

# **STATEMENT OF ENVIRONMENTAL EFFECTS**

**PROJECT**  
**ALTERATIONS AND ADDITIONS  
TO EXISTING DWELLING**

**PROPERTY**  
**79 PARKES ROAD,  
COLLARROY PLATEAU**

**CLIENT**  
**CHRIS WILLOUGHBY**

**JOB NO. 19-63**

**DATED**  
**10 December 2021**

## **1.0 INTRODUCTION**

The purpose of this submission is to enlighten Council on some of the thoughts behind the design development of the proposed alterations and additions of the existing dwelling the proprietors wish to construct on the property at 79 Parkes Road, Collaroy Plateau.

This statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed.

This presentation also outlines the design mechanisms implemented to ensure that the impact of the proposal on the adjoining amenity is lessened.

As a result of this assessment it is concluded that the development of the site in the manner proposed is considered to be acceptable and is worthy of the support of the Council.

## 2.0 THE SITE AND EXISTING BUILDING

The property is located at 79 Parkes Road, Collaroy Plateau Lot 1 within Deposited Plan 1237589. The block of land is approximately 942.8sqm in the site area, faces Southwest on Parkes Road. The site slopes down towards the front boundary. The property is zoned R2 Low Density Residential under the Warringah Local Environmental Plan 2014.

A single- storey dwelling and an attached garage exist on the property. There is a vehicle crossing on Parkes Road, and a driveway runs along the western boundary that leads into the attached garage. Refer to image 1 and 2.



Image 1. Existing dwelling on 79 Parkes Road Collaroy Plateau

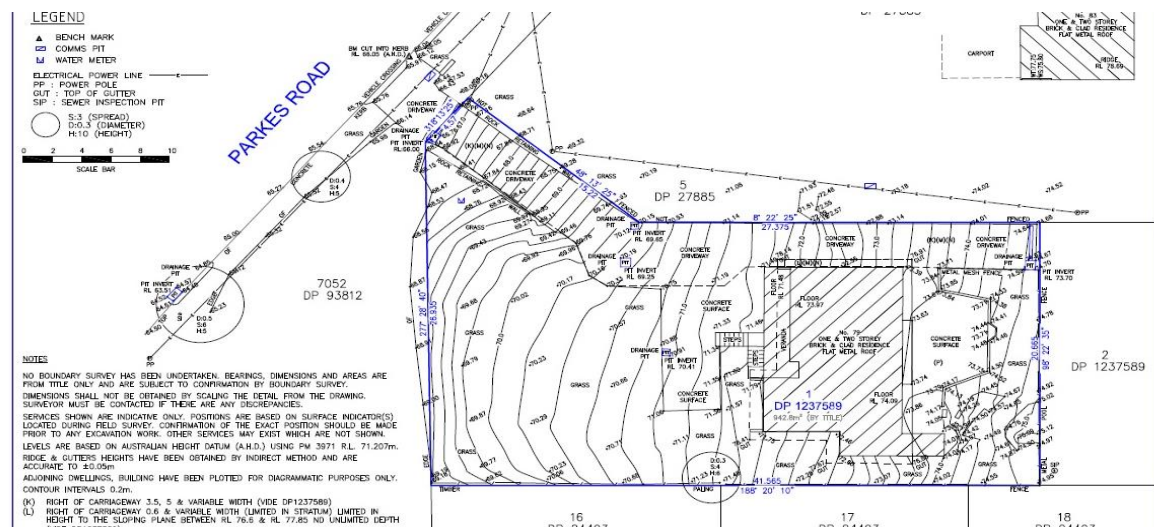


Image 2. Survey (NTS)



### **3.0 EXISTING STREETSCAPE**

To the immediate west of the subject property, an extended driveway of 79A Parkes Road exists. The driveway is extended to an attached garage of the existing two-storey dwelling.



*Image 3. A two-storey dwelling at 79A Parkes Road*

The eastern boundary of the subject site runs along rear boundaries of dwellings on Perrey Street including houses 14,16,18,20 and 22 Perrey Street.



*Image 4. Aerial view of the subject property and the surroundings*



Further, to the immediate south of the subject property, a public open area, Crown Reserve exists.



*Image 5. Crown Reserve*

Across the road of the subject property, at 116 Parkes Road is a three-storey dwelling exists. The existing dwelling faces Gilmore Avenue.



*Image 6. 116 Parkes Road*



The general streetscape along Parkes road is an amalgamation of two or three-storey dwellings. The dense landscape along Parkes Road displays the longstanding rooted history of the area. They are versatile in colour selections, finishes, windows and roof details.



*Image 7. Streetscape along Parkes Road*



*Image 8. Streetscape along Parkes Road*

## **4.0 THE PROPOSAL**

### **Object:**

The proprietors of 79 Parkes Road, requested RK Designs to design an additional storey to the existing dwelling for their growing family needs. We believe that this was adequately carried out in our proposal presently before Council.

The existing principal dwelling faces Southwest and consists of four bedrooms with a gross floor area of approximately 111sqm. The addition of a storey will improve the house layout to be five-bedroom with a greater area for living and family entertainment.

### **Amenity:**

On the ground level, the substantial living area allows spatial flow. Further, openings on North and south façade of the area connect space to outdoor visually. This will enable both visual and physical interaction between indoor and outdoor living and entertaining.

North facing openings allow the space to achieve sufficient penetration of daylight and cross ventilation into the building. Therefore, the kitchen and the living area will be well lit throughout a day as well as achieving cross ventilation for the high amenity of users.

Family entertainment area extends out from the living area to enhance recreation of residents. Timber deck towards the CDC approved pool area add on the visual appeal of the rear garden.

Moreover, there is a complying development at the front of the existing building. Two developments will efficiently complement together as one complex with a generous landscape and outdoor entertainment area.

### **Privacy:**

Additionally, the principal dwelling has setbacks more than the minimum required from all site boundaries. There will be no privacy issue from the existing /future neighbouring buildings.

*More details are provided in section 5.9*

### **Form:**

The site has a small frontage to Parkes Road, as it is located behind a reserve. The external design of the house is modern, with a pitched roof. The Alfresco and the balcony area facing Parkes Road appear to be inviting. The architectural style of the outer form is in parallel to the character of the surrounding streetscape of Parkes Road. The overall outcome is a contemporary building, in context with the existing streetscape, whilst providing a uniform and exciting façade. The colours and finishes are in accordance with the external materials, colours and finishes schedule, which is included as part of this development application to Council.

## **5.0 COMPLIANCE WITH THE WARRINGAH DCP AND WARRINGAH LOCAL ENVIRONMENTAL PLAN 2011**

The requirements of the Northern Beaches Council, Warringah Local Environmental Plan 2011 and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

### **WARRINGAH LOCAL ENVIRONMENTAL PLAN 2011**

#### **ZONE R2 LOW DENSITY RESIDENTIAL**

##### **1 Objectives of zone**

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.

##### **2 Permitted without consent**

Home-based child care; Home occupations

##### **3 Permitted with consent**

Bed and breakfast accommodation; Boarding houses; Boat sheds; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; **Dwelling houses**; Educational establishments; Emergency services facilities; Environmental protection works; Exhibition homes; Group homes; Health consulting rooms; Home businesses; Hospitals; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Respite day care centres; Roads; Secondary dwellings; Tank-based aquaculture; Veterinary hospitals

##### **4 Prohibited**

Any development not specified in item 2 or 3

Therefore, the development is permissible with consent.



## **5.1 BUILDING HEIGHT**

The requirements of the Northern Beaches Council, the Warringah Local Environmental Plan and the subject proposal's compliance with the Local Control Plan are outlined as follows.

Allowed height - 8.50 metres to the highest point of the roof.

Proposed height - 8.40 metres maximum to the highest point of the roof.

The proposed building is two-storey in height with a 14 degree pitched metal roof.

Therefore, the proposal complies with the requirements of the Development Control Plan.

## **5.2 LANDSLIDE RISK LAND**

The requirements of the Northern Beaches Council, the Warringah Local Environmental Plan 2011 and the subject proposal's compliance with the Local Control Plan are outlined as follows:

The site is within Area D, Flanking Slopes on Council's Geotechnical Hazard Map. Accordingly, a Preliminary Geotechnical Assessment has been prepared by White Geotechnical Group. The proposal will be carried out in accordance with the recommendations of this report.

## **WARRINGAH DEVELOPMENT CONTROL PLAN 2011**

### **5.3 WALL HEIGHT**

**B1** The requirements of the Northern Beaches Council of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows:

#### **Objectives:**

- To minimise the visual impact of development when viewed from adjoining properties, streets, waterways and land zoned for public recreation purposes.
- To ensure development is generally beneath the existing tree canopy level.
- To provide a reasonable sharing of views to and from public and private properties.
- To minimise the impact of development on adjoining or nearby properties.
- To ensure that development responds to site topography and to discourage excavation of the natural landform.
- To provide sufficient scope for innovative roof pitch and variation in roof design.

#### **Control:**

Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).

#### **Exceptions:**

This control may be varied on sites with slopes greater than 20% within the building footprint (measured at the base of the external walls), provided the building:

- does not exceed the 8.5 metre height development standard;
- is designed and located to minimise bulk and scale; and
- has a minimal visual impact when viewed from the downslope sides of the land.



**Response:**

The proposed wall height is 7.48m at the maximum on the East and West elevations. The wall height is not complying with the DCP in the minor. The variation consists of 232mm to 280mm. The proposed development is a two-storey development on a slopy topography greater than 20% within the building footprint.

The objective of the control is to minimise the visual impact of development when viewed from adjoining properties, streets, waterways and land zoned for public recreation purposes. The development faces a shared driveway towards the west of the property. Further, the nearest west adjoining property is 83 Parkes Road, which has a setback of approximately 15 metres from the proposal. The site is on a slope, therefore when the proposal is viewed from 83 Parkes Road, the scale and bulk of the building will be considered more undersized. Please refer to image 9.

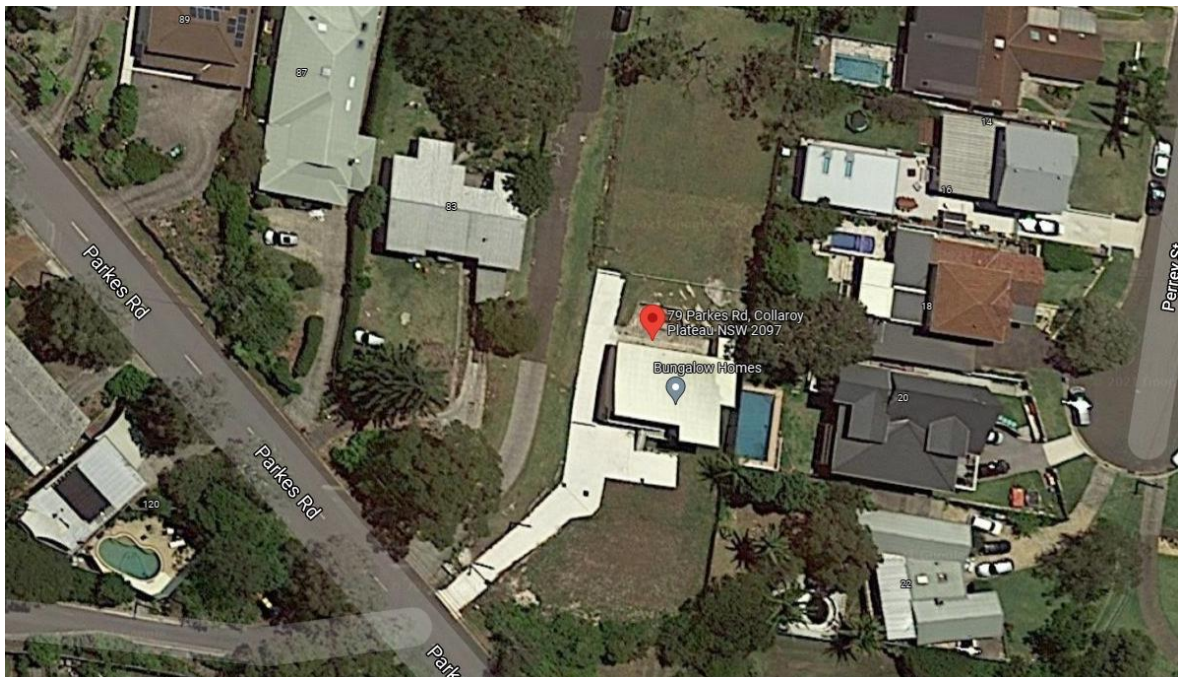


Image 9. Aerial view of the proposed development

Further, on the East of the property towards 20 and 22 Perrey Street, the applicant agreed with adjoining neighbours to install effective bamboo screening for improved privacy for both properties. The bulk and scale are broken when viewed from 20 and 22 Perrey Street. Therefore, the visual impact of the proposal is minimised.



*Image 10. Existing fence and installed bamboo screening*



*Image 11. Bamboo Screening*

Besides, there is no existing tree canopy being affected by the proposal. The proposed site is on a slope, and the property is not affecting views to and from public and private properties by its' wall height noncompliance. It is responding to the natural topography of the land with a minimum excavation of the natural landform.

Also, the proposal reduced the FCL of floors 50mm from ground level and first level from the previous DA to improve the wall height noncompliance.

In conclusion, the proposal does not strictly follow the maximum wall height requirements of the Development Control Plan. However, we believe that our proposal reasonably considered all aspects of the objectives of the control.

The proposed development is designed for excellence in the external amenity of providing sufficient environmental planning grounds in the interest of the residents. It is consistent with the objectives of the development standards as it is a requirement to achieve an opportunity for less excavation. The development of the form demonstrates a proposal, which produces a better outcome than a complying scheme.

## **5.4 SIDE BOUNDARY ENVELOPE**

**B3** The requirements of the Northern Beaches Council, of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

### **Objectives**

- To ensure that development does not become visually dominant by virtue of its height and bulk.
- To ensure adequate light, solar access and privacy by providing spatial separation between buildings.
- To ensure that development responds to the topography of the site.

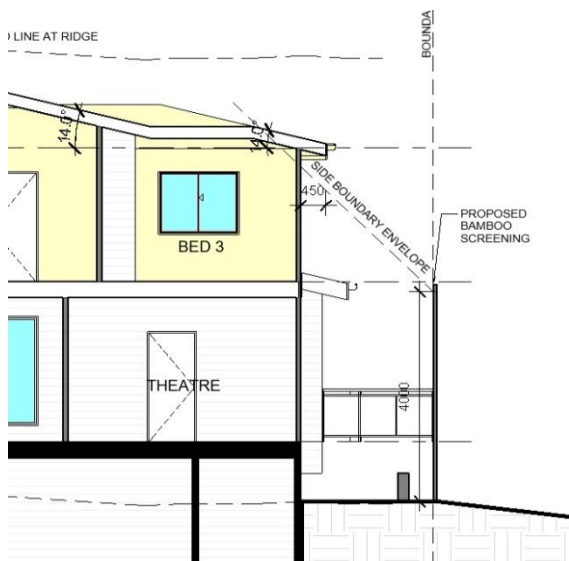
### **Requirements**

Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of 4 metres.

### **Response**

The proposed development shows minor non-compliance with the side boundary envelope towards the East, as shown in the proposed first-floor plan and South elevation.

The design of the proposed alterations has been amended to comply with the side boundary envelope from the west. This has been achieved by increasing the side setback from 3570mm to 3870mm. Therefore, the only non-compliance of the side boundary envelope is on the first level in bedroom 3. Refer to image 12.



*Image 12. Side boundary envelope encroachment*

The objective of the control is to ensure the development does not become visually dominant by virtue of its height and bulk. The development complies with the side



boundary envelope at the building frontage. We are asking Council to take into consideration that Parkes Road is not classified and has moderate traffic flow and pedestrian movement. Further, the development is well setback from the street front with 24.3 metres. Therefore, the building height and bulk will not appear as visually dominant to the character of Collaroy.

Further, we would like Council to note similar developments with larger bulk and height around the area. Refer to images 13,14 and 15.



Image 13. 957 Pittwater Road, Collaroy



Image 14. 955 Pittwater Road, Collaroy



Image 15. 5 Lancaster Crescent Collaroy

The proposal is significantly less dominant compared to these developments. Further, the proposal is far from the street, and the lot shape and vegetation skew the view. Therefore, development is not visually dominant by its bulk and scale. Refer to image 16.

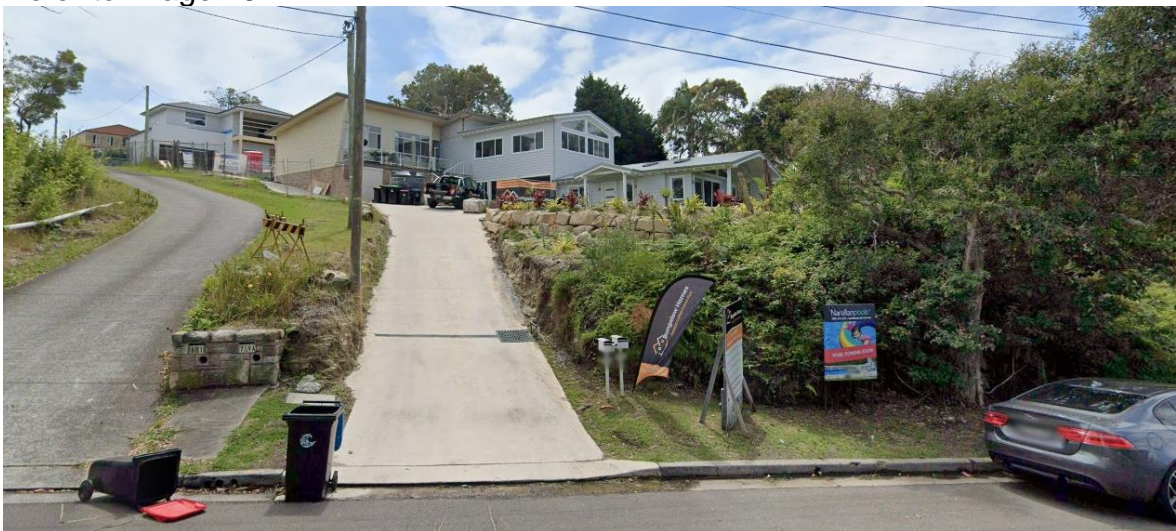


Image 16. Frontage of the proposal

Additionally, the proposed development ensures adequate light, solar access and privacy by providing spatial separation between buildings. The cut and fill are also minimised to follow the natural topography of the site.

The proposed development proposed more significant setbacks than required to ensure adequate light, solar access and privacy by providing spatial separation between buildings. It will have an adequate solar access and light as the roof has been designed to ensure natural light access to the dwelling is maximised via having skylights.

The overall bulk and scale of the proposed structure will appropriately maintain the neighbour's amenity and will not have any unreasonable loss of solar access for the subject site and neighbouring properties.



In the context of the topography, the proposed development is responding to the natural topography. As a result, there are no adverse amenity impacts such as overshadowing or view loss associated with the proposed variation to the side boundary envelope.

The proposal minimises bulk and scale through a well-articulated built form and provides generous amounts of landscaping throughout to visually reduce the built form when viewed from the public.

In this instance, the works propose additions to an existing building and will not adversely impact the amenity of the neighbouring properties and are considered to achieve the objectives of the control, the proposed breach of the side boundary envelope is considered to be reasonable and Council's support is requested.



## **5.5 BUILDING SETBACKS**

**B5, B7 and B9** The requirements of the Northern Beaches Council of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

### **Required setbacks**

Primary Front	-	6.5 metres
Side	-	0.9 metres
Rear	-	6.0 metres

### **Proposed setbacks**

Primary Front	-	24.3metres
Primary Side	-	3.57 metres
Secondary Side	-	2.0 metres
Rear	-	6.04 metres

Therefore, the proposal complies with the requirements of the Development Control Plan.

## **5.6 LANDSCAPE AREA AND PRIVATE OPEN SPACE**

**D1 AND D2** The requirements of the Northern Beaches Council of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

**SITE AREA = 942.8 sqm**

### **LANDSCAPED AREA**

Required Landscaping = 40 % of Site Area = 377.1sqm  
(Minimum landscape dimension not less than 2m)

Proposed Landscaped area = 379 sqm  
Proposed Landscaped area as % of Site Area = 40.2%.

### **PRIVATE OPEN SPACE**

Required Private Open Space = 60sqm  
(Minimum dimension not less than 5m)

Proposed Private Open Space = 64sqm

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Area Calculations Sheet.

## 5.7 PRIVACY

**D8** The requirements of the Northern Beaches Council, of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

### Objectives

- To ensure the siting and design of buildings provides a high level of visual and acoustic privacy for occupants and neighbours.
- To encourage innovative design solutions to improve the urban environment.
- To provide personal and property security for occupants and visitors.

### Requirements

1. Building layout should be designed to optimise privacy for occupants of the development and occupants of adjoining properties.
2. Orientate living areas, habitable rooms and windows to private open space areas or to the street to limit overlooking.
3. The effective location of doors, windows and balconies to avoid overlooking is preferred to the use of screening devices, high sills or obscured glass. The windows of one dwelling are to be located so they do not provide direct or close views (ie from less than 9 metres away) into the windows of other dwellings.
4. Planter boxes, louvre screens, pergolas, balcony design and the like are to be used to screen a minimum of 50% of the principal private open space of a lower apartment from overlooking from an upper apartment.

### Response

The Council letter dated 10th Feb 2021 noted that the western window servicing dining area and window servicing the staircase are concerning for the privacy of adjoining properties. The window in the dining area is reduced to 2525mm from the last submission.

Besides, some windows from the western elevation have been removed and the view will be obscured by having the bamboo screening as agreed between the owner of the subject property and 20 and 22 Perrey Street owners'.

As noted in 5.6 Wall Height, the western elevation faces a shared driveway, and the distance between 83 Parkes Road is approximately 15 metres. The angle and position of the buildings do not overlook each other. Therefore, the proposed development does not affect the privacy of the building.



Image 17. Bamboo Screening

Therefore, the proposal complies with the WDCP.

## **5.8 BUILDING BULK**

**D9** The requirements of the Northern Beaches Council, of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

### **Objectives**

- To encourage good design and innovative architecture to improve the urban environment.
- To minimise the visual impact of development when viewed from adjoining properties, streets, waterways and land zoned for public recreation purposes.

### **Requirements**

1. Side and rear setbacks are to be progressively increased as wall height increases.
2. Large areas of continuous wall planes are to be avoided by varying building setbacks and using appropriate techniques to provide visual relief.
3. On sloping land, the height and bulk of development (particularly on the downhill side) is to be minimised, and the need for cut and fill reduced by designs which minimise the building footprint and allow the building mass to step down the slope. In particular:
  - The amount of fill is not to exceed one metre in depth.
  - Fill is not to spread beyond the footprint of the building.
  - Excavation of the landform is to be minimised.
4. Building height and scale needs to relate to topography and site conditions.
5. Orientate development to address the street.
6. Use colour, materials and surface treatment to reduce building bulk.
7. Landscape plantings are to be provided to reduce the visual bulk of new building and works.
8. Articulate walls to reduce building mass.

### **Response**

The development complies with the building setbacks and utilises good/ innovative architecture to improve the urban environment.

The existing structure towards the street plays articulated building bulk from the street frontage. The proposal is considered to have a more substantial setback from the front of the building and will appear as more significant bulk and scale with a complying 6.5 metre setback. The front façade is articulated with different materials and balconies to break the bulk of the building along with a nice entry features. In this way, the proposal provides a clear definition of the entry and provides varied shadow lines due to the different construction elements and finishes. Also, there will be landscaped plantings to reduce the visual bulk of the new building and works.



As a result, the proposed two- storey development will be compatible in terms of height, bulk and scale with surrounding developments within the area.

The siting of the addition provides generous boundary setbacks, contributing to spatial separation and openness between dwellings.

The proposed alterations and additions to the existing dwelling will present a contemporary form, and provide a suitable setback from the rear and side boundaries in order to minimise the bulk and scale impact. The modest two- storey scale is consistent with the bulk and scale of existing surrounding development in the locality.

Therefore, we would like Council to consider the proposal acceptable for all controls to encourage good design to improve the urban environment.

## **5.9 BUILDING COLOURS AND MATERIALS**

The requirements of the Northern Beaches Council, part D10 of the Warringah Development Control Plan 2011 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

1. In highly visible areas, the visual impact of new development (including any structures required to retain land) is to be minimized through the use of appropriate colours and materials and landscaping.
2. The colours and materials of development on sites adjoining, or in close proximity to, bushland areas, waterways or the beach must blend in to the natural landscape.
3. The colours and materials used for alterations and additions to an existing structure shall complement the existing external building façade.
4. The holiday/fisherman shack character of the waterfront of Cottage Point is to be enhanced by the use of building materials which are sympathetic to the small timber and fibro cottages currently in existence on the waterfront. All buildings visible from the water are to utilise materials such as weatherboard, fibre cement, corrugated steel and timber. The use of masonry is discouraged.

The proposed facades, inclusive of their finishes and the architectural character of the building are in keeping with the streetscapes and the area in general.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the finishes schedule.

## **6.0 OTHER REQUIREMENTS**

The proposal presently before Council has also addressed other requirements such as privacy and car parking. Other items such as energy efficiency and sustainability, site/waste management, soil, water and waste management, site analysis and context, streetscape, car parking, materials and finishes, landscaping, erosion and sediment control, drainage and the like have also been addressed in detail in this development application.

As a result, the proposal complies with the Development Control Plan requirements for all of these items.

## **7.0 CONCLUSION**

We, therefore, present before Council, a proposal that combines Council codes and regulations and the principles of these codes and regulations with our client's requirements and, at the same time, is in context with its surroundings.

We would appreciate Council reviewing all of the matters and providing the proprietors with feedback that will enable them to proceed with the preparation of the Development Application submission to the Council.

We await your positive reply on this proposal and, in anticipation of your assistance, we wish to thank you on behalf of the proprietors for your efforts.

Should you require any further information, please do not hesitate to contact our office.

RK Designs

Email: [admin@rkdesigns.com.au](mailto:admin@rkdesigns.com.au)  
Ph: (02) 9633 4797