

Building plan assessment application

Application number: 1793614
Property address: 2 Orana Rd, Mona Vale 2103
Lot details: Lot 29, Deposited Plan 6195

11/12/2023

Dear LUKE ELTON

Your building plan assessment application has been

APPROVED

This Approval is provided subject to the Conditions and Important Information issued to you by Sydney Water, which you are taken to have accepted by using the approval.

This Approval is based on the information you provided to us through Sydney Water Tap in.

If any of the information you have provided is incorrect or incomplete, Sydney Water may revoke this Approval.

This approval is valid until 10/12/2024 (one year).

ANY QUESTIONS?

Email us
swtapin@sydneywater.com.au

Call us
1300 082 746

STRUCTURES

The structures and information you supplied are displayed below.

Structure(s) that will not impact Sydney Water infrastructure

Structure 1	New home	24.8 m x 12.4 m x 0.0 m
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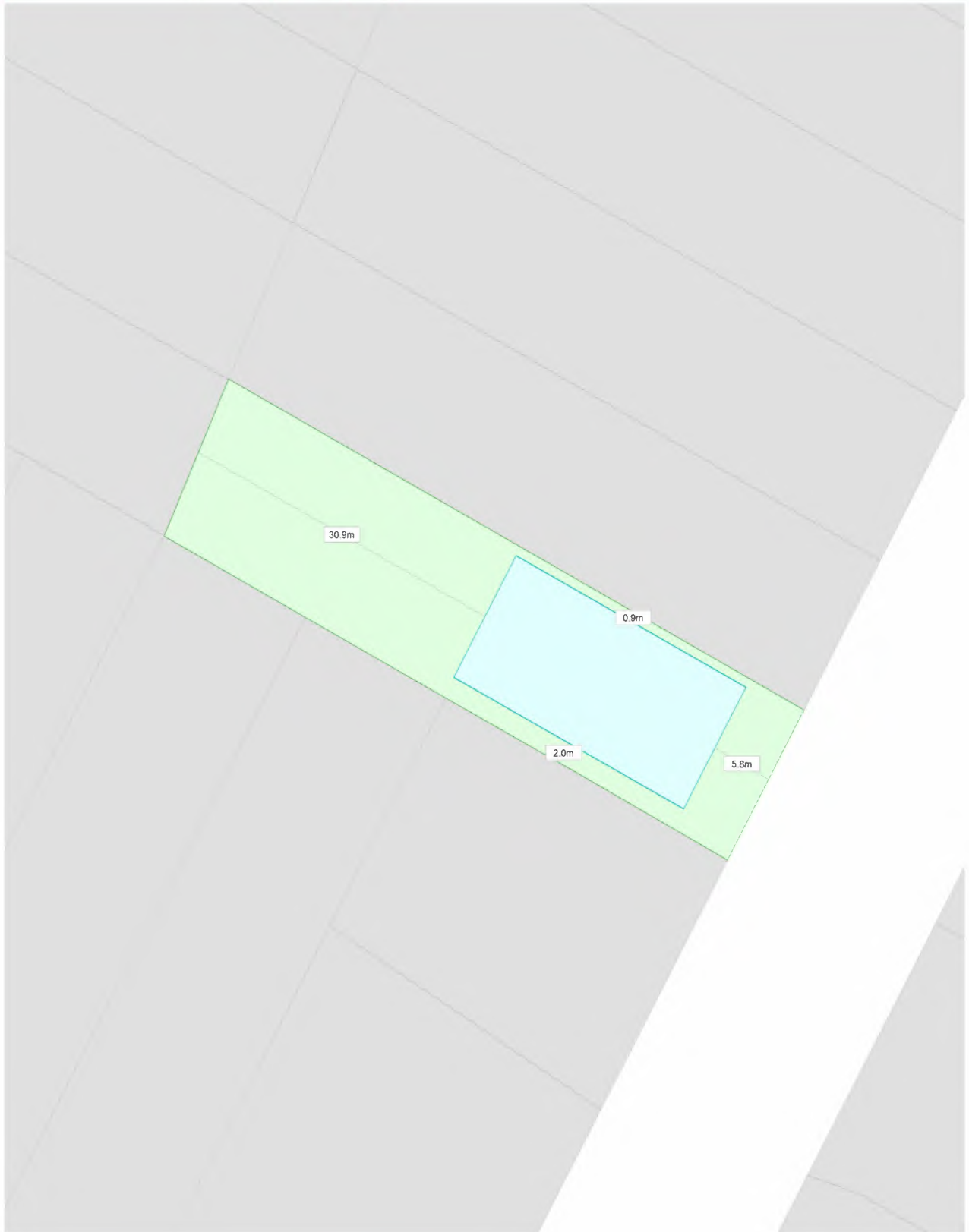
Structure 1 of 1: New home

Application number: 1793614

Property address: 2 Orana Rd, Mona Vale 2103

Lot details: Lot 29, Deposited Plan 6195

This structure will not impact Sydney Water infrastructure.



CONDITIONS AND IMPORTANT INFORMATION

Conditions and Important Information

Attention: You must read the information below.

- 1 The approval of your building plan by Sydney Water (Approval) has been generated by an automated system based on the information you have provided to Sydney Water through the Sydney Water Tap in. Sydney Water does not make any representation or give any guarantee, warranty or undertaking (express or implied) as to the currency, accuracy, completeness, effectiveness or reliability of the Approval.
- 2 It is your responsibility to ensure that the information is correct and complete when submitting your building plan for approval through Sydney Water Tap in and, if any of the information is incorrect or incomplete, to resubmit information that is correct and complete. If any of the information that you have provided is incorrect or incomplete, this may result in the revocation of the Approval.
- 3 The Approval is provided on each of the following conditions which you are taken to have accepted by using the Approval. To the fullest extent permitted by law:
 - (a) all conditions and guarantees concerning the Approval (whether as to quality, outcome, fitness, care, skill or otherwise) expressed or implied by statute, common law, equity, trade, custom or usage or otherwise are expressly excluded and to the extent that those statutory guarantees cannot be excluded, the liability of Sydney Water to you is limited to either of the following as nominated by Sydney Water in its discretion, which you agree is your only remedy:
 - i. the supplying of the Approval again; or
 - ii. payment of the cost of having the Approval supplied again;
 - (b) in no event will Sydney Water be liable for, and you release Sydney Water from all Losses arising out of or in connection with you providing incorrect or incomplete information to Sydney Water in connection with the Approval:
 - i. whether arising under statute or in contract, tort or any other legal doctrine, including any negligent act, omission or default (including wilful default) by Sydney Water; and
 - ii. regardless of whether Sydney Water is or ought to have been aware of, or advised of, the possibility of such loss, costs or damages;
 - (c) you will indemnify, defend and hold harmless Sydney Water from and against all Losses of Sydney Water in respect of, or in connection with loss or damage to any property, personal injury (including death or illness of any person), arising out of or in connection with:
 - i. you providing incorrect or incomplete information to Sydney Water in connection with the Approval; or
 - ii. any third party claim against Sydney Water; and
 - (d) you assume all risks associated with the use of the Sydney Water Tap in and Sydney Water websites, including risk to your computer, software or data being damaged by any virus, and you release and discharge Sydney Water from all Losses which might arise in respect of your use of the websites.

- 4 Subject to condition numbered 3(c) in this document, your liability under condition numbered 3(c) in this document is reduced to the extent that the loss, liability, expense or damage:
- (a) is caused solely and directly by any negligent act or omission of Sydney Water; or
 - (b) could not reasonably be foreseen and was not reasonably within the contemplation of you and Sydney Water at the time of the loss, liability, expense or damage.
- 5 The position of the proposed building/building works in relation to Sydney Water's pipes and structures is satisfactory. You are responsible for, amongst other things:
- (a) protecting underground structures, including Sydney Water's pipelines, from damage and interference;
 - (b) maintaining minimum clearances between Sydney Water's structures and structures belonging to others;
 - (c) preventing loss or damage to any property, personal injury (including death or illness of any person) arising out of or in connection with you providing incorrect or incomplete information to Sydney Water in connection with the Approval;
 - (d) repairing or making good loss or damage to any property or the environment arising out of or in connection with you providing incorrect or incomplete information to Sydney Water in connection with the Approval;
 - (e) ensuring that connections to Sydney Water's sewer, watermain or stormwater are only be made following the issue of a permit to a licensed plumber/drainier;
 - (f) ensuring that all proposed fittings will drain to Sydney Water's sewer;
 - (g) ensuring that all plumbing and/or drainage Work is to be carried out in accordance with the NSW Code of Practice, AS 3500 and the Sydney Water Act 1994;
 - (h) ensuring that gullies, inspection shafts and boundary traps are not placed under any roof, balcony, verandah, floor or other cover unless otherwise approved by Sydney Water; and
 - (i) notifying Sydney Water immediately of any damage caused or threat of damage to Sydney Water's structures.
- 6 **"Sydney Water"** means Sydney Water Corporation and its employees, agents, representatives and contractors. References to "you" include references to your employees, agents, representatives, contractors, executors, administrators, successors, substitutes, assigns and anyone else using the Approval. References to "Losses" means all liabilities, losses, damages, expenses, compensations, fines, penalties, charges and costs (including legal costs on a full indemnity basis and whether incurred or awarded) of any kind or nature however they arise and whether they are present or future, fixed or unascertained, actual or contingent and including any loss of profits, loss of revenue or loss of opportunity. To the extent of any inconsistency, the conditions numbered 1 to 6 in this document will prevail over any other information provided or made available to you by Sydney Water.

In an emergency, or to notify Sydney Water of damage or threats to its structures, call 13 20 92 (24 hours, 7 days).

Thank you for completing your online application. It is allocated the reference number **AA202335204**

 If you would like to View/Print a Report of Your submitted Application please [click here](#).

[← Submit Notice of Work Application.](#)

[← Return to MyInspections Home Page.](#)

You must contact NSW Fair Trading on 1300 889 099 at least 2 working days prior to the inspection time to arrange for inspection of the works.

Properties in recycled water areas are required to pay for additional inspections, as inspections are required to be carried out on both the potable and recycled water services. These fees will generally be charged upon payment of the Plumbing and Drainage Audit Inspection application, or as directed by NSW Fair Trading.

Recycled water areas require full inspections for all water and sewer drainage installations and a final inspection before occupation. If you have any further inquiries or need to organise the inspection please call NSW Fair Trading on 1300 889 099.

Re-use and greywater (eg: washing machine) or blackwater (eg: treated sewage) requires the installation/s to be inspected by NSW Fair Trading, and a testable backflow prevention device fitted to the water service at the meter installation. The application must be supported by written approval from the local council and also include details of the changes to the house drainage/sanitary plumbing.

Conditions

- 1. All fees are NON REFUNDABLE and NON TRANSFERABLE.**
- 2. Any Plumbing or Drainage work MUST BE carried out by or under the immediate Supervision of an Authorised Licencee who MUST lodge a separate Application to commence the work.**
- 3. This Application will lapse if the relevant work shown hereon has not commenced within 12 months of the date shown on the receipt.**
- 4. Where the Sewer is not available, neither the local utility nor NSW Fair Trading accept any responsibility for the location, lines and levels of the Supervised work for connection to the Sewer when it becomes available.**
- 5. Owner's please note: You should obtain a 'Certificate of Compliance' from your Plumber or Drainer. This is your warranty for the work done.**

Payment Receipt

PI Application Number:	AA202335204
Total Amount:	AUD 369.00 Sale
Status:	Approved - Approved or completed successfully (00)
Receipt Number:	3646316594
Payment Date/Time:	18 Dec 2023 11:05:06 AM
Settlement Date:	18 Dec 2023

Customer Details

Inspection Type:	Plumbing / Drainage - Non Recycled Water Fee
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Property Address: 2 ORANA ROAD MONA VALE NSW 2103
Merchant Details
Merchant Name: NSW Department of Customer Services
Merchant Id: 26240051 - NSW FAIR TRADING
ABN: 81 913 830 179
Address: 4 Parramatta Square
Parramatta
NSW 2150
Email Address: piasadmin@customerservice.nsw.gov.au
Phone: 13 32 20
Fax: 02 9895 0929

Print

DRAINS by John Vassallo pty ltd

Tax Invoice

ABN: 81 057 431 106 : Lic # L4187 : Sydney Water Lic # 1188

Unit 3, 7 Carrington Road

Castle Hill NSW 2154

PH: 02 8850 1871 - FAX : 02 9894 7015 - MOB : 0404 868 412

Email : admin@drainsbyjv.com.au

Bill To:

Metricon Homes Pty Ltd
Building E, Level 4
23 Lexington Avenue
BELLA VISTA NSW 2153

Invoice # : 00024978

Date : 18/12/2023

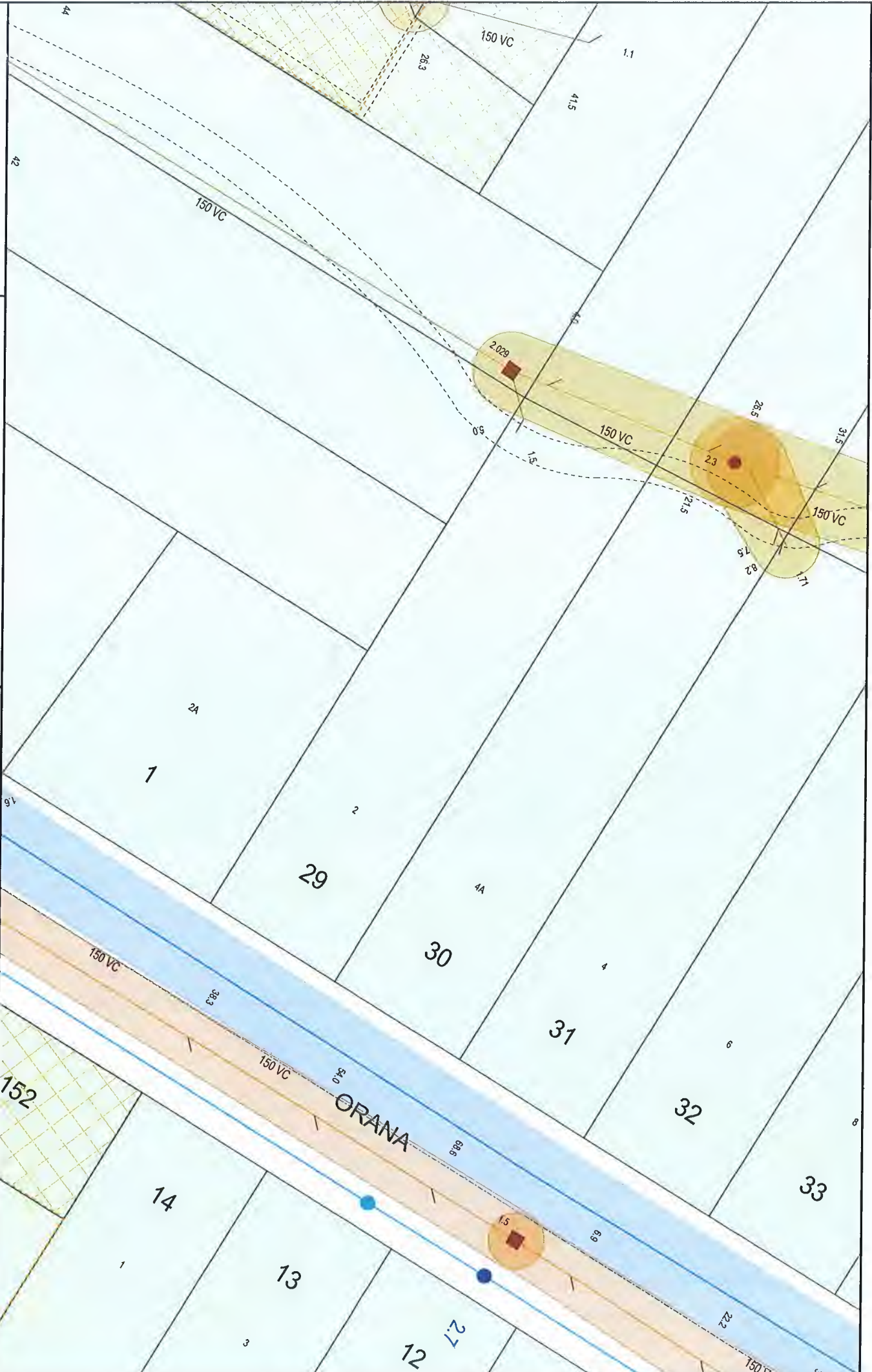
Your Ref : 744599/010-01

Site Ref : Lot 29 (#2) Orana Rd.

MONA VALE NSW

Description	Qty	Unit Price	GST Code	Excluding GST	Including GST
Building Plan Approval	1	\$20.70	FRE	\$20.70	\$20.70
Plumbing & Drainage Audit Inspection Fee	1	\$246.00	FRE	\$246.00	\$246.00
Dept. of Fair Trading Internal Drainage Insp. Fee	1	\$123.00	FRE	\$123.00	\$123.00
Water Service Fee	1	\$100.00	GST	\$100.00	\$110.00
Storm Water Peg Out	1	\$800.00	GST	\$800.00	\$880.00
Fair Trading Application Fee	1	\$25.00	GST	\$25.00	\$27.50
Sydney Water tap in fee	1	\$50.00	GST	\$50.00	\$55.00
<div style="display: flex; justify-content: space-between;"> <div style="border: 1px solid black; padding: 5px; width: 20%;"> Payment Details: NAB Account Drains by John Vassallo BSB : 082 -155 Accnt : 66390 6137 </div> <div style="width: 50%;"> <p>Please remit payment with reference to invoice number: 00024978</p> <p>This will ensure payment will be allocated correctly. Invoice number is the ONLY reference needed. Street names/ Surnames are not required. Thank you</p> </div> <div style="width: 25%; text-align: right;"> <p>Total Excl. GST \$1,364.70</p> <p>GST \$97.50</p> <p>TOTAL INCL. GST \$1,462.20</p> <p>PAID TO DATE \$0.00</p> </div> </div>					
Remittance advice can to be emailed to: admin@drainsbyjv.com.au				BALANCE DUE	\$1,462.20

Our Terms are Strictly 7 Days



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 Date of Production: 11/12/2023

Copyright Reserved Sydney Water 2023
 No warranty is given that the information shown is complete or accurate.
 SYDNEY WATER CORPORATION

Map:138 Grid:M2 Edition:Sydney UBD Edition 41

0m 4m 8m 12m 16m 20m

Scale 1:499

Page

NORTHERN BEACHES COUNCIL	
PITTWATER LEP 2014 / DCP 21	
SITE AREA	935.8SQM
PROPOSED ROOF COVERAGE	298.22SQM
LANDSCAPE AREA	
(Excluding all hard surfaces, min. dim. of 2m.	
564.89SQM	60%
Min. required by Council - 50%	
FRONT YARD LANDSCAPE AREA	
Total front yard area:	111.91SQM
Landscape front yard area:	67.44SQM
Landscape front yard area:	60.26%
Min. required by Council - 60%	
PRIVATE OPEN SPACE	
min. dimension of 3.0m	496.16SQM
min. required by council - 80m ²	
BUILDING HEIGHT RESTRICTION	
MAXIMUM 8.5m RIDGE HEIGHT	
(FFL must be accurate to comply)	
EARTHWORK	
- Maximum 1000mm cut	
- Maximum 1000mm fill	
BUILDING ENVELOPE	
- PROVIDE 45 DEGREE PLAN PROJECTED AT 3.5M HIGH ABOVE SIDE BOUNDARY NATURAL GROUND LEVEL.	
STORMWATER CALCULATION	
Hard Landscape area: (incl. roof/driveway/path etc)	324.15SQM
Existing site coverage:	391.66SQM
Maximum allowable by council prior to O.S.D. being required: (Existing site coverage + 50sqm)	441.66SQM

DEMOLITION REQUIREMENTS:

SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L.

EXISTING TREES TO BE LOPPED / REMOVED BY OWNER:

TREE REMOVAL REQUIREMENTS:

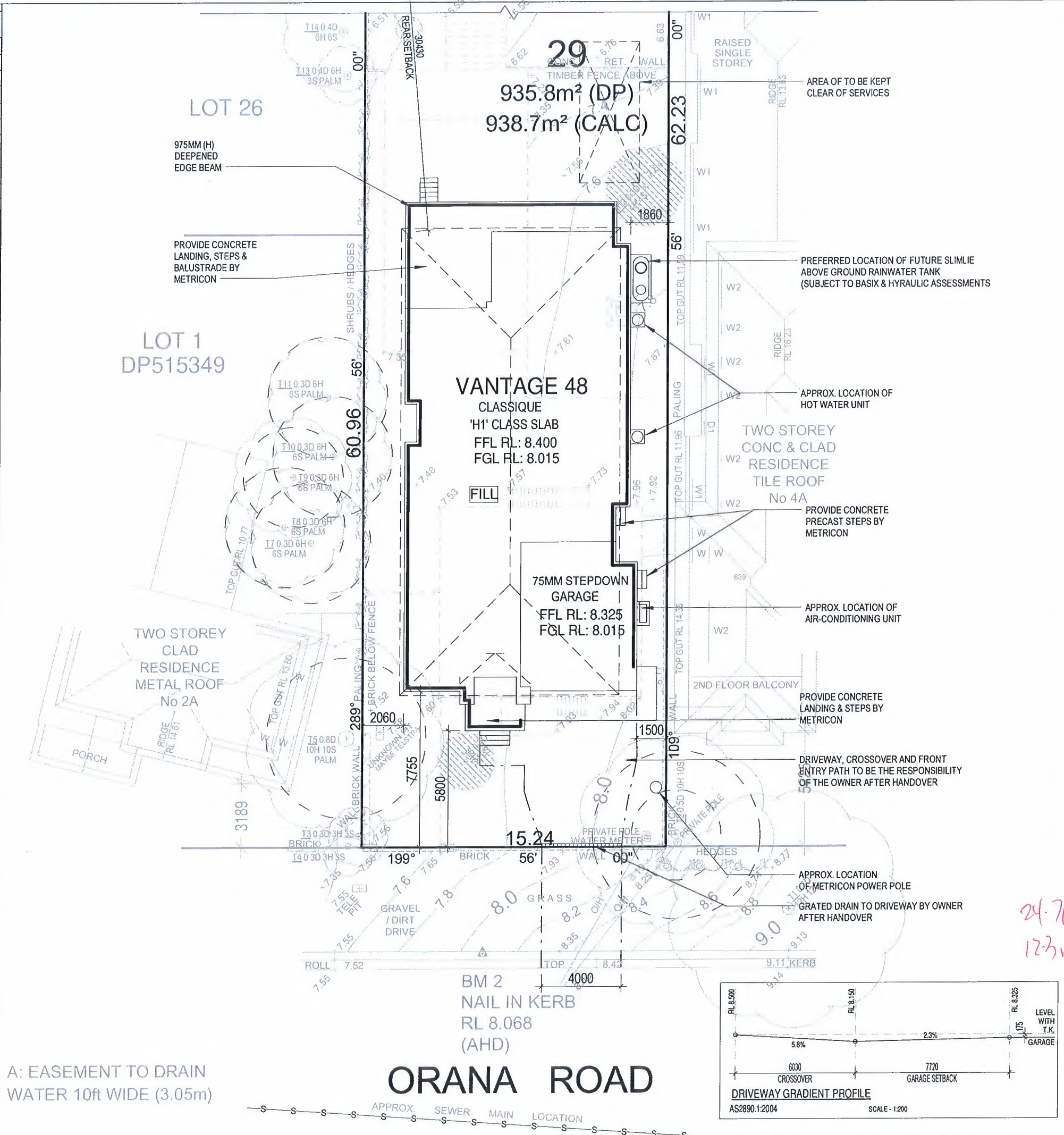
SITE TO BE CLEARED BY OWNER OF ANY EXISTING TREES AND/OR PRUNE TREES WHICH WILL EFFECT THE BUILDING AREA PRIOR TO CONSTRUCTION

IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED.

IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY

SURVEYOR'S NOTES

- THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.
- AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.
- SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVETED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



EXCAVATION NOTES

50MM (+/-) TOLERANCE TO NOMINATED RL'S EXCAVATE APPROX. 50mm ON R.L. 8.015 AND RETAIN FILL WITH DEEP EDGE BEAM

EXCAVATIONS ARE TO START A MINIMUM OF 1000mm FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT.

IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY

EXCAVATION

SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD

PRELIMINARY SITE PLAN NOTES

SITING IS SUBJECT TO THE CONFIRMATION OF COUNCIL'S BUILDING REGULATIONS AND REQUIREMENTS

TEMPORARY SITE FENCING

METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES

ALL WEATHER ACCESS

METRICON TO SUPPLY UP TO 5m SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

STORMWATER DRAINAGE TO

EXISTING EASEMENT VIA RAINWATER TANK

SURVEY LEGEND

	GULLY PIT		SEWER LINE
	HYDRANT		VEHICLE CROSSING
	SURFACE INLET PIT		STOP VALVE
	SEWER INSPECTION COVER		DEEP EDGE BEAM
	SEWER MANHOLE		GAS METER
	WATER METER		LIGHT POLE
	ELECTRICITY BOX		INVERT
	STORMWATER MANHOLE		TOP OF KERB
	TELSTRA PIT		KERB OUTLET

	approval type:	COUNCIL	
	developer approval:	N/A	
	zone:	R2	
	WIND SPEED	N2	
		SLAB CLASS	H1

drawing title: **SITE PLAN**

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

m **DESIGNER**
metricon

design: **VANTAGE 48**
facade: **CLASSIQUE**

Build. E, Level 4, 32 Lexington Dr, Baukham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Contractor Licence N°: 174 699 - A.C.N. 005 108 752

Tel (02)8887-9000 - Fax: (02)8079-5901
www.metricon.com.au

owner: **MR TRAN & MRS LE**

LOT 29 NO. 2 ORANA ROAD, MONA VALE NSW 2103

job no: 744599	DP no: SEC E 6195	date: 22/09/2023
council/LGA: NORTHERN BEACHES	sheet: 02/12	revision:
drawn: BZ	check: XX	master version: 01/04/2023

STORMWATER PROTECTION REPORT

Property Address: LOT 29 NO 2 ORANA RD, MONA VALE

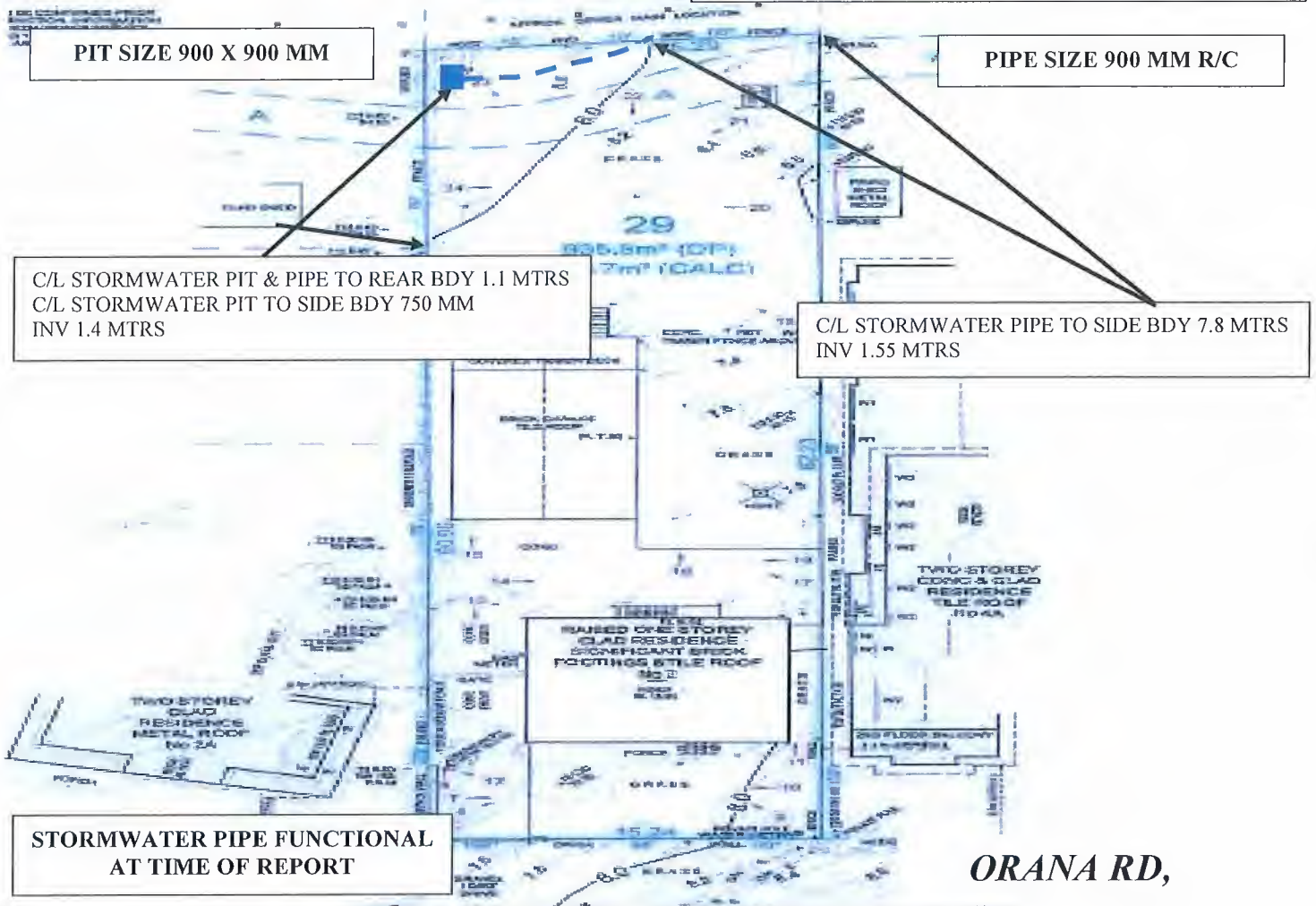
Client: METRICON

METHOD OF LOCATION

PROBING ELECTRONIC (VIA SONDE)
ASSET INDICATOR POSITIONING EXCAVATION

NOTE

- 1). BOUNDARIES NOT SURVEYED AT TIME OF REPORT.
- 2). ASSUMED FENCE LINES AS BOUNDARIES.
- 3). DRAWING IS NOT TO SCALE.
- 4). PEG ON BOUNDARY / PAINT ON FENCE TO MARK ASSET



Pipe Size:- 900 Pipe Type:- R/C Strata Type:- CLAY / ROCK REFUSAL

I, John Vassallo of *Drains by John Vassallo P/L*, being accredited to carry out Service Protection Reports, certify that the information shown on the report is accurate and has been prepared in accordance with the relevant instructions.

Signed:-

Dated :- 15/12/2023

ACCREDITED SYDNEY WATER CONTRACTOR

OFFICE: 8850 1871

FAX: 9894 7015

MOBILE:- 0404 868 412

EMAIL : john@drainsbyjv.com.au



Transaction Summary

Tax invoice: **AAB-634512383**

Company name: **DRAINS BY JOHN VASSALLO**

Date requested 11 Dec 2023

Date paid 11 Dec 2023

Sydney Water Corporation
PO Box 399 Parramatta NSW 2124
A.B.N 49 776 225 038

Applicant details

LUKE ELTON
7 CARRINGTON, CASTLE HILL, 2154

Transaction Details

2 Orana Rd, Mona Vale 2103

Order number: **SW-07045796**

Building Plan Assessment

Application number: **1793614**

Application Fee

\$20.70
(incl. GST) \$0.00

Transaction total

\$20.70
(incl. GST) \$0.00

DRAINS

by John Vassallo

Pty Ltd ABN 81 057 431 106 Supplier No. 1188

23384

Mobile: 0404 868 412

Date: 16/12/23

Builder: METRICON

744599 - TRAN

Your Reference: LOT 29 #2 ORANA RD, MONA JALE

Our Reference: SYDNEY WATER APPLICATION

1. BUILDING PLAN APPROVAL T121793614
2. PLUMBING & DRAINAGE AUDIT INSPECTION FEE
3. RECYCLE WATER INSPECTION FEE
4. WATER SERVICE FEE
5. ~~SYDNEY~~ ^{STORM} WATER PEG OUT 800 *
6. SYDNEY WATER APPROVAL
7. PCP
8. PIER INSPECTION
9. SEWER ENCASUREMENT INSPECTION
10. ENGINEER'S DETAIL REQUIRED
11. PAM TAP in
12. PAM GI

ACCREDITED SYDNEY WATER CONTRACTOR



AA202335204 - Report - Printed 18/12/2023 11:04 AM

Application Details

Given Name(s): John	Surname: Vassallo
Contact Number: 0288501871	Contact Email Address: luke@drainsbyjv.com.au

Owner Details

Owners's Full Name: METRICON HOMES		
Address: BUIDLING E, LEVEL 4, 32 LEXINGTON DR,		
Suburb: BAULKHAM HILLS	State: NSW	Postcode: 2153

Property Details

Lot Number: 29	Deposited Plan Number / Proposed Deposited Plan Number: 6195	Master Strata Plan Number:	Street Number: 2
Unit Number:	Street Name: ORANA	Street Type: ROAD	
Suburb: MONA VALE	State: NSW	Postcode: 2103	
Nearest Cross Street:			

Proposed Property Location

Proposed Property Location:

Inspection Details

Inspection Details: Plumbing and/or Drainage - Non Recycled Water	Original inspection reference number:
Type of Work: <input type="radio"/> Plumbing <input type="radio"/> Drainage <input checked="" type="radio"/> Plumbing & Drainage	
Building Category: Residential - Single Dwelling	No of Additional Inspections: 2

Comments

Payment Details

Total Number of Inspection:

Payment Amount:

AUD