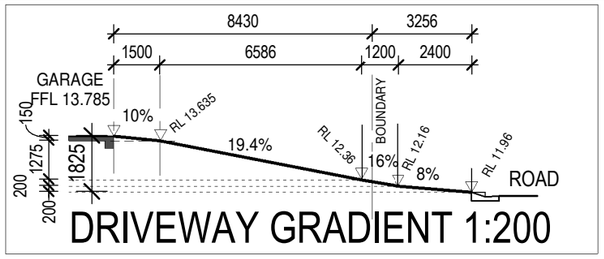
LEGEND

- WATER MAIN
- TELSTRA PILLAR
- TELSTRA MARKER POST
- TELSTRA PIT
- TELEGRAPH POLE
- POWER POLE
- ELECTRICAL PILLAR
- POWER LIGHT POLE
- LIGHT POLE
- HYDRANT
- RECYCLED WATER
- WATER METER
- STOP VALVE
- WATER TAP
- GAS METER
- GAS DIRECTION MARKER
- GAS INSPECTION POINT
- SEWER MANHOLE
- STREET SIGN
- PRAM CROSSING
- VEHICLE CROSSING
- SEWER VENT
- SEWER LAMPHOLE
- SEWER INSPECTION POINT
- SUBSOIL DRAIN
- STORMWATER PIT
- STORMWATER GRATE
- SURFACE INLET PIT
- LINTEL-KERB INLET PIT
- LINTEL-KERB INLET PIT WITH GRATE
- STORMWATER PIPE INCLUDING PIPE SIZE (0.225)
- HEADWALL
- CLOTHES LINE
- TREE: D DIAMETER, S SPREAD, H HEIGHT
- E — OVERHEAD ELECTRICITY LINE
- T — OVERHEAD TELECOM LINE
- S — SEWER LINE

L.G.A. : NORTHERN BEACHES
PARISH : MANLY COVE
COUNTY : CUMBERLAND

AREA LOT 23 SEC 6
VIDE DP 10609: 632.3 m²
BY CALC : 634.1 m²

DIAL 1100 BEFORE YOU DIG
www.1100.com.au



DRIVEWAY GRADIENT 1:200

STORMWATER TO HYDRAULIC ENGIS DETAILS

FSR CALCULATIONS

SITE AREA:	632.30m2
HOUSE AREAS:	
Second floor living	=103.50m2
First floor living	=124.55m2
Rumpus	=28.36m2
INTERNAL TOTAL:	=256.41m2
FLOOR SPACE RATIO:	0.40:1

NOTE:
FSR CALCULATED TO INTERNAL FACE OF EXTERNAL WALLS AS PER LEP DEFINITION

SITE DETAILS

LOT NUMBER:	23 Sec.6
DP NUMBER:	10609

AREAS

SITE AREA: 632.30m2

First floor	130.35 m²
Second floor	112.27 m²
Garage	49.37 m²
Rumpus	33.09 m²
Alfresco	32.46 m²
Porch	27.52 m²
Balcony	17.78 m²
Grand total	402.85 m²

DRIVEWAY:	46.000m2
FLOOR SPACE RATIO:	0.40:1
SITE COVERAGE:	233.50m2
PRIVATE OPEN SPACE:	290.00m2
ROOF AREA:	220.00m2

LANDSCAPE:

TOTAL AREA OF VEGETATION: = 200.00m2

STORMWATER:

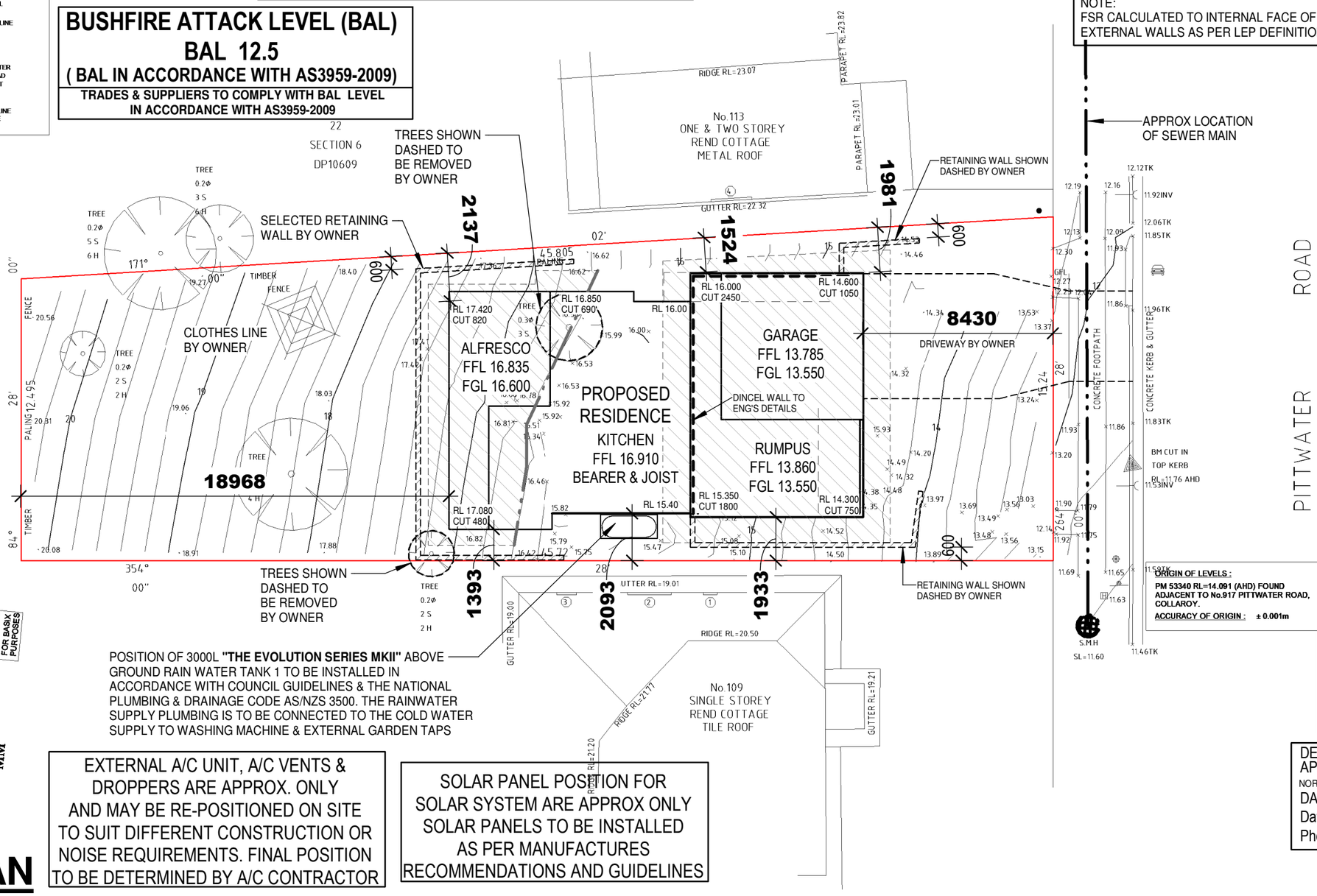
RAINWATER TANK SIZE: = 3000litre
-(ABOVE GROUND)
ROOF AREA CONNECTED TO RAINWATER
TANK: 22% MIN MIN- 50.00m2 (to eng's details)
RAINWATER USES: GARDEN/TOILET/LAUNDRY

SITE NOTES & CONDITIONS:

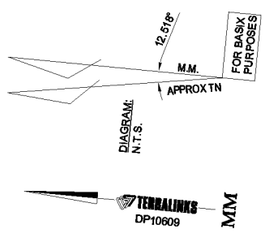
-HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.
-EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER
-EXISTING FENCING TO BE SECURED BY OWNER, PRIOR TO CONSTRUCTION & TO REMAIN OUTSIDE OF BUILDING PLATFORM.
-EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.
-WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.
-DIMENSIONS SHOWN ARE TO FRAME AND UNDERSIDE OF ROOF TRUSSES
-FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY & WILL VARY ON SITE
-ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER
- **ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS**

BUSHFIRE ATTACK LEVEL (BAL)
BAL 12.5
(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL IN ACCORDANCE WITH AS3959-2009



ORIGIN OF LEVELS :
PM 53340 RL=14.091 (AHD) FOUND ADJACENT TO No.917 PITTWATER ROAD, COLLAROY.
ACCURACY OF ORIGIN : ± 0.001m



POSITION OF 3000L **"THE EVOLUTION SERIES MKII"** ABOVE GROUND RAIN WATER TANK 1 TO BE INSTALLED IN ACCORDANCE WITH COUNCIL GUIDELINES & THE NATIONAL PLUMBING & DRAINAGE CODE AS/NZS 3500. THE RAINWATER SUPPLY PLUMBING IS TO BE CONNECTED TO THE COLD WATER SUPPLY TO WASHING MACHINE & EXTERNAL GARDEN TAPS

EXTERNAL A/C UNIT, A/C VENTS & DROPPERS ARE APPROX. ONLY AND MAY BE RE-POSITIONED ON SITE TO SUIT DIFFERENT CONSTRUCTION OR NOISE REQUIREMENTS. FINAL POSITION TO BE DETERMINED BY A/C CONTRACTOR

SOLAR PANEL POSITION FOR SOLAR SYSTEM ARE APPROX ONLY SOLAR PANELS TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS AND GUIDELINES

SITE PLAN

SEVERE MARINE CLASSIFICATION SL1

ALL TRADES & SUPPLIERS TO COMPLY WITH THE BCA AND ALL RELEVANT AUST STANDARDS

DEVELOPMENT APPROVAL BY:		CONSTRUCTION: CERTIFICATE BY:	
NORTHERN BEACHES COUNCIL		.....	
DA No :	...	CC No :	...
Date :	.....	Date :	...
Phone No:	1300 434 434	Phone No:	...

PREMIUM FINISHES

ISSUE	AMENDMENT	DATE
A	PFD.+ SV1 (HT)	06.02.19
B	VARY A (EB)	15.04.19
C	VARY B,C & D (EB)	15.05.19
D	VARY F (EB)	30.05.19
E	VARY H, VARY I (EC)	18.07.19
F	VARY L (EC)	23.09.19
G	FFD & STORMWATER UPDATE (EB)	27.09.19

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PROPOSED RESIDENCE FOR:
CLIENT: Mr CLARK & Mrs HAY

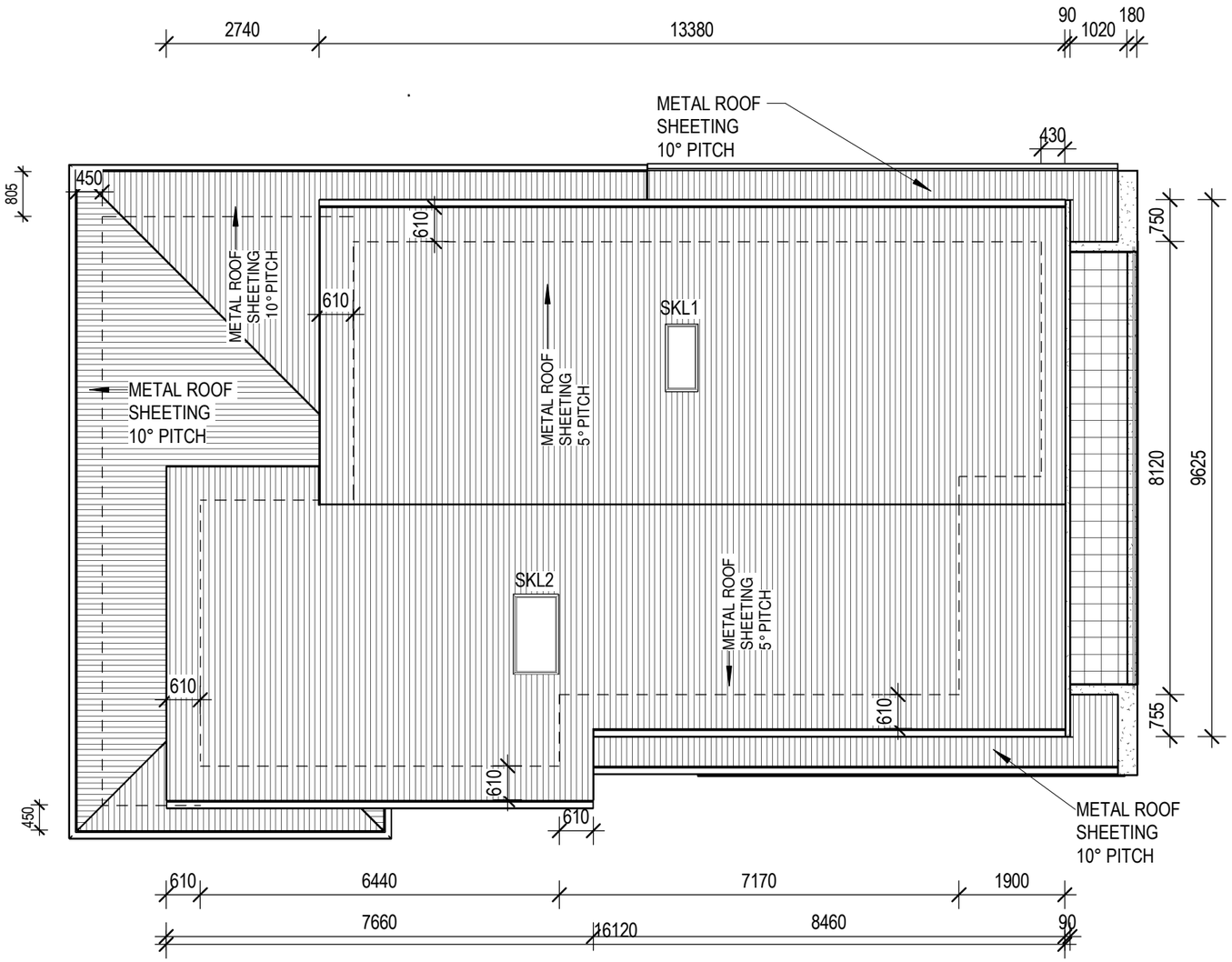
ADDRESS:
Lot23, Sec6 No 911 Pittwater RD
COLLAROY
NORTHERN BEACHES COUNCIL

DESIGN NAME: CUSTOM	
DESIGN NO:	
FACADE: CUSTOM	
JOB NO: 17338	DATE: 23.09.19
DRAWN: ht	CHECKED:...
SCALE: 1 : 200	SHEET NO:01 / .....
ISSUE: F Please discard all other plans	

LOCATION: T:\First draft\17338_CLARK&HAY\Drawings\17338_CLARK-HAY.rvt

BUSHFIRE ATTACK LEVEL (BAL)
BAL 12.5
(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL IN ACCORDANCE WITH AS3959-2009



ROOF PLAN

PREMIUM FINISHES

ISSUE	AMENDMENT	DATE
A	PFD.+ SV1 (HT)	06.02.19
B	VARY A (EB)	15.04.19
C	VARY B,C & D (EB)	15.05.19
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E	VARY H, VARY I (EC)	18.07.19
F	VARY L (EC)	23.09.19
G	FFD & STORMWATER UPDATE (EB)	27.09.19

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COLLAROY
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DESIGN NO:
FACADE: CUSTOM

JOB NO: 17338	DATE: 23.09.19
DRAWN: ht	CHECKED:...
SCALE: 1 : 100	SHEET NO:05 / .....

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BAL 12.5
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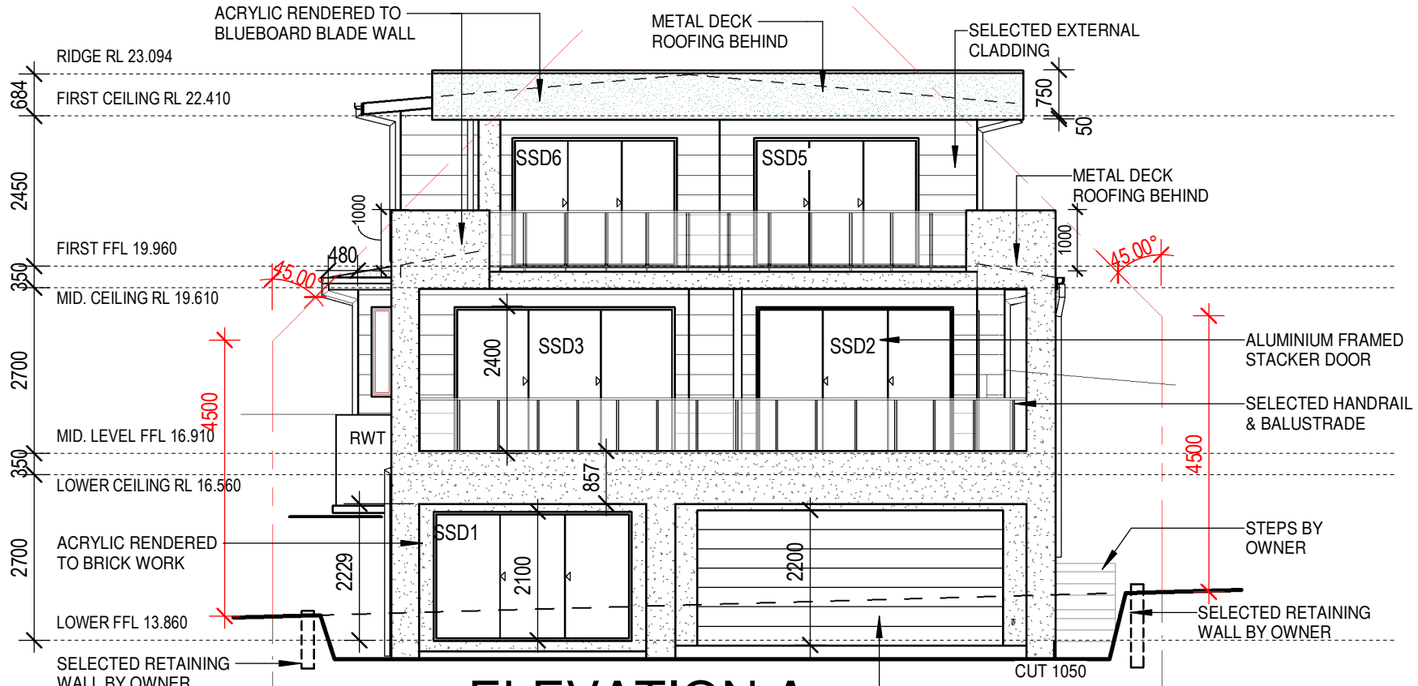
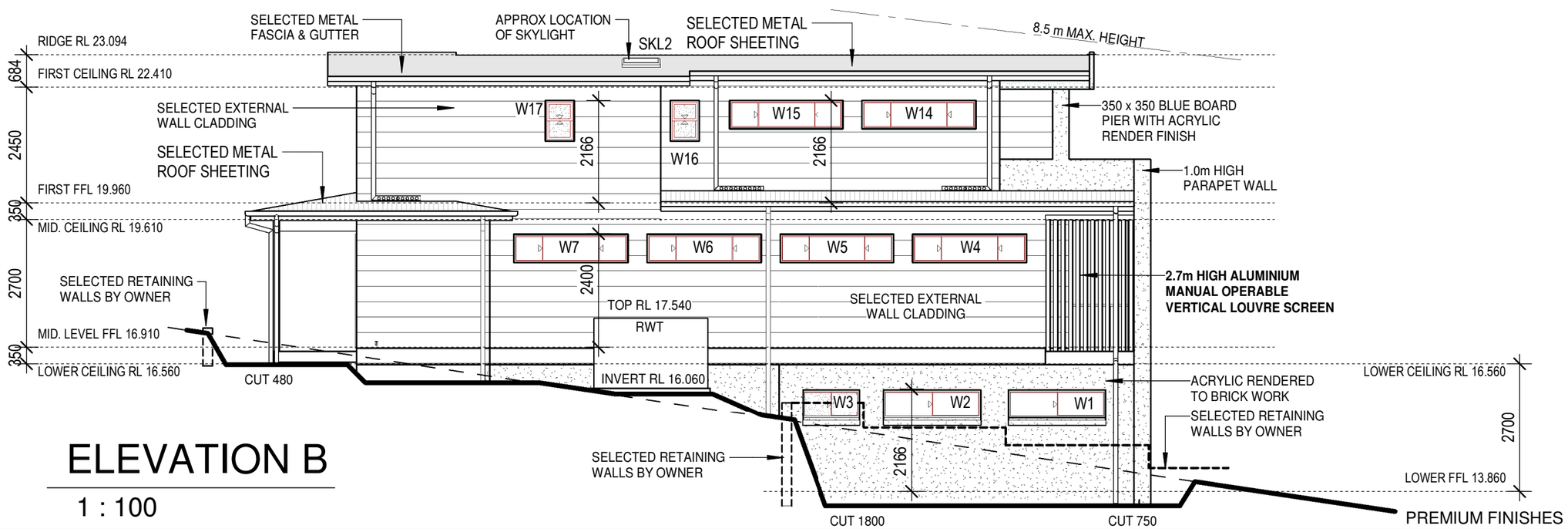
TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL IN ACCORDANCE WITH AS3959-2009

NOTE:
- SEE ELEVATIONS FOR ALL WINDOW HEAD HEIGHT



ELEVATION A

1 : 100



ELEVATION B

1 : 100

ELEVATIONS

ISSUE	AMENDMENT	DATE
A	PFD.+ SV1 (HT)	06.02.19
B	VARY A (EB)	15.04.19
C	VARY B,C & D (EB)	15.05.19
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G	FFD & STORMWATER UPDATE (EB)	27.09.19

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DESIGN NO:
FACADE: CUSTOM

JOB NO: 17338	DATE: 23.09.19
DRAWN: ht	CHECKED:...
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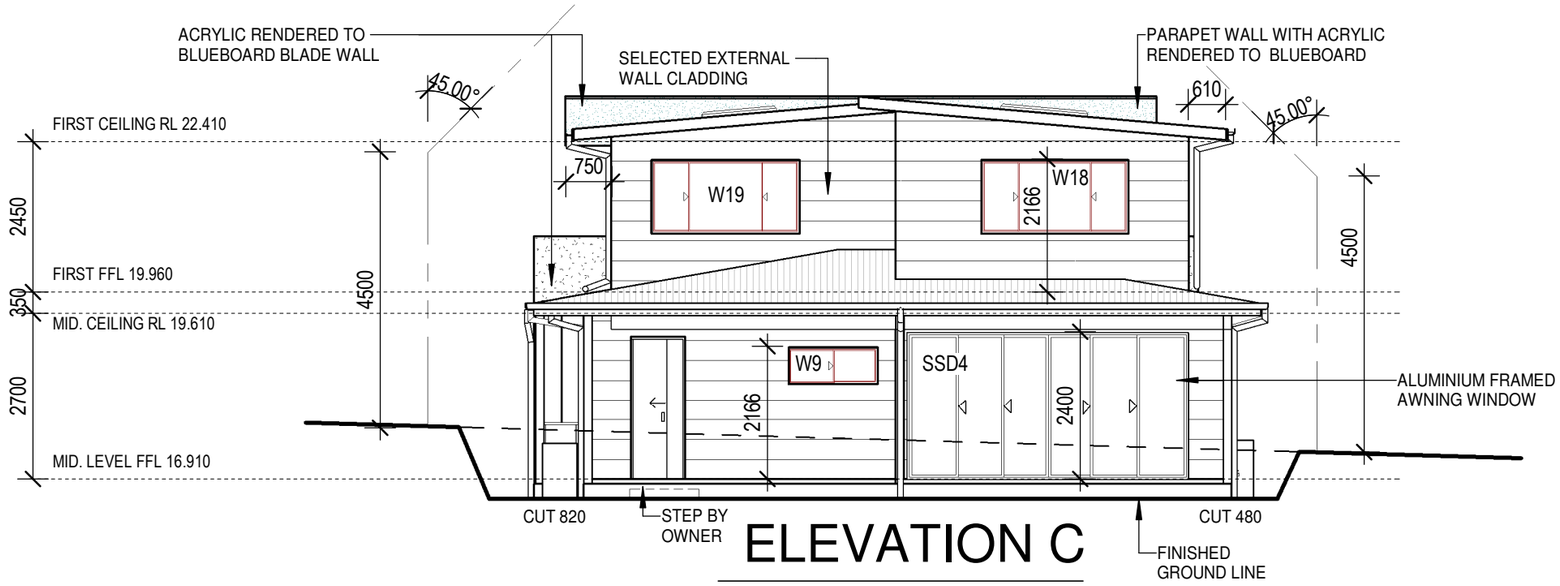
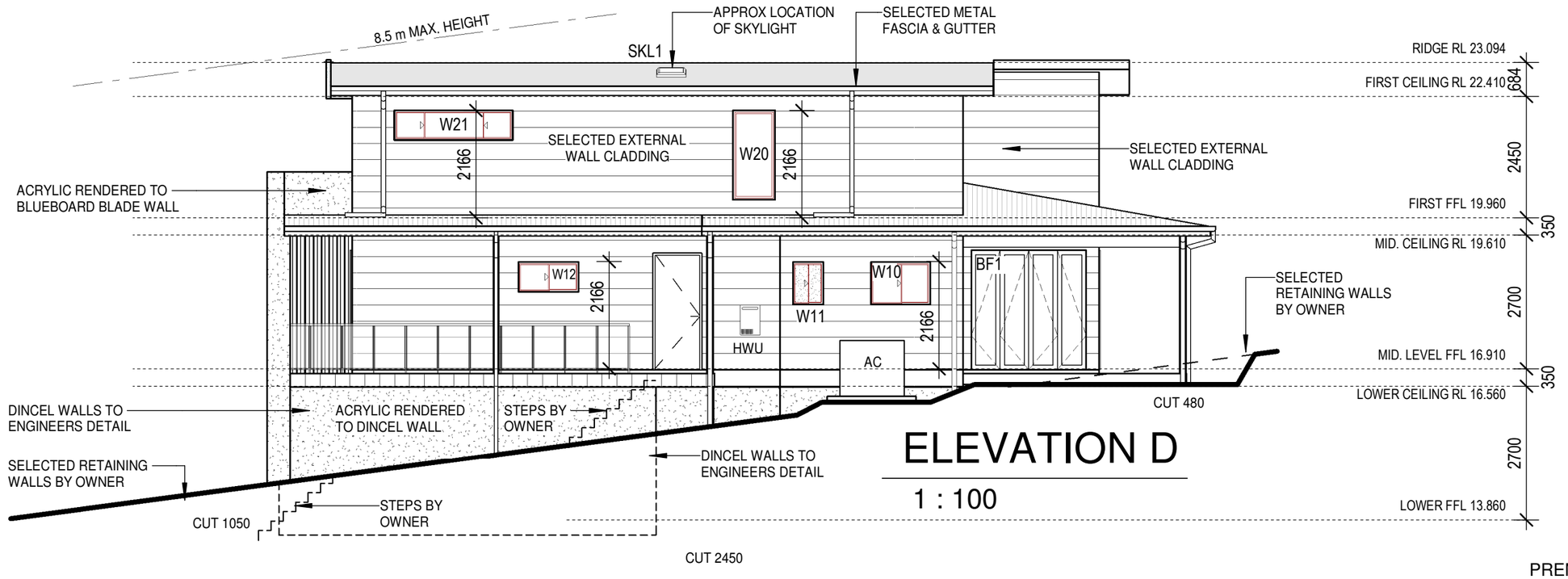
BUSHFIRE ATTACK LEVEL (BAL)
BAL 12.5
(BAL IN ACCORDANCE WITH AS3959-2009)
TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL IN ACCORDANCE WITH AS3959-2009

NOTE:
■ SEE ELEVATIONS FOR ALL WINDOW HEAD HEIGHT



ELEVATION C

1 : 100



ELEVATION D

1 : 100

ELEVATIONS

PREMIUM FINISHES

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JOB NO: 17338	DATE: 23.09.19
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SCALE: 1 : 100	SHEET NO:07 / .....

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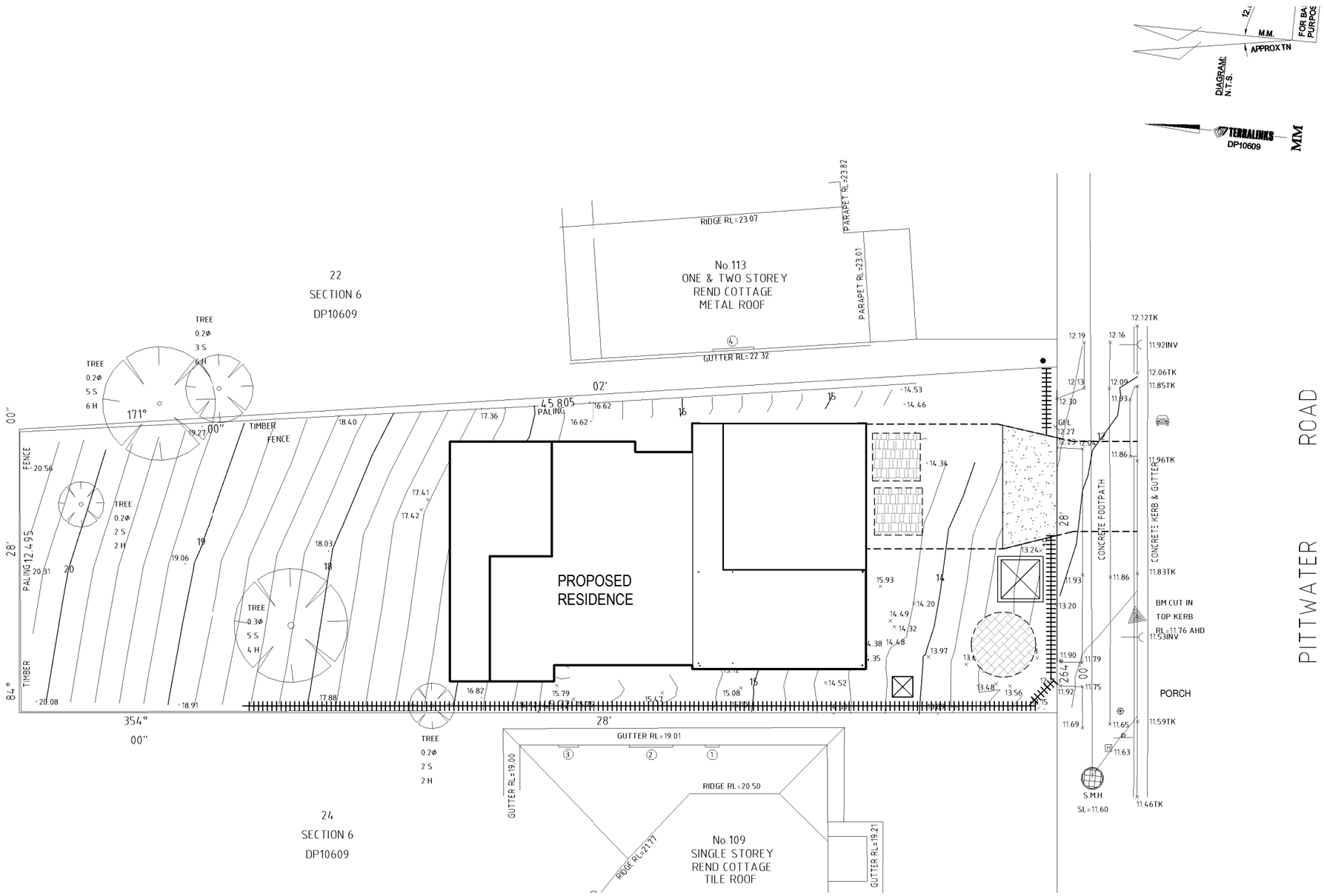

LEGEND

- Material Stockpile area.
- Waste stockpile & material sorting area.
- Storage recycling bins for segregated waste.
- Chemical toilets.
- Temporary builders d/way to E.P.A. requirements.
- Fit standard 600 high green silt fence (refer to detail).
- Trees to be removed.

NOTE: All waste materials to be taken to an approved waste disposal site.

SOIL & SEDIMENT CONTROL PLAN

PREMIUM FINISHES

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E	VARY H, VARY I (EC)	18.07.19
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G	FFD & STORMWATER UPDATE (EB)	27.09.19

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DESIGN NAME: CUSTOM
DESIGN NO:
FACADE: CUSTOM

JOB NO: 17338	DATE: 23.09.19
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SCALE: 1 : 200	SHEET NO:18 / .....

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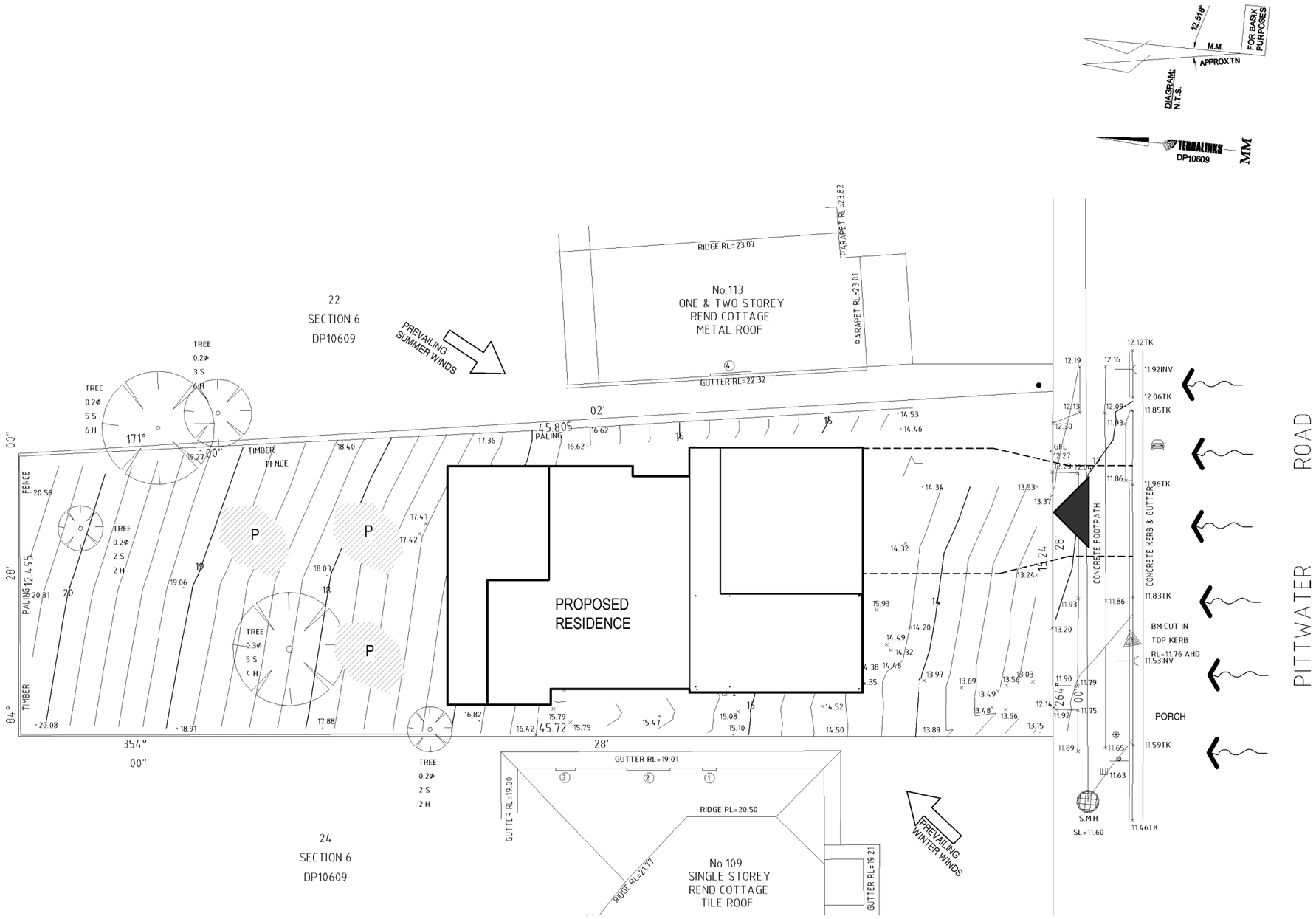

LEGEND

- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE RETAINED
- PROPOSED RESIDENCE.
- EXISTING ADJOINING RESIDENCE.
- EXISTING BUILDINGS TO BE DEMOLISHED.
- SITE BOUNDARY
- CONTOURS
- P — PRIVATE OPEN SPACE
- VIEWS
- VEHICULAR SITE ENTRY
- PREVAILING WINDS
- NOISE
- OVERLOOKING

SITE ANALYSIS

PREMIUM FINISHES

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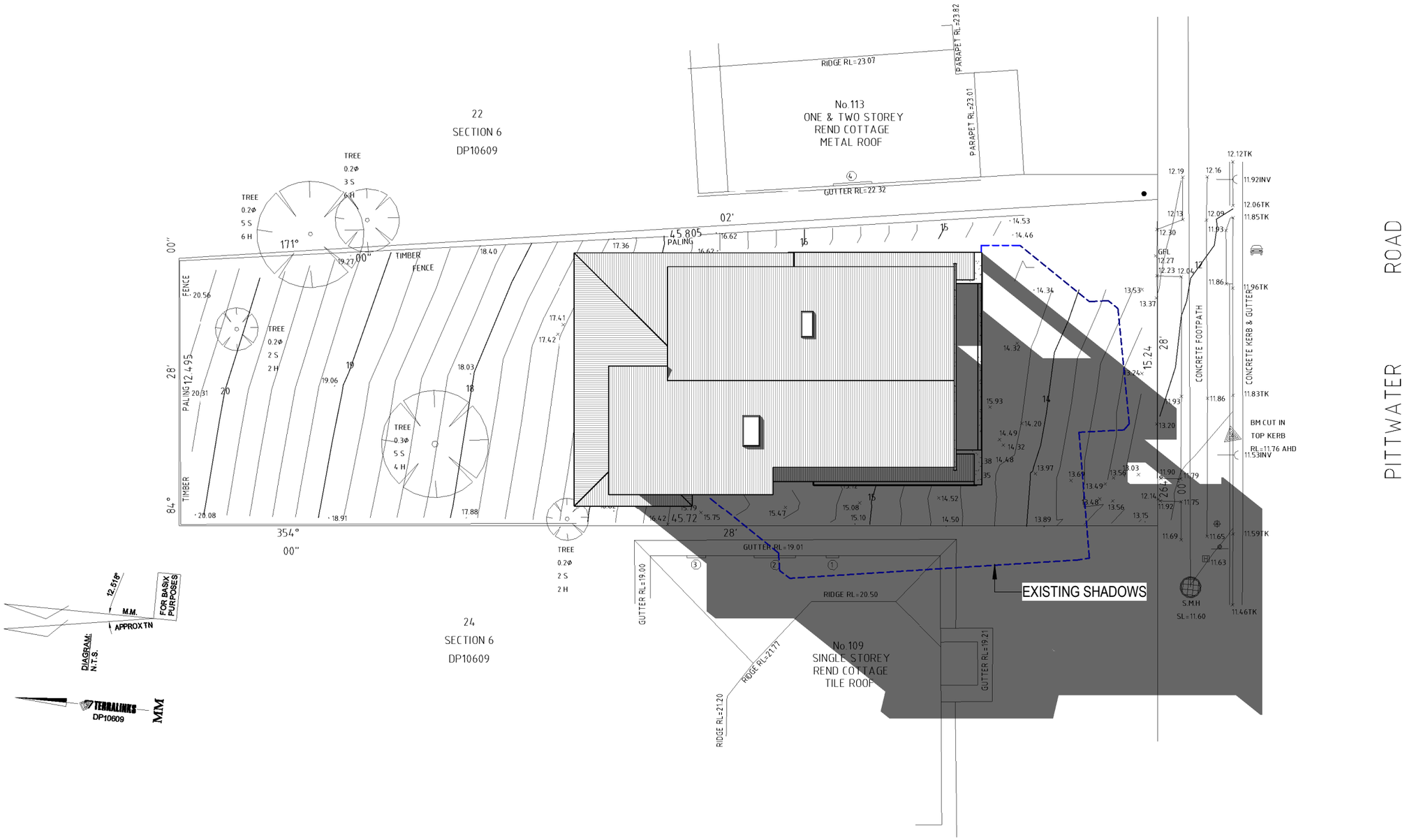
JOB NO: 17338	DATE: 23.09.19
DRAWN: EC	CHECKED:...
SCALE: 1 : 200	SHEET NO:19 / .....

ISSUE: F Please discard all other plans



SHADOW DIAGRAM 21st JUNE 9am

PREMIUM FINISHES

ISSUE	AMENDMENT	DATE
A	PFD.+ SV1 (HT)	06.02.19
B	VARY A (EB)	15.04.19
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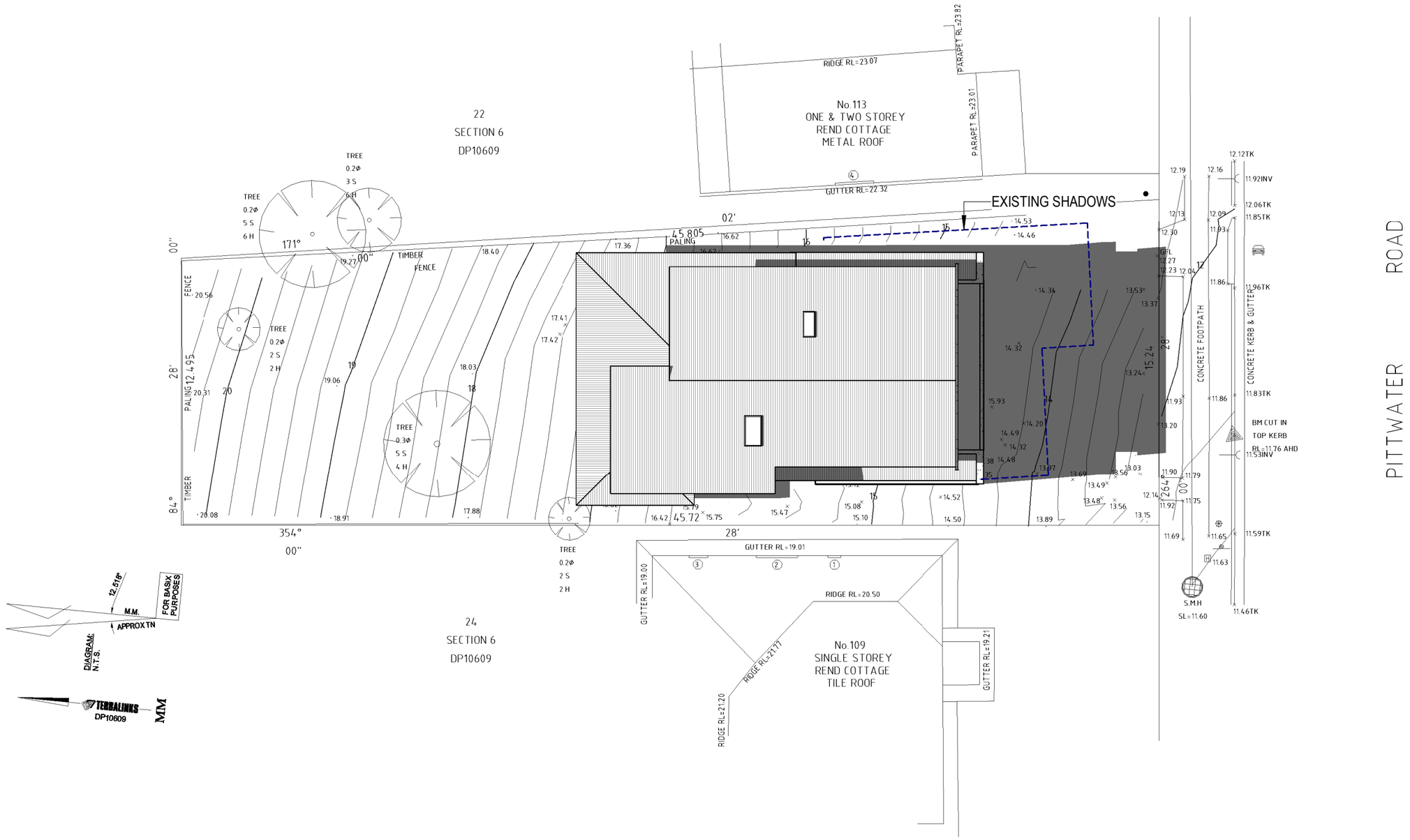
COLLAROY
NORTHERN BEACHES COUNCIL

DESIGN NAME: CUSTOM
DESIGN NO:
FACADE: CUSTOM

JOB NO: 17338	DATE: 23.09.19
DRAWN: EC	CHECKED:...
SCALE: 1 : 200	SHEET NO:20 / .....

ISSUE: F Please discard all other plans



SHADOW DIAGRAM 21st JUNE 12pm

PREMIUM FINISHES

ISSUE	AMENDMENT	DATE
A	PFD.+ SV1 (HT)	06.02.19
B	VARY A (EB)	15.04.19
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LOCATION: T:\First draft\17338_CLARK&HAY\Drawings\17338_CLARK-HAY.rvt

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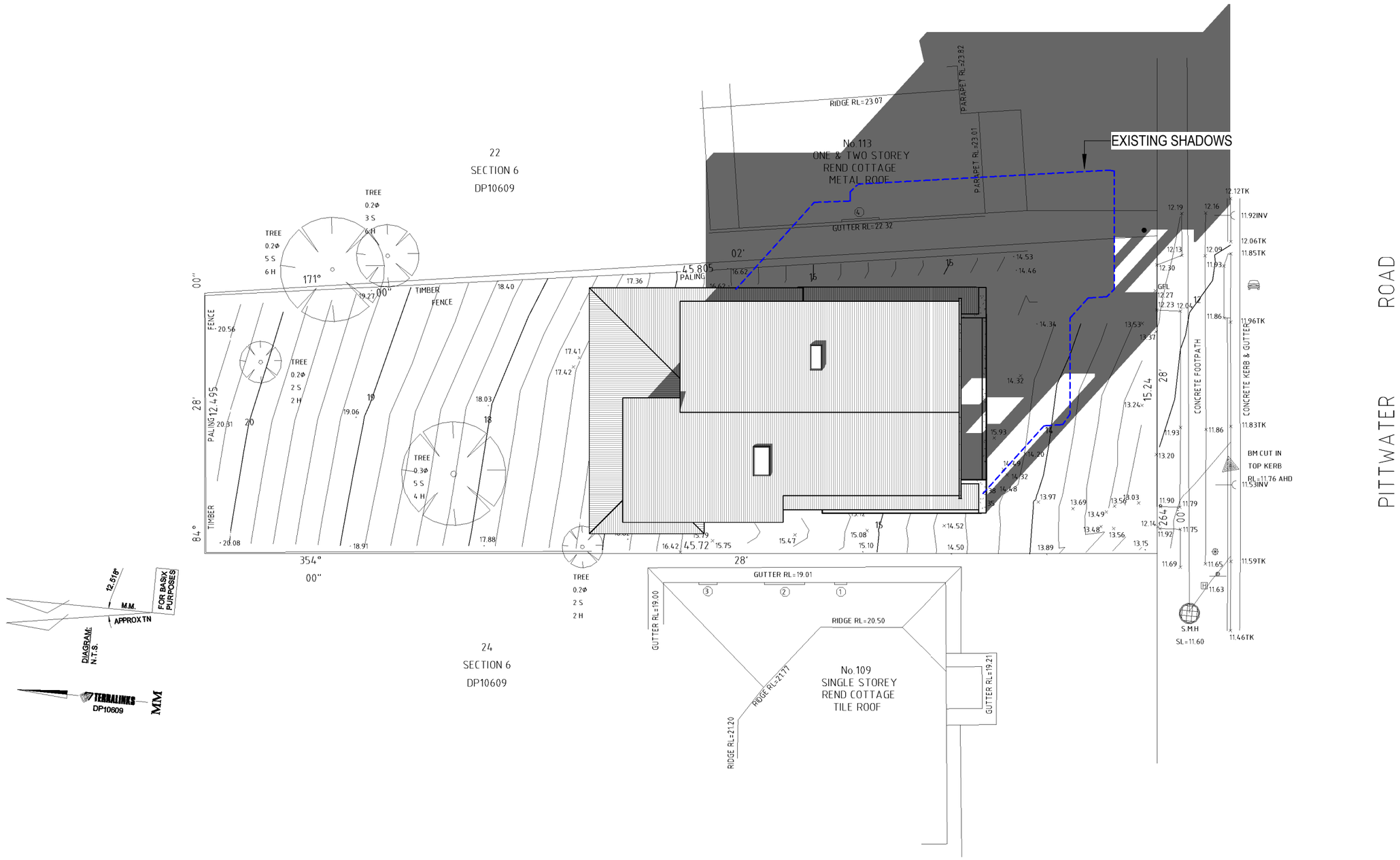
COLLAROY
NORTHERN BEACHES COUNCIL

DESIGN NAME: CUSTOM
DESIGN NO:
FACADE: CUSTOM

JOB NO: 17338	DATE: 23.09.19
DRAWN: EC	CHECKED:...
SCALE: 1 : 200	SHEET NO:21 / .....
ISSUE: F Please discard all other plans	



SHADOW DIAGRAM 21st JUNE 3pm

PREMIUM FINISHES

ISSUE	AMENDMENT	DATE
A	PFD.+ SV1 (HT)	06.02.19
B	VARY A (EB)	15.04.19
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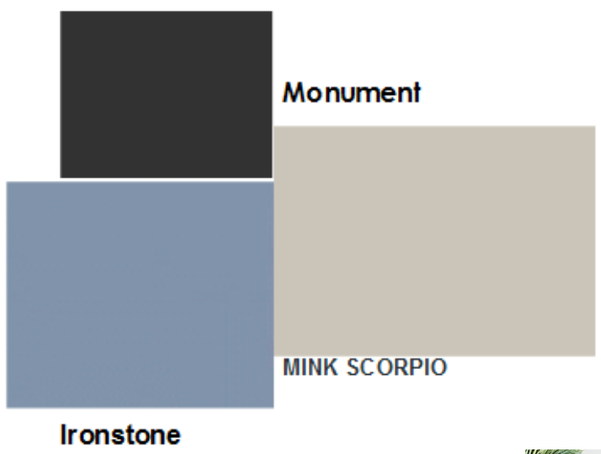
DESIGN NAME: CUSTOM
DESIGN NO:
FACADE: CUSTOM

JOB NO: 17338	DATE: 23.09.19
DRAWN: EC	CHECKED: ...
SCALE: 1 : 200	SHEET NO:22 / .....

ISSUE: F Please discard all other plans

External colour selection - Lot 23, sec 6 #911 Pittwater Rd, Collaroy



EXTERNAL COLOR SELECTIONS Ref 17338	
Details	**Selections**
Colourbond Roof	*Monument*
Fascia & Gutters	*Monument*
Dowpipes	*Mink Scorpio / Ironstone*
Cladding	*MINK SCORPIO*
Render colour	*Ironstone*
Rainwater tank	*Ironstone*
Garage door	*Decowood Casuarina*
Front door	*Stained Light Oak*
Window & Door Frame	*Monument*

ALTERATIONS & ADDITIONS

at: 911 PITTWATER ROAD, COLLAROY

for: GREG CLARK & JESS HAY

Architect: LONE PINE LANDSCAPES

Prepared By:

Consulting Engineers
STRUCTURAL - CIVIL - STORMWATER - REMEDIAL
A.C.N. 076 121 616 A.B.N. 24 076 121 616
Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444
Suite 207, 30 Fisher Road Dee Why N.S.W. 2099
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DRAWING SCHEDULE:

C01 - DRIVEWAY ACCESS PLAN
C02 - PROPOSED CONTOUR LAYOUT PLAN (APPROXIMATE)
C03 - LONGITUDINAL SECTIONS - SHEET 1
C04 - LONGITUDINAL SECTIONS - SHEET 2
C05 - LONGITUDINAL SECTIONS - SHEET 3
C06 - SWEPT PATH ANALYSIS LAYOUT PLAN - SHEET 1

NB Consulting Engineers

191015

REV C - 06/11/2019

LEGEND:

CH 10.000 — CHAINAGES

PROPOSED DRIVEWAY/FOOTPATH OUTLINE

CIVIL NOTES:

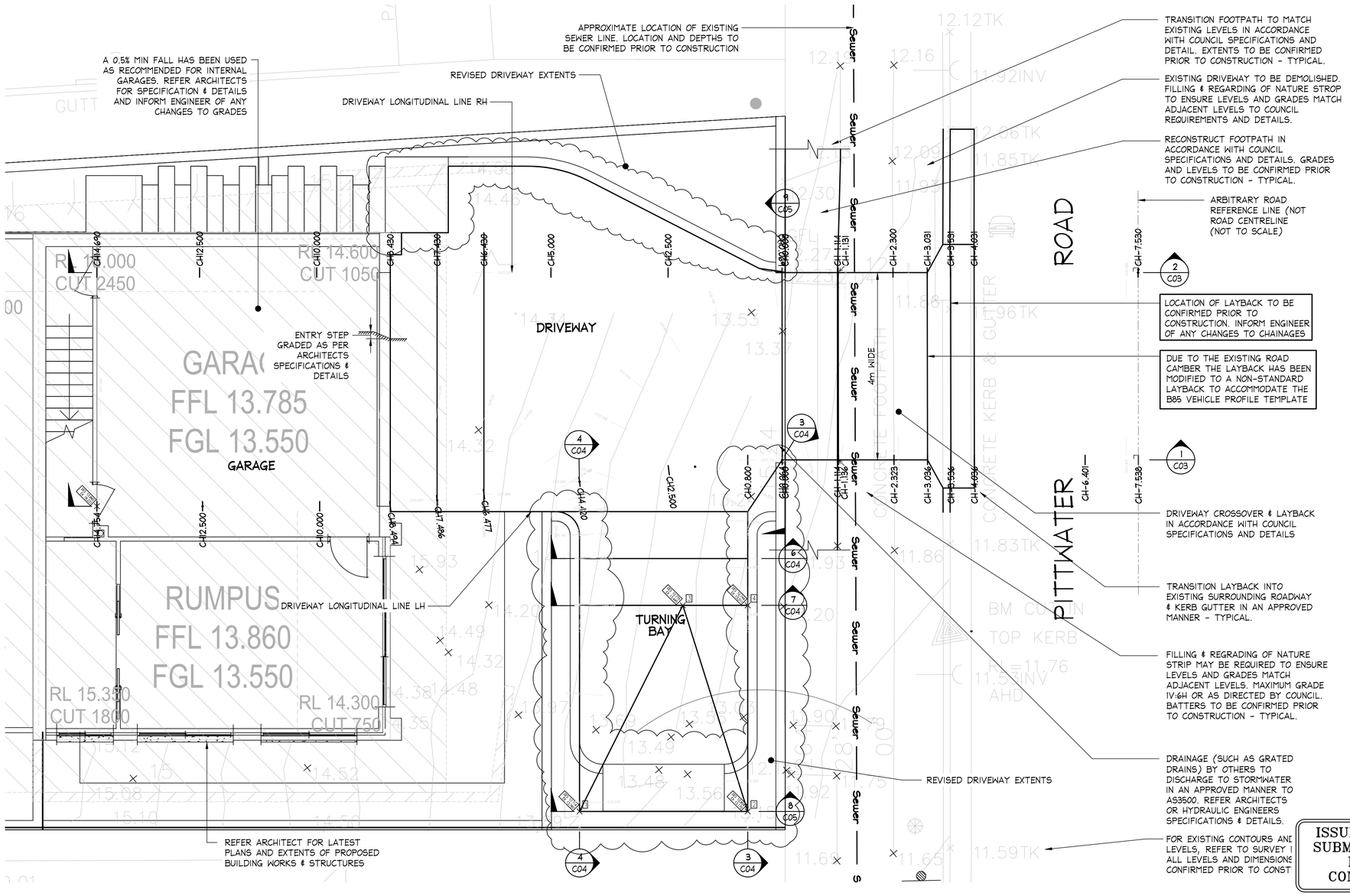
1. FOR EXISTING CONTOURS AND LEVELS. REFER SURVEY PLAN. ALL LEVELS AND DIMENSIONS TO BE CONFIRMED PRIOR TO CONSTRUCTION.
2. PRIOR APPROVAL MAY BE REQUIRED WITH RELEVANT AUTHORITIES PRIOR TO RETAINING WALLS, SHORING, BATTERS & DRAINAGE IMPACTING NEIGHBOURING PROPERTIES AND INFRASTRUCTURE BEYOND BOUNDARIES.
3. STORMWATER AND DRAINAGE BY OTHERS TO AS3500.
4. STORMWATER FLOOD ANALYSIS AND/OR FREEBOARD LEVELS IF REQUIRED HAVE NOT BEEN PROVIDED FOR THIS CIVIL/DRIVEWAY ACCESS PLAN. COUNCIL TO CONFIRM IF REQUIRED PRIOR TO CONSTRUCTION.
5. ALL BATTERS, RETAINING WALLS AND BULK EARTHWORKS TO FUTURE DETAILS BY OTHERS. ALL RETAINING WALLS GREATER THAN 900mm HIGH TO BE DESIGNED BY A QUALIFIED ENGINEER.
6. EXISTING DRAINAGE ACROSS NATURE STRIP & KERBS IMPACTING PROPOSED WORKS TO BE RELOCATED OR UPGRADED AS REQUIRED BY OTHERS IN AN APPROVED MANNER. REFER ARCHITECT FOR SPECIFICATIONS AND DETAILS.
7. NATURE STRIP PAVEMENT, GUTTER & FOOTWAY CROSSINGS TO COUNCIL SPECIFICATIONS.
8. CONCRETE DRIVEWAY & JOINTING PLAN BY OTHERS.
9. IMPACT OF PROPOSED WORKS ON EXISTING TREE/S. REFER ARCHITECT AND/OR ARBORIST REPORT FOR DETAILS AND SPECIFICATIONS.
10. PRIOR APPROVAL REQUIRED PRIOR TO REMOVAL OF EXISTING TREE/S REFER ARCHITECT AND/OR ARBORIST REPORT FOR SPECIFICATIONS & DETAILS.
11. CARPARKING REQUIREMENTS TO AS2890.1 BY OTHERS. REFER ARCHITECT FOR SPECIFICATIONS AND DETAILS.
12. MINIMUM DRIVEWAY WIDTHS, CLEARANCES, INCLUDING HEAD CLEARANCES TO COMPLY WITH AS2890.1 REFER ARCHITECT FOR SPECIFICATIONS & DETAILS.
13. GARAGE DOORWAY OPENING WIDTH BY OTHERS REFER ARCHITECT FOR SPECIFICATIONS AND DETAILS TO COMPLY WITH AS2890.1.
14. REFER ARCHITECT FOR LATEST PLANS AND EXTENTS OF PROPOSED BUILDING WORKS & STRUCTURES. TO BE CONFIRMED PRIOR TO CONSTRUCTION.
15. COUNCIL APPROVAL MAY BE REQUIRED PRIOR TO COMMENCING CONSTRUCTION.
16. ANY VEHICLE PROFILE ANALYSIS SUCH AS THE B85 PROFILE IS NORMALLY UNDERTAKEN ALONG THE DETAILED LONGITUDINAL SECTIONS (SUCH AS LONGITUDINAL LH, CL & RH), WHICH HAVE GENERALLY BEEN LOCATED IN ACCORDANCE WITH COUNCIL POLICY. UNLESS NOTED OTHERWISE. THIS MAY NOT NECESSARILY REPRESENT THE WORSE CASE ANALYSIS.
17. SWEPT PATH ANALYSIS HAS ONLY BEEN UNDERTAKEN AS THAT SHOWN, REFER SWEPT PATH ANALYSIS PLAN/S.
18. BARRIERS REQUIRED WHERE DRIVEWAY DROP EXCEEDS 600mm. WHEEL STOP REQUIRED WHERE DRIVEWAY DROP IS BETWEEN 150-600mm. REFER AS2890.1. REFER ARCHITECT & LANDSCAPE ARCHITECT FOR SPECIFICATIONS AND DETAILS.

CADASTRAL REFERENCE MARKS, SURVEY PMs OR SSMs

1) PURSUANT TO THE SURVEYING AND SPATIAL INFORMATION ACT, ANY CADASTRAL REFERENCE MARKS, SURVEY PMs OR SSMs THAT ARE ON KERBS, FOOTPATHS OR SIMILAR THAT MAY BE AFFECTED BY CONSTRUCTION OR MAINTENANCE, NEED TO BE IDENTIFIED AND SURVEYED BY A REGISTERED LAND SURVEYOR BEFORE THEY ARE DESTROYED OR DISTURBED, PERSONAL FINES APPLY FOR BREACHES OF THE ACT.

GENERAL DRIVEWAY PROFILE NOTES:

1) THESE PLANS ARE TO BE READ IN CONJUNCTION WITH COUNCIL CONDITIONS. DEVELOPMENT APPLICATIONS NUMBER DA2016/1121, NOTICE OF DETERMINATION DATED 5th DEC 2016.



DRIVEWAY ACCESS PLAN

SCALE = 1 : 50

NOTES:

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.

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NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN:
- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG. - TEL. 1100

ASSUMED KERB INVERT LEVEL (KIL). ASSUMED 160 HIGH KERB FROM SURVEY TOP OF KERB (TOK). INVERT LEVELS TO BE CONFIRMED PRIOR TO CONSTRCTION AND INFORM ENGINEER OF ANY DISCREPENCIES.

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21/10/2019	A	PRELIMINARY ISSUE FOR INFORMATION PURPOSES ONLY - NOT FOR CONSTRUCTION	D.K.	M.W.

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Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220
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Architect: LONE PINE LANDSCAPES	Project: ALTERATIONS & ADDITIONS AT 911 PITTWATER ROAD, COLLAROY	Date: OCT 2019	Design: D.K. / Drawn: D.K.
Client: GREG CLARK & JESS HAY	Drawing Title: DRIVEWAY ACCESS PLANS	Job No: 191015	Drawing No: C01 / Issue: C

NOTES:

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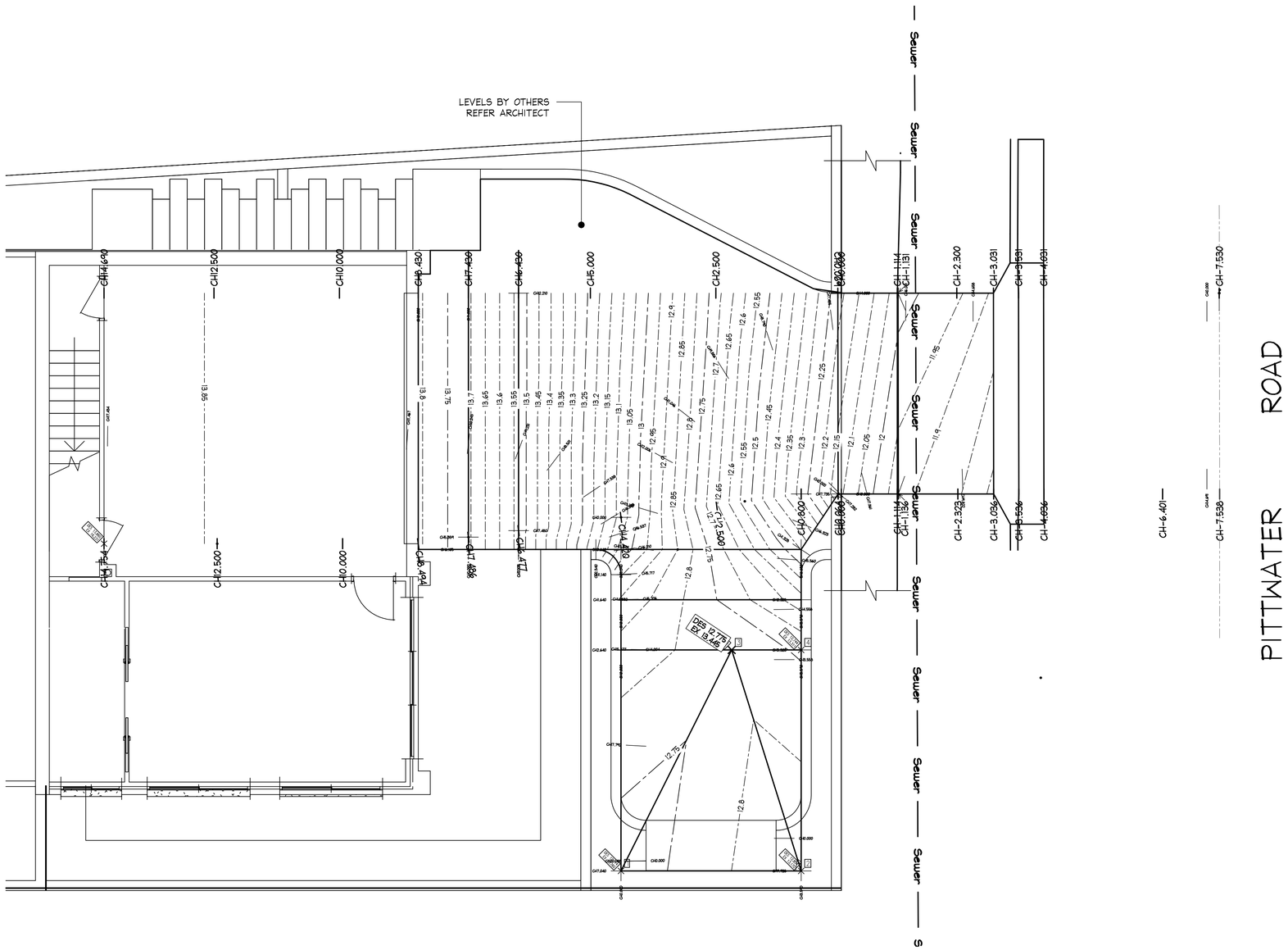
PROPOSED CONTOUR LEVELS ARE INDICATIVE ONLY. ALL LEVELS TO BE CONFIRMED PRIOR TO CONSTRUCTION. DO NOT SCALE.



PROPOSED CONTOUR & SPOT LEVELS LAYOUT PLAN (APPROXIMATE)

NOT TO SCALE

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Architect: LONE PINE LANDSCAPES	Project: ALTERATIONS & ADDITIONS AT 911 PITTWATER ROAD, COLLAROY	Date: OCT 2019	Design: D.K. / Drawn: D.K.
Client: GREG CLARK & JESS HAY	Drawing Title: PROPOSED CONTOUR LAYOUT PLAN (APPROXIMATE)	Job No: 191015	Drawing No: C02 / Issue: C

NOTES:

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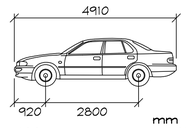
B85 PROFILE:



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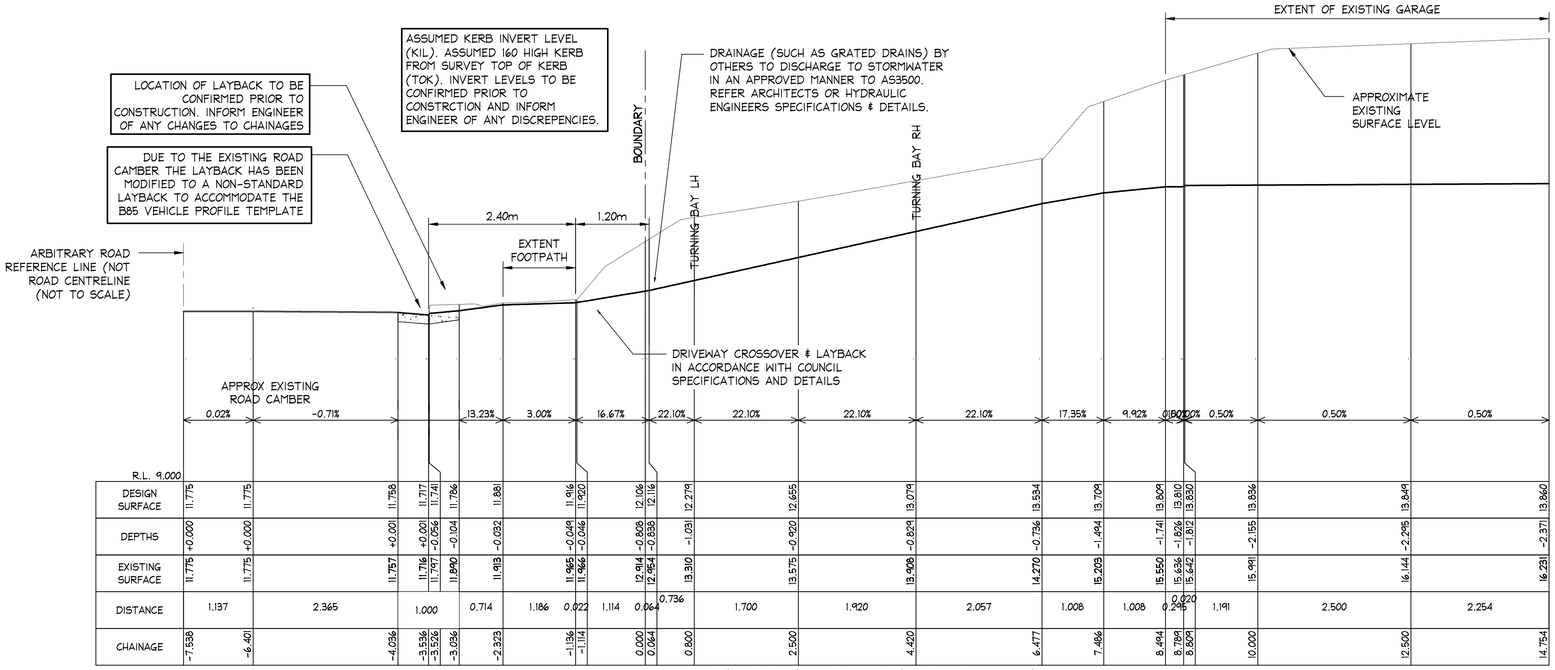
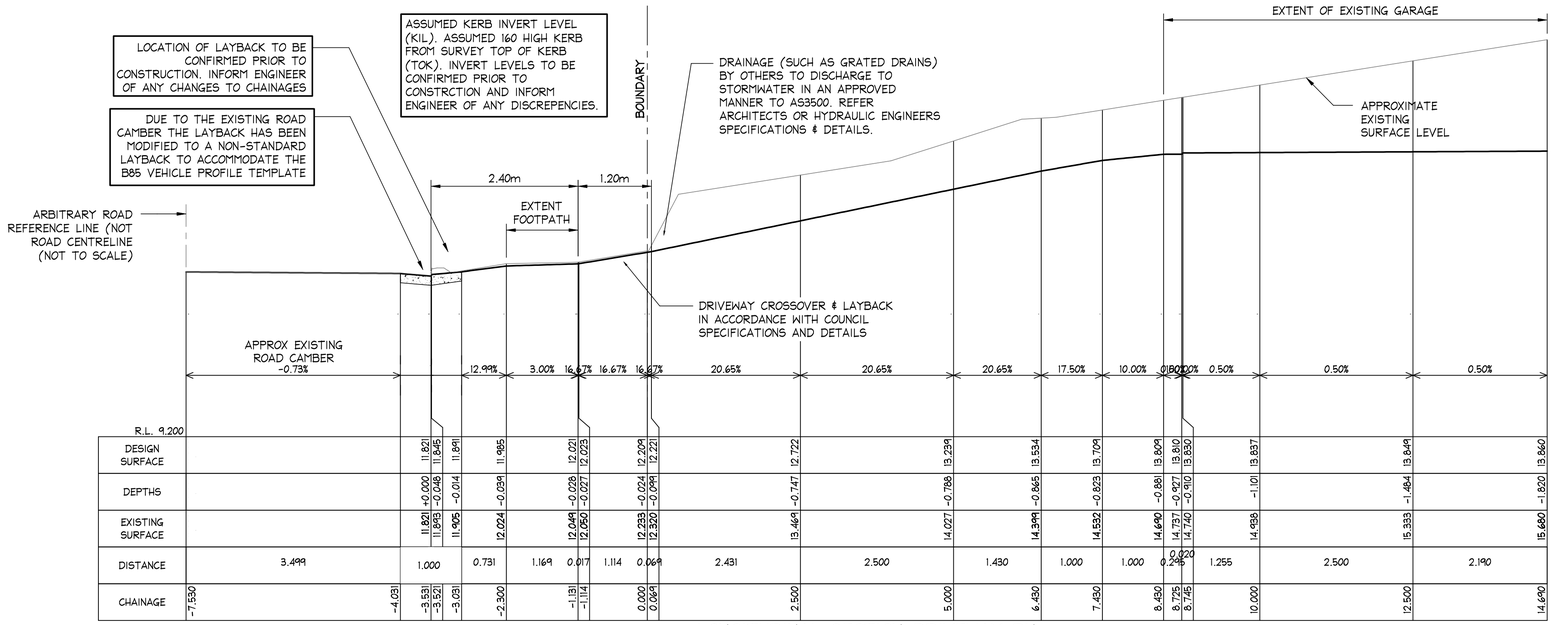
Width	: 1870
Track	: 1770
Lock to Lock Time	: 6.0
Steering Angle	: 34.1



LONGITUDINAL SECTION DRIVEWAY LH
FROM CH: -7.538 TO CH: 14.754
SCALES: HORIZONTAL 1:50 VERTICAL 1:50

SECTION 1 / C01



LONGITUDINAL SECTION DRIVEWAY RH
FROM CH: -7.530 TO CH: 14.690
SCALES: HORIZONTAL 1:50 VERTICAL 1:50

SECTION 2 / C01

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Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444
Suite 207, 30 Fisher Road Dee Why N.S.W. 2099
Gold Coast: Ph: (07) 5631 4744
Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220
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Architect: LONE PINE LANDSCAPES	Project: ALTERATIONS & ADDITIONS AT 911 PITTWATER ROAD, COLLAROY	Date: OCT 2019	Design: D.K. / Drawn: D.K.
Client: GREG CLARK & JESS HAY	Drawing Title: LONGITUDINAL SECTIONS - SHEET 1	Job No: 191015	Drawing No: C03 / Issue: B

NOTES:

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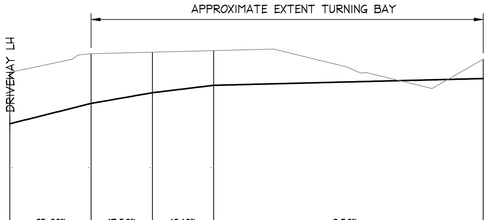
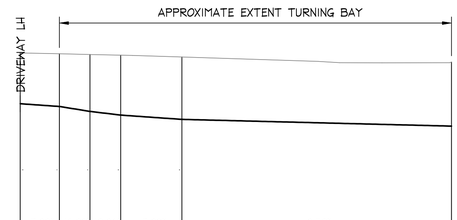


R.L. 9.400

DESIGN SURFACE	12.116	12.446	12.623	12.744	12.854
DEPTHS	-0.838	-0.811	-0.662	-0.567	-0.316
EXISTING SURFACE	12.954	13.259	13.285	13.311	13.170
DISTANCE	1.328		1.000	1.000	4.400
CHAINAGE	0.000	1.328	2.328	3.328	7.728

LONGITUDINAL SECTION TURNING BAY LH
FROM CH: 0.000 TO CH: 7.728
SCALES: HORIZONTAL 1:50 VERTICAL 1:50

SECTION 3 / C01

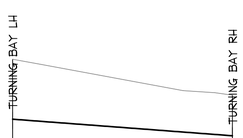


R.L. 10.000

DESIGN SURFACE	13.079	13.034	12.954	12.894	12.824	12.714
DEPTHS	-0.829	-0.860	-0.929	-0.978	-1.018	-1.046
EXISTING SURFACE	13.908	13.894	13.883	13.872	13.842	13.760
DISTANCE	0.640	0.500	0.500	1.000	4.400	
CHAINAGE	0.000	0.640	1.140	1.640	2.640	7.040

LONGITUDINAL SECTION TURNING BAY RH
FROM CH: 0.000 TO CH: 7.040
SCALES: HORIZONTAL 1:50 VERTICAL 1:50

SECTION 4 / C01

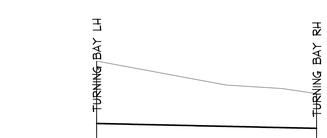


R.L. 10.000

DESIGN SURFACE	12.894	12.623
DEPTHS	-0.978	-0.662
EXISTING SURFACE	13.872	13.285
DISTANCE	3.590	
CHAINAGE	0.000	3.590

LONGITUDINAL CROSS SECTION
SCALES: HORIZONTAL 1:50 VERTICAL 1:50

SECTION 6 / C01



R.L. 10.000

DESIGN SURFACE	12.824	12.744
DEPTHS	-1.018	-0.567
EXISTING SURFACE	13.842	13.311
DISTANCE	3.590	
CHAINAGE	0.000	3.590

LONGITUDINAL CROSS SECTION
SCALES: HORIZONTAL 1:50 VERTICAL 1:50

SECTION 7 / C01

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Architect: LONE PINE LANDSCAPES	Project: ALTERATIONS & ADDITIONS AT 911 PITTWATER ROAD, COLLAROY	Date: OCT 2019	Design: D.K. / Drawn: D.K.
Client: GREG CLARK & JESS HAY	Drawing Title: LONGITUDINAL SECTIONS - SHEET 2	Job No: 191015	Drawing No: C04 / Issue: B

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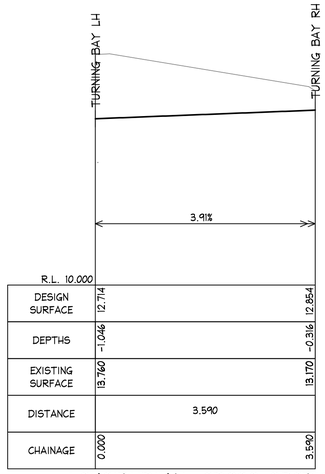
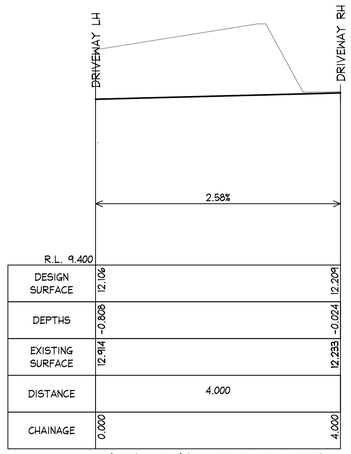


LONGITUDINAL CROSS SECTION
SCALES: HORIZONTAL 1:50 VERTICAL 1:50
SECTION 8 / C01



LONGITUDINAL CROSS SECTION
SCALES: HORIZONTAL 1:50 VERTICAL 1:50
SECTION 9 / C01

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Architect: LONE PINE LANDSCAPES
Client: GREG CLARK & JESS HAY
Project: ALTERATIONS & ADDITIONS AT 911 PITTWATER ROAD, COLLAROY
Drawing Title: LONGITUDINAL SECTIONS - SHEET 3
Date: OCT 2019
Design: D.K.
Drawn: D.K.
Job No: 191015
Drawing No: C05
Issue: B

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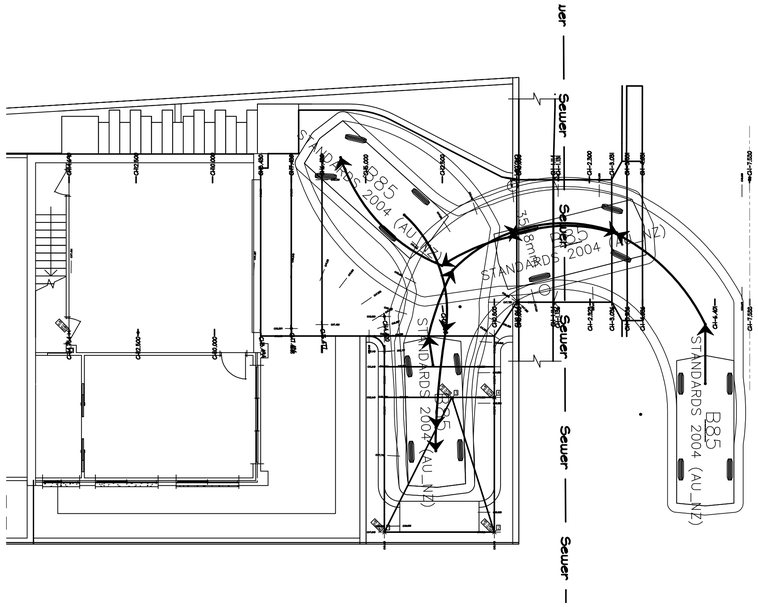

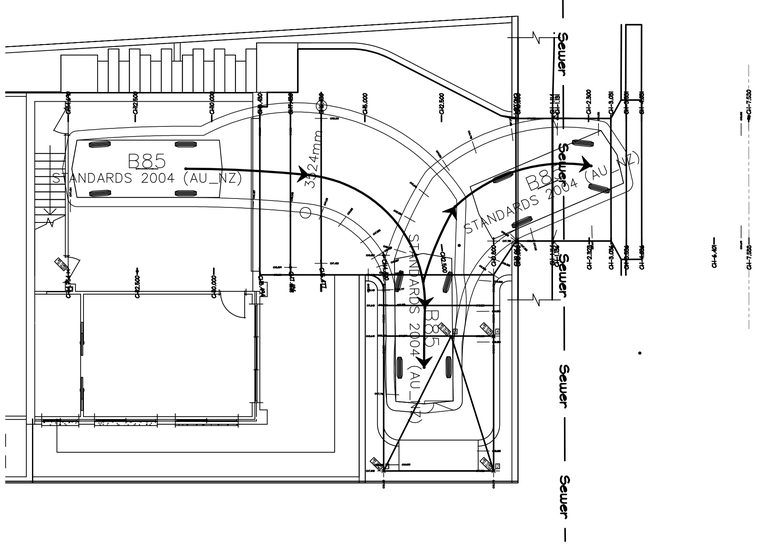

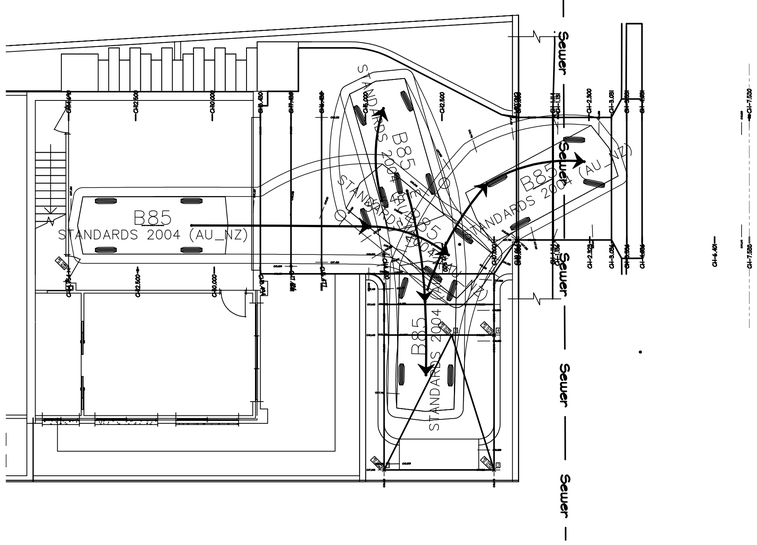

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25/10/2019	B	ISSUED FOR DA SUBMISSION ONLY - NOT FOR CONSTRUCTION	D.K.	M.W.
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Date :
Rick G Wray .....
BE(Civil),CPEng,MIEAust.,NER.,RPEQ: 08293.
(Director NB Consulting Engineers)

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NB Consulting Engineers
STRUCTURAL - CIVIL - STORMWATER - REMEDIAL
A.C.N. 076 121 616 A.B.N. 24 076 121 616
Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444
Suite 207, 30 Fisher Road Dee Why N.S.W. 2099
Gold Coast: Ph: (07) 5631 4744
Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220
E : nb@nbconsulting.com.au W : www.nbconsulting.com.au

Architect: LONE PINE LANDSCAPES

Client: GREG CLARK & JESS HAY

Project: ALTERATIONS & ADDITIONS AT 911 PITTWATER ROAD, COLLAROY

Drawing Title: SWEPT PATH ANALYSIS LAYOUT PLAN - SHEET 1

Date:	Design:	Drawn:
OCT 2019	D.K.	D.K.

Job No:	Drawing No:	Issue:
191015	C06	C

GREG CLARK & JESSE HAY

911 PITTWATER ROAD COLLAROY 2097

DEVELOPMENT APPLICATION

LANDSCAPE DESIGN

DRAWING NUMBER	DRAWING NAME	DRAWING SCALE
GENERAL		
LPL_0001	DRAWING INDEX	-
SITE PLANS		
LPL_0101	LANDSCAPE SITE PLAN	1:200
GENERAL ARRANGEMENT		
LPL_1101	LANDSCAPE PLAN SHEET 01 OF 02	1:100
LPL_1102	LANDSCAPE PLAN SHEET 02 OF 02	1:100
SECTIONS		
LPL_3001	LANDSCAPE SECTIONS SHEET 01 OF 03	1:100
LPL_3002	LANDSCAPE SECTIONS SHEET 02 OF 03	1:50 / 1:100
LPL_3003	LANDSCAPE SECTIONS SHEET 03 OF 03	1:100

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NORTH | SCALE

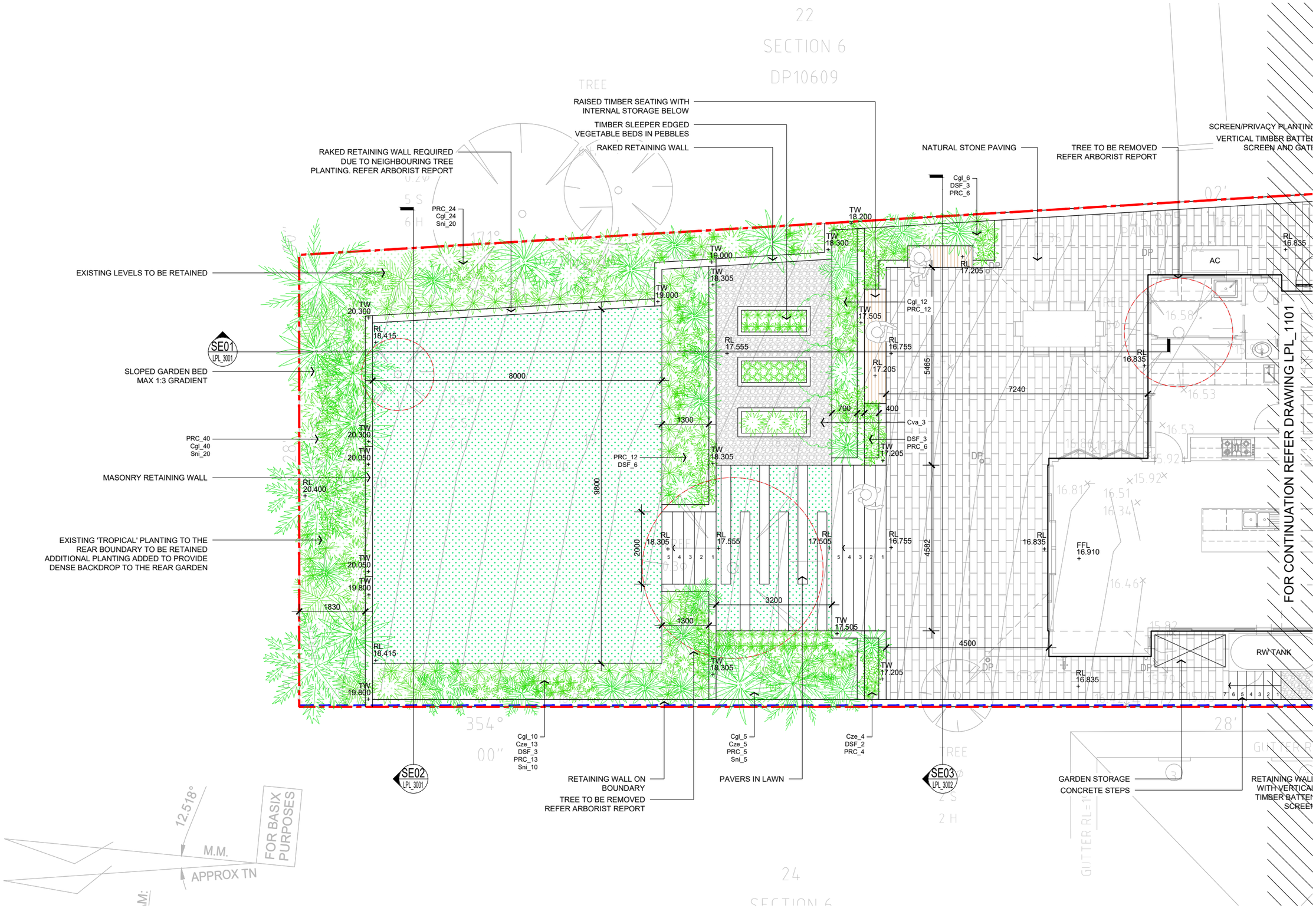
PROJECT
GREG CLARK & JESSE HAY
911 PITTWATER ROAD
COLLAROY
NSW 2097

DRAWING TITLE
DRAWING INDEX

STATUS
DRAFT DEVELOPMENT APPLICATION

SCALE @ A3	DRAWN	REVIEWED	APPROVED
1:100	CN	RF	ED

PROJECT NUMBER	DRAWING NUMBER	REV
LPL_1192	LPL_0001	01



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01	ISSUED FOR INFORMATION	31.10.19

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SCALE 0 2 4 8m

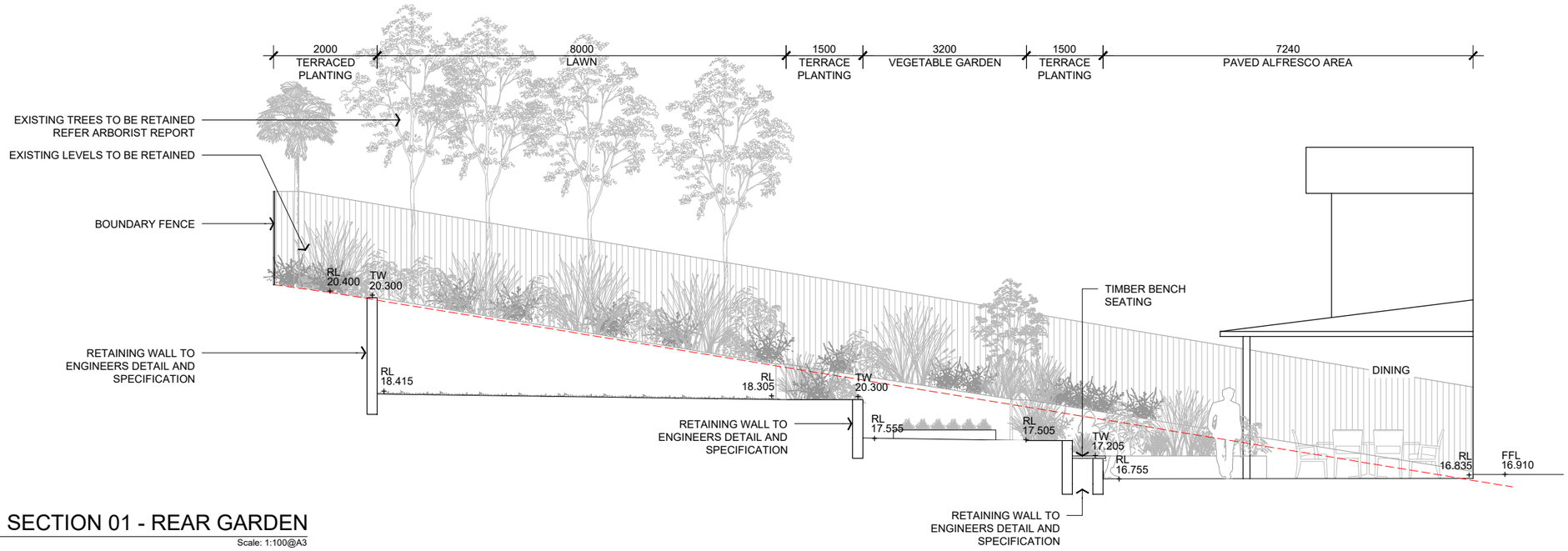
PROJECT
GREG CLARK & JESSE HAY
911 PITTWATER ROAD
COLLAROY
NSW 2097

DRAWING TITLE
LANDSCAPE PLAN
SHEET 02 OF 02

STATUS
DRAFT DEVELOPMENT APPLICATION

SCALE @ A3	DRAWN	REVIEWED	APPROVED
1:100	CN	RF	ED

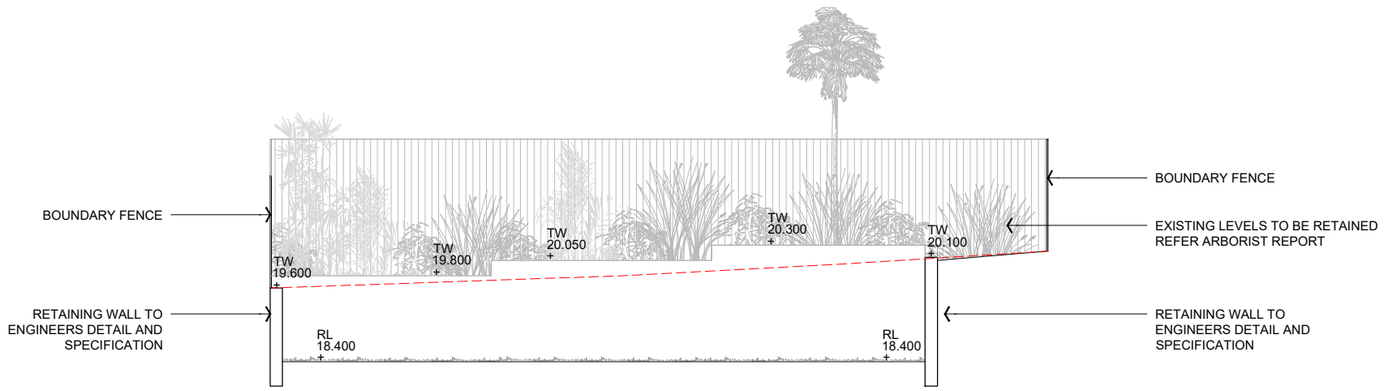
PROJECT NUMBER	DRAWING NUMBER	REV
LPL_1192	LPL_1102	02



SE01
LPL_1101

SECTION 01 - REAR GARDEN

Scale: 1:100@A3



SE02
LPL_1102

SECTION 02 - LAWN

Scale: 1:100@A3

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SCALE 0 2 4 8m

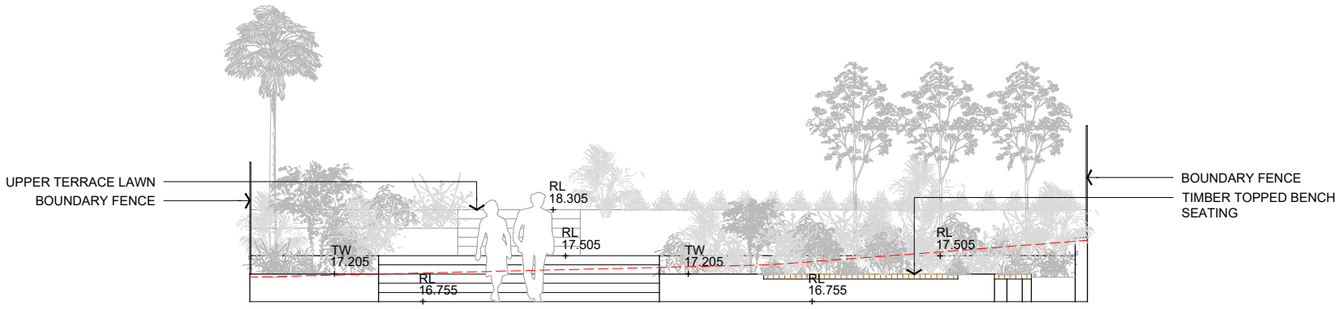
PROJECT
GREG CLARK & JESSE HAY
911 PITTWATER ROAD
COLLAROY
NSW 2097

DRAWING TITLE
LANDSCAPE SECTIONS
SHEET 01 OF 03

STATUS
DRAFT DEVELOPMENT APPLICATION

SCALE @ A3	DRAWN	REVIEWED	APPROVED
1:100	CN	RF	ED

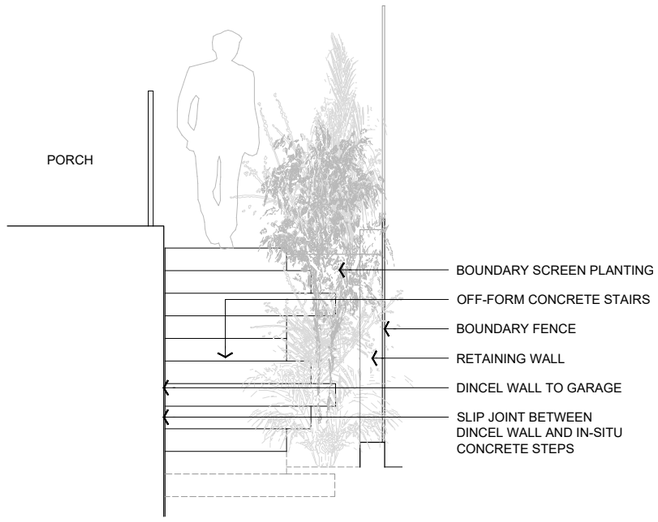
PROJECT NUMBER	DRAWING NUMBER	REV
LPL_1192	LPL_3001	01



SE03 LPL_1102

SECTION 03 - REAR TERRACE

Scale: 1:100@A3



SE04 LPL_1102

SECTION 04 (TYP) - ENTRANCE STAIR

Scale: 1:50@A3

SE05 LPL_1102

SECTION 05 (TYP) - ENTRANCE STAIR

Scale: 1:50@A3

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NORTH | SCALE

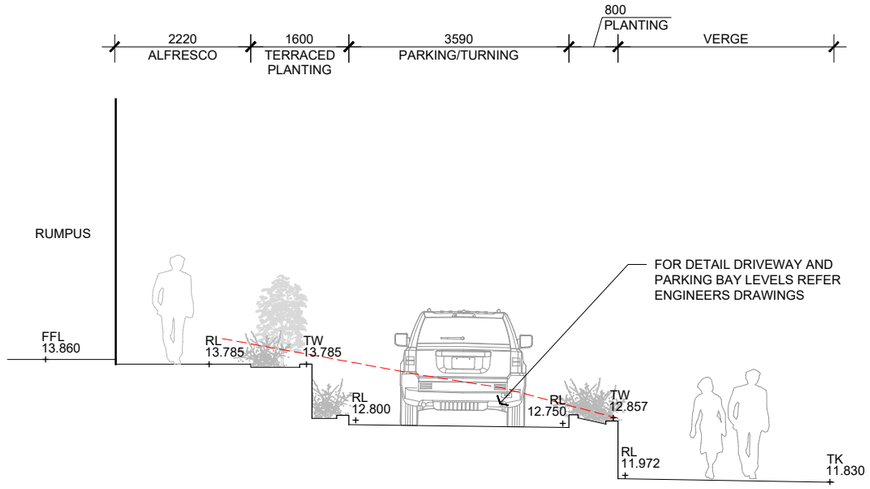
PROJECT
GREG CLARK & JESSE HAY
911 PITTWATER ROAD
COLLAROY
NSW 2097

DRAWING TITLE
LANDSCAPE SECTIONS
SHEET 02 OF 03

STATUS
DRAFT DEVELOPMENT APPLICATION

SCALE @ A3	DRAWN	REVIEWED	APPROVED
AS SHOWN	CN	RF	ED

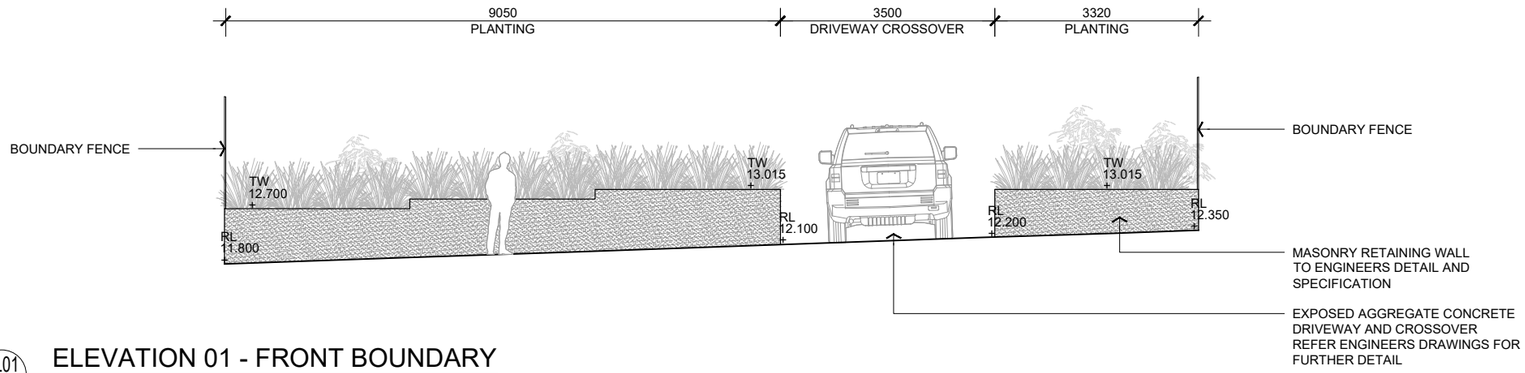
PROJECT NUMBER	DRAWING NUMBER	REV
LPL_1192	LPL_3002	01



SE06
LPL_1102

SECTION 06 - FRONT GARDEN

Scale: 1:100@A3



EL01
LPL_1101

ELEVATION 01 - FRONT BOUNDARY

Scale: 1:100@A3

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911 PITTWATER ROAD
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DRAWING TITLE
LANDSCAPE SECTIONS
SHEET 03 OF 03

STATUS
DRAFT DEVELOPMENT APPLICATION

SCALE @ A3	DRAWN	REVIEWED	APPROVED
1:100	CN	RF	ED

PROJECT NUMBER	DRAWING NUMBER	REV
LPL_1192	LPL_3003	01