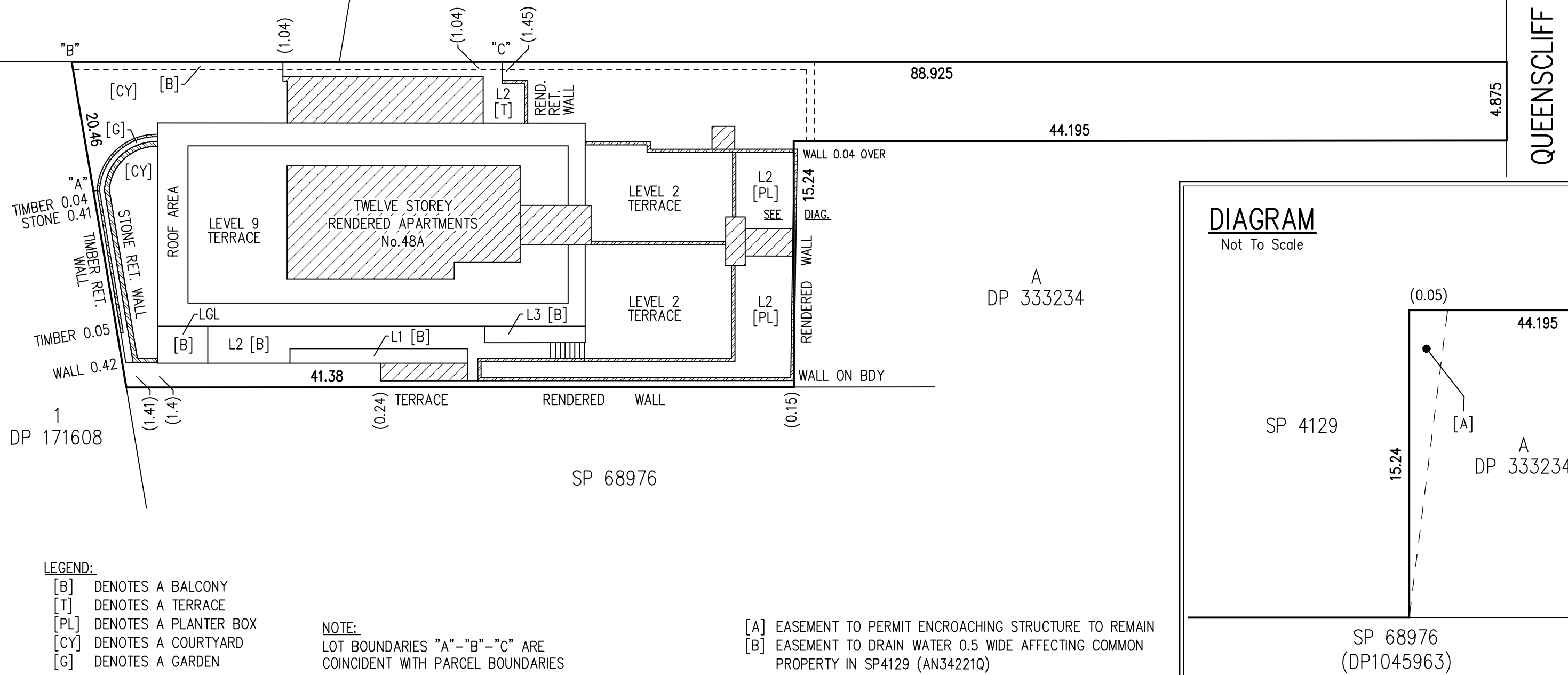


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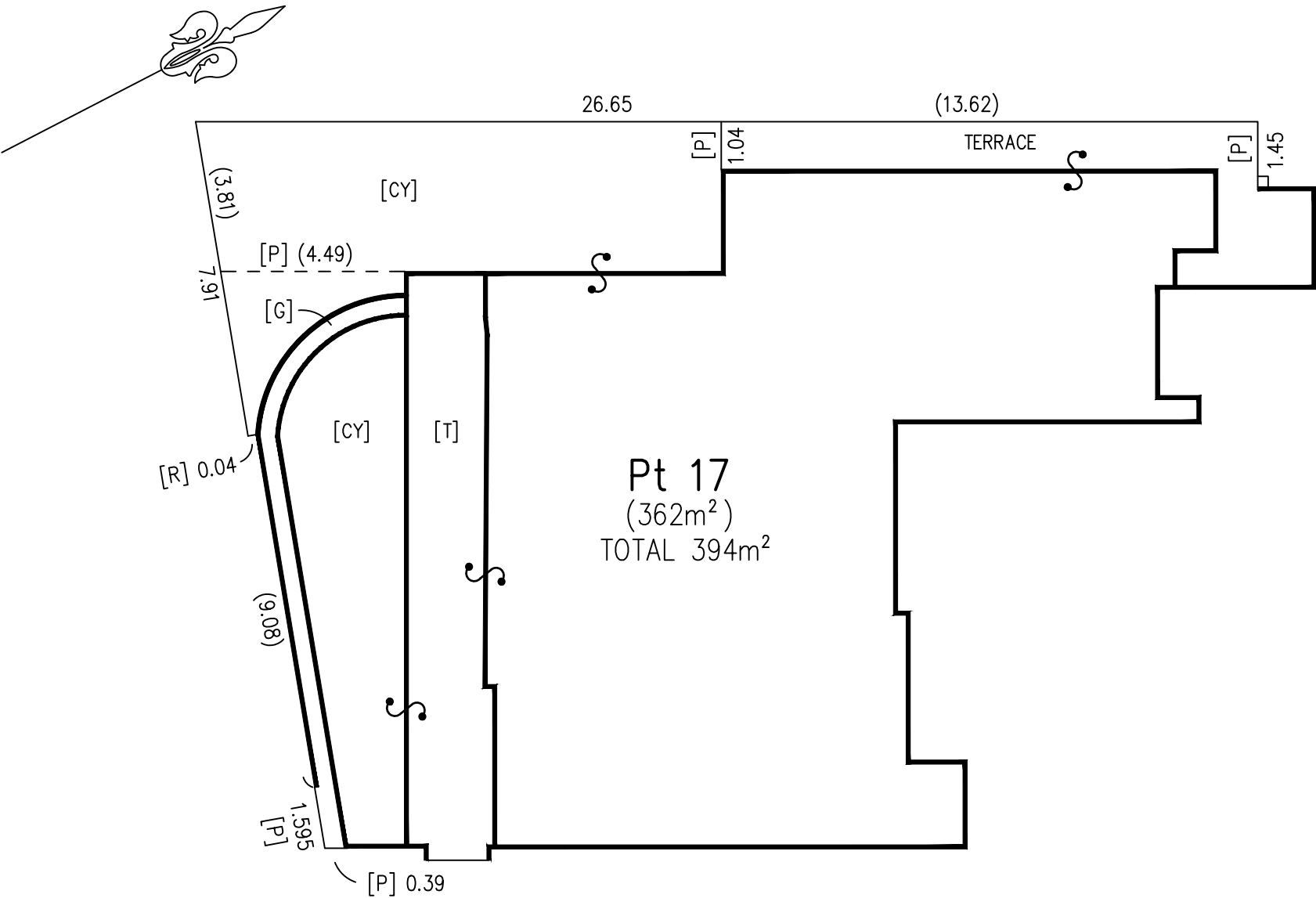
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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**


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<p>SURVEYOR</p> <p>Name: WILLIAM HAMER</p> <p>Date: 1/11/2019</p> <p>Reference: 191330-SP</p>	<p>STRATA PLAN OF SUBDIVISION OF</p> <p>LOTS 1-8, 10-12 & COMMON PROPERTY IN SP4129</p> <p>& LOT 14-16 IN SP81756</p>	<p>LGA: NORTHERN BEACHES</p> <p>Locality: QUEENSCLIFF</p> <p>Reduction Ratio 1:200</p> <p>Lengths are in metres.</p>	<p>REGISTERED</p>	
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UNDERCROFT






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NOTE:
1. AREAS ARE APPROXIMATE FOR THE PURPOSE OF
THE STRATA SCHEMES DEVELOPMENT ACT 2015.

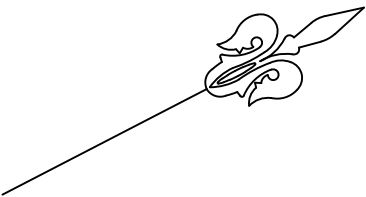
- LEGEND:
- [B] DENOTES A BALCONY
 - [T] DENOTES A TERRACE
 - [CY] DENOTES A SERVICES COURTYARD
 - [P] DENOTES PROLONGATION OF FACE OF WALL
 -  DENOTES A RIGHT ANGLE
 - [R] DENOTES PERPENDICULAR TO FACE OF WALL


STRATUM NOTES:
TERRACES ARE LIMITED IN HEIGHT TO 2.7 ABOVE
THEIR UPPER TILED SURFACE EXCEPT WHERE COVERED
BY THE STRUCTURE FOR THE FLOOR ABOVE WITHIN
THIS LIMIT.

COURTYARDS ARE LIMITED TO 4.5 BELOW AND 3
ABOVE THE UPPER TILED SURFACE OF THE FLOOR
LEVEL OF THEIR RESPECTIVE UNIT EXCEPT WHERE
COVERED BY THE STRUCTURE FOR THE FLOOR ABOVE
WITHIN THIS LIMIT.

<div>SURVEYOR</div> <div>Name: WILLIAM HAMER</div> <div>Date: 1/11/2019</div> <div>Reference: 191330-SP</div>	<div>STRATA PLAN OF SUBDIVISION OF</div> <div>LOTS 1-8, 10-12 & COMMON PROPERTY IN SP4129</div> <div>& LOT 14-16 IN SP81756</div>	<div>LGA: NORTHERN BEACHES</div> <div>Locality: QUEENSCLIFF</div> <div>Reduction Ratio 1:150</div> <div>Lengths are in metres.</div>	<div>REGISTERED</div>	
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LOWER GROUND LEVEL

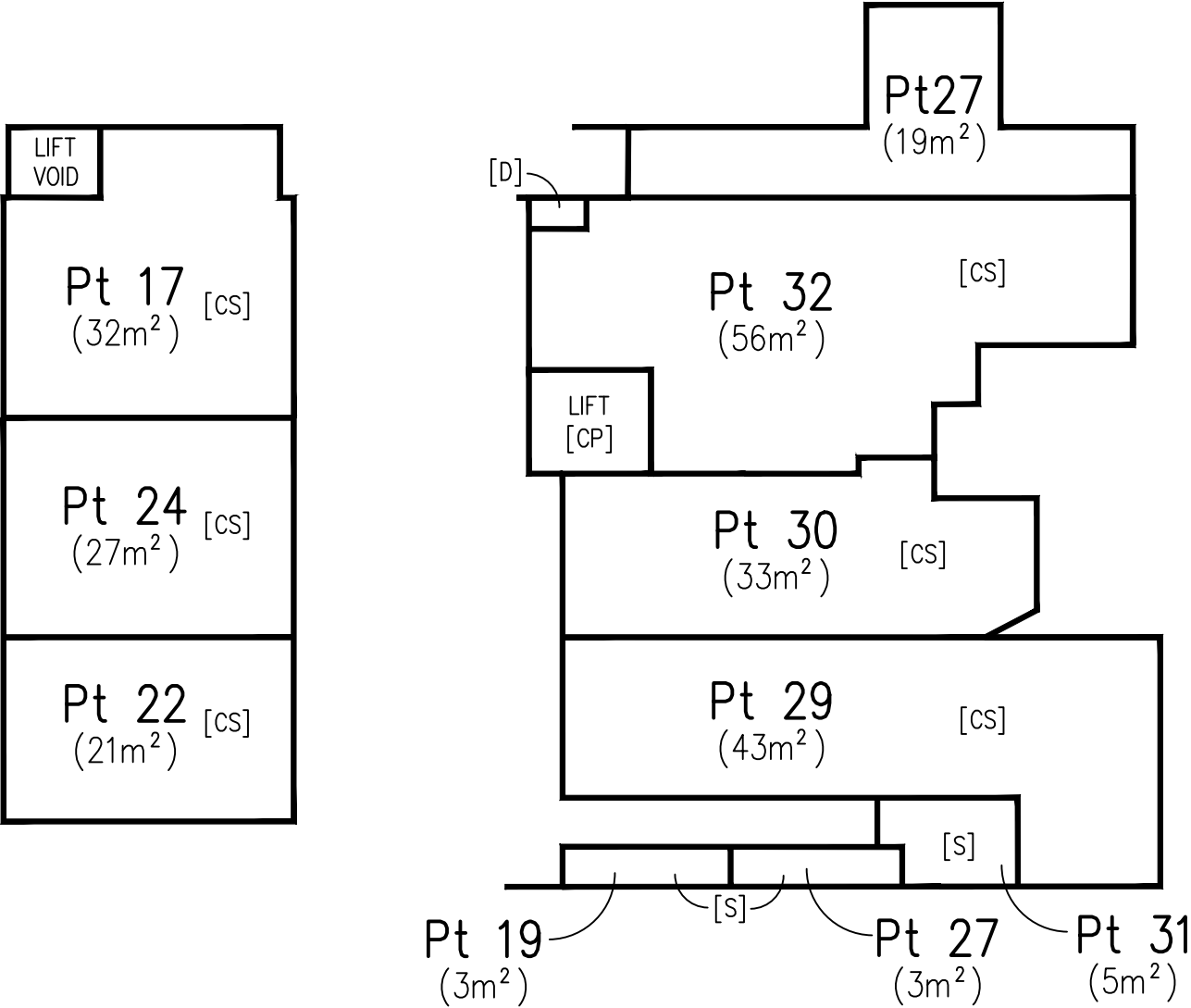




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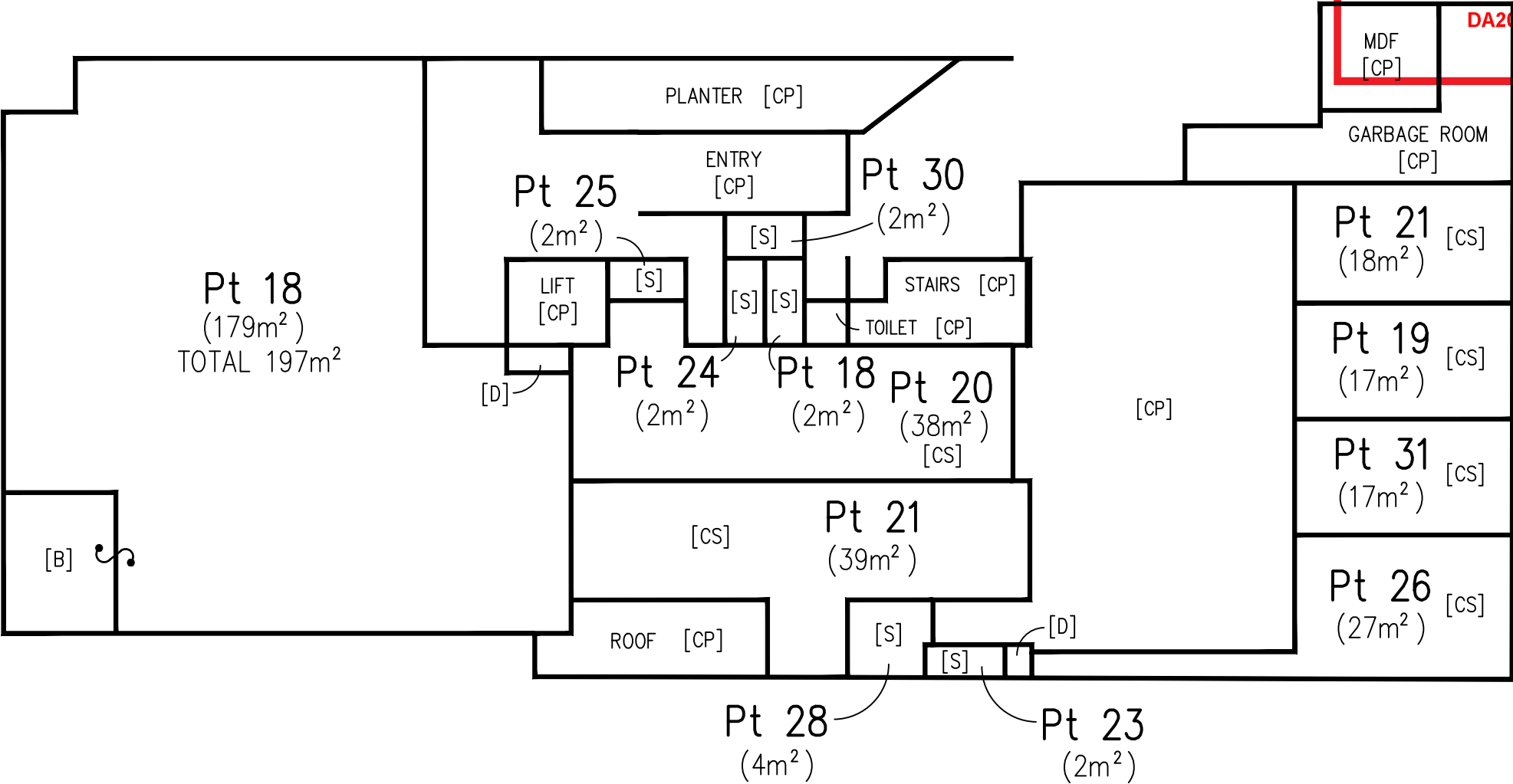
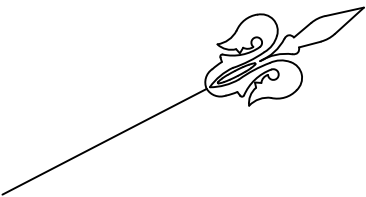


- LEGEND:
- [CP] DENOTES COMMON PROPERTY
 - [CS] DENOTES A CAR SPACE
 - [S] DENOTES A STORAGE AREA
 - [D] DENOTES A DUCT [CP]

NOTE:
1. AREAS ARE APPROXIMATE FOR THE PURPOSE OF
THE STRATA SCHEMES DEVELOPMENT ACT 2015.

SURVEYOR Name: WILLIAM HAMER Date: 1/11/2019 Reference: 191330-SP	STRATA PLAN OF SUBDIVISION OF LOTS 1-8, 10-12 & COMMON PROPERTY IN SP4129 & LOT 14-16 IN SP81756	LGA: NORTHERN BEACHES Locality: QUEENSCLIFF Reduction Ratio 1:150 Lengths are in metres.	REGISTERED	
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GROUND LEVEL



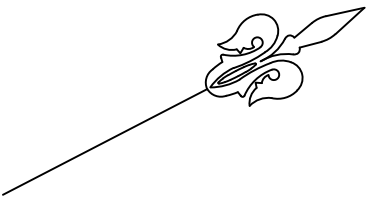
NOTE:
1. AREAS ARE APPROXIMATE FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015.


LEGEND:
[CP] DENOTES COMMON PROPERTY
[B] DENOTES A BALCONY
[D] DENOTES A SERVICES DUCT [CP]
[CS] DENOTES A CAR SPACE
[S] DENOTES A STORAGE AREA

STRATUM NOTE:
BALCONIES ARE LIMITED IN HEIGHT TO 2.7 ABOVE THEIR UPPER CONCRETE SURFACE EXCEPT WHERE COVERED BY THE STRUCTURE FOR THE FLOOR ABOVE WITHIN THIS LIMIT.

<div>SURVEYOR</div> <div>Name: WILLIAM HAMER</div> <div>Date: 1/11/2019</div> <div>Reference: 191330-SP</div>	<div>STRATA PLAN OF SUBDIVISION OF</div> <div>LOTS 1-8, 10-12 & COMMON PROPERTY IN SP4129</div> <div>& LOT 14-16 IN SP81756</div>	<div>LGA: NORTHERN BEACHES</div> <div>Locality: QUEENSCLIFF</div> <div>Reduction Ratio 1:150</div> <div>Lengths are in metres.</div>	<div>REGISTERED</div>	
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LEVEL 1

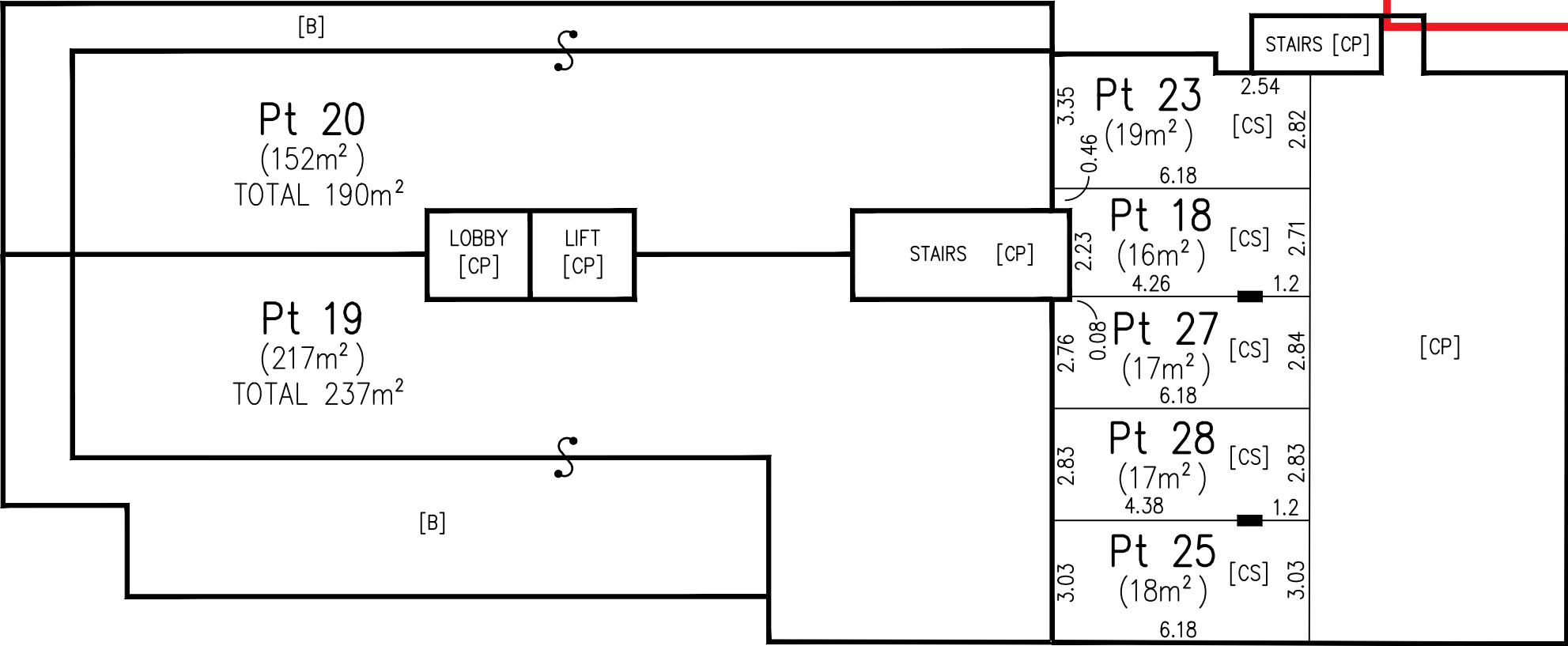




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THE CONDITIONS OF DEVELOPMENT
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- NOTE:**

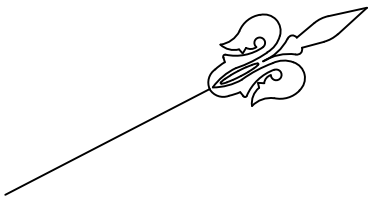
 - AREAS ARE APPROXIMATE FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015.
 - ALL ANGLES IN CAR SPACES ARE RIGHT ANGLES UNLESS NOTED OTHERWISE NOTED.
 - CAR STACKERS WITH CAR SPACES FORM PART OF THE LOT THEY ARE WITHIN AND ARE NOT COMMON PROPERTY.
- LEGEND:**


 - [CP] DENOTES COMMON PROPERTY
 - [B] DENOTES A BALCONY
 - [CS] DENOTES A CAR SPACE
 - DENOTES UNIT BOUNDARY IS THROUGH THE CENTRELINE OF A COLUMN

STRATUM NOTE:
BALCONIES ARE LIMITED IN HEIGHT TO 2.7 ABOVE THEIR UPPER CONCRETE SURFACE EXCEPT WHERE COVERED BY THE STRUCTURE FOR THE FLOOR ABOVE WITHIN THIS LIMIT.

<div>SURVEYOR</div> <div>Name: WILLIAM HAMER</div> <div>Date: 1/11/2019</div> <div>Reference: 191330-SP</div>	<div>STRATA PLAN OF SUBDIVISION OF</div> <div>LOTS 1-8, 10-12 & COMMON PROPERTY IN SP4129</div> <div>& LOT 14-16 IN SP81756</div>	<div>LGA: NORTHERN BEACHES</div> <div>Locality: QUEENSCLIFF</div> <div>Reduction Ratio 1:150</div> <div>Lengths are in metres.</div>	<div>REGISTERED</div>	
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LEVEL 2

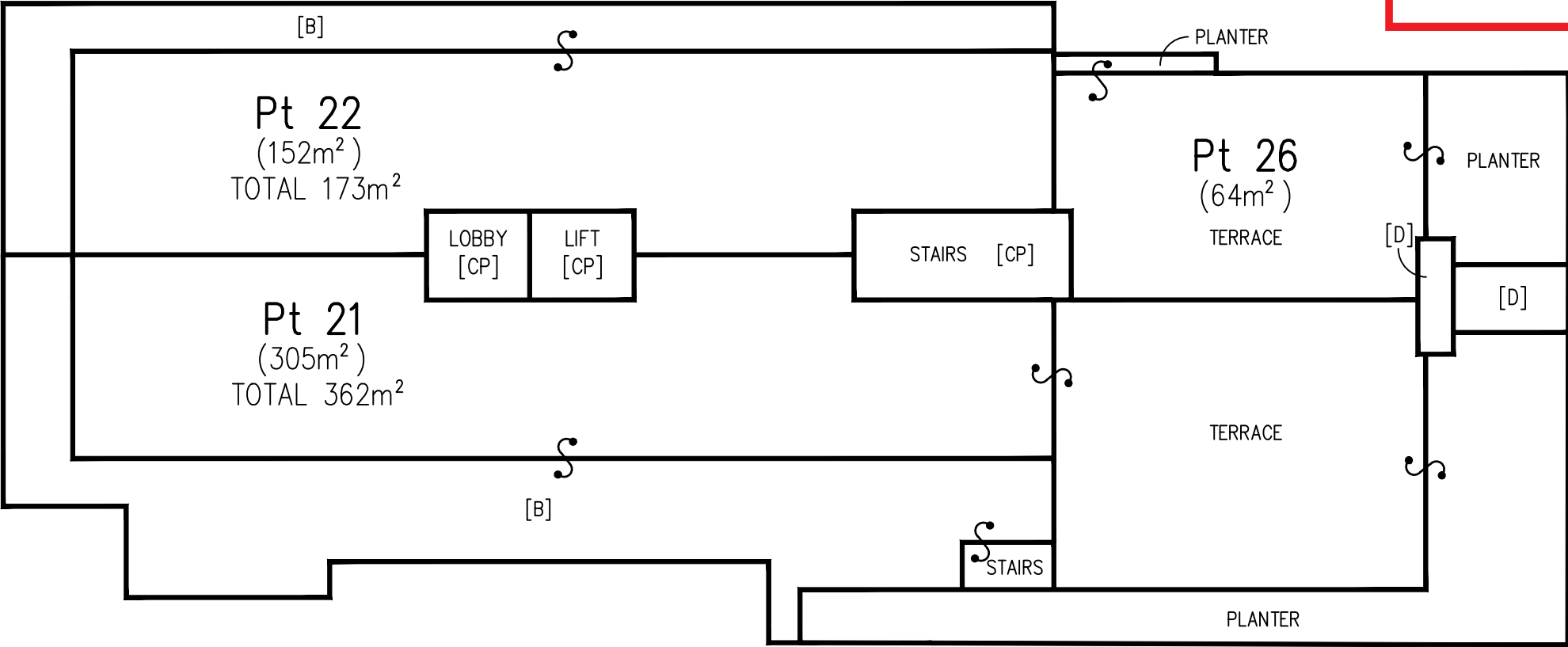




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STRATUM NOTES:

BALCONIES ARE LIMITED IN HEIGHT TO 2.7 ABOVE THEIR UPPER CONCRETE SURFACE EXCEPT WHERE COVERED BY THE STRUCTURE FOR THE FLOOR ABOVE WITHIN THIS LIMIT.

TERRACES ARE LIMITED IN HEIGHT TO 2.7 ABOVE THEIR UPPER TILED SURFACE.

STAIRS ARE LIMITED IN HEIGHT TO 2.7 ABOVE THEIR UPPER TILED SURFACE EXCEPT WHERE COVERED BY THE FLOOR ABOVE WITHIN THIS LIMIT

PLANTER BOXES ARE LIMITED IN HEIGHT TO 2.7 ABOVE THE UPPER SURFACE OF THE WATERPROOFING.

NOTE:

1. AREAS ARE APPROXIMATE FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015.

2. PERGOLAS/VERGOLAS FORM PART OF THE LOT THEY ARE WITHIN AND ARE NOT COMMON PROPERTY.

LEGEND:

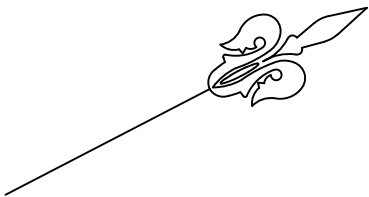
[CP] DENOTES COMMON PROPERTY


[B] DENOTES A BALCONY

[D] DENOTES A SERVICES DUCT [CP]

<div>SURVEYOR</div> <div>Name: WILLIAM HAMER</div> <div>Date: 1/11/2019</div> <div>Reference: 191330-SP</div>	<div>STRATA PLAN OF SUBDIVISION OF</div> <div>LOTS 1-8, 10-12 & COMMON PROPERTY IN SP4129</div> <div>& LOT 14-16 IN SP81756</div>	<div>LGA: NORTHERN BEACHES</div> <div>Locality: QUEENSCLIFF</div> <div>Reduction Ratio 1:150</div> <div>Lengths are in metres.</div>	<div>REGISTERED</div>	
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LEVEL 3

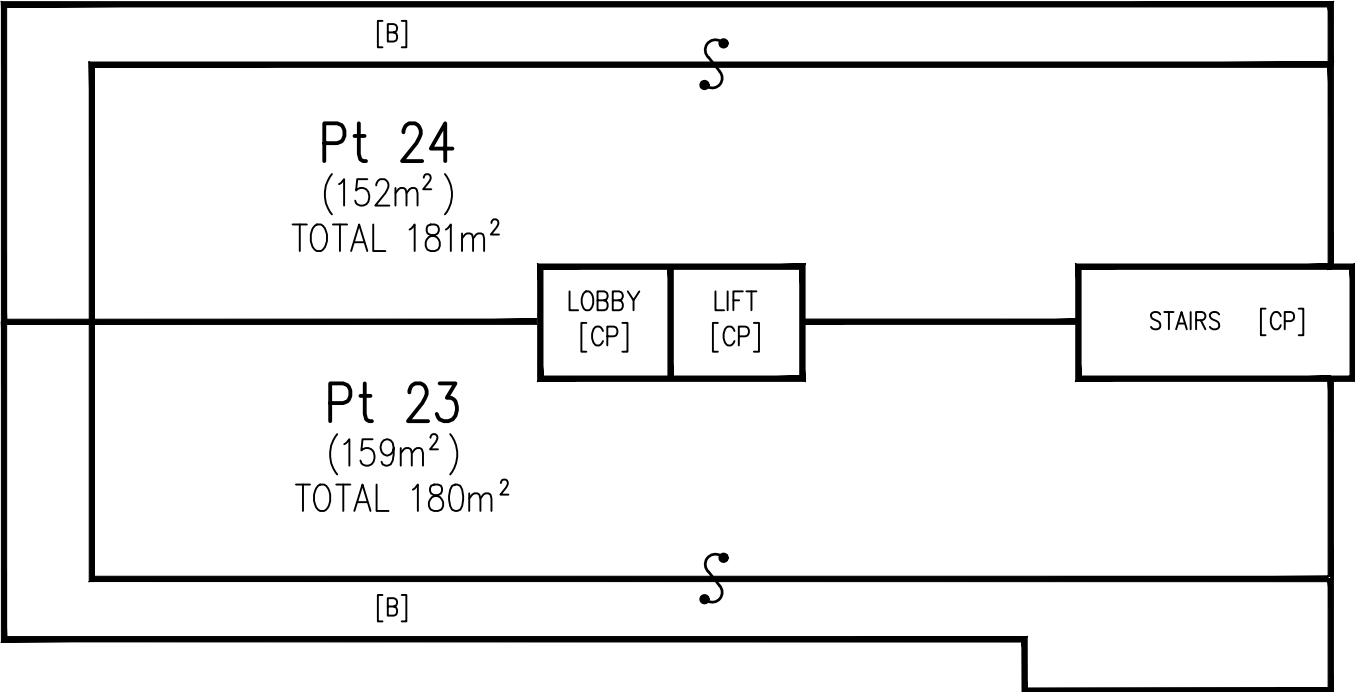




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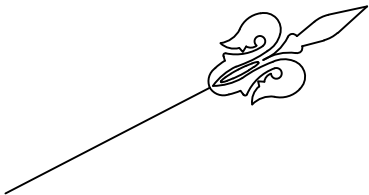


NOTE:
1. AREAS ARE APPROXIMATE FOR THE PURPOSE OF
THE STRATA SCHEMES DEVELOPMENT ACT 2015.

LEGEND:
[CP] DENOTES COMMON PROPERTY
[B] DENOTES A BALCONY
[D] DENOTES A SERVICES DUCT [CP]

STRATUM NOTES:
BALCONIES ARE LIMITED IN HEIGHT TO 2.7 ABOVE
THEIR UPPER CONCRETE SURFACE EXCEPT WHERE
COVERED BY THE STRUCTURE FOR THE FLOOR
ABOVE WITHIN THIS LIMIT.

SURVEYOR Name: WILLIAM HAMER Date: 1/11/2019 Reference: 191330-SP	STRATA PLAN OF SUBDIVISION OF LOTS 1-8, 10-12 & COMMON PROPERTY IN SP4129 & LOT 14-16 IN SP81756	LGA: NORTHERN BEACHES Locality: QUEENSCLIFF Reduction Ratio 1:150 Lengths are in metres.	REGISTERED	
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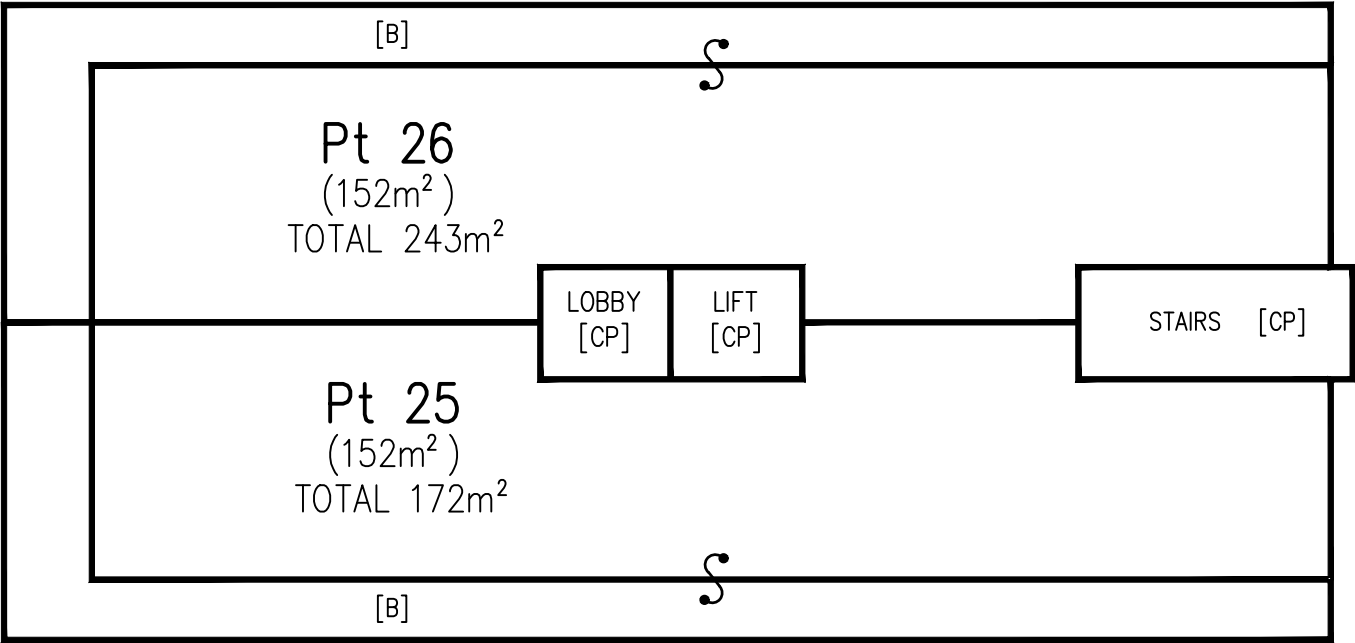




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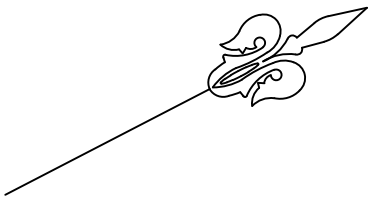
NOTE:
1. AREAS ARE APPROXIMATE FOR THE PURPOSE OF
THE STRATA SCHEMES DEVELOPMENT ACT 2015.


LEGEND:
[CP] DENOTES COMMON PROPERTY
[B] DENOTES A BALCONY
[D] DENOTES A SERVICES DUCT [CP]

STRATUM NOTES:
BALCONIES ARE LIMITED IN HEIGHT TO 2.7 ABOVE
THEIR UPPER CONCRETE SURFACE EXCEPT WHERE
COVERED BY THE STRUCTURE FOR THE FLOOR
ABOVE WITHIN THIS LIMIT.

<div>SURVEYOR</div> <div>Name: WILLIAM HAMER</div> <div>Date: 1/11/2019</div> <div>Reference: 191330–SP</div>	<div>STRATA PLAN OF SUBDIVISION OF</div> <div>LOTS 1–8, 10–12 & COMMON PROPERTY IN SP4129</div> <div>& LOT 14–16 IN SP81756</div>	<div>LGA: NORTHERN BEACHES</div> <div>Locality: QUEENSCLIFF</div> <div>Reduction Ratio 1:150</div> <div>Lengths are in metres.</div>	<div>REGISTERED</div>	
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LEVEL 5

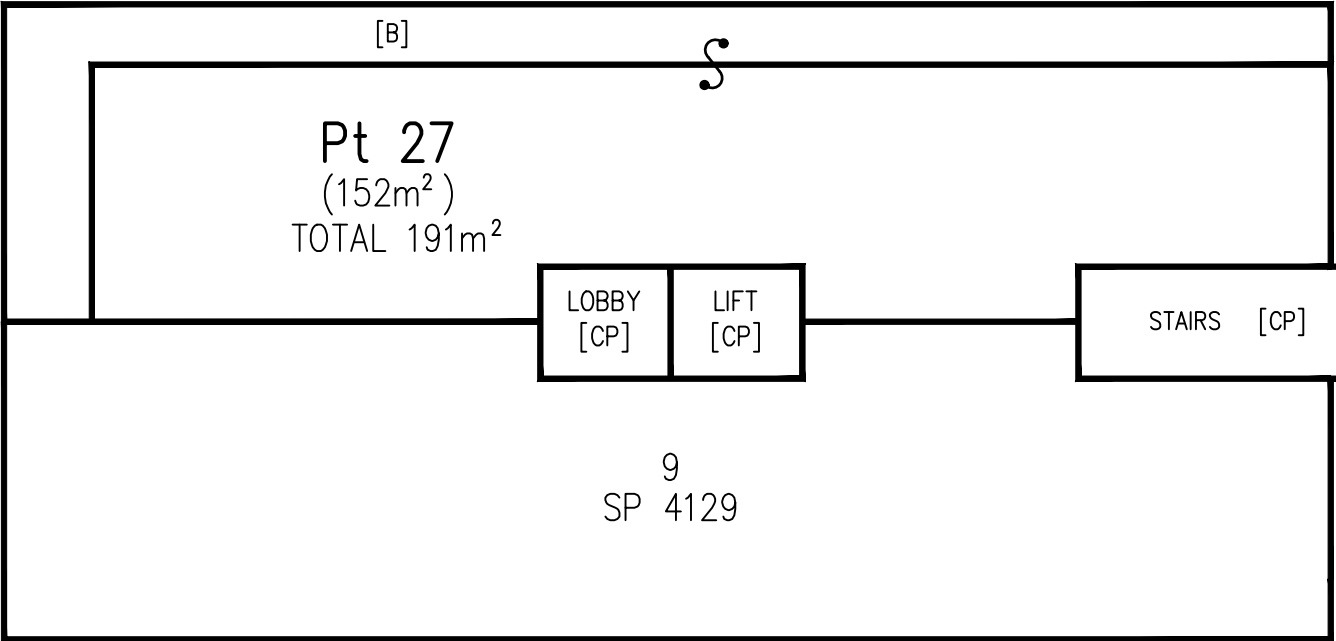




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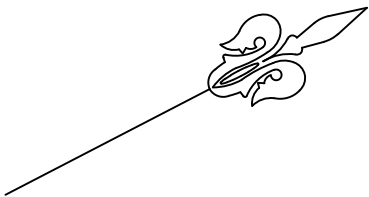
NOTE:
1. AREAS ARE APPROXIMATE FOR THE PURPOSE OF
THE STRATA SCHEMES DEVELOPMENT ACT 2015.


LEGEND:
[CP] DENOTES COMMON PROPERTY
[B] DENOTES A BALCONY
[D] DENOTES A SERVICES DUCT [CP]

STRATUM NOTES:
BALCONIES ARE LIMITED IN HEIGHT TO 2.7 ABOVE
THEIR UPPER CONCRETE SURFACE EXCEPT WHERE
COVERED BY THE STRUCTURE FOR THE FLOOR
ABOVE WITHIN THIS LIMIT.

<div>SURVEYOR</div> <div>Name: WILLIAM HAMER</div> <div>Date: 1/11/2019</div> <div>Reference: 191330–SP</div>	<div>STRATA PLAN OF SUBDIVISION OF</div> <div>LOTS 1–8, 10–12 & COMMON PROPERTY IN SP4129</div> <div>& LOT 14–16 IN SP81756</div>	<div>LGA: NORTHERN BEACHES</div> <div>Locality: QUEENSCLIFF</div> <div>Reduction Ratio 1:150</div> <div>Lengths are in metres.</div>	<div>REGISTERED</div>	
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LEVEL 6

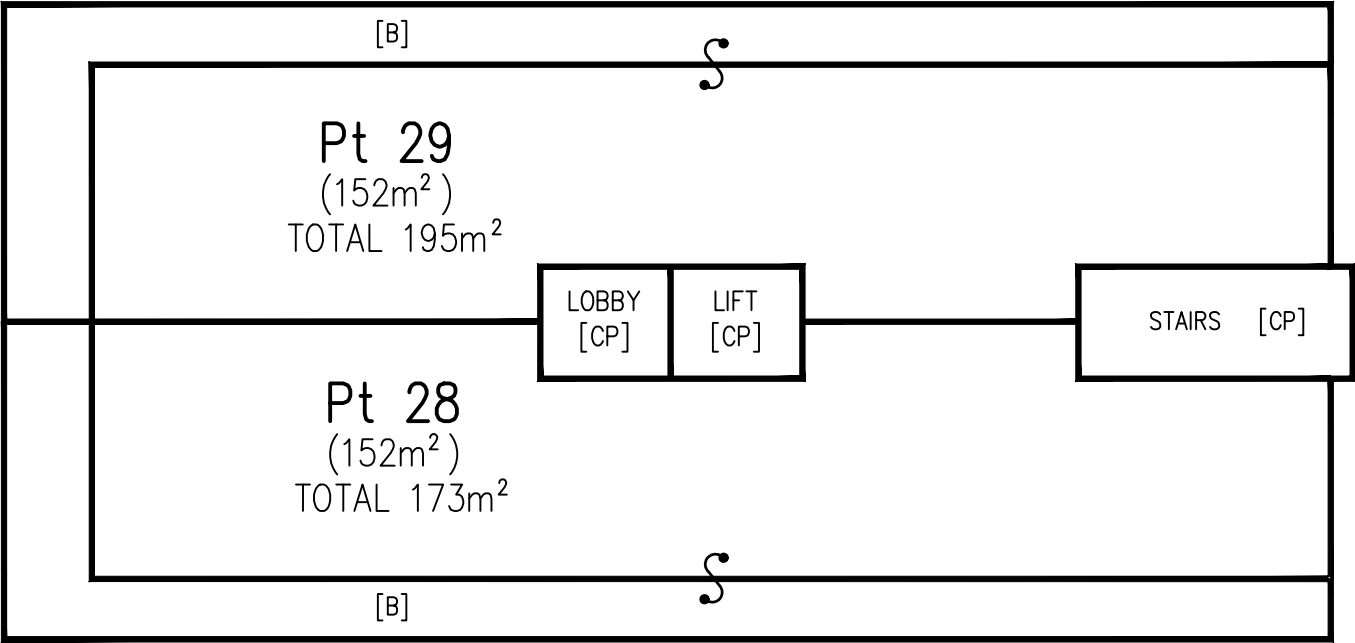




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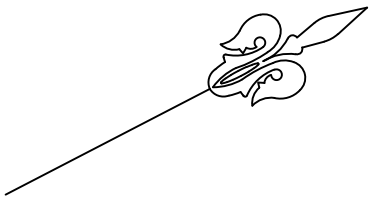



NOTE:
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THE STRATA SCHEMES DEVELOPMENT ACT 2015.

LEGEND:
[CP] DENOTES COMMON PROPERTY
[B] DENOTES A BALCONY
[D] DENOTES A SERVICES DUCT [CP]

STRATUM NOTES:
BALCONIES ARE LIMITED IN HEIGHT TO 2.7 ABOVE
THEIR UPPER CONCRETE SURFACE EXCEPT WHERE
COVERED BY THE STRUCTURE FOR THE FLOOR
ABOVE WITHIN THIS LIMIT.

<div>SURVEYOR</div> <div>Name: WILLIAM HAMER</div> <div>Date: 1/11/2019</div> <div>Reference: 191330–SP</div>	<div>STRATA PLAN OF SUBDIVISION OF</div> <div>LOTS 1–8, 10–12 & COMMON PROPERTY IN SP4129</div> <div>& LOT 14–16 IN SP81756</div>	<div>LGA: NORTHERN BEACHES</div> <div>Locality: QUEENSCLIFF</div> <div>Reduction Ratio 1:150</div> <div>Lengths are in metres.</div>	<div>REGISTERED</div>	
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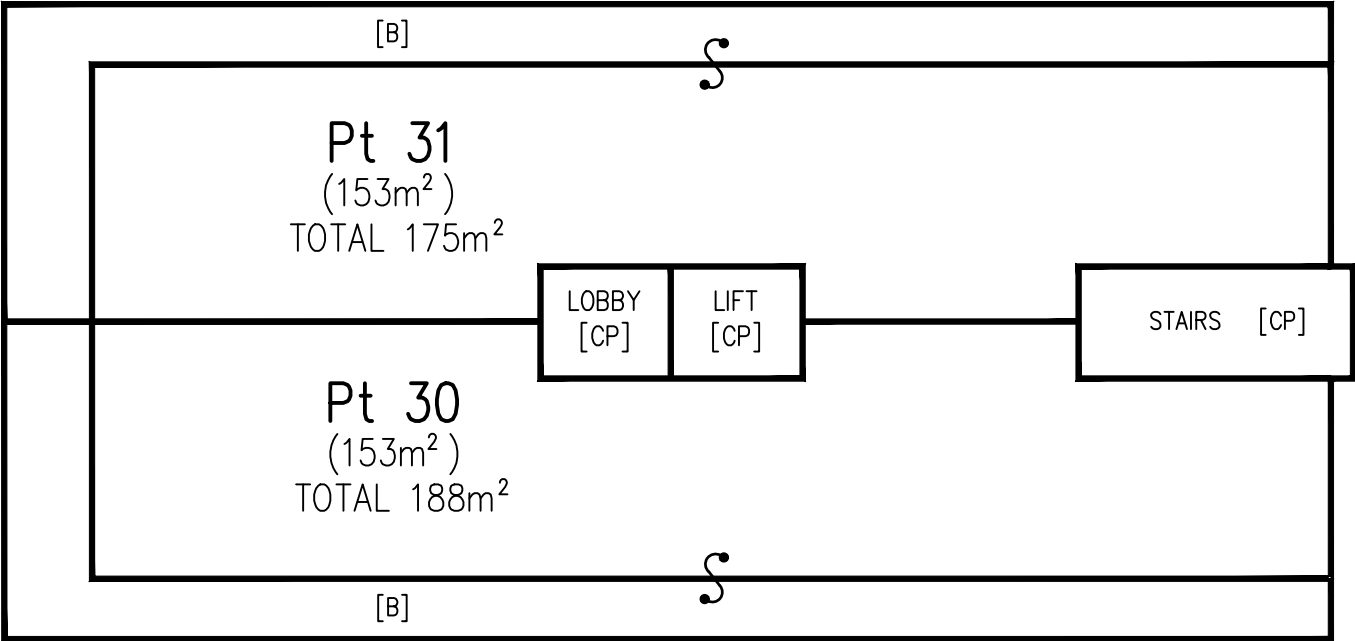




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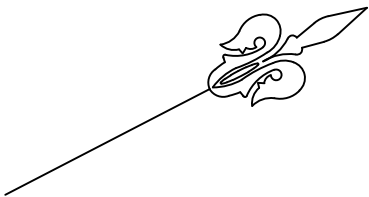



NOTE:
1. AREAS ARE APPROXIMATE FOR THE PURPOSE OF
THE STRATA SCHEMES DEVELOPMENT ACT 2015.

LEGEND:
[CP] DENOTES COMMON PROPERTY
[B] DENOTES A BALCONY
[D] DENOTES A SERVICES DUCT [C]

STRATUM NOTES:
BALCONIES ARE LIMITED IN HEIGHT TO 2.7 ABOVE
THEIR UPPER CONCRETE SURFACE EXCEPT WHERE
COVERED BY THE STRUCTURE FOR THE FLOOR
ABOVE WITHIN THIS LIMIT.

<div>SURVEYOR</div> <div>Name: WILLIAM HAMER</div> <div>Date: 1/11/2019</div> <div>Reference: 191330–SP</div>	<div>STRATA PLAN OF SUBDIVISION OF</div> <div>LOTS 1–8, 10–12 & COMMON PROPERTY IN SP4129</div> <div>& LOT 14–16 IN SP81756</div>	<div>LGA: NORTHERN BEACHES</div> <div>Locality: QUEENSCLIFF</div> <div>Reduction Ratio 1:150</div> <div>Lengths are in metres.</div>	<div>REGISTERED</div>	
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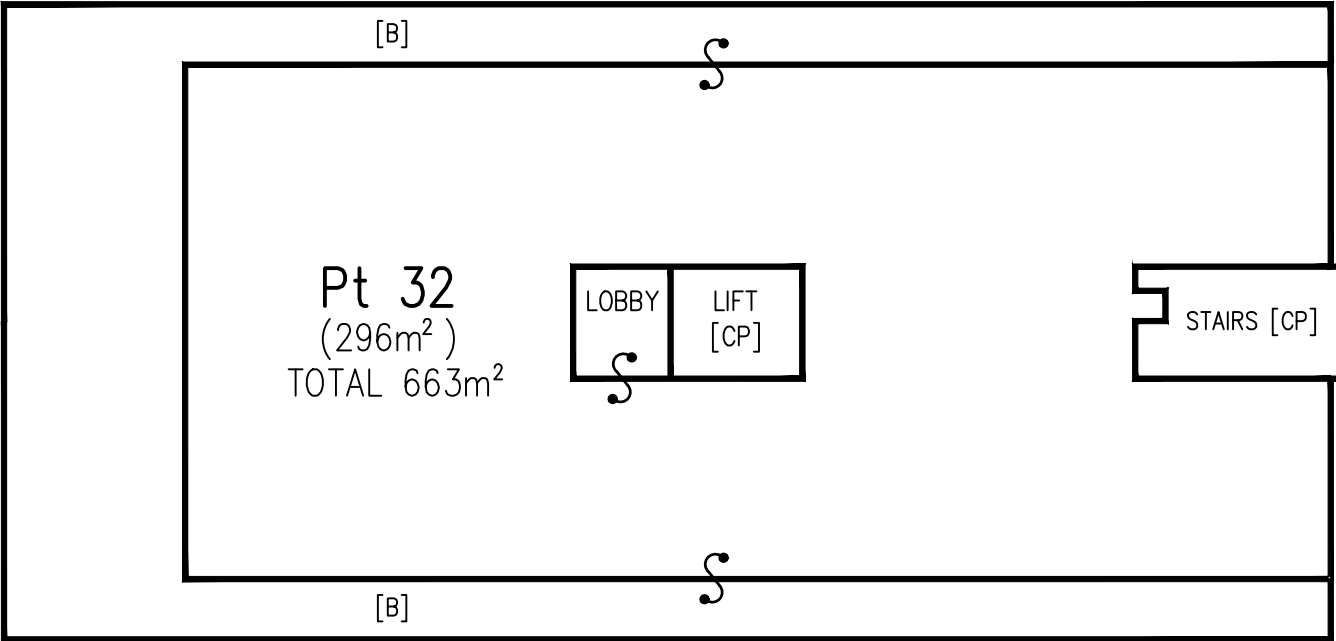




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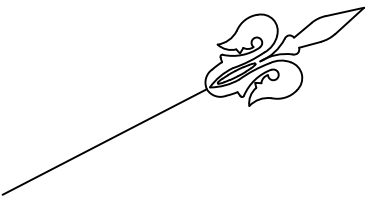



NOTE:
1. AREAS ARE APPROXIMATE FOR THE PURPOSE OF
THE STRATA SCHEMES DEVELOPMENT ACT 2015.

LEGEND:
[CP] DENOTES COMMON PROPERTY
[B] DENOTES A BALCONY

STRATUM NOTES:
BALCONIES ARE LIMITED IN HEIGHT TO 2.7 ABOVE
THEIR UPPER CONCRETE SURFACE EXCEPT WHERE
COVERED BY THE STRUCTURE FOR THE FLOOR
ABOVE WITHIN THIS LIMIT.

<div>SURVEYOR</div> <div>Name: WILLIAM HAMER</div> <div>Date: 1/11/2019</div> <div>Reference: 191330–SP</div>	<div>STRATA PLAN OF SUBDIVISION OF</div> <div>LOTS 1–8, 10–12 & COMMON PROPERTY IN SP4129</div> <div>& LOT 14–16 IN SP81756</div>	<div>LGA: NORTHERN BEACHES</div> <div>Locality: QUEENSCLIFF</div> <div>Reduction Ratio 1:150</div> <div>Lengths are in metres.</div>	<div>REGISTERED</div>	
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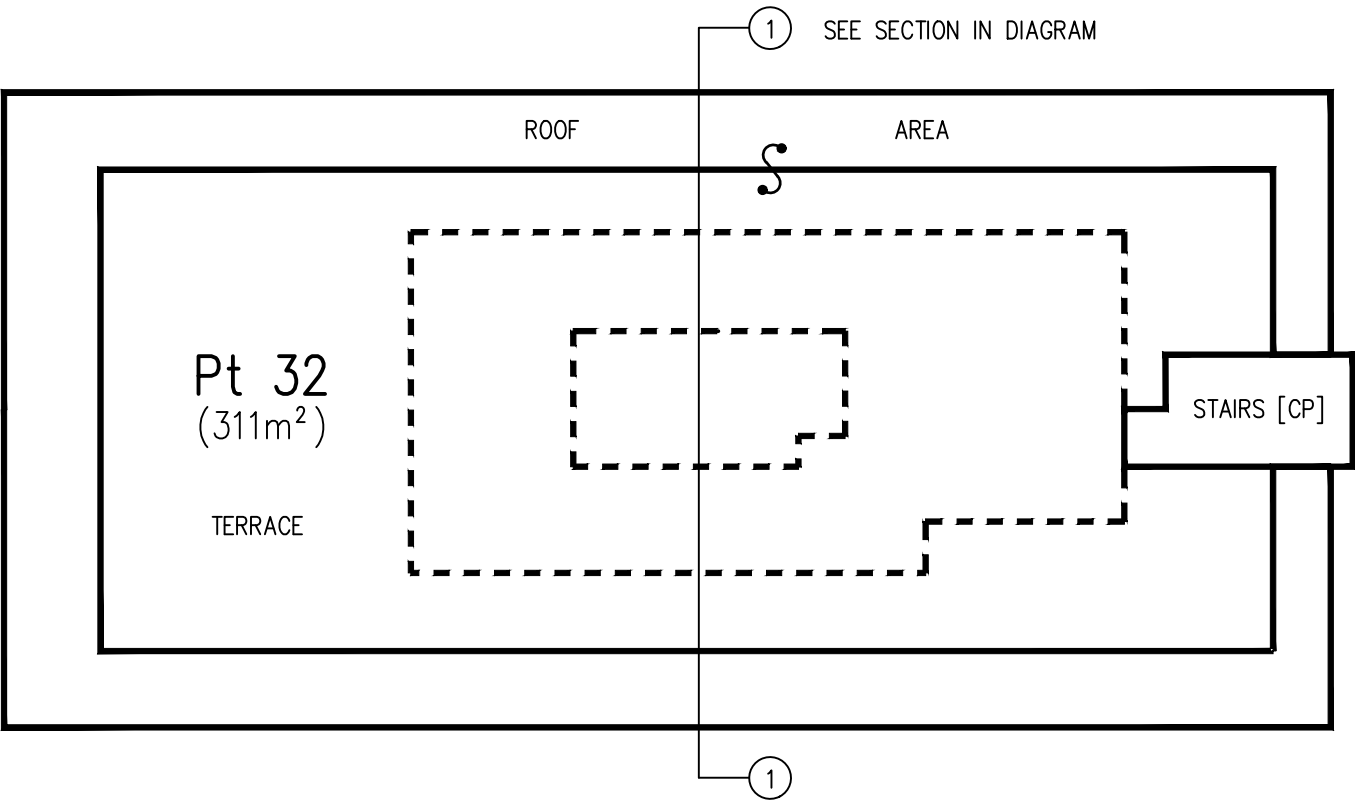




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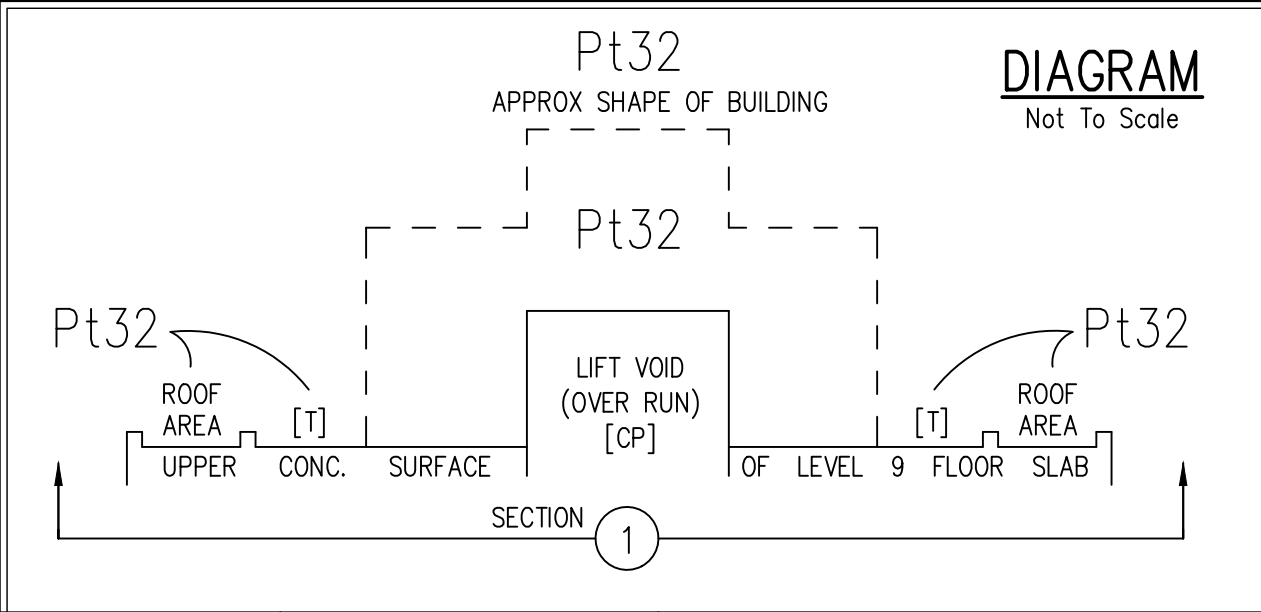
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- NOTE:
- AREAS ARE APPROXIMATE FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015.
 - DOTTED LINES DENOTE THE WHOLE OF THE WALLS AND ROOF FORM PART OF THE LOT AND ARE NOT COMMON PROPERTY, EXCLUDING ANY COMMON SERVICE LINES.

LEGEND:
[CP] DENOTES COMMON PROPERTY
[T] DENOTES TERRACE

STRATUM NOTES:
ALL OF LOT 32 AT LEVEL 9 IS LIMITED IN HEIGHT TO 5 ABOVE THE UPPER CONCRETE SURFACE OF THE LEVEL 9 STRUCTURAL FLOOR SLAB



<div>SURVEYOR</div> <div>Name: WILLIAM HAMER</div> <div>Date: 1/11/2019</div> <div>Reference: 191330-SP</div>	<div>STRATA PLAN OF SUBDIVISION OF</div> <div>LOTS 1-8, 10-12 & COMMON PROPERTY IN SP4129</div> <div>& LOT 14-16 IN SP81756</div>	<div>LGA: NORTHERN BEACHES</div> <div>Locality: QUEENSCLIFF</div> <div>Reduction Ratio 1:150</div> <div>Lengths are in metres.</div>	<div>REGISTERED</div>	
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