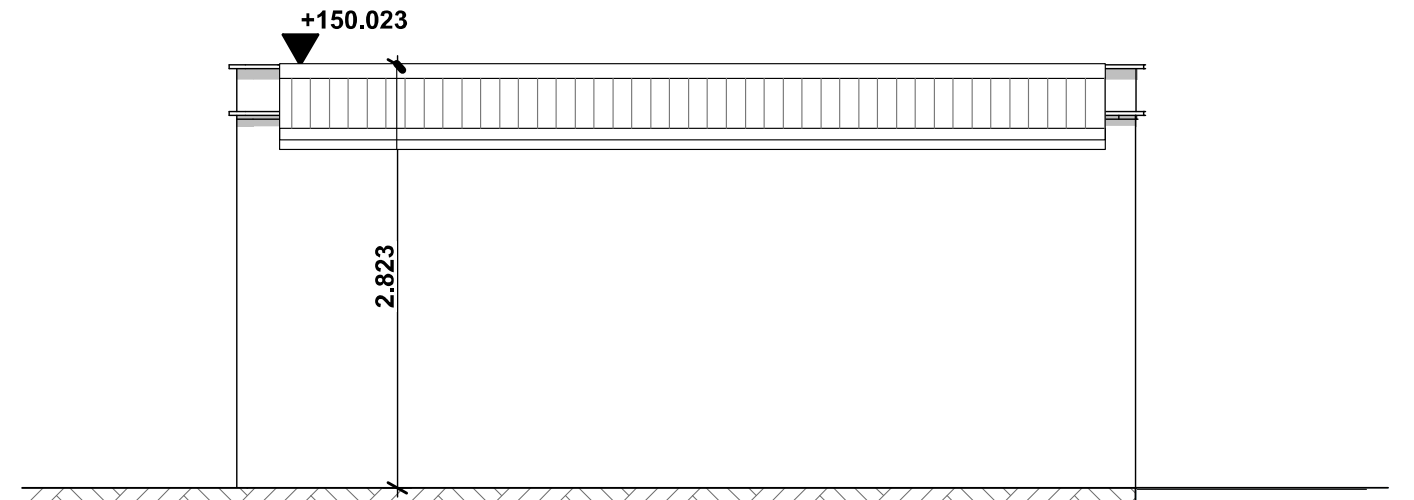
**DA 07**



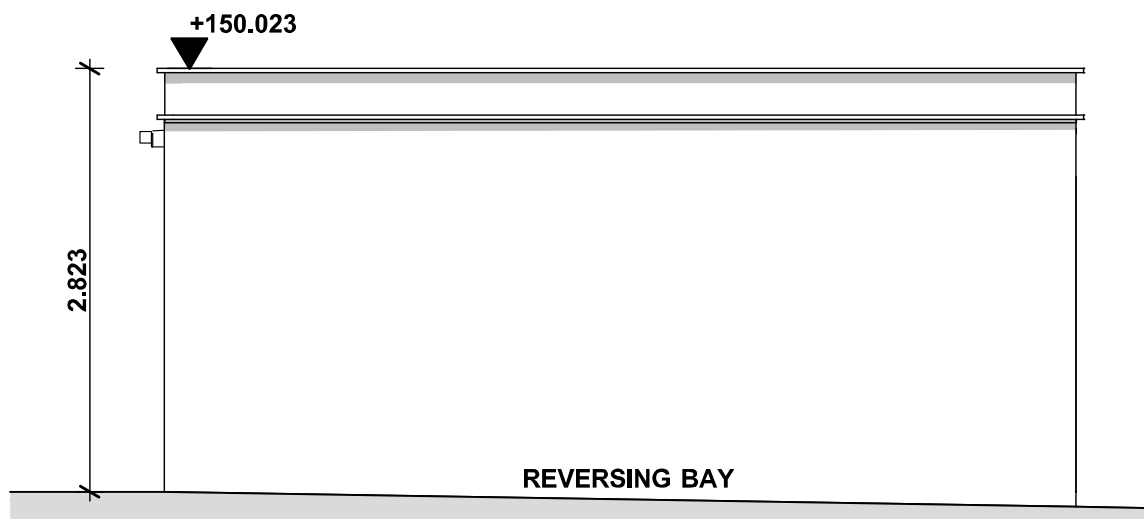
1. GARAGE FLOOR PLAN 1:75



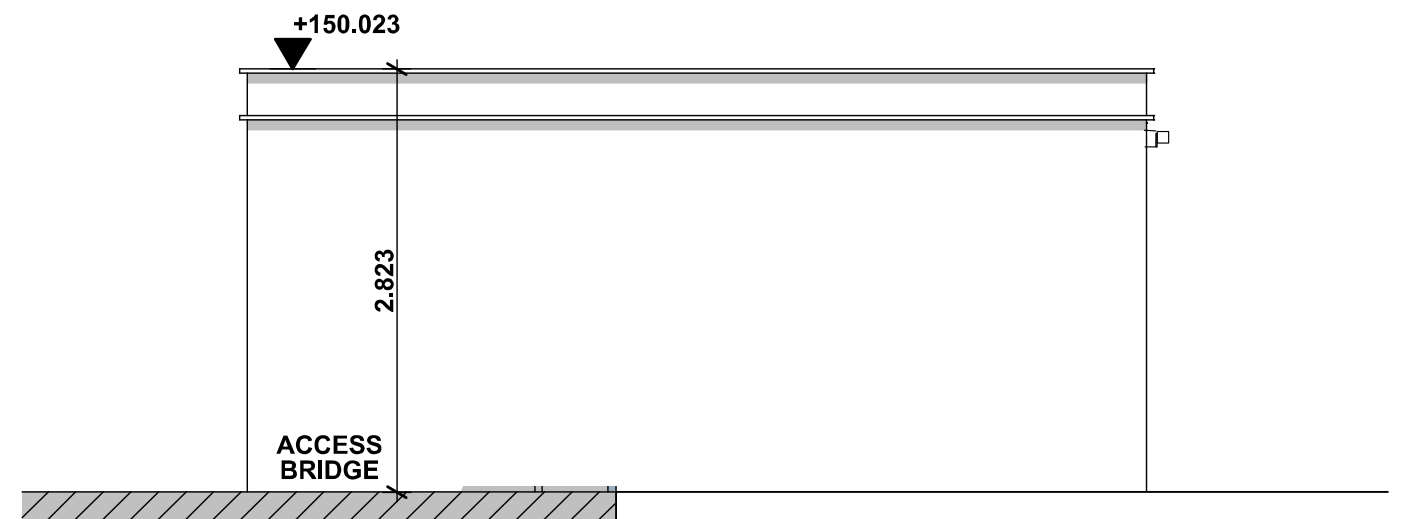
G1 EAST ELEVATION 1:50



G2 WEST ELEVATION 1:50



G4 SOUTH ELEVATION 1:50



G3 NORTH ELEVATION 1:50



NKP ARCHITECTURE  
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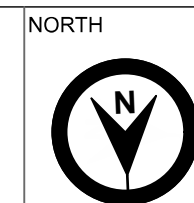
CLIENT:  
**MR JACK ZHANG**

PROJECT ADDRESS:  
**No. 12-14 GLADYS AVENUE,  
FRENCHS FOREST NSW 2030**

REVISION HISTORY:		
DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A

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DRAWING:  
**LOT 2 - PROPOSED GARAGE PLAN & ELEVATIONS**



NORTH  
SCALE:  
1:75, 1:50, 1:100@ A3  
DRAWING NO.  
DA 08



## LOT 2 - PROPOSED FINISHES - DARK EARTH COLOURS



**NKP ARCHITECTURE**  
NSW ARB No. 10425  
BEVERLY HILLS  
SYDNEY NSW 2209  
M: 04 2072 5400  
E: neil@nkparchitecture.com.au  
W: nkparchitecture.com.au

CLIENT:

**MR JACK ZHANG**

PROJECT ADDRESS:

**No. 12-14 GLADYS AVENUE,  
FRENCHS FOREST NSW 2030**

REVISION HISTORY:

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A

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DRAWING:

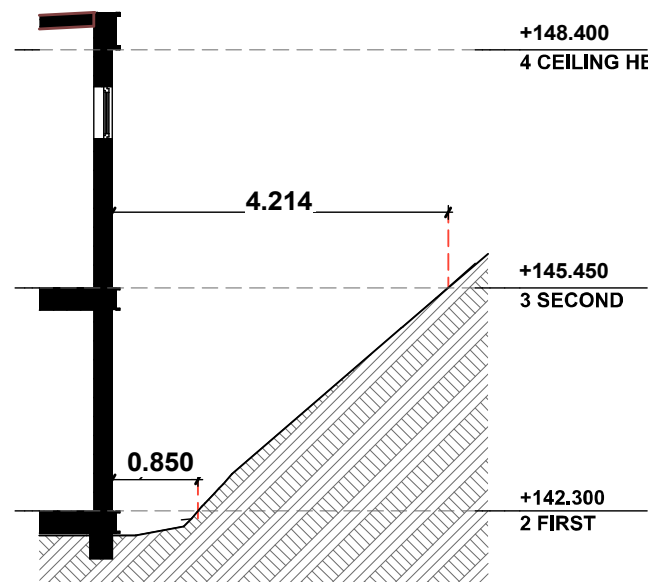
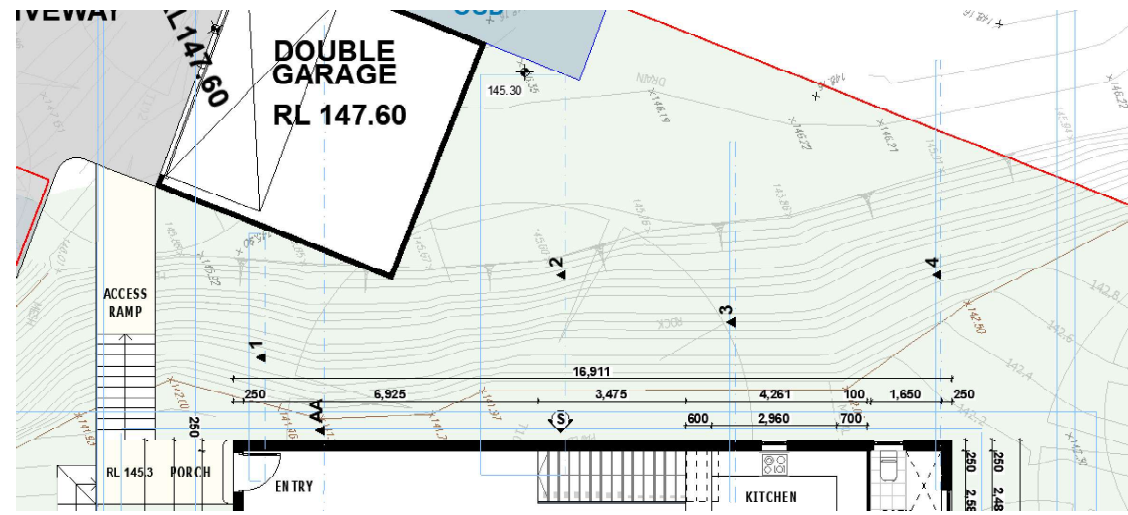
**LOT 2 - PROPOSED COLOURS & FINISHES**

SCALE:

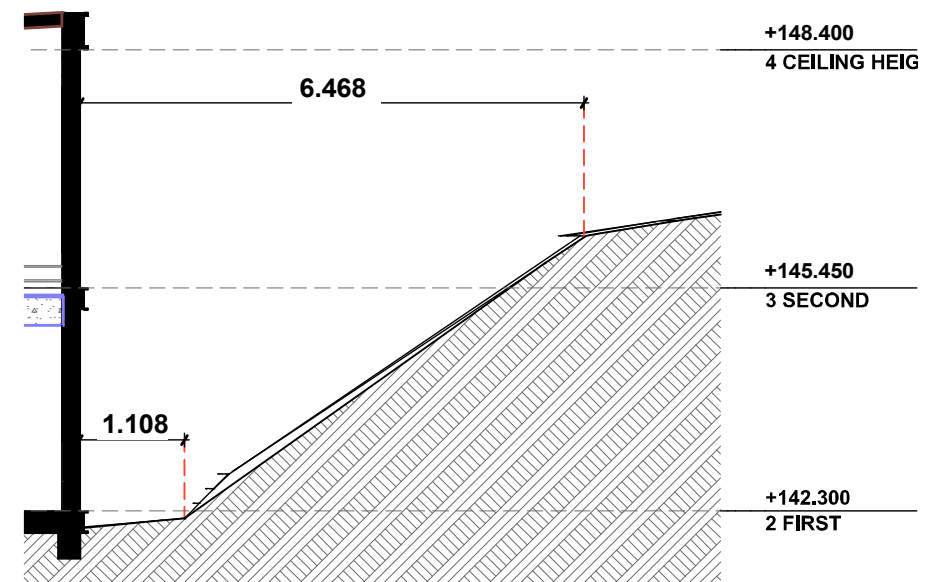
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DRAWING NO.

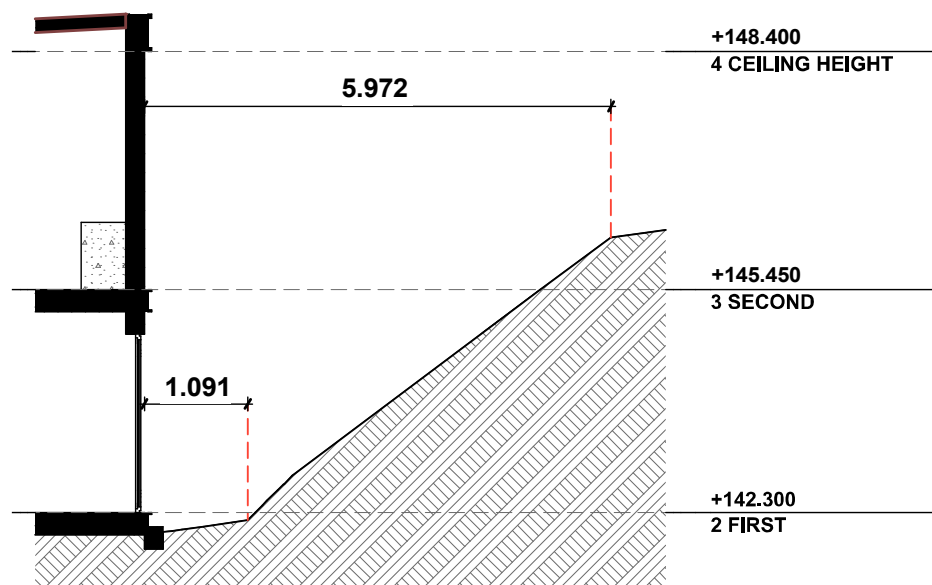
**Colours & Finishes  
Schedule**



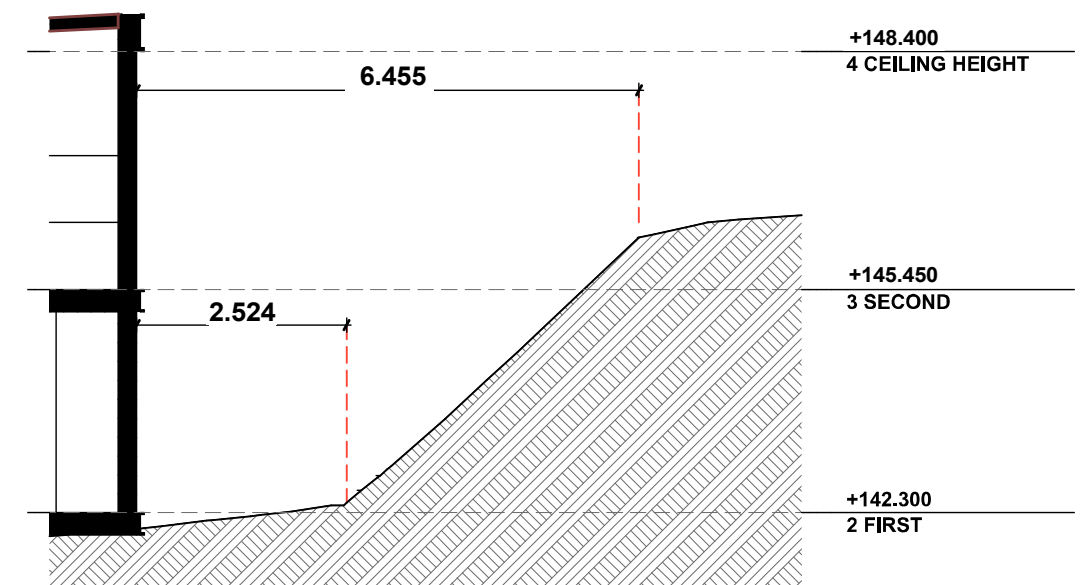
SECTION 1



SECTION 2



SECTION 3



SECTION 4



NKP ARCHITECTURE  
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REVISION HISTORY:

DATE	COMMENT	REV.
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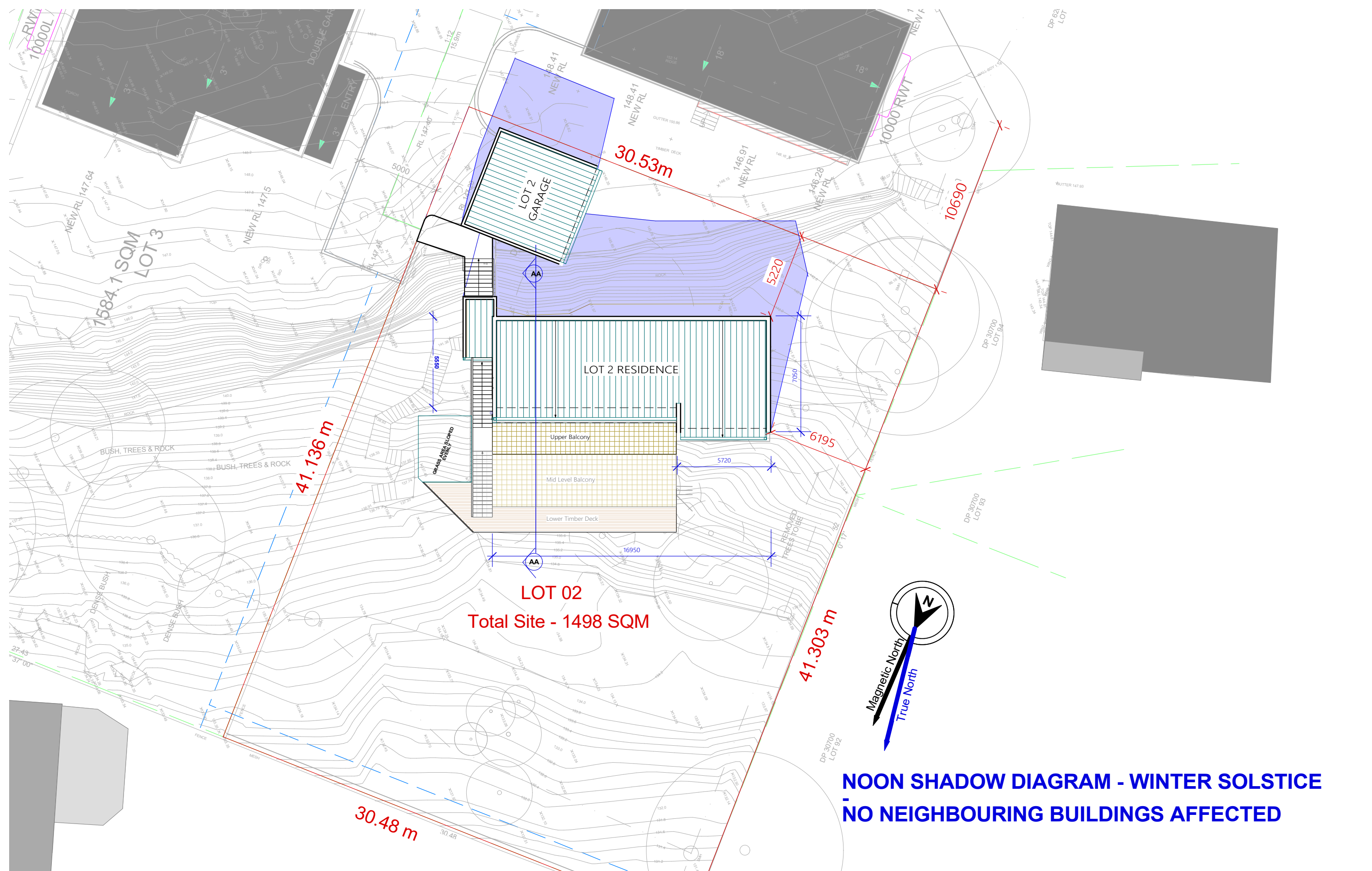
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DRAWING:  
**LOT 2 - PROXIMITY TO CLIFF**

NORTH

SCALE:  
**1:100@ A3**





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**REVISION HISTORY:**

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B

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**DRAWING:**

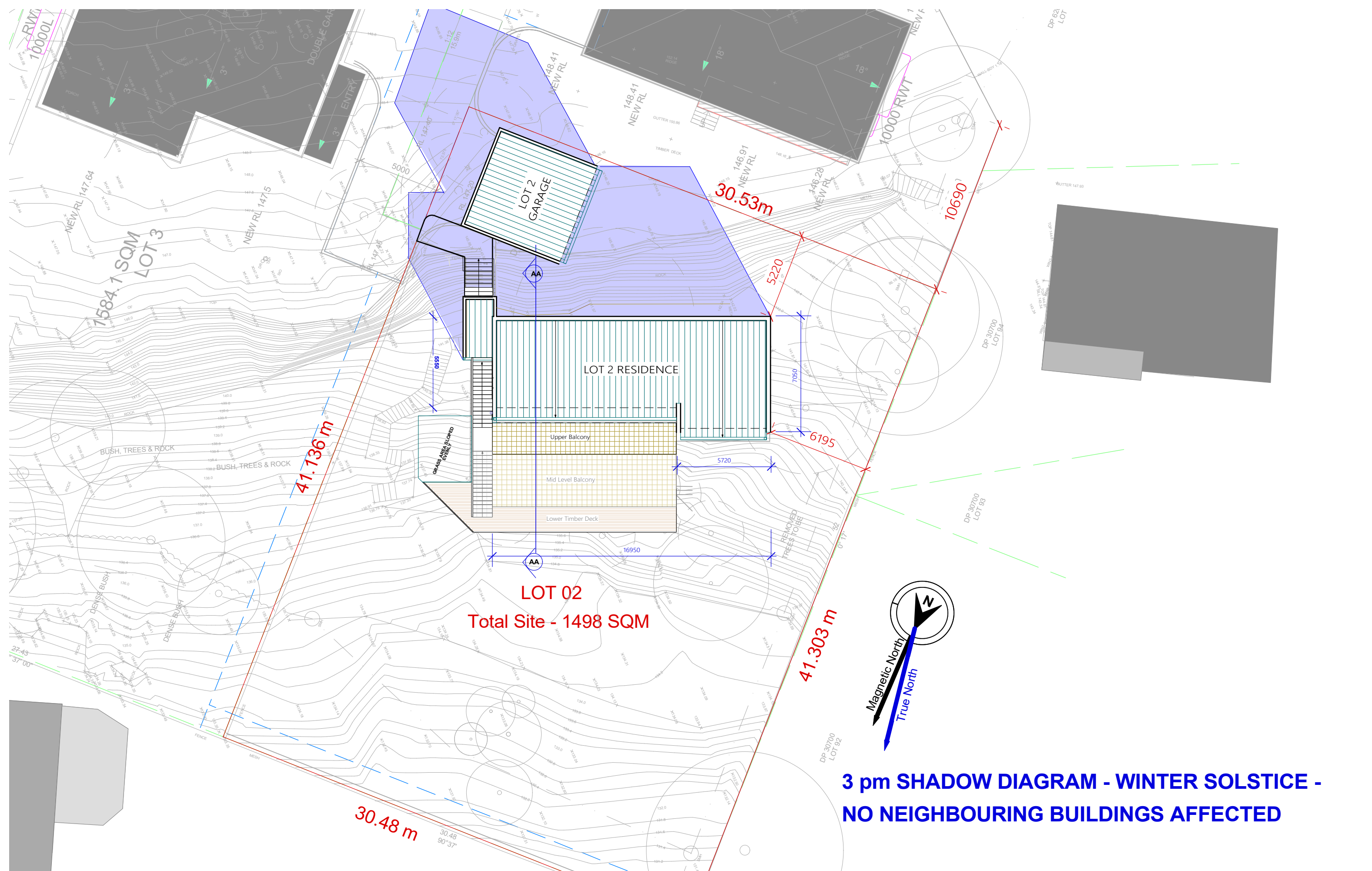
**LOT 2 - Noon Shadow Diagram**



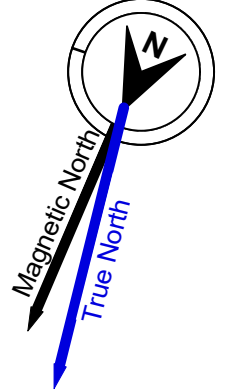
SCALE:  
 1: 200 @ A3

DRAWING NO.

**SD 01**



**LOT 02**  
**Total Site - 1498 SQM**



**3 pm SHADOW DIAGRAM - WINTER SOLSTICE -  
 NO NEIGHBOURING BUILDINGS AFFECTED**

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REVISION HISTORY:

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
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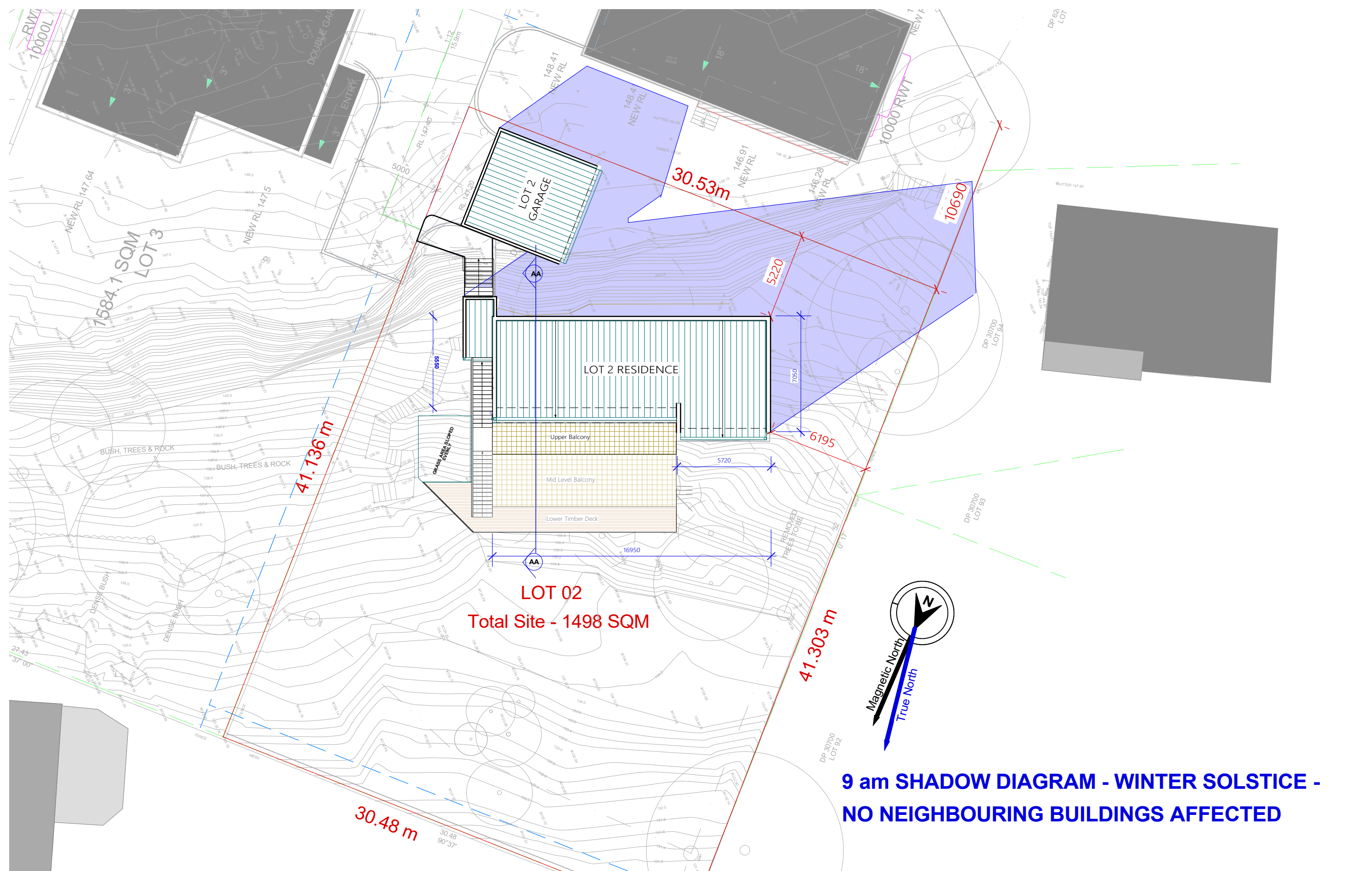
DRAWING:  
**LOT 2 - Noon Shadow Diagram**

Magnetic North

SCALE:  
 1: 200 @ A3

DRAWING NO.  
**SD 01**





**NKP ARCHITECTURE**  
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23.03.22	FOR CONSULTANTS	A
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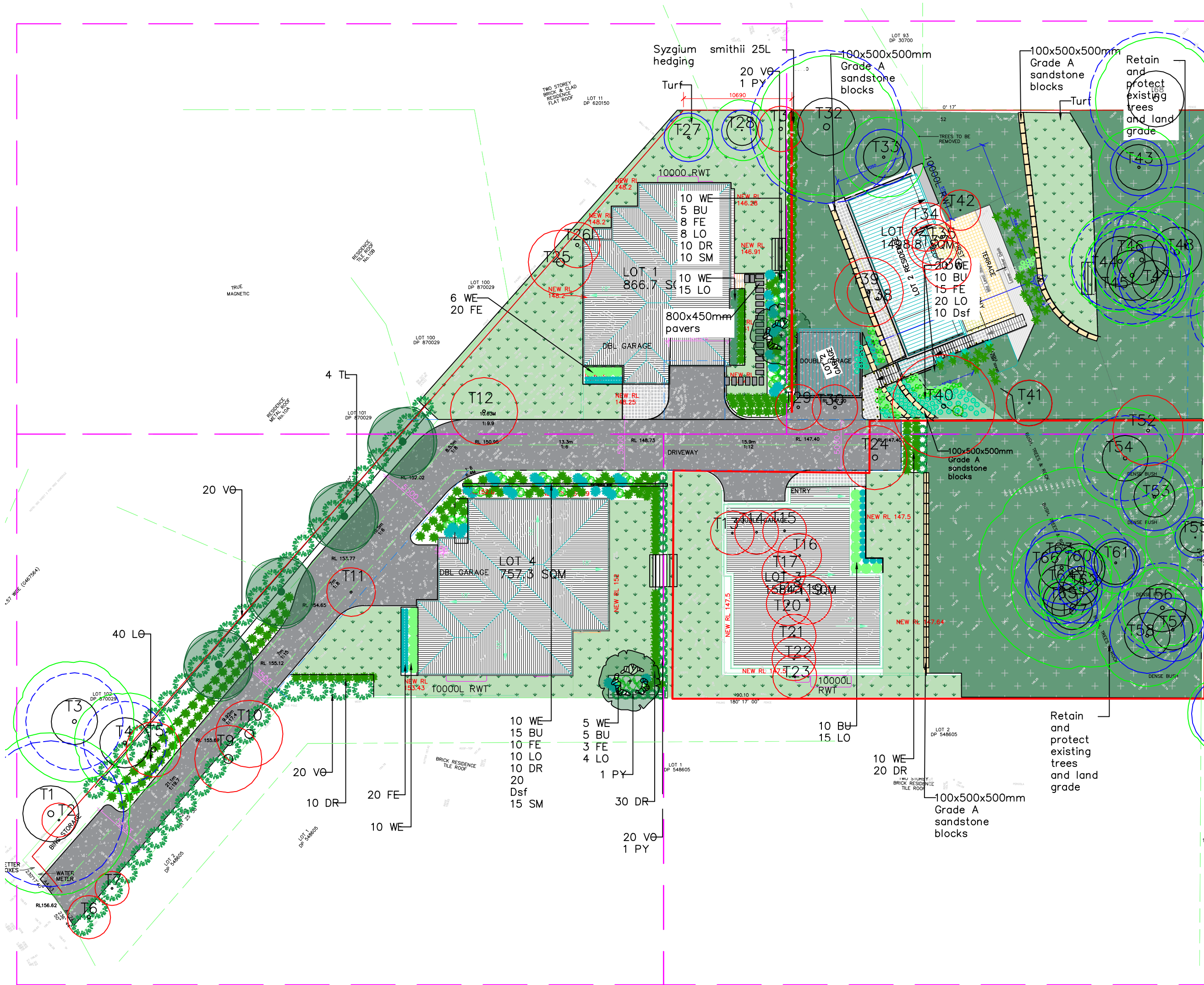
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DRAWING:  
**LOT 2 - Noon Shadow Diagram**

Magnetic North  
SCALE:  
1: 200 @ A3  
DRAWING NO.  
**SD 03**







NOTES: preference to scaling.  
 2. The contractor shall check all dimensions site before commencing work.  
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**KEY**

- Existing tree to be retained
- Existing tree to be removed
- Proposed Tree
- Proposed grasses/shrubs
- Proposed Hedge
- Concrete
- Turf
- Folding clothes line

- NOTE:**
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  - REFER TO ARBORIST REPORT FOR TREE RETENTION AND REMOVAL

Contours presented in the plan are based on existing conditions, Out and In is to be determined by engineers and are not specified on this plan

B Council recommendation	04.08.2022
A Landscape plan	04.02.2022









ADDRESS	12-13 Gladys Ave frenchforest
DRAWING TITLE:	LANDSCAPE PLAN
DATE:	04.08.2022
DRAWN BY:	AZ
JOB NO:	01-21
SCALE:	1:200
DRAWING NO:	LA01 B



REFER TO PAGE LA03

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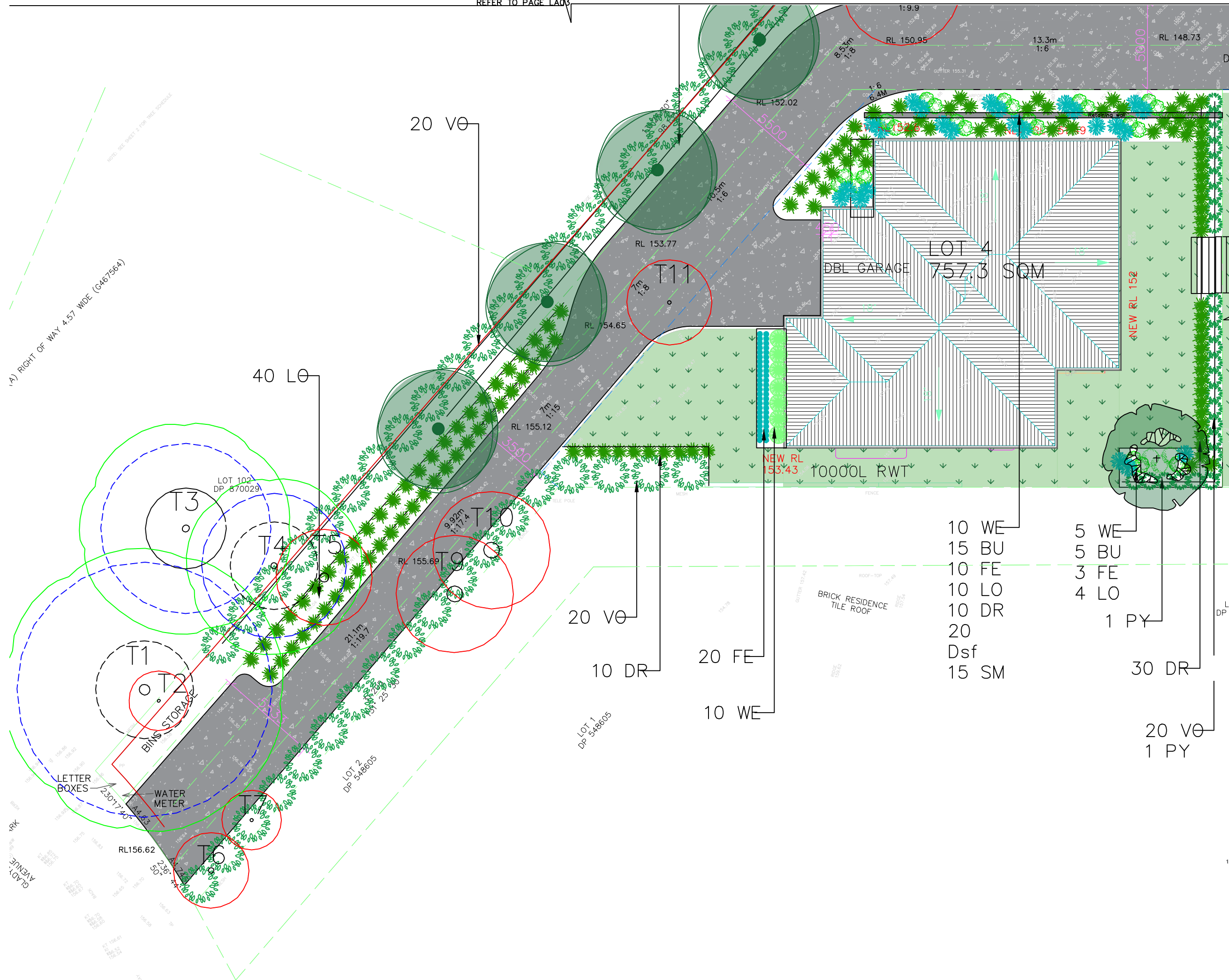
Contours presented in the plan are based on existing conditions. Cut and fill is to be determined by engineers and are not specified on this plan

A Landscape plan	04.08.2022
ISSUE DESCRIPTION	DATE

ADDRESS  
Gladys Ave frenchforest

DRAWING TITLE:  
LANDSCAPE PLAN- LOT 4

DATE: 04.08.2022	DRAWING NO: LA02	REVISION: A
DRAWN: AZ		
JOB NO: 01-21		
SCALE: 1:200		



10 WE  
15 BU  
10 FE  
10 LO  
10 DR  
20  
Dsf  
15 SM

5 WE  
5 BU  
3 FE  
4 LO  
1 PY

20 VØ  
1 PY

30 DR

20 VØ  
1 PY

REFER TO PAGE LA03

A) RIGHT OF WAY 4.57 WIDE (G467564)

NOTE: SEE SHEET 2 FOR TREE SCHEDULE

LOT 102 DP 870029

LOT 2 DP 548605

LOT 1 DP 548605

BRICK RESIDENCE TILE ROOF

LOT 4  
DBL GARAGE 757.3 SQM

NEW RL 152

NEW RL 153.43  
10000L RWT

20 VØ

40 LØ

20 VØ

10 DR

20 FE

10 WE

20 VØ  
1 PY

30 DR

5 WE  
5 BU  
3 FE  
4 LO

10 WE  
15 BU  
10 FE  
10 LO  
10 DR  
20  
Dsf  
15 SM

RL156.62

2.36 -0.05

WATER METER

LETTER BOXES

T1

T4

T3

T10

T9

T11

RL 154.65

RL 153.77

RL 152.02

13.3m  
1:6

8.5m  
1:8

1:9.9

RL 150.95

RL 148.73

40 LØ

20 VØ

10 DR

20 FE

10 WE

20 VØ  
1 PY

30 DR

5 WE  
5 BU  
3 FE  
4 LO

10 WE  
15 BU  
10 FE  
10 LO  
10 DR  
20  
Dsf  
15 SM

RL156.62

2.36 -0.05

WATER METER

LETTER BOXES

T1

T4

T3

T10

T9

T11

RL 154.65

RL 153.77

RL 152.02

13.3m  
1:6

8.5m  
1:8

1:9.9

RL 150.95

RL 148.73

20 VØ

40 LØ

20 VØ

10 DR

20 FE

10 WE

20 VØ  
1 PY

30 DR

5 WE  
5 BU  
3 FE  
4 LO

10 WE  
15 BU  
10 FE  
10 LO  
10 DR  
20  
Dsf  
15 SM

RL156.62

2.36 -0.05

WATER METER

LETTER BOXES

T1

T4

T3

T10

T9

T11

RL 154.65

RL 153.77

RL 152.02

13.3m  
1:6

8.5m  
1:8









1:9.9

RL 150.95

RL 148.73

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-  Proposed grasses/shrubs
-  Proposed Hedge
-  Concrete
-  Turf
-  Folding clothes line

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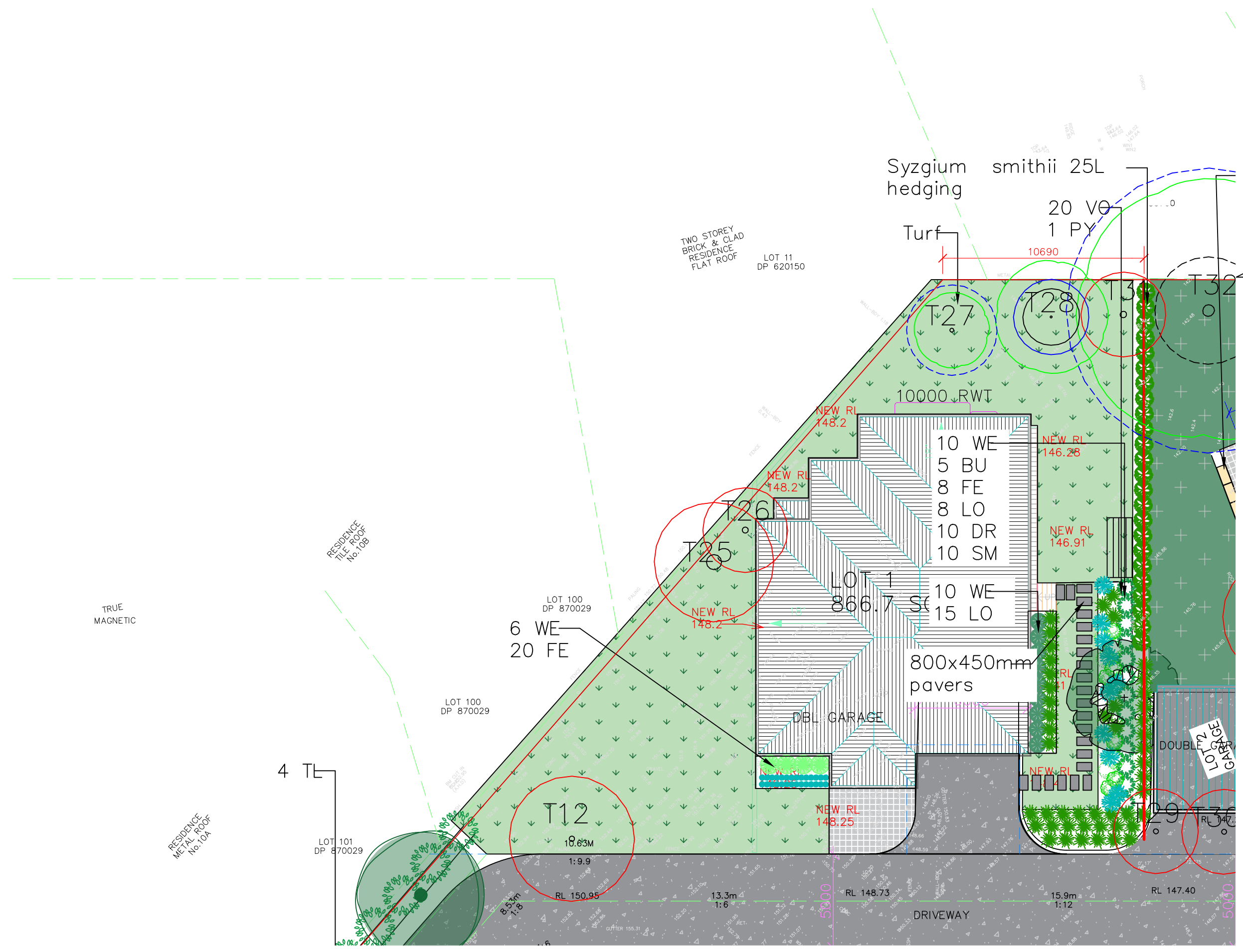
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A Landscape plan	04.08.2022
ISSUE DESCRIPTION	DATE

ADDRESS  
12-14 Gladys Ave frenchforest

DRAWING TITLE  
LANDSCAPE PLAN- LOT 1

DATE: 04.08.2022	DRAWING NO: LA03	REVISION: A
DRAWN: AZ		
JOB NO: 01-21		
SCALE: 1:200		

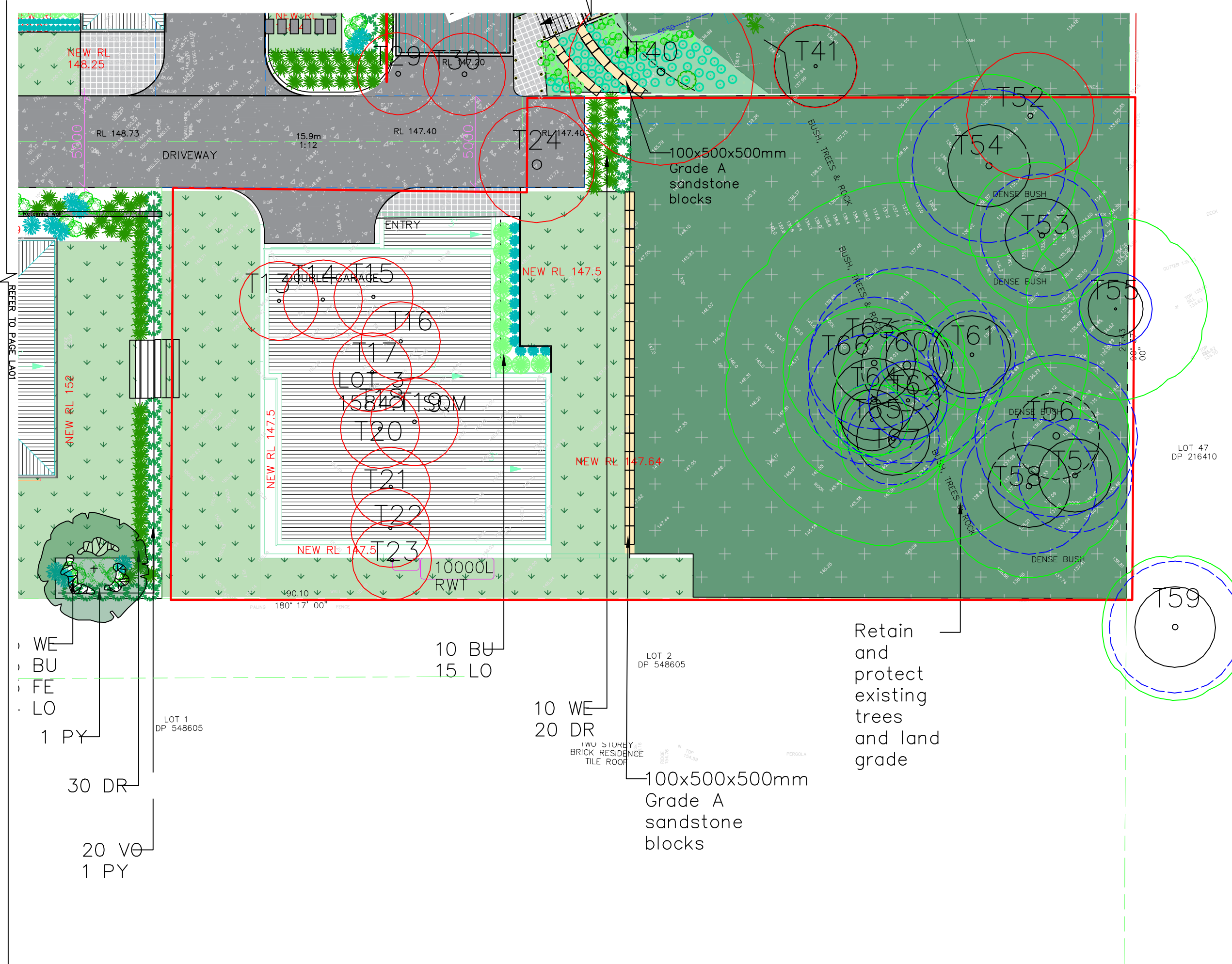


REFER TO PAGE LA04

REFER TO PAGE LA02



REFER TO PAGE LA03



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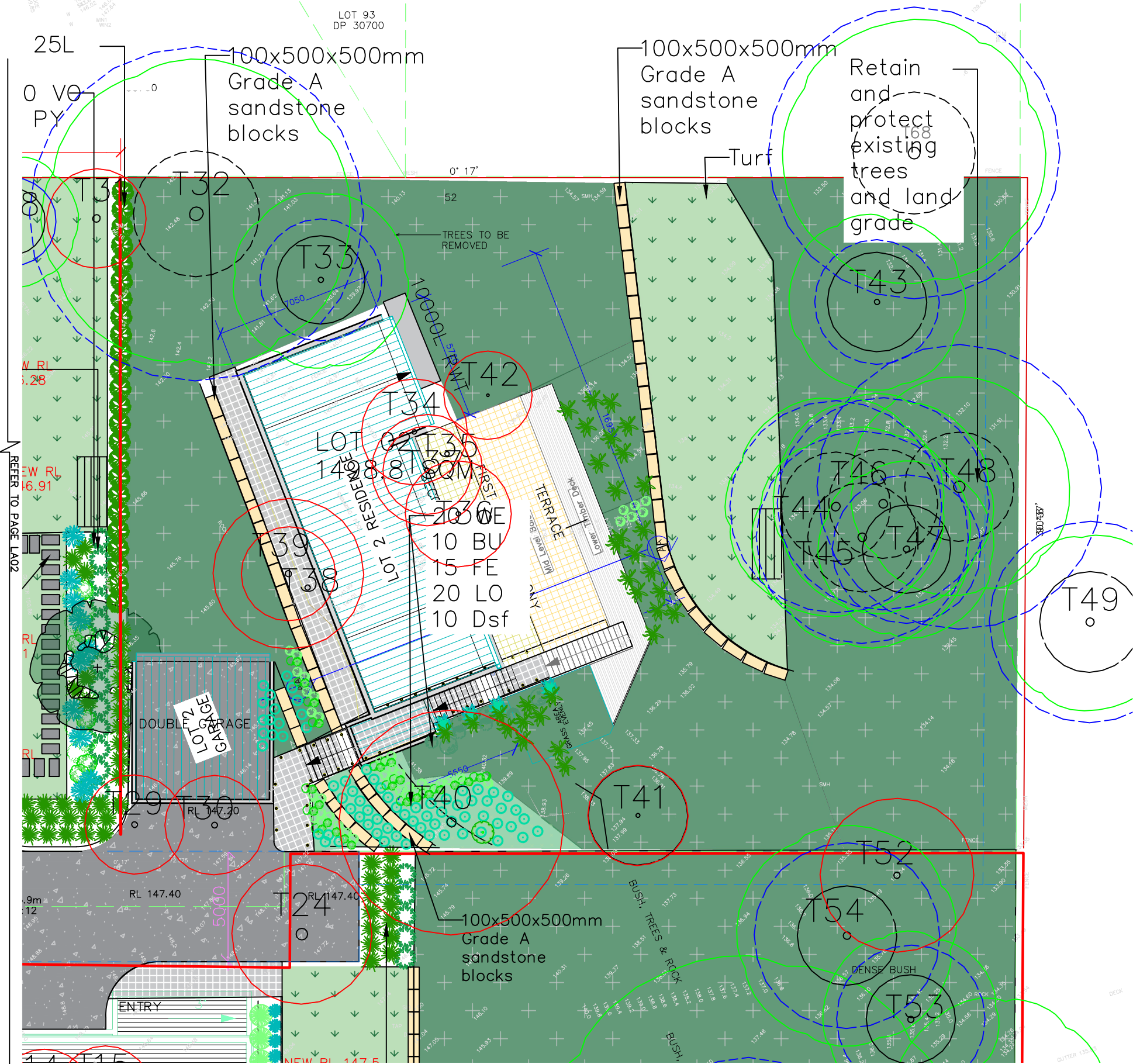
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A Landscape plan	04.08.2022
ISSUE DESCRIPTION	DATE

ADDRESS  
12-19 Gladys Ave frenchforest

DRAWING TITLE:  
LANDSCAPE PLAN- LOT 3

DATE: 04.08.2022	DRAWING NO: REVISION:
DRAWN: AZ	LA04 A
JOB NO: H-21	SCALE: 1:200



1. Figured dimensions shall be taken in accordance with the following:
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A Landscape plan		04.08.2022
ISSUE DESCRIPTION	DATE	
ADDRESS		
12-13 Gladys Ave frenchforest		
DRAWING TITLE:		
LANDSCAPE PLAN- LOT 2		
DATE: 04.08.2022	DRAWING NO:	REVISION:
DRAWN: AZ	LA05 A	
JOB NO: 01-21	SCALE: 1:200	



**GENERAL**

ALL EARTHWORK, DRAINAGE WORKS, RETAINING WALLS, CONCRETE WORKS AND GRADING TO BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS, DETAILS AND SPECIFICATION. REFER TO ENGINEERING DRAWINGS FOR ALL FINISHED LEVELS.  
ALL SET OUT TO BE APPROVED ON SITE BY SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF GROUND WORKS.

**SERVICES**

BEFORE LANDSCAPE WORKS COMMENCE, THE LANDSCAPE CONTRACTOR IS TO DETERMINE THE LOCATIONS OF ALL SERVICE LINES AND PROTECT THEM FROM DAMAGE DURING CONSTRUCTION. UNDERTAKE A DIAL BEFORE YOU DIG ENQUIRY FOR SERVICE LOCATIONS.

**EXISTING VEGETATION**

VEGETATION TO BE REMOVED:  
REMOVE ONLY THOSE TREES AND VEGETATION MARKED FOR REMOVAL. ALL TREES AND NATIVE VEGETATION REQUIRED TO BE REMOVED AS PART OF THESE WORKS ARE TO BE MULCHED ON SITE AND STOCKPILED FOR REUSE IN PLANTING AREAS.

**VEGETATION TO BE RETAINED**

WHERE TREES ARE MARKED FOR RETENTION THE FOLLOWING PROTECTION MEASURES ARE TO BE UNDERTAKEN:

- A TREE PROTECTION ZONE IS A RADIUS OF 12 X TRUNK DIAMETER AT 1.4m ABOVE GROUND, AS DEFINED IN AS4970-2009.
- PROTECT ALL EXISTING TREES MARKED FOR RETENTION FROM DAMAGE WITHIN THE TPZ, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ERECT PROTECTIVE FENCING USING 1.8m TEMPORARY FENCING OUTSIDE THE TPZ FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- INSTALL A 100mm LAYER OF LEAF MULCH OVER THE TREES TPZ AND MAINTAIN FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- THE EXISTING TOPSOIL LEVEL MUST NOT BE RAISED OR LOWERED WITHIN THE TPZ UNLESS PRIOR APPROVAL IS GIVEN BY SUPERINTENDENT.
- IF EXCAVATION IS REQUIRED WITHIN 3m OF TREES TO BE RETAINED, REQUEST INSTRUCTION FROM SUPERINTENDENT. WHERE IT IS NECESSARY TO EXCAVATE WITHIN THE TPZ, USE HAND METHODS ONLY.
- USE HAND METHODS TO LOCATE, EXPOSE, AND CLEANLY REMOVE THE ROOTS ON THE LINE OF THE EXCAVATION.
- DO NOT STORE, STOCKPILE, SPILL OR OTHERWISE PLACE HARMFUL MATERIALS WITHIN THE TPZ OF THE TREE. DO NOT WASH OUT CONCRETE WITHIN THE TPZ OF THE TREE. DO NOT STOCKPILE SOIL WITHIN THE TPZ FOR ANY REASON.
- PREVENT DAMAGE TO TREE BARK AND CANOPY. DAMAGE SHALL BE TREATED BY A QUALIFIED ARBORIST AS SOON AS PRACTICALLY POSSIBLE AFTER DAMAGE OCCURS.
- WHERE IT IS NECESSARY TO CUT ROOTS, USE A CHAINSAW OR SIMILAR WHERE THE CUTTING METHOD DOES NOT UNDESIRABLY DISTURB THE ROOT SYSTEM. ANY MAJOR STRUCTURAL ROOTS ARE TO BE CUT BY A QUALIFIED ARBORIST.
- REGULARLY WATER AND MAINTAIN ALL TREES TO BE RETAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.

**WEED ERADICATION**

PRIOR TO ANY ENGINEERING WORKS, ERADICATE ALL WEED SPECIES USING ENVIRONMENTALLY ACCEPTABLE METHODS AND REMOVE FROM SITE. ERADICATE ALL WEEDS FROM THE PROPOSED PLANTING AND TURF AREAS PRIOR TO ANY PLANTING OPERATIONS. USE ROUND UP - BIOACTIVE FOR AREAS ADJACENT TO WATERWAYS, CREEKS AND DRAINAGE CHANNELS, OR WHERE RUNOFF MAY ENTER THE CREEK SYSTEM. APPLY ROUND UP - BIOACTIVE OR EQUIVALENT TO ALL PROPOSED PLANTING AREAS TO MANUFACTURER'S RECOMMENDED APPLICATION RATES A MINIMUM OF TWO APPLICATIONS WILL BE REQUIRED. ENSURE FINAL SPRAYING OCCURS TWO WEEKS PRIOR TO COMMENCEMENT OF LANDSCAPING WORKS. ENSURE ALL WEED GROWTH HAS CEASED AND REMOVE ALL WEED WASTE FROM SITE PRIOR TO COMMENCEMENT OF SOIL AND PLANTING WORKS. DO NOT BURN. RE-APPLY HERBICIDE AS REQUIRED.

**SOIL PREPARATION**

DO NOT FILL OR MACHINE CULTIVATE WITHIN THE DRIP LINE OF EXISTING TREES. IF CULTIVATION IS REQUIRED IN THESE AREAS, USE HAND METHODS ONLY. DO NOT DISTURB SERVICES. IF REQUIRED TO CULTIVATE IN CLOSE PROXIMITY TO ANY SERVICES, HAND METHODS ARE TO BE USED ONLY. SOIL TESTING OF THE SITE SOIL IS REQUIRED TO DETERMINE IF ANY ADDITIVES ARE REQUIRED TO THE EXISTING SOIL TO PROVIDE A SOIL MEDIA THAT PROMOTES OPTIMUM GROWING CONDITIONS. ADD ADDITIONAL SOIL REQUIREMENTS AS A RESULT OF THE SOIL TEST AT THE RATIO(S) SPECIFIED BY THE SOIL LABORATORY AND MIX THROUGHOUT SITE SOIL PRIOR TO MIXING WITH IMPORTED SOIL CONDITIONER. MIX EXISTING SITE SOIL, INCLUDING ADDITIVES WITH BOTANY HUMUS MIX AS SUPPLIED BY AUSTRALIAN NATIVE LANDSCAPES OR EQUIVALENT AT A RATIO OF 1:1. REFER TO DRAWINGS AND DETAILS FOR SOIL PLACEMENT DEPTHS FOR THE SPECIFIC PLANTING AREAS.

**SOIL PLACEMENT**

NO CONTAMINATED SOIL IS TO BE USED ON SITE. SHOULD SOIL BECOME CONTAMINATED BY DIESEL OIL, PAINT, CEMENT OR ANY OTHER CONTAMINANTS, EXCAVATE THE CONTAMINATED SOIL AND DISPOSE OF IT OFF SITE AND REPLACE IT WITH SOIL MIX TO THE CORRECT FINISHED LEVELS.  
SPREAD THE TOPSOIL ON THE PREPARED SUB SOIL AND GRADE EVENLY, ALLOWING THE FOLLOWING TO OCCUR:

- REQUIRED FINISHED LEVELS CAN BE ACHIEVED AFTER LIGHT COMPACTION.
- TURF AREAS SHALL BE FINISHED FLUSH WITH ADJACENT FINISHED SURFACES SUCH AS KERBS, PATHS, ACCESS DRIVEWAYS AND CONCRETE EDGING.

PLACE SOIL IN MAXIMUM LAYER DEPTHS OF 150MM. LIGHTLY COMPACT AT EACH LAYER.  
PLACE 200mm DEPTH OF SOIL MIX IN ALL LITTORAL, TERRESTRIAL, RE-VEGETATION AND NATIVE GARDEN MIX PLANTING ZONES.  
PLACE 100mm DEPTH OF SOIL MIX IN ALL AREAS TO BE TURFED.  
ON COMPLETION OF SOIL PLACEMENT THE SURFACE SHALL BE:

- FREE FROM STONES AND LUMPS OF SOIL.
- GRADED TO DRAIN FREELY WITHOUT TRAPPED LOW POINTS.
- GRADED EVENLY TO ALL SURROUNDING FINISHED SURFACES.
- READY FOR PLANT INSTALLATION.

**MULCHING**

INSTALL 100mm DEPTH OF 100% RECYCLED LEAF MULCH FREE OF DELETERIOUS AND EXTRANEOUS MATTER SUCH AS SOIL, WEEDS AND STICKS TO ALL PLANTING ZONES EXCLUDING BIO-RETENTION MIX A AND B. PLACE MULCH TO THE REQUIRED DEPTH, CLEAR OF PLANT STEMS AND RAKE TO AN EVEN SURFACE FLUSH WITH EXISTING FINISHED LEVELS.

**PLANTING**

PLANT MATERIAL SHOULD BE PRE ORDERED 4 - 6 MONTHS PRIOR TO ANTICIPATED INSTALLATION DATE TO ENSURE LOCAL STOCK IS AVAILABLE.  
THE CONTRACTOR SHALL INSTALL PLANTS TO THE LOCATION AND EXTENT SHOWN ON THE DRAWINGS. THE PLANTS SHALL BE PLANTED USING BEST HORTICULTURAL TECHNIQUES AND IN ACCORDANCE WITH THE DRAWINGS.  
SPECIES TO BE PLANTED IN SWATHES TO ENSURE A BLENDED MIX OF SPECIES ACROSS THE PLANTING ZONE.  
AVOID PLANTING SPECIES IN RECTANGULAR BLOCKS TO ASSIST IN RECREATING A NATURAL SYSTEM.

**STORAGE**

DELIVER PLANT MATERIAL TO SITE ON A DAY TO DAY BASIS, AND PLANT IMMEDIATELY AFTER DELIVERY. PROTECT PLANTS AT ALL TIMES FROM SUN OR DRYING WINDS. PLANTS THAT CAN NOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE KEPT IN THE SHADE, WELL PROTECTED AND ADEQUATELY WATERED. PLANTS SHALL BE HANDLED IN SUCH A MANNER TO AVOID ANY DAMAGE TO THE PLANT.

**PLANTING CONDITIONS**

DO NOT PLANT IN UNSUITABLE WEATHER CONDITIONS SUCH AS EXTREME HEAT, COLD, WIND OR RAIN. IN OTHER THAN SANDY SOILS, SUSPEND EXCAVATION WHEN THE SOIL IS WET, OR DURING FROST PERIODS. NOTIFY SUPERINTENDENT OF ALL SOIL OR DRAINAGE CONDITIONS ENCOUNTERED DURING PLANTING OPERATIONS THAT THE LANDSCAPE CONTRACTOR CONSIDERS TO BE DETRIMENTAL TO PLANT GROWTH.

**WATERING**

THOROUGHLY WATER THE PLANTS IMMEDIATELY AFTER PLANTING, AND AS REQUIRED TO MAINTAIN GROWTH RATES FREE FROM STRESS. LESS FREQUENT HEAVY WATERING IS PREFERABLE TO LIGHT WATERING. THE SOIL MOISTURE NEEDS TO BE ASSESSED DAILY AND WATERING REGIME ADJUSTED ACCORDINGLY.  
THE CONTRACTOR SHALL SUPPLY AND INSTALL A TEMPORARY IRRIGATION SYSTEM TO IRRIGATE ALL PLANT MATERIAL FOR THE DURATION OF THE MAINTENANCE PERIOD. AT COMPLETION OF THE MAINTENANCE PERIOD, THE CONTRACTOR IS RESPONSIBLE FOR THE DECOMMISSIONING OF THE TEMPORARY IRRIGATION SYSTEM AND THE REMOVAL OF ALL COMPONENTS FROM SITE.

**PLACING**

EXCAVATE HOLE AS INDICATED IN PLANTING DETAILS WHEN INSTALLING PLANT. WHEN PLANTING THERE SHOULD BE AMPLE LOOSE SOIL TO ENSURE THAT ROOT SOIL CONTACT IS COMPLETE AND THAT NO AIR GAPS EXIST. A RAISED LIP SHOULD BE PRESENT AROUND THE PLANT TO ASSIST IN TRAPPING WATER AND ALLOW INFILTRATION.  
INSTALL PLANT STOCK TO THE AREAS AS INDICATED ON DRAWINGS AND SPACED AS SPECIFIED, IN A RANDOM PATTERN, ENSURING COMPLETE COVERAGE.  
PLANTING IN THE BIO-RETENTION AND LITTORAL ZONES ARE TO BE IN SPECIES GROUPINGS OF BETWEEN 60 - 70 PLANTS.  
REFER TO PLANT SCHEDULE.  
PLANTING IN THE TERRESTRIAL, RE-VEGETATION (GROUND COVER LAYER) AND NATIVE GARDEN MIX ZONES ARE TO BE IN SPECIES GROUPINGS OF 30 - 50 PLANTS.  
REFER TO PLANT SCHEDULE.  
PLANTING OF THE CANOPY LAYER IN THE RE-VEGETATION AREAS IS TO BE SPACED AT A RATE OF 1:2 TREES PER 10 SQ.M.  
REFER TO PLANT SCHEDULE.

**REPLACEMENT**

REPLACE DAMAGED OR FAIL PLANTS WITH PLANTS OF THE SAME TYPE AND SIZE.

**TURFING**

THE CONTRACTOR SHALL INSTALL SIR WALTER BUFFALO TURF ROLLS TO THE LOCATION AND EXTENT SHOWN ON THE DRAWINGS AND TO ALL AREAS DAMAGED DURING THE CONSTRUCTION PERIOD.  
TURF IS TO BE LAID ALONG CONTOURS IN STRETCHER BOND PATTERN WITH STAGGERED, CLOSE BUTTED JOINTS. TURF TO BE LAID TO ENSURE LEVELS FINISH FLUSH WITH ADJACENT FINISHED SURFACES.  
WATER IMMEDIATELY AFTER LAYING UNTIL THE TOP SOIL IS MOISTENED TO ITS FULL DEPTH. CONTINUE WATERING TO MAINTAIN GROWTH RATES FREE FROM STRESS.  
WHERE TURF LEVELS HAVE DROPPED FROM DESIGN LEVELS AFTER LAYING AND WATERING, LIFT UP AND RE-GRADE TOP SOIL TO ACHIEVE DESIGN LEVELS.

**MAINTENANCE**

MAINTAIN WORKS IN GOOD CONDITION FOR 52 WEEKS FROM THE DATE OF PRACTICAL COMPLETION. WORKS SHALL GENERALLY INCLUDE BUT NOT BE EXCLUSIVE TO THE FOLLOWING:

- WEEDING, WATERING, APPLICATION OF FERTILISER, PEST AND DISEASE CONTROL, STAKING AND TYING, REMOVAL OF LITTER FROM PLANTING AND GRASSSED AREAS AND REPLACEMENT OF DEAD AND DYING PLANTS.
- CONTINUE TO REPLACE FAILED, DAMAGED OR STOLEN PLANTS AS SPECIFIED. SUBSTITUTIONS SHALL ONLY BE MADE WITH THE APPROVAL OF THE SUPERINTENDENT WHERE A SPECIES IS CONSIDERED TO BE RESPONDING POORLY TO CONDITIONS.
- ADJUST STAKES AND TIES TO AVOID PLANT DAMAGE, REPLACE IF DAMAGED AND REMOVE AT END OF CONTRACT IF SO DIRECTED.
- MOW GRASS AREAS TO A HEIGHT CONSISTENT WITH THE GROWTH HABIT OF THE GRASS. MAINTAIN HEALTHY WEED-FREE GROWTH. REMOVE CLIPPINGS FROM SITE.
- REGULARLY REMOVE RUBBISH AND DEBRIS FROM SITE.
- ADJUST WATERING REGIME ON TEMPORARY IRRIGATION SYSTEM TO MAINTAIN OPTIMUM GROWING CONDITIONS FREE FROM STRESS FOR ALL PLANTING ZONES AND TURF AREAS AND AS SEASONAL CONDITIONS CHANGE. DECOMMISSION TEMPORARY IRRIGATION SYSTEM AND REMOVE ALL COMPONENTS FROM SITE AT END OF MAINTENANCE PERIOD OR AT A TIME WHERE IT IS NO LONGER REQUIRED.
- CONTROL ANY PESTS AND DISEASES IN TURF AND PLANTING AREAS. SPRAY OR DUST ANY AFFECTED AREAS STRICTLY IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND TO COMPLY WITH ALL STATUTORY REQUIREMENTS UNTIL THE PROBLEM HAS BEEN ELIMINATED. PROPER CARE SHOULD BE TAKEN TO ENSURE THE USER AND ANYONE COMING IN CONTACT WITH THE SPRAY ARE ADEQUATELY PROTECTED. SPRAY OUTSIDE NORMAL WORKING HOURS IF NECESSARY.

**Plant Schedule**

Symbol	Botanical Name	Common Name	Height at Maturity	Size	Qty
<b>Trees</b>					
PY	<i>Pyrus calleryana</i>	Callery pear	12m	45L	2
TL	<i>Tristaniopsis laurina</i>	Water gum	15m	25L	4
<b>Shrubs</b>					
Dsf	<i>Dichondra argentea</i>	Silver falls	200mm	140mm	30
LO	<i>Lomandra confertifolia ssp rubiginosa</i>	Mat Rush	0.7m	140mm	112
WE	<i>Westringia fruticosa</i>	Native Rosemary	1m	400mm	50
BU	<i>Buxus microphylla</i>	Littleleaf Box	1m	400mm	40
SM	<i>Senecio Mandraliscae</i>	Blue chalk sticks	0.2m	140mm	25
DR	<i>Dianella revoluta</i>	blue flax-lily	0.5m	140mm	80
VO	<i>Viburnum odoratissimum</i>	Sweet Viburnum	2m	400mm	80



Senecio Mandraliscae



Dichondra argentea 'Silver Falls' DSF



Dianella revoluta



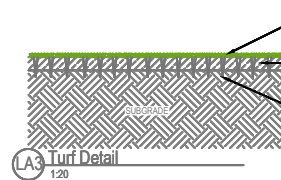
Dyozygium smithii 'Sam'



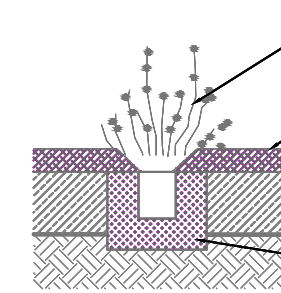
Lomandra confertifolia ssp rubiginosa 'Mist' Lr



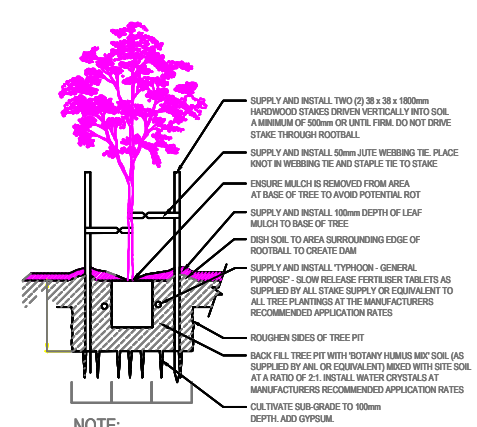
Viburnum odoratissimum



- NOTE:**
- INSTALL SOIL MIX TO LEVELS AND GRADES SPECIFIED ON ENGINEERING DRAWINGS.
  - LEVEL SOIL MIX TO PROVIDE A SMOOTH EVEN SURFACE IN PREPARATION FOR INSTALLATION OF MAX ROLLS.
  - ENSURE A SMOOTH TRANSITION WHERE NEW TURF BUTTS UP TO EXISTING FINISHED LEVELS.

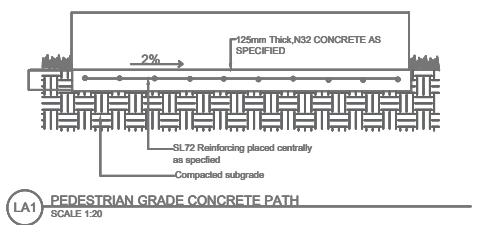


- NOTE:**
- EXCAVATE PLANTING HOLE 100mm WIDER AND DEEPER THAN ROOTBALL OF ALL 150mm PLANTS AND 50mm WIDER AND DEEPER THAN ROOTBALL FOR ALL 50mm TUBES TO BE INSTALLED. BACKFILL AND CONSOLIDATE WITH GARDEN SOIL MIXTURE BLENDED WITH WATER CRYSTALS AT MANUFACTURER'S RECOMMENDED APPLICATION RATES.
- LA4 MASS PLANTING - 150mm POTS & 50mm TUBES IN MULCHED GARDEN AREAS**  
1:10

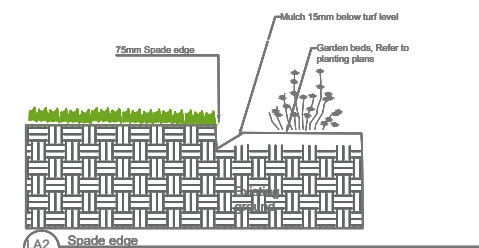


- NOTE:**
- PLACE THE TYPHOON TREE FERTILISER TABLETS HALFWAY UP THE SIDE OF THE ROOT BALL, NEAR THE ROOTBALL EDGE. BACK FILL AND WATER IN.
  - TREES PLANTED IN GRASSSED AREAS TO HAVE A 2m DIA. MULCHED AREA AT BASE TREE.

**LA5 TREE PLANTING- SPADE EDGING**  
1:10



**LA1 PEDESTRIAN GRADE CONCRETE PATH**  
SCALE 1:20



**LA2 Spade edging**  
SCALE 1:20

- NOTES:**
- FIGURED DIMENSIONS SHALL BE TAKEN IN PREFERENCE.
  - THE CONTRACTOR SHALL CHECK ALL DIMENSIONS ON COMMENCING WORK.
  - CONSTRUCTION IS TO BE COMPLIANT WITH AUSTRALIAN STANDARDS FOR THIS LANDSCAPE DESIGN. THIS IS A LANDSCAPE DESIGN AND SHOULD BE READ IN CONJUNCTION WITH ENGINEERS AND ARCHITECTURAL PLANS.
  - DESIGNER IS NOT RESPONSIBLE FOR VEGETATION HAIL DAMAGE DURING AND AFTER CONSTRUCTION.

A	Landscape plan
ISSUE	DESCRIPTION

ADDRESS  
12-14 Gladys Ave frenchcreek

DRAWING TITLE:  
**PLANT SCHEDULE & DETAILS**

DATE: 04.08.2022 DRAWING NO:  
DRAWN: AZ  
JOB NO: 01-21 **LA06**