

GENERAL ABBREVIATIONS	
apt#	apartment #
bal#	balustrade type #
bsn#	basin type #
bw	blockwork
ck	cooktop
cl	ceiling height
cos	check on site
cpd	cupboards
dp	downpipe
dpc	damp-proof course
dw	dishwasher
drw	drawers
edb	electrical distribution board
eg	eaves gutter
eng	engineer
ent	entry
ev	eaves vent
exg	existing
exist	existing
fc	finished ceiling level
ffi	finished floor level
fw#	floor waste type #
gd	garage door
hr#	handrail type #
htr	hand towel rail
hws	hot water system
kp	kickplate
lb	letter box
m	mirror
mw#	microwave type #
mx	mixer tap
nom	nominal
ov	oven
pp	powerpoint
ps#	privacy screen
ref	refridgerator
rh	robe hook
rv	roof ventilator
sc	steel column
sk#	skylight #
snk#	sink type #
sp	solar panels
shwr	shower set
hc	tap external
tp#	tap type #
tr	towel rail
trh	toilet roll holder
w	window
wc#	toilet type #
wir	walk in rob

MATERIAL ABBREVIATIONS	
cb	concrete blockwork
conc	concrete
cp	concrete pavers
cpt	carpet
wt#	wall tile type #
fb	facebrick
fc	fibre cement sheet
ft#	floor tile type #
lam#	laminare type #
lc#	lightweight cladding type #
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ms#	manufactured stone type #
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pbk	painted brickwork
pbw	plasterboard – water resistant
ply	marine grade plywood
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pu#	polyurethane finish type #
rb	rendered brickwork
rbk	rendered concrete blockwork
sb	sandstone blockwork
ss	stainless steel
tdk	timber decking boards
tfb	timber floorboards
tmb	timber/hardwood as scheduled
tcd	timber cladding
tlv	timber louvres

BASIX thermal comfort inclusions
Floors Concrete slab on ground with R1.0 insulation Suspended timber floors with R2.5 insulation (insulation only value) to open and enclosed suspended areas Concrete between levels, R2.5 insulation to garage ceiling where habitable rooms above. No insulation to garage where roof/balcony above. Timber between levels, no insulation required
External Walls Brick veneer with R2.5 insulation (insulation only value) Lightweight cladding on framed walls with R2.5 insulation n (insulation only value) Concrete Block to garage walls Double Skin Brick (between dwellings) Note: No insulation is required to external Garage walls External Colour: Light (SA < 0.475)
Walls within dwellings Plasterboard on studs, no insulation required Single skin brick with R2.0 insulation only required to walls between garage and internal conditioned areas.
Glazing Doors/Windows Unit A all windows: U-value: 4.9 (equal to or lower than) SHGC: 0.33 (±10%) Unit B all windows: U-value: 2.2 (equal to or lower than) SHGC: 0.32 (±10%) Given values are AFRC total window system values (glass and frame) Note: BASIX Thermal Comfort Protocol Table 3 SHGC value of the unit should be within +/-10% of the value specified for the default window selection on the certificate.
Skylights Fixed 1800x900mm: U-value: 2.6 and SHGC: 0.24
Roof and Ceilings Concrete roof, no insulation to garage Metal roof with foil backed blanket (R _u 1.3 and R _d 1.3) (ie. Bradfords Anticon 60) Plasterboard ceiling with R4 (Unit B), R3.5 (Unit A) insulation (insulation only value) where roof above or balcony above Ceiling insulation require to verandah or porch where connected to main roof cavity or barrier provided External Colour Medium (0.475 < SA < 0.7)
Ceiling Penetrations Sealed LED downlights not to exceed NatHERS certificate Sealed LED downlights, one every 2.5m2. Once lighting plan has been developed NatHERS certificate can be updated to improve specification.
Floor coverings Carpet to bedrooms and study, tiles wet areas, timber composite elsewhere

External Shading Shading as per stamped drawings
Ventilation All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings
BASIX water inclusions
Rainwater tank 2 x 2000L rain water tanks (one for each unit) Collecting from 100 m2 of roof area Connected to garden and laundry
BASIX Energy inclusions
Hot water system Gas instantaneous 6 star
Alternative energy 2 x 1kWp (minimum) Photovoltaic system (one for each unit)

Sheet List

C-01 Exterior Mood Board
C-02 Exterior Mood Board
P-01 Photo Montages
P-02 Photo Montages

DA-01 Site Plan + Analysis
DA-02 Garage Plan
DA-03 Ground Floor Plan
DA-04 First Floor Plan
DA-05 Roof Plan
DA-06 East + West Elevations
DA-07 South Elevations
DA-08 North Elevation
DA-09 Sections
DA-10 Shadow Diagram
DA-11 Landscape Plan
DA-12 Erosion + Sediment Control Plan
DA-13 Demolition Plan
DA-14 Excavation + Fill Plan
DA-15 Notification Plan



PROJECT RENEW

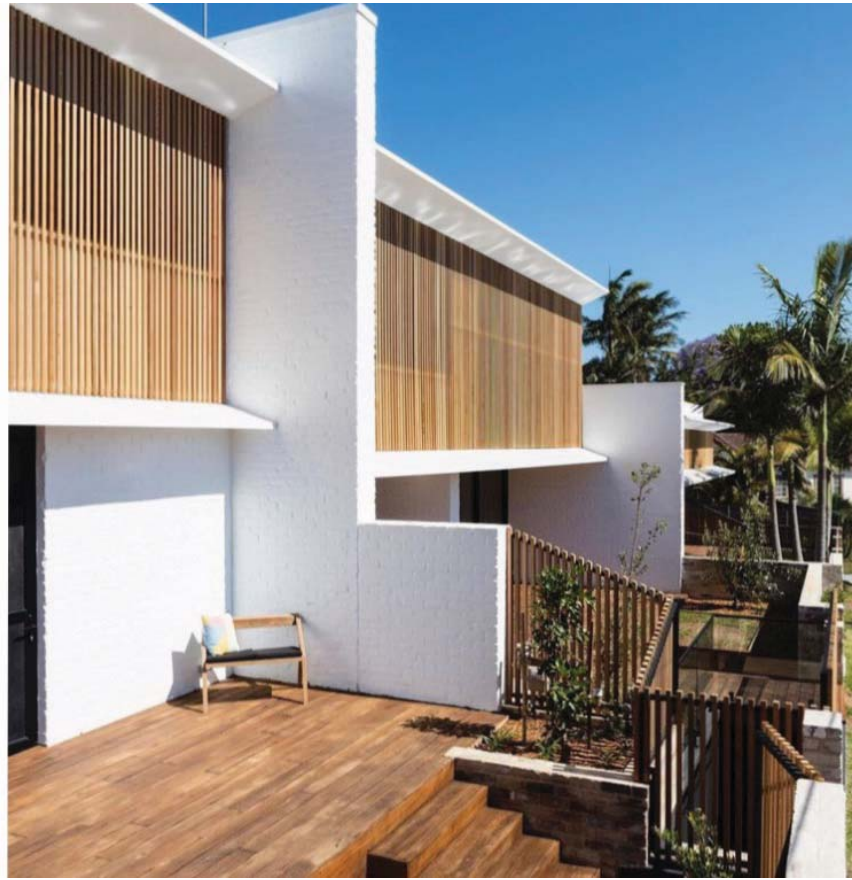
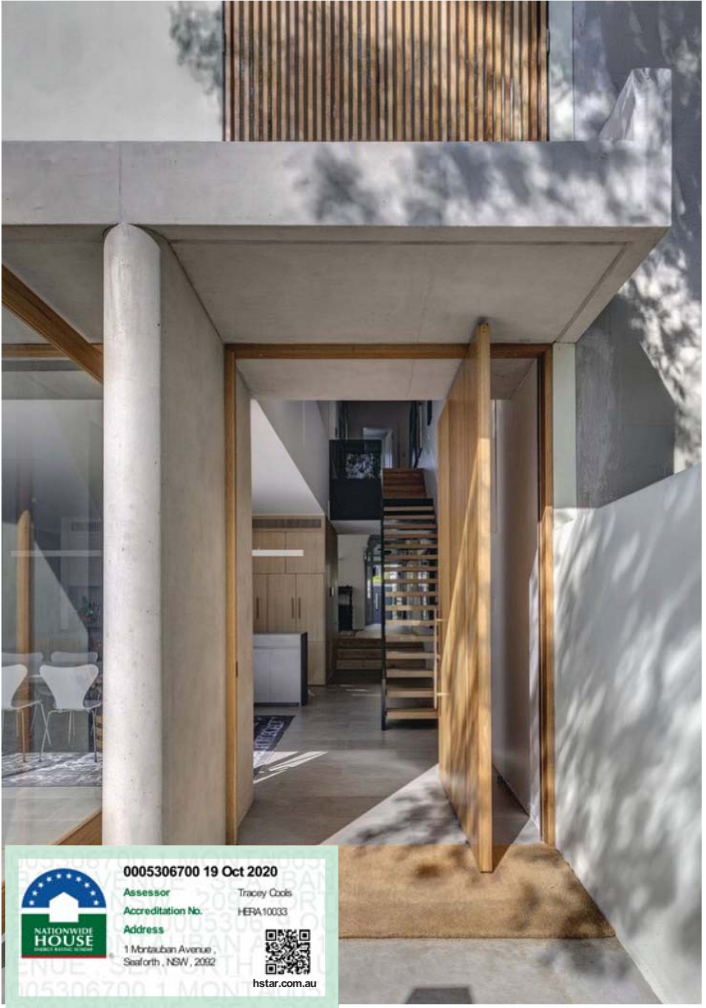
DEVELOPMENT APPLICATION
1 MONTAUBAN AVENUE, SEAFORTH

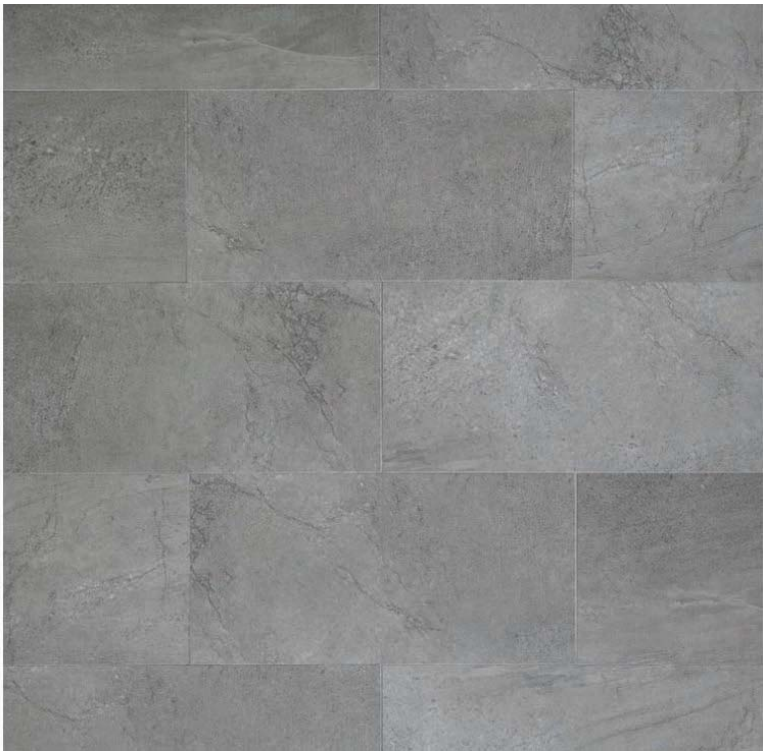
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May, 2020



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0005306700 19 Oct 2020

Assessor
Accreditation No.
Address

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1 Montauban Avenue,
Seaford, NSW, 2002


hstar.com.au

ISSUE	DATE	AMENDMENT
1	28.05.20	CONCEPT ISSUE FOR PRE DA MEETING
2	18.08.20	GENERAL REVISIONS
3	25.09.20	DA ISSUE

ADDRESS:
LOT 42 IN D.P. 35319
1 MONTAUBAN AVENUE, SEAFORTH

CLIENT:
VALERIUS INVESTMENTS PTY LTD

SHEET TITLE:
PERSPECTIVE VIEWS - SHEET 1

SCALE:

PROJECT No:
1907

DWG No:
P-01

DATE
28.05.20

ISSUE
3





0005306700 19 Oct 2020

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Accreditation No.
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Tracy Code
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Seaford, NSW, 2002

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KEY

CAR ENTRY POINT

BOUNDARY

(S)

PREVAILING WINDS (summer)

(W)

PREVAILING WINDS (winter)

W•

WINDOW TO LIVING SPACE
IN ADJACENT DWELLING

EXISTING CONTOURS
SLOPE OF LAND

ROAD NOISE

A

PROPOSED DWELLING A

B

PROPOSED DWELLING B

C

NEW DRIVEWAY

The main site plan drawing illustrates the layout of two proposed dwellings, A and B, on a rectangular lot. Dwelling A is a larger, more complex structure with multiple rooms and a central courtyard, while Dwelling B is a smaller, simpler structure. The plan includes detailed setbacks for both dwellings, with minimum setbacks of 4406mm and 3284mm indicated. The lot is bounded by Frenchs Forest Road to the south and Montauban Avenue to the east. The drawing also shows existing contours, road noise, and a new driveway (C) leading to the rear of the lot. The surrounding context includes Frenchs Forest Road, Montauban Avenue, and a nearby residential area.

0005306700 19 Oct 2020

Assessor Tracye Coles

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0005306700 19 Oct 2020

Assessor Tracye Coles

Accreditation No. HERA10033

Address 1 Montauban Avenue Seaford, NSW, 2052

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SITE CALCULATIONS

	Required	Proposed
Site Area	689.9m2	
Floor Space Ratio	0.45:1	0.439:1
Setbacks (mm)		
-East (front)	6000	7708
-West (rear)	8000	8000
-North (side)	2555	3284/4406
-South (side)	2555	3284/4406
PROPOSED RESIDENTIAL AREA	194.1m2	
PROPOSED HARD SURFACE AREA	358.3m2	
PROPOSED OPEN SPACE AREA (OS3)	379.4m2	435.5m2
PROPOSED LANDSCAPED AREA	132.8m2	306.6m2

An aerial photograph showing the site location at 1 Montauban Avenue, Seaford. The site is highlighted with a red rectangle, and the surrounding residential area is visible. The image shows the layout of the lot, the proposed dwellings, and the surrounding context including Frenchs Forest Road and Montauban Avenue.

AERIAL VIEW OF 1 MONTAUBAN AVENUE, SEAFORTH

A zoning map showing the site location at 1 Montauban Avenue, Seaford. The site is highlighted with a red rectangle, and the surrounding residential area is visible. The map shows the layout of the lot, the proposed dwellings, and the surrounding context including Frenchs Forest Road and Montauban Avenue.

ZONING MAP OF 1 MONTAUBAN AVENUE, SEAFORTH

A north arrow pointing towards the top right of the page, and a scale bar indicating distances of 0, 1, 2, 4, and 10 meters.

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ISSUE 1 2 3

DATE 28.05.20 18.08.20 25.09.20

AMENDMENT CONCEPT ISSUE FOR PRE DA MEETING GENERAL REVISIONS DA ISSUE

ADDRESS: LOT 42 IN D.P. 35319 1 MONTAUBAN AVENUE, SEAFORTH

CLIENT: VALERIUS INVESTMENTS PTY LTD

SHEET TITLE: SITE PLAN + ANALYSIS

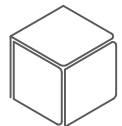
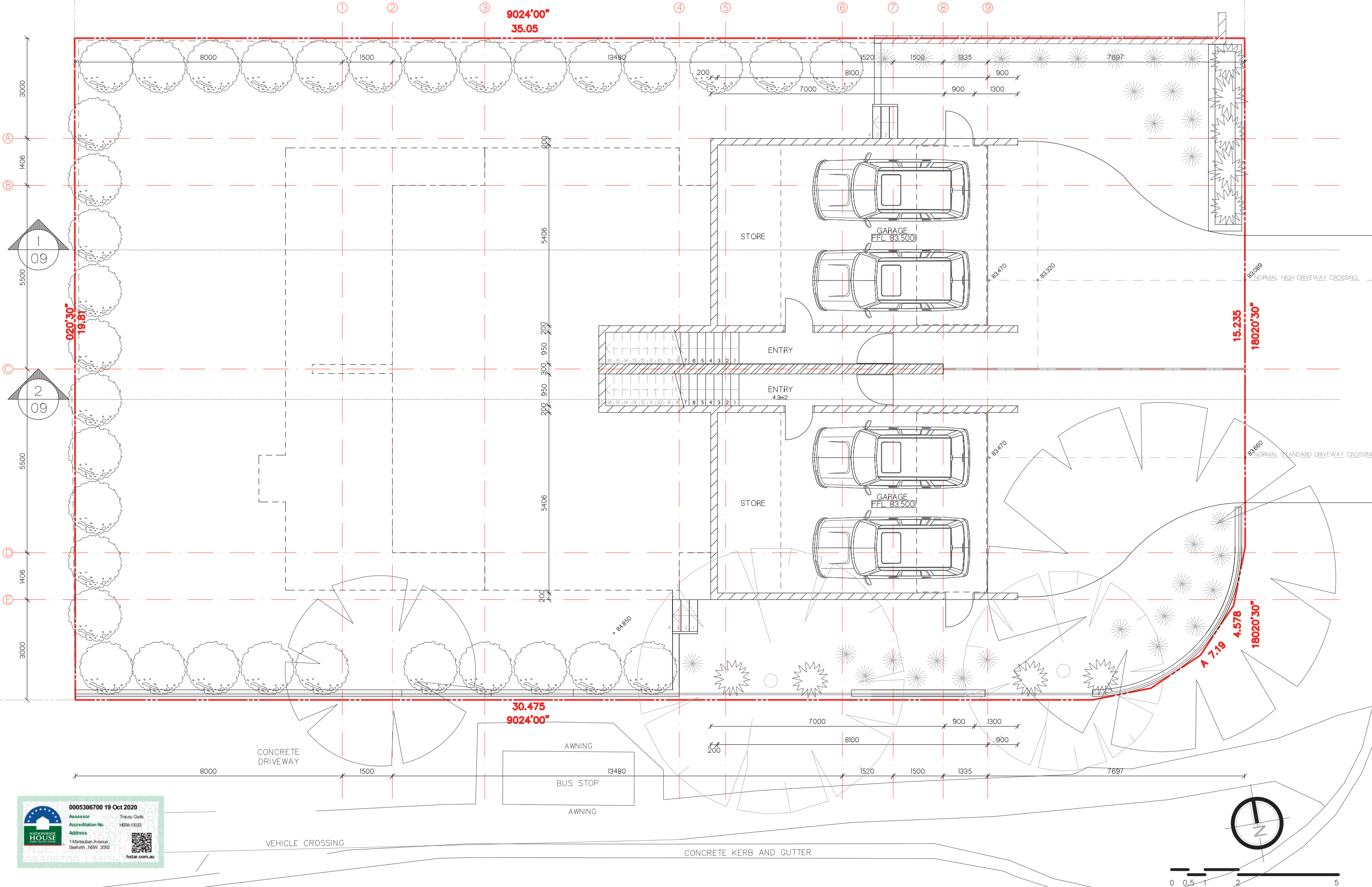
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DWG No: DA-01

ISSUE 3

DATE 28.05.20



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ADDRESS:
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1 MONTAUBAN AVENUE, SEAFORTH

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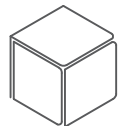
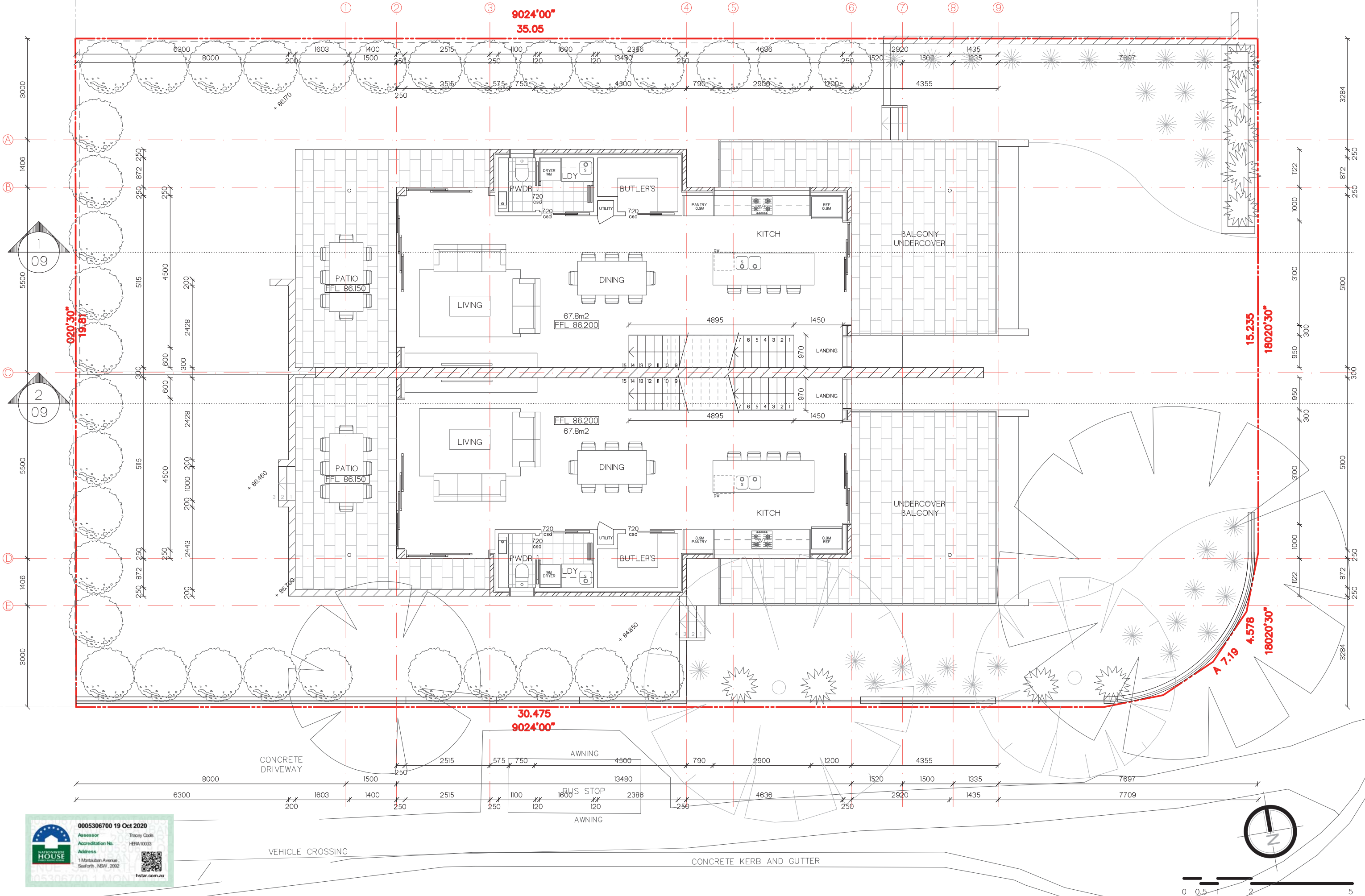
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GARAGE PLAN

SCALE:
1:100 @ A3

PROJECT No:
1907

DWG No:
DA-02

DATE
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ADDRESS:
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1 MONTAUBAN AVENUE, SEAFORTH

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SHEET TITLE:
GROUND FLOOR PLAN

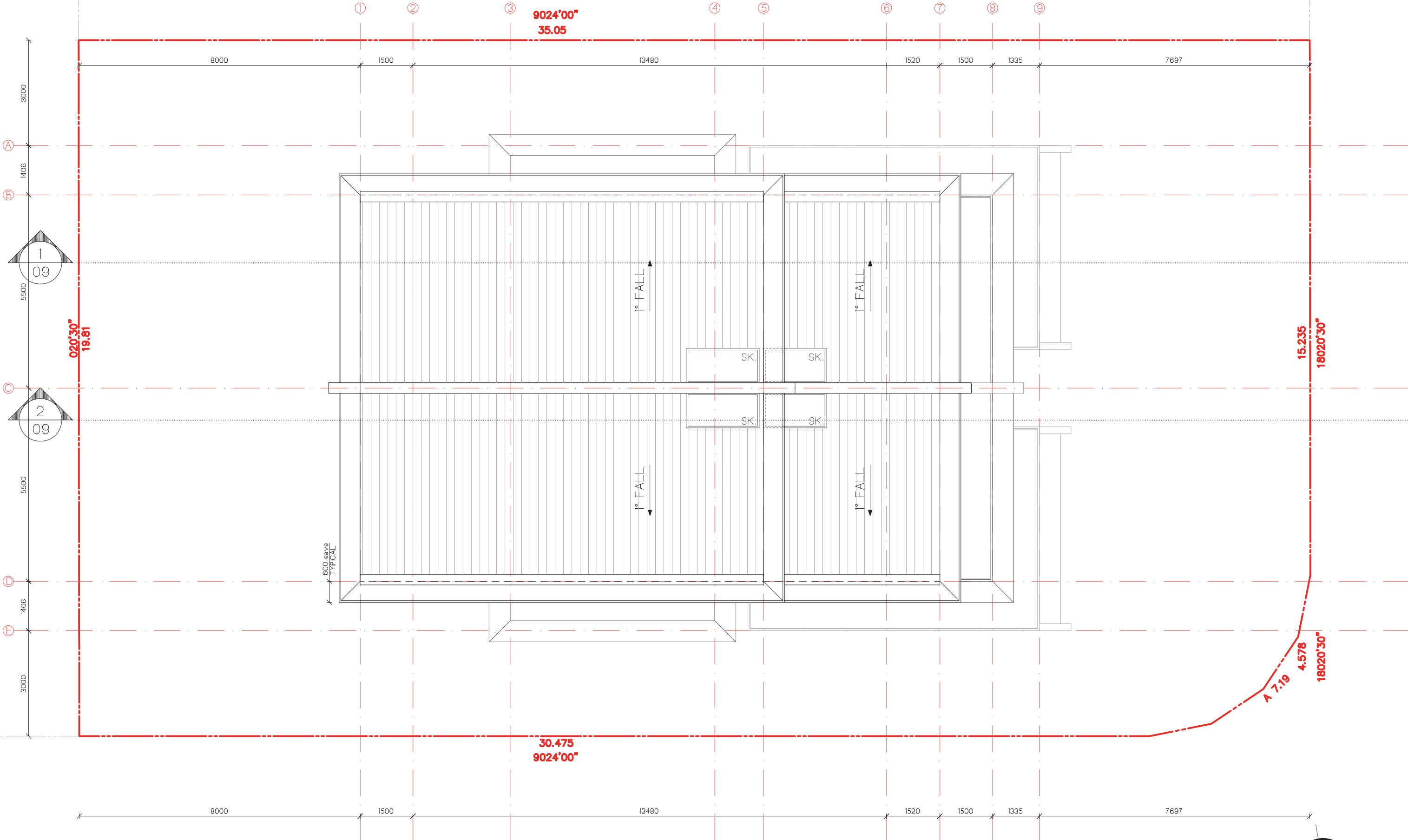
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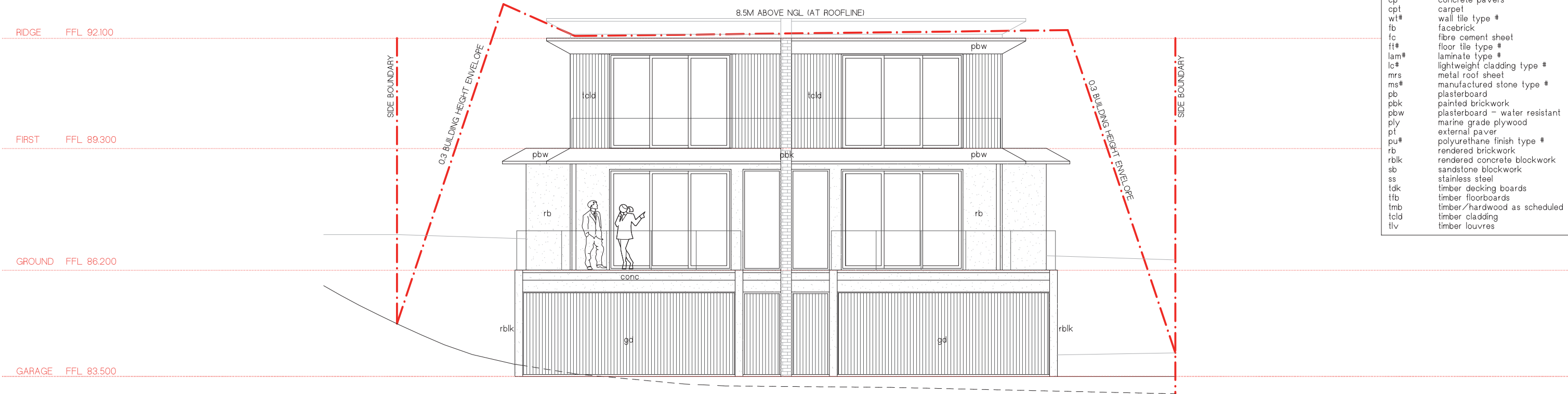
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DWG No:
DA-03

DATE
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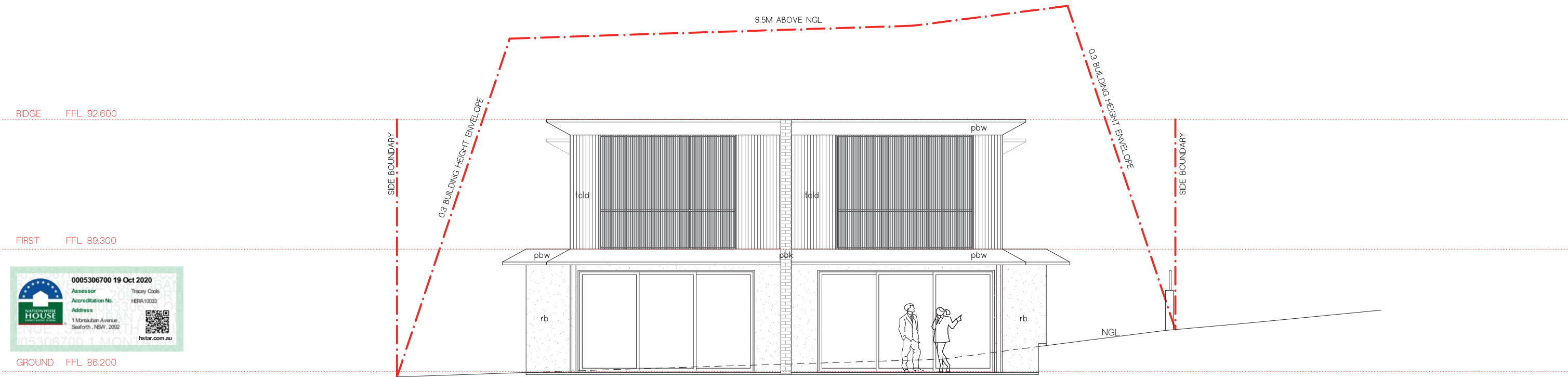
ISSUE
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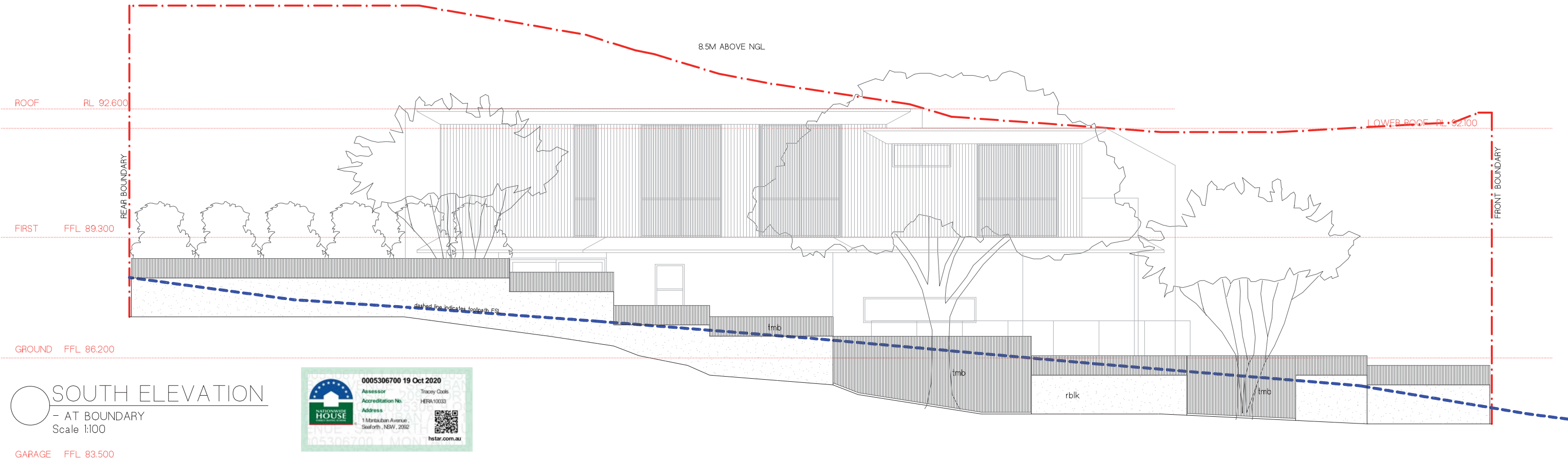
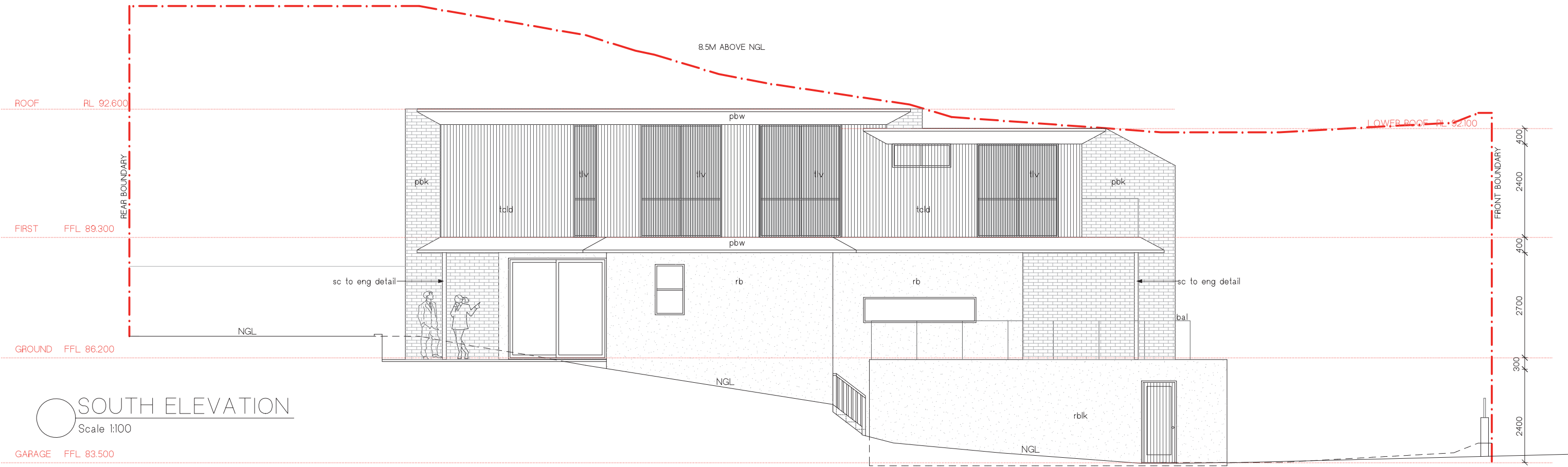
MATERIAL ABBREVIATIONS	
cb	concrete blockwork
conc	concrete
cp	concrete pavers
opt	carpet
wt#	wall tile type #
fb	facebrick
fc	fibre cement sheet
ft#	floor tile type #
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lc#	lightweight cladding type #
mrs	metal roof sheet
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pb	plasterboard
pbk	painted brickwork
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pu#	polyurethane finish type #
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tdk	timber decking boards
tfb	timber floorboards
tmb	timber/hardwood as scheduled
tcd	timber cladding
tlv	timber louvres

 EAST ELEVATION
Scale 1:100



 WEST ELEVATION
Scale 1:100







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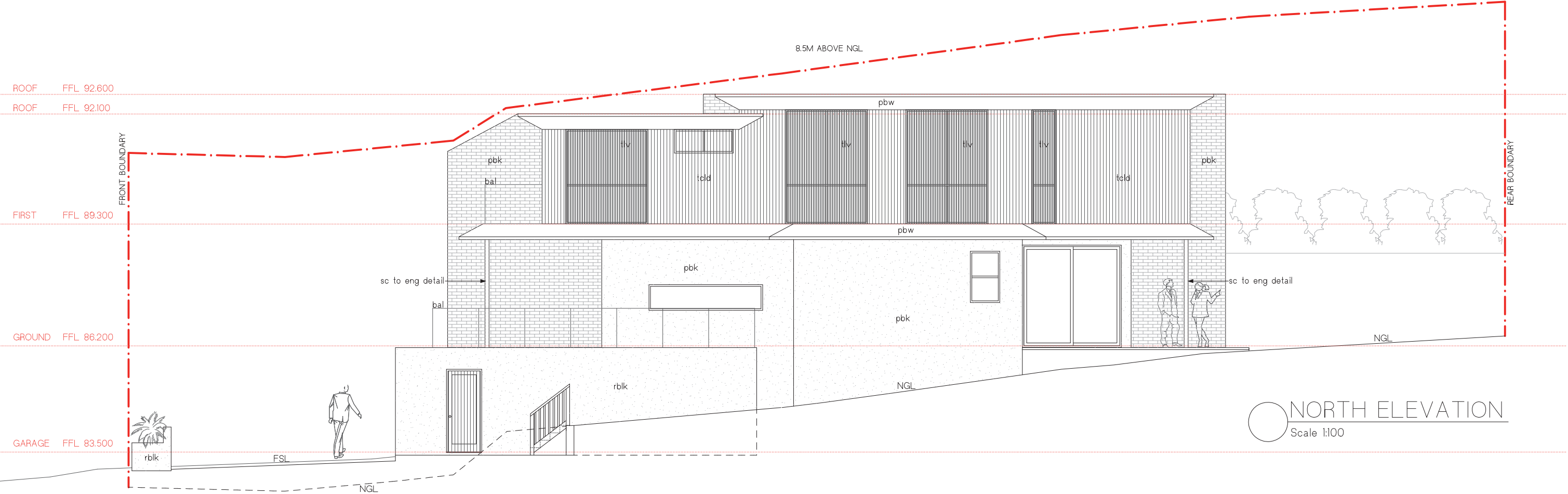
Address 1 Montauban Avenue, Seaforth, NSW, 2092

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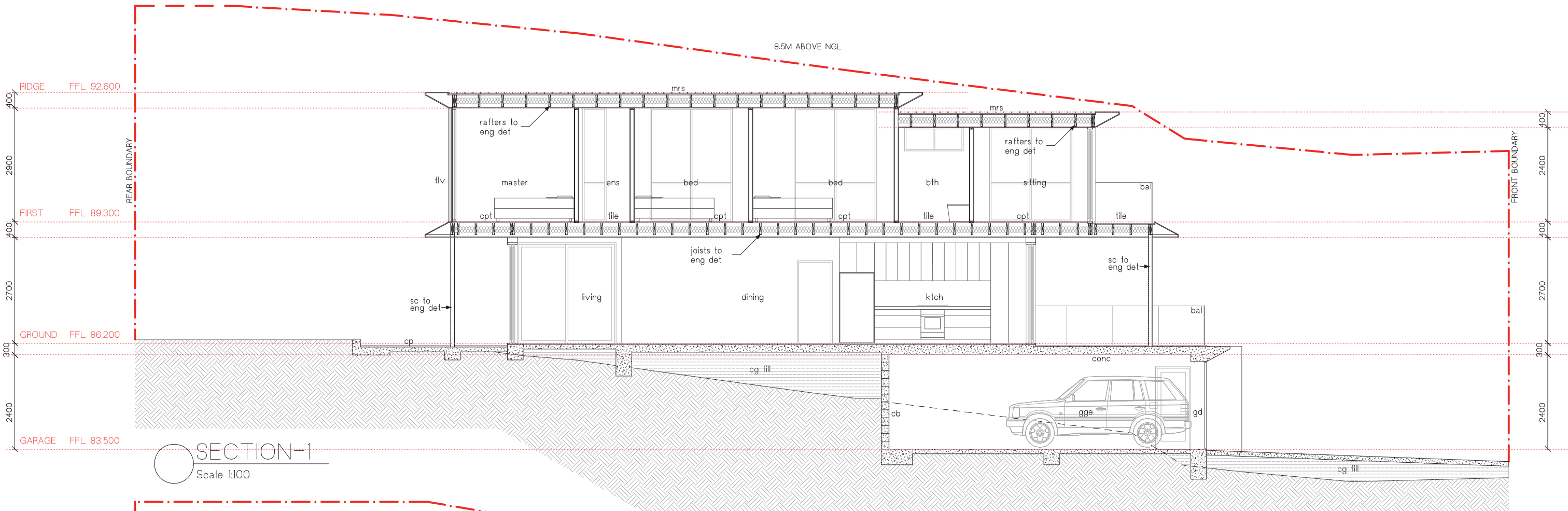
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					<div>CLIENT:</div> <div>VALERIUS INVESTMENTS PTY LTD</div>	<div>SCALE:</div> <div>1:100 @ A3</div>	<div>PROJECT No:</div> <div>1907</div>	<div>DWG No:</div> <div>DA-07</div>	<div>ISSUE</div> <div>3</div>



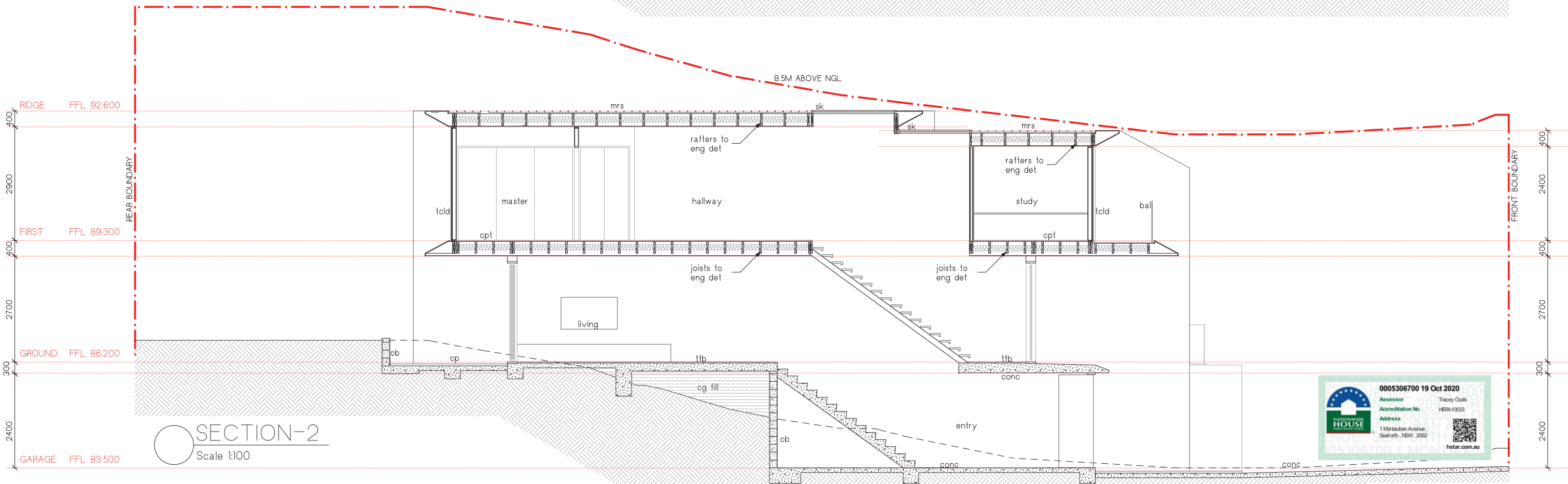
NORTH ELEVATION
Scale 1:100

MATERIAL ABBREVIATIONS	
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tfb	timber floorboards
tmb	timber/hardwood as scheduled
told	timber cladding
tiv	timber louvres





SECTION-1
Scale 1:100



SECTION-2
Scale 1:100



0 0.5 1 2 5



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SECTIONS

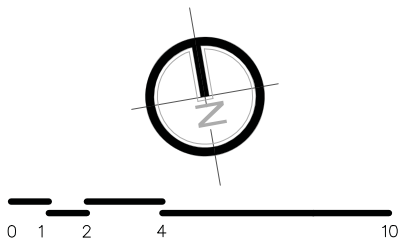
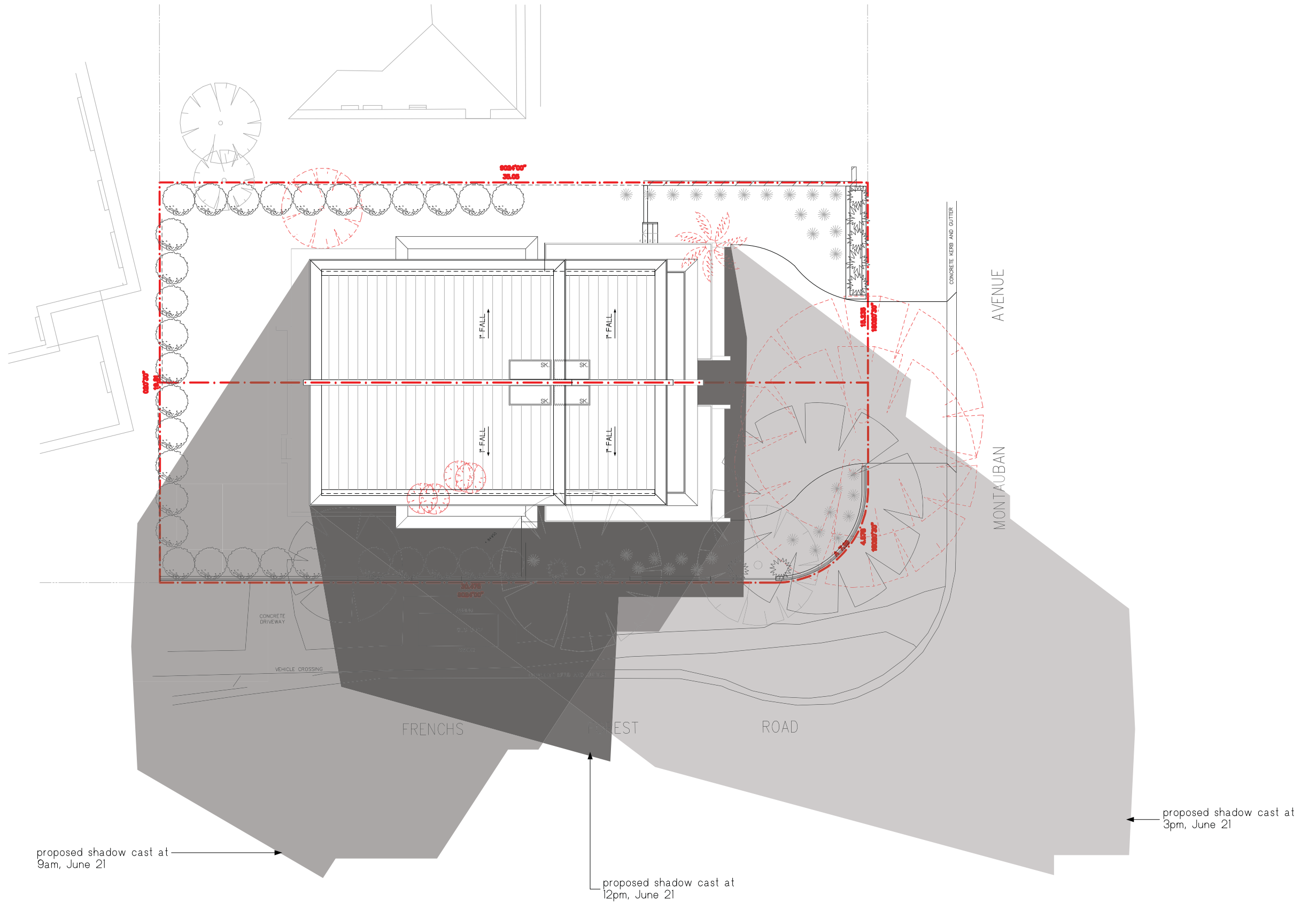
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1907

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DA-09

DATE
28.05.20

ISSUE
3



LANDSCAPE NOTES

PRESERVATION OF EXISTING TREES

Existing levels to be retained within the critical root zone of all trees remaining as per the Landscape plan. In any excavation, refer to arborist report for direction

PREPERATION OF GARDEN BEDS

Cultivate garden beds for new plants to a depth of 300mm. Incorporate imported 'greenlife' soil conditioner from Australian native landscapes (or equivalent) with existing soil when planting. Do not cultivate soil beneath existing trees to be retained. Mulch to be 'horticultural grade' pine bark by Australian native landscapes (or equivalent) and installed to a depth of 75mm to all garden beds, covering mulch down around plant stems and finish flush with adjacent surfaces.

SOIL PREPERATION

Where earthworks have occurred, the contractor is to ensure any stockpiled topsoil is free of unwanted matter such as rocks, clay lumps, tree roots, builder's rubbish and any material toxic to plants.

PLANTING

Purchase plants from an approved nursery. Plants to be healthy and true to type and species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug twice the width and to be 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertilise, followed by 100mm depth of topsoil mix placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be firmed to contain water around the base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed, plant shall be thoroughly watered and maintained for the duration of the contract. All trees and large shrubs shall be staked using 2 x 38mm x 38mm x 200mm long hardwood stakes per plant and secured with hessian webbing ties installed to contractor's on site instructions.

MAINTENANCE

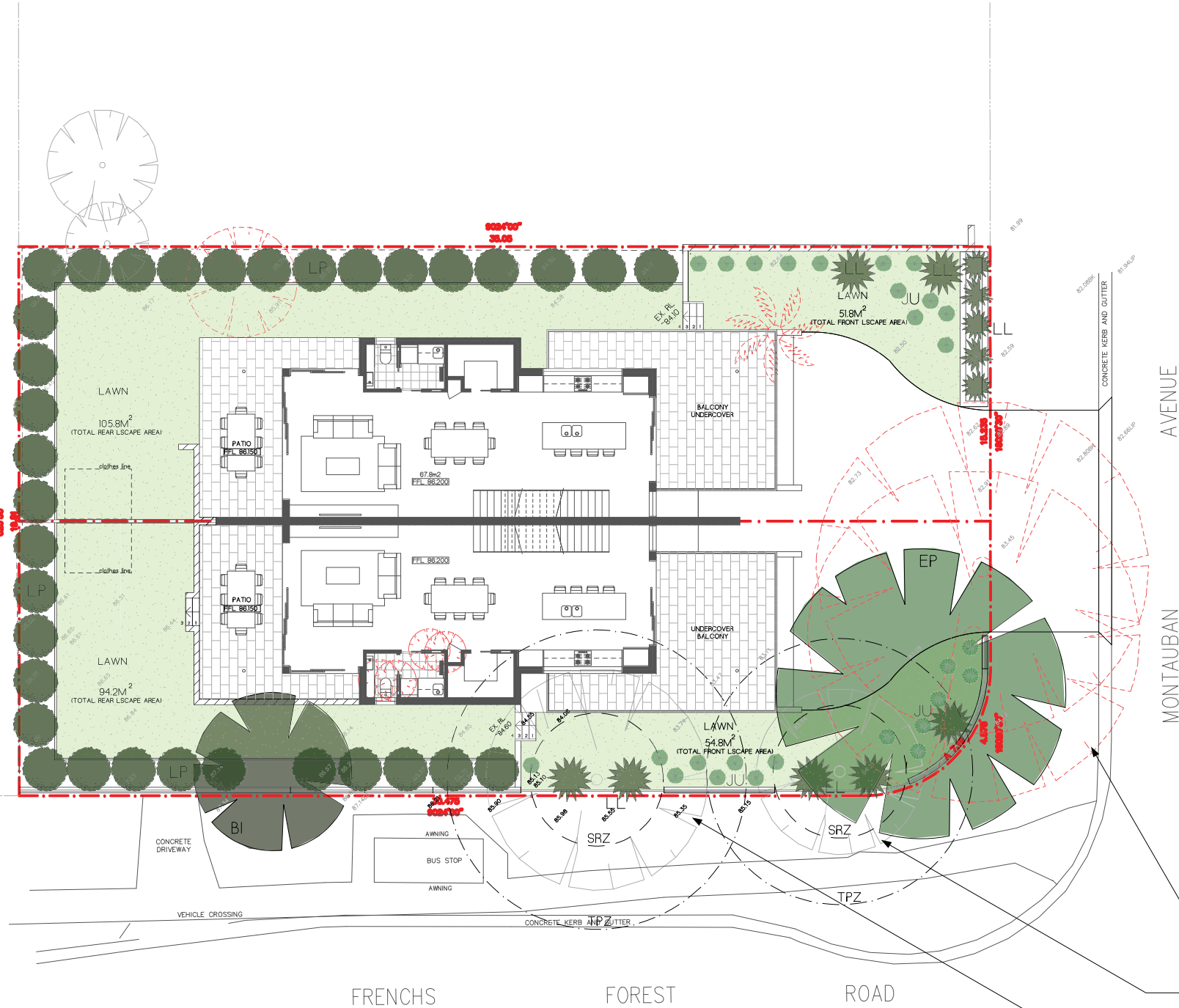
Carry out the following tasks for a twelve month period from the date of practical completion:

- weeding of all garden beds
- rubbish removal
- fertilising to achieve optimal growth
- pest and disease control
- adjustment of ties and stakes
- replace failed planting
- pruning and hedge clipping of plants
- reinstatement of mulch to specified depth



example of Spiny Mat Rush

PLANT SCHEDULE					
SYMBOL	BOTANIC NAME	COMMON NAME	HEIGHT x WIDTH	No.	POT SIZE
TUFTED PLANTS					
JU	JUNCUS USITATUS	COMMON RUSH	0.6m x 0.5m	24	80mm
LL	LOMANDRA LONGIFOLIA	SPINY MAT RUSH	1.0m x 1.5m	11	80mm
TREES					
BI	BANKSIA INTEGRIFOLIA	COASTAL BANKSIA	8.0m x 6.0m	1	250mm
EP	EUCALYPTUS PUNCTATA	GREY GUM	25m x 8.0m	1	250mm
SHRUBS					
LP	ACMENA SMITHII	RED TIPS LILLY PILLY	3.0m x 3.0m	16	250mm



example of Common Rush



example of Red Tips Lilly Pilly

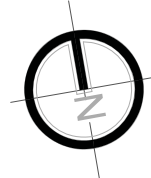


example of Grey Gum

2 X EUCALYPTUS ROBUST (SWAMP MAHOGANY)
EXISTING TREES IN FAIR CONDITION
TO BE REMOVED (SHOWN DASHED)

BANKSIA INTEGRIFOLIA (COASTAL BANKSIA)
EXISTING TREE IN GOOD CONDITION
TO BE RETAINED

GLOCHIDION FERDINANDI (CHEESE TREE)
EXISTING TREE IN GOOD CONDITION
TO BE RETAINED



Erosion & Sediment Control Plan (ESCP)
This drawing is in accordance with the requirements of the NSW Department of Land and Water Conservation's "Urban Erosion and Sediment Control" manual.
Any vehicle leaving the site must be washed down on the "Stabilised Site Entry" to remove any clay that may have become attached to the vehicle.

The road around the entry/exit site is to be swept at regular intervals to prevent sediment build up at the entry/exit point of the site.

1. Site works will not start until the erosion and sediment control works outlined in clauses 2 to 5, below, are installed and functional.

2. Entry and exit to the site will be confirmed to one stabilised location. Fencing will be used to restrict all vehicular movements to stabilised entrance. Stabilisation achieved by either:

* Constructing a concrete driveway to the street.

* Constructing a stabilised site access, according to the Stabilised Site Access Detail drawing.

3. Sediment control (see Typical Sediment Fence Plan and Sediment Fence Section Detail) and barrier fences will be installed as shown on the ESCP with low flow channel bank (see Stabilised Site Entry).

4. Mesh and gravel sausage protection will be provided to protect gutter inlets near the allotment.

5. Topsoil will be stripped and stockpiled for later use in landscaping the site.

6. All stockpiles will be placed in the location shown on the ESCP and at least 2 metres clear of all areas of concentrated water flow and the driveway protected by site works.

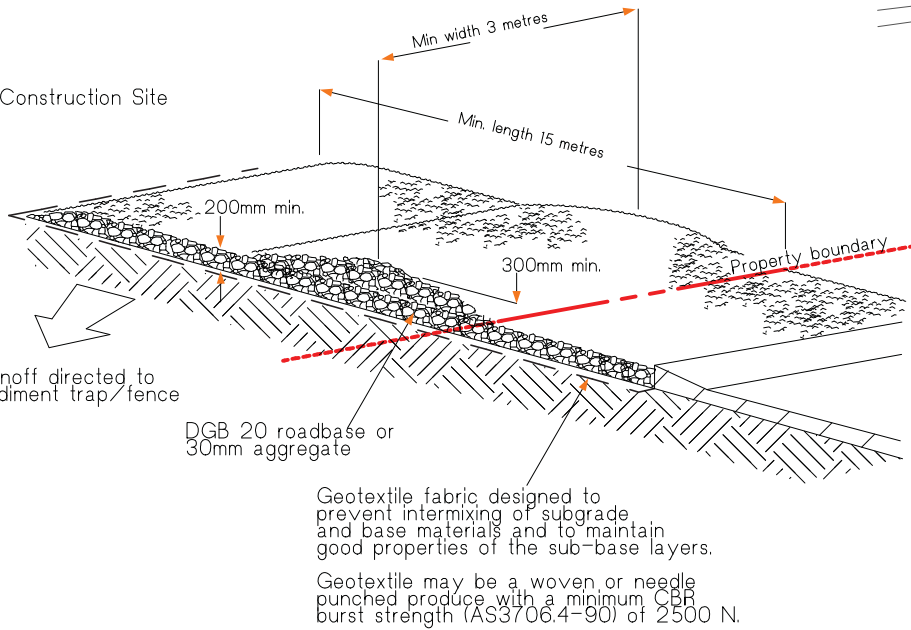
7. Lands to the rear and sides of the allotment and on the footpath will not be disturbed during works except where essential, e.g. drainage works across the footpath. Where work are necessary, they will be undertaken in such a way to leave the lands in a condition of high erosion hazards for as short a period as practicable. They will be rehabilitated as soon as possible. Stockpiles will not be placed on these lands and they will not be used as vehicle parking areas.

8. Approved bins for concrete and mortar slurries, paints, acid washings and litter will be provided and arrangements made for collection and disposal.

9. Guttering will be connected to the stormwater system as soon as practicable.

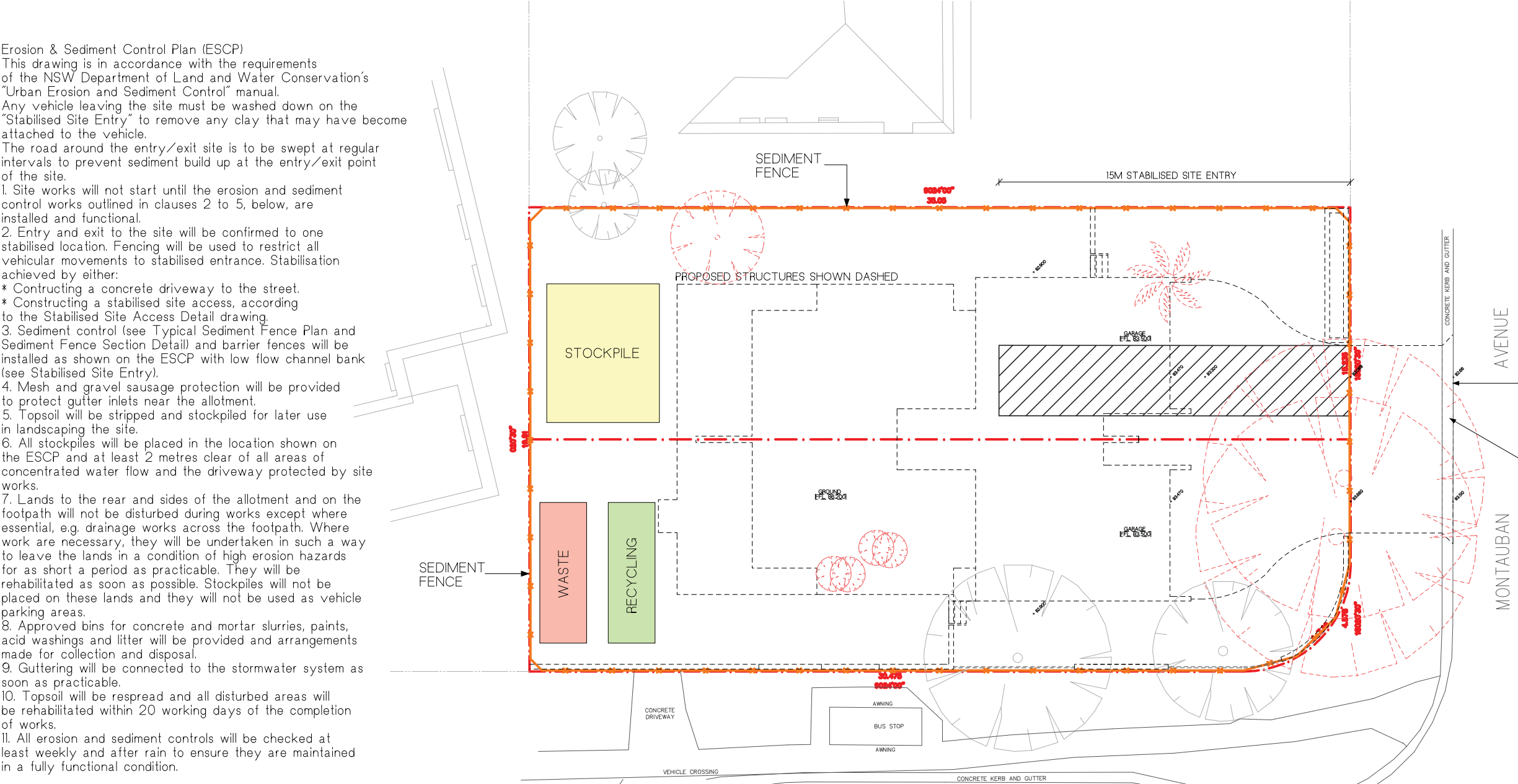
10. Topsoil will be respread and all disturbed areas will be rehabilitated within 20 working days of the completion of works.

11. All erosion and sediment controls will be checked at least weekly and after rain to ensure they are maintained in a fully functional condition.



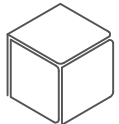
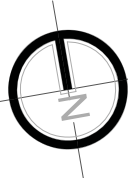
Construction Notes

1. Strip topsoil and level site.
2. Compact subgrade.
3. Cover area with needle-punched geotextile.
4. Construct 200mm thick pad over geotextile using roadbase or 30mm aggregate. Minimum length 15 metres or to building alignment. Minimum width 3 metres.
5. Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap.



Gutter Protection
Provide protection to down hill Grate in Gutter by means of Sand bags or blue metal wrapped in geotextile fabric. When soil or sand builds up around this sediment barrier, the material should be relocated to the site for disposal.

Site Access
Vehicular access to the site must be via a single entry point that is stabilised to prevent the tracking of sediment onto the roads and footpath. Soil, earth, mud, clay, concrete washing, paint or similar materials must be removed from the roadway, by means other than washing, on a daily basis. All clay or similar to be brushed or washed from vehicles before leaving site.



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DO NOT SCALE FROM DRAWINGS. BUILDER/CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF SITE WORK OR OFF-SITE FABRICATION.

ISSUE	DATE	AMENDMENT
1	28.05.20	CONCEPT ISSUE FOR PRE DA MEETING
2	18.08.20	GENERAL REVISIONS
3	25.09.20	DA ISSUE

ADDRESS:
LOT 42 IN D.P. 35319
1 MONTAUBAN AVENUE, SEAFORTH

CLIENT:
VALERIUS INVESTMENTS PTY LTD

SHEET TITLE:
EROSION + SEDIMENT CONTROL PLAN

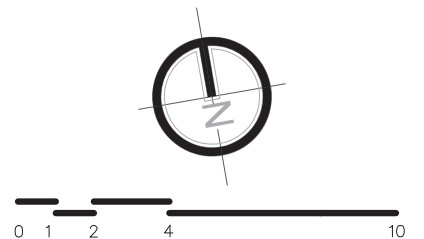
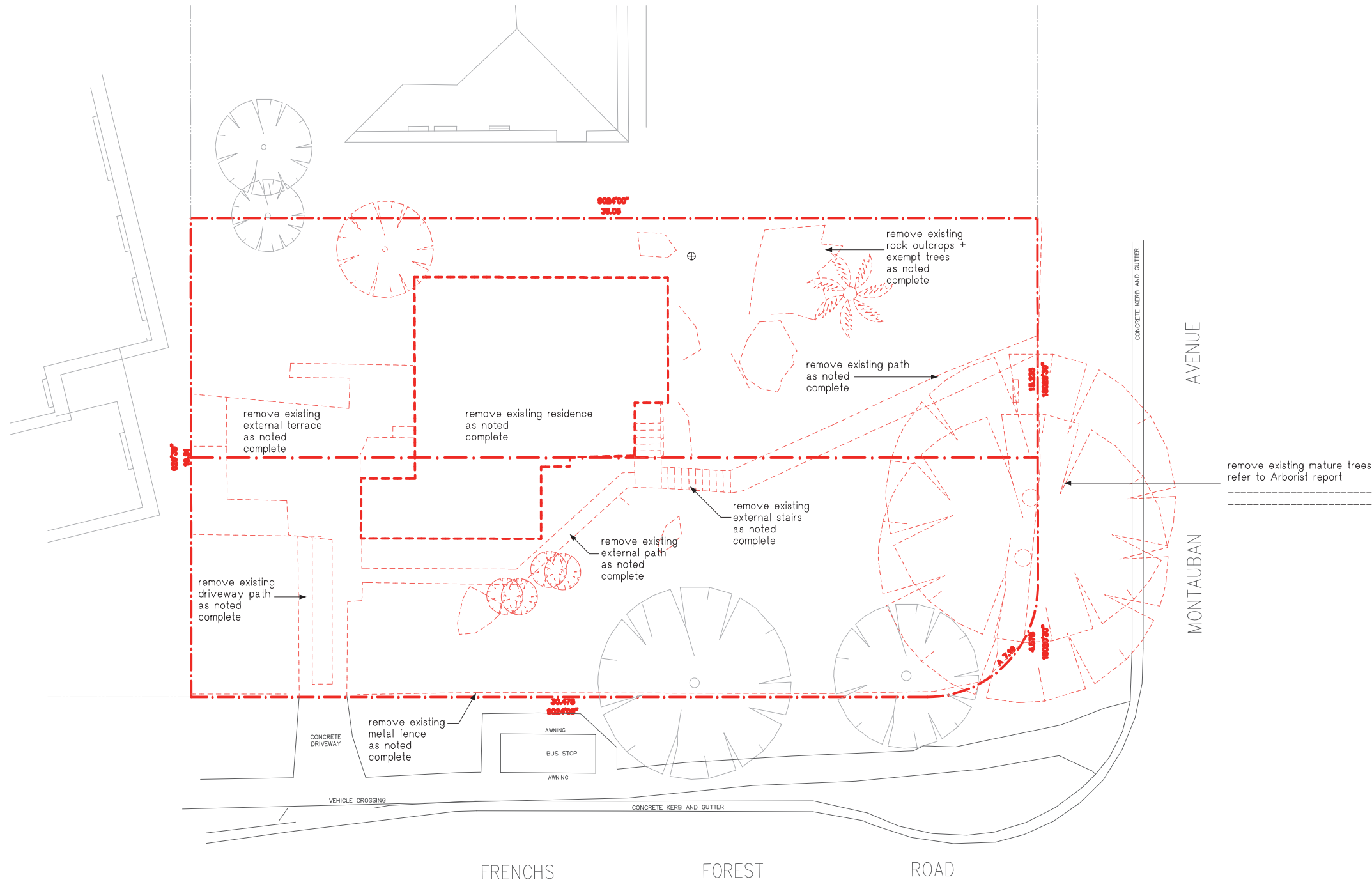
DATE
28.05.20

SCALE:
1:200 @ A3

PROJECT No:
1907

DWG No:
DA-12

ISSUE
3



LEGEND

AREA OF EXCAVATED MATERIAL

AREA OF FILL MATERIAL

FSL ###,###

U/SIDE OF PROPOSED SLAB

##,##M³

PROPOSED FILL/EXCAVATION

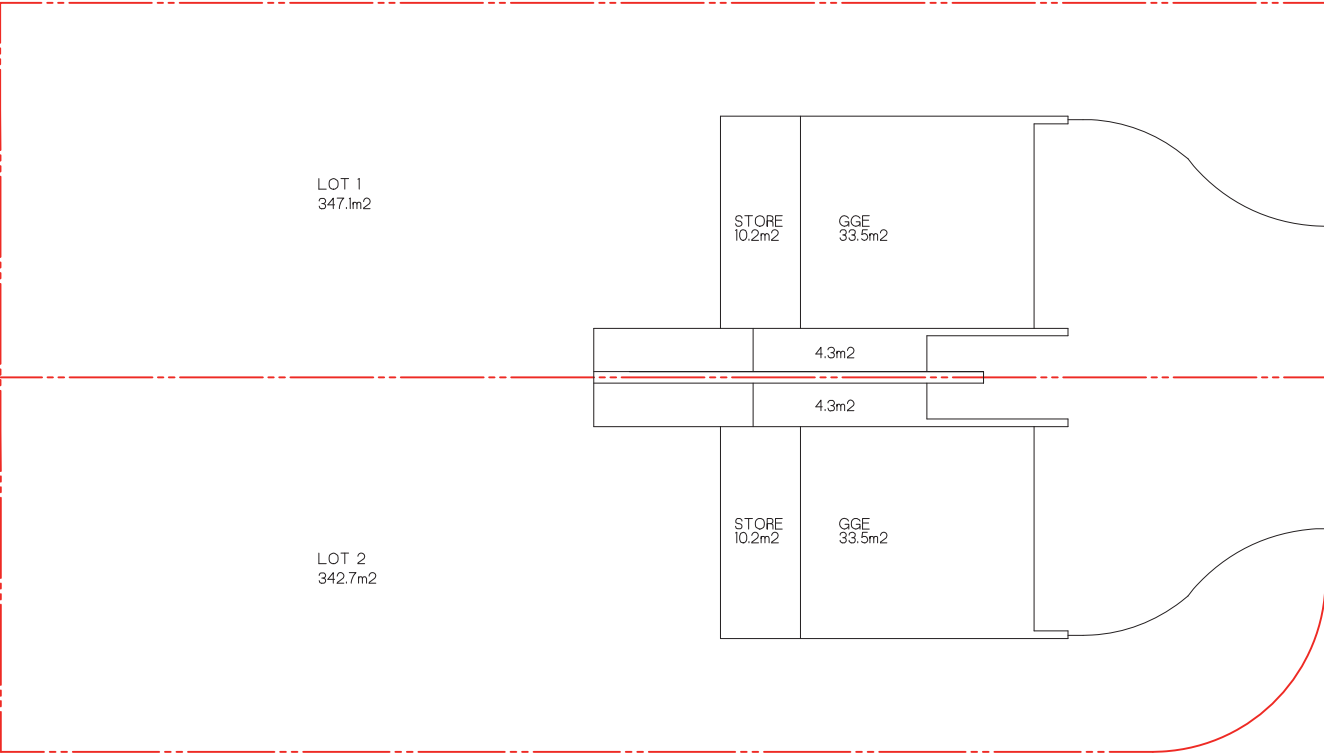
Excavation work should be carefully planned before work starts so it can be carried out safely. Planning involves identifying the hazards, assessing the risks and determining control measures in consultation with all relevant persons involved in the work including the principal contractor for a construction project, excavation contractor, designers and mobile plant operators. Structural or geotechnical engineers may also need to be consulted at this stage.

Consultation should include discussions on the:

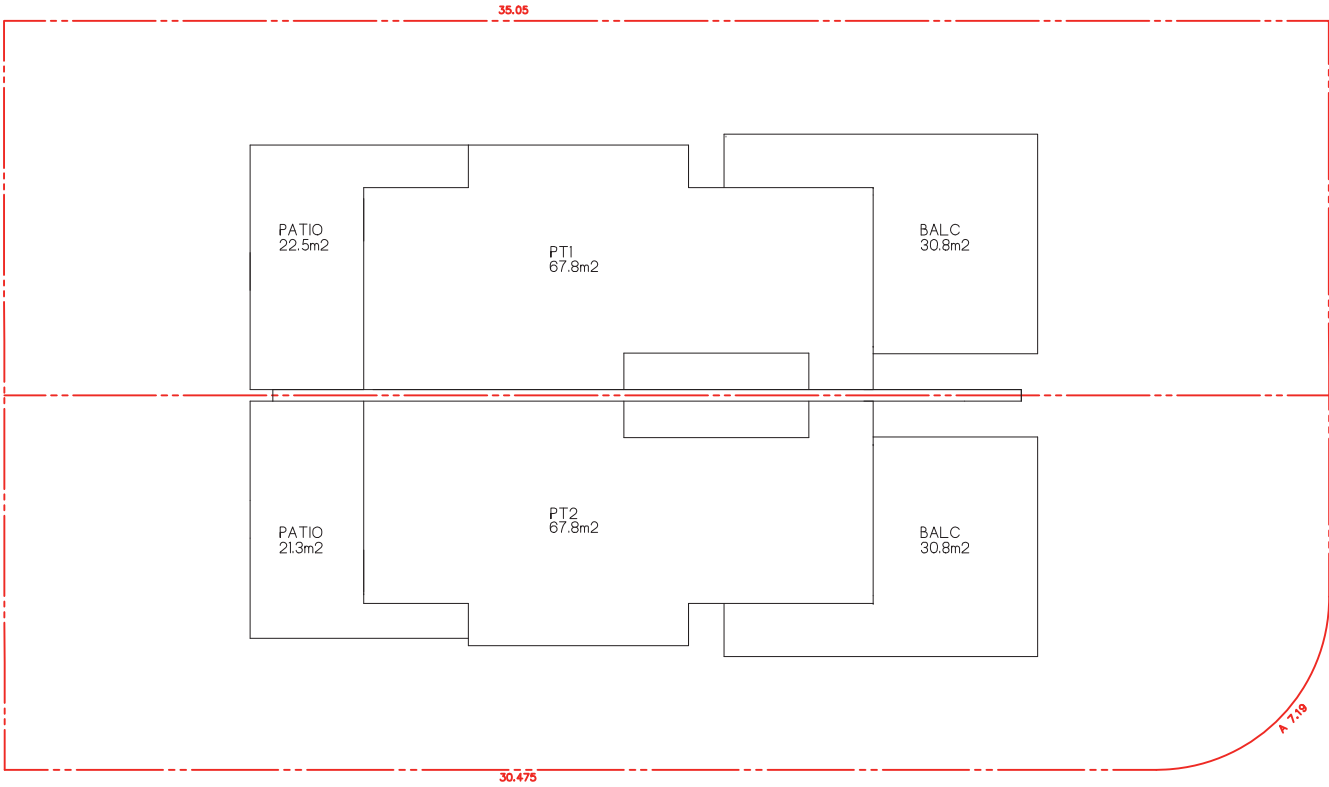
- nature and condition of the ground and working environment
- weather conditions
- nature of the work and other activities that may affect health and safety
- static and dynamic loads near the excavation
- interaction with other trades
- site access
- SWMS
- management of surrounding vehicle traffic and ground vibration
- types of equipment used for excavation work
- public safety
- existing services and their location
- the length of time the excavation is to remain open
- providing facilities, and
- procedures to deal with emergencies.

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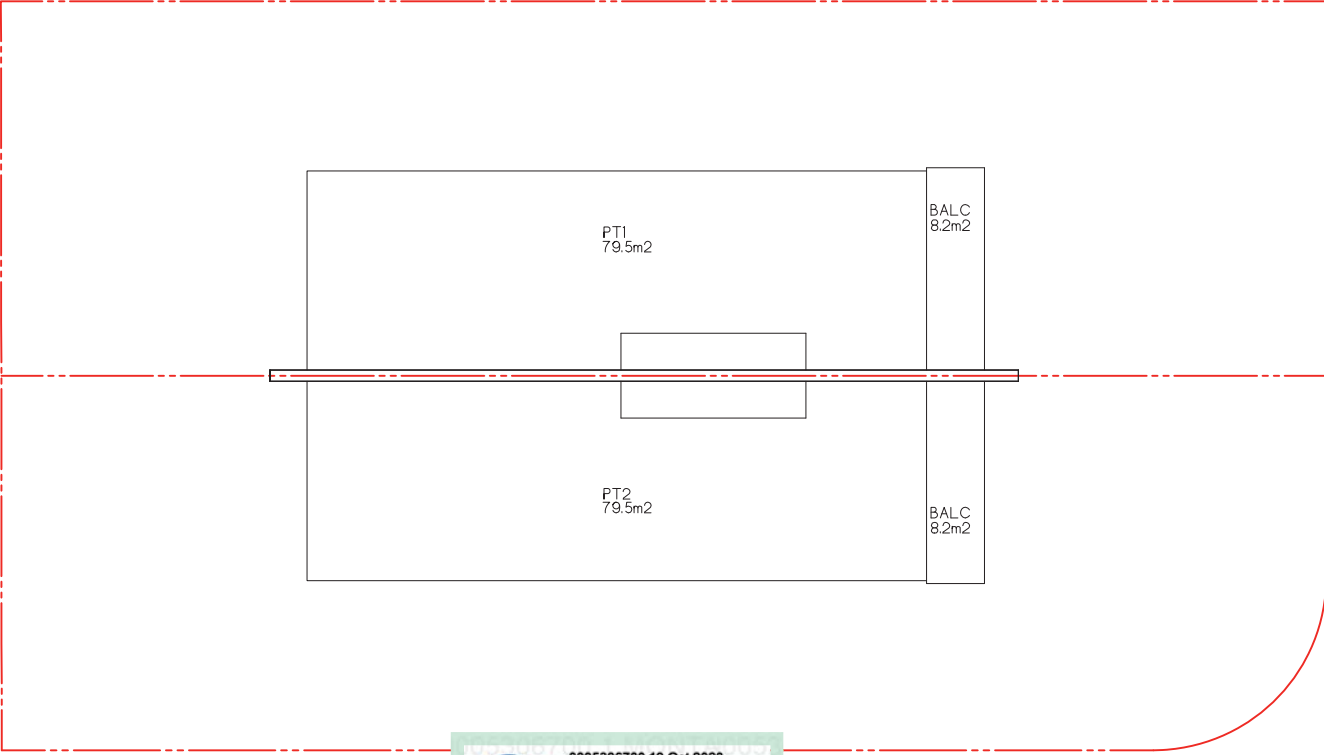
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		2	18.08.20	GENERAL REVISIONS	1 MONTAUBAN AVENUE, SEAFORTH		
		3	25.09.20	DA ISSUE			
CLIENT: VALERIUS INVESTMENTS PTY LTD						SCALE: 1:200 @ A3	PROJECT No: 1907
						DWG No: DA-14	ISSUE 3



LOWER FLOOR
Scale 1:200



GROUND FLOOR
Scale 1:200



FIRST FLOOR
Scale 1:200

