
From: Kim Buffa
Sent: 15/02/2023 1:05:22 PM
To: Council Northernbeaches Mailbox
Subject: TRIMMED: Submission re: DA 2022/2275 103 Bynya Rd, Palm Beach, NSW, 2108
Attachments: 103 Bynya DA Objection Letter.pdf; Appendices for 103 Bynya.pdf;

Dear Sir/Ma'am

Please find attached a personal letter to accompany the submission made on our behalf by Bill Tulloch dated 25 January 2023.

Many thanks

KIM & EUGENE BUFFA



**Kim & Eugene Buffa
105 Bynya Road
Palm Beach
2108**

Dear Northern Beaches Council

**Re: Submission by way of objection to DA 2022/2275 103 Bynya Road, Palm Beach
2108**

Our objection to the above DA has been lodged via Bill Tulloch dated 25 January 2023. We engaged Bill to assist us, as we did not have enough time to do our own investigation prior to the deadline for the submissions. Bill's submission is comprehensive and covers the technical aspects that could be considered.

In this letter we would like to reinforce our concerns regarding our privacy and view loss, should the DA be approved.

We are concerned about the economic impact resulting from loss of views. The value of our property is directly related to our view (see Appendix A attached). Our architect has done a basic drawing showing the proposed building to protrude forward approximately 4.5 metres in relation to our house (see Appendix B attached). We believe we could lose up to 45 degrees of our view with this current design (see Appendix C attached). Not only will this proposed build have a huge visual impact, but it will also create privacy issues directly into our bedrooms and onto our entertainment deck.

Previous plans submitted to the council have shown an approximate defacto building line that neighbours have adhered to, thus sharing the views equally (see Appendix D attached). Our neighbour at 107 Bynya designed their new home within that line when they built several years ago. The new development at 111 Bynya Road, that is currently under construction, has a design that fits within that defacto building line. We believe that a cleverly designed home could still fall within this line without losing too many of their design features. (see Appendix E attached).

We are also concerned about the bulk and scale of the proposed building. It would have a harsh, overcrowded appearance from our perspective as it appears to be one solid block. It appears to be an unreasonably large building with extremely large rooms and ceiling heights of 3 metres. If these could be reduced slightly, it may be less imposing. The scale of the design also seems out of the future desired character of the area and an inappropriate response to the size of the site, leaving very little room for landscaping.

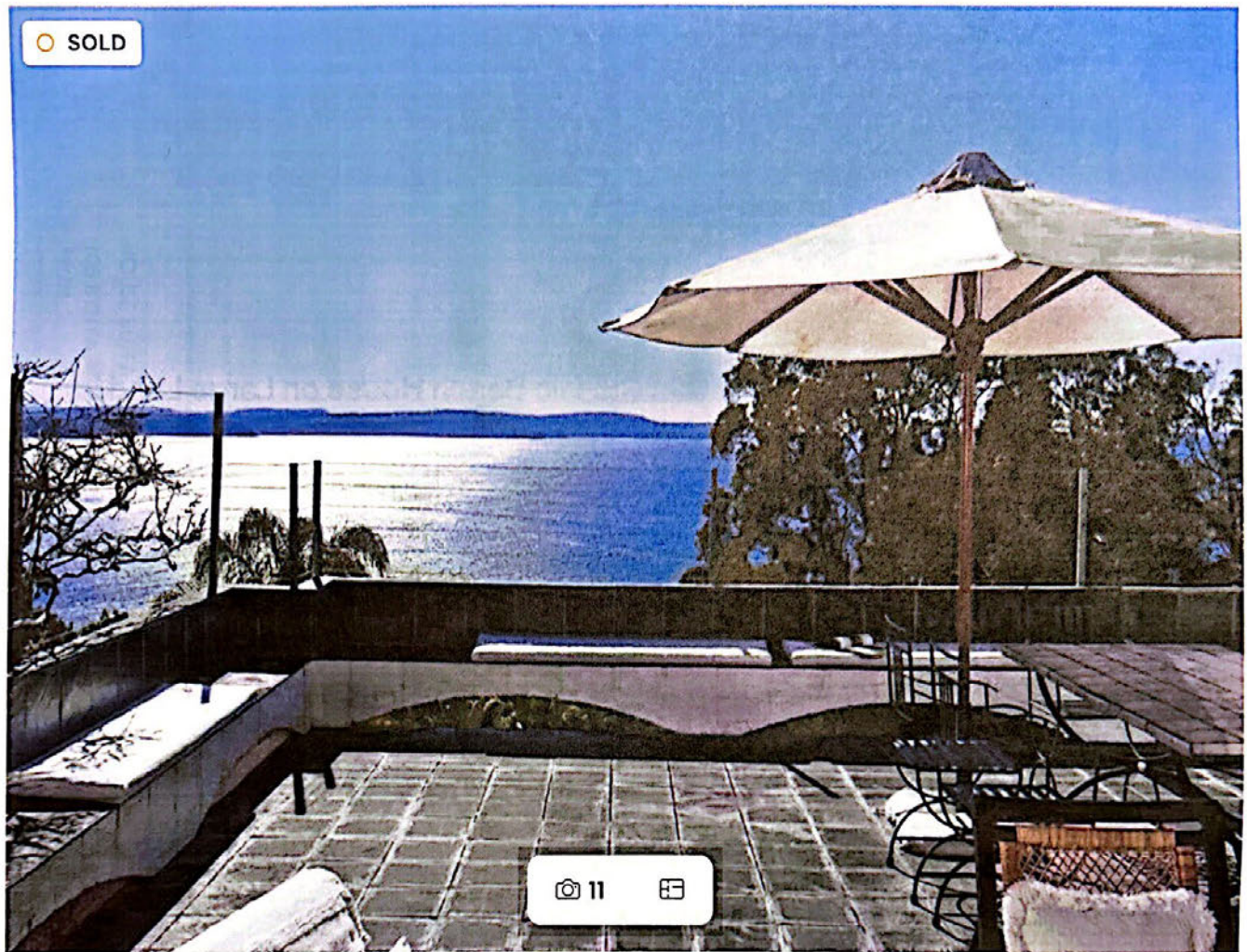
We would appreciate council's consideration on these concerns.

Kind regards

KIM & EUGENE BUFFA

[REDACTED]
[REDACTED]

Sold > NSW > Palm Beach > House > 105 Bynya Road



105 Bynya Road, Palm Beach, NSW 2108



4 3 2 House


\$2,800,000

[Learn more about this price.](#)


Sold on 04 Sep 2014

 **Property History**

Looking to buy a place like this?

 [Estimate repayments](#)

Looking to sell a similar property?

[See how the selling agents can help you](#) 



Magnificent Northerly Views from Classic Beach House on Large Land in Prestigious Address

105 BYNYA ROAD, PALM BEACH

Totally hidden from the street, this exceptionally private residence spans two vast levels with panoramic and uninterrupted 180-degree views stretching from Lion Island and Barrenjoey Headland to Cape Three Points on the Central Coast and a huge sweep of ocean to the east.

[Read more](#) ✓

Renovation estimator

Select the area you want to transform



Kitchen



Bathroom



Paint exterior

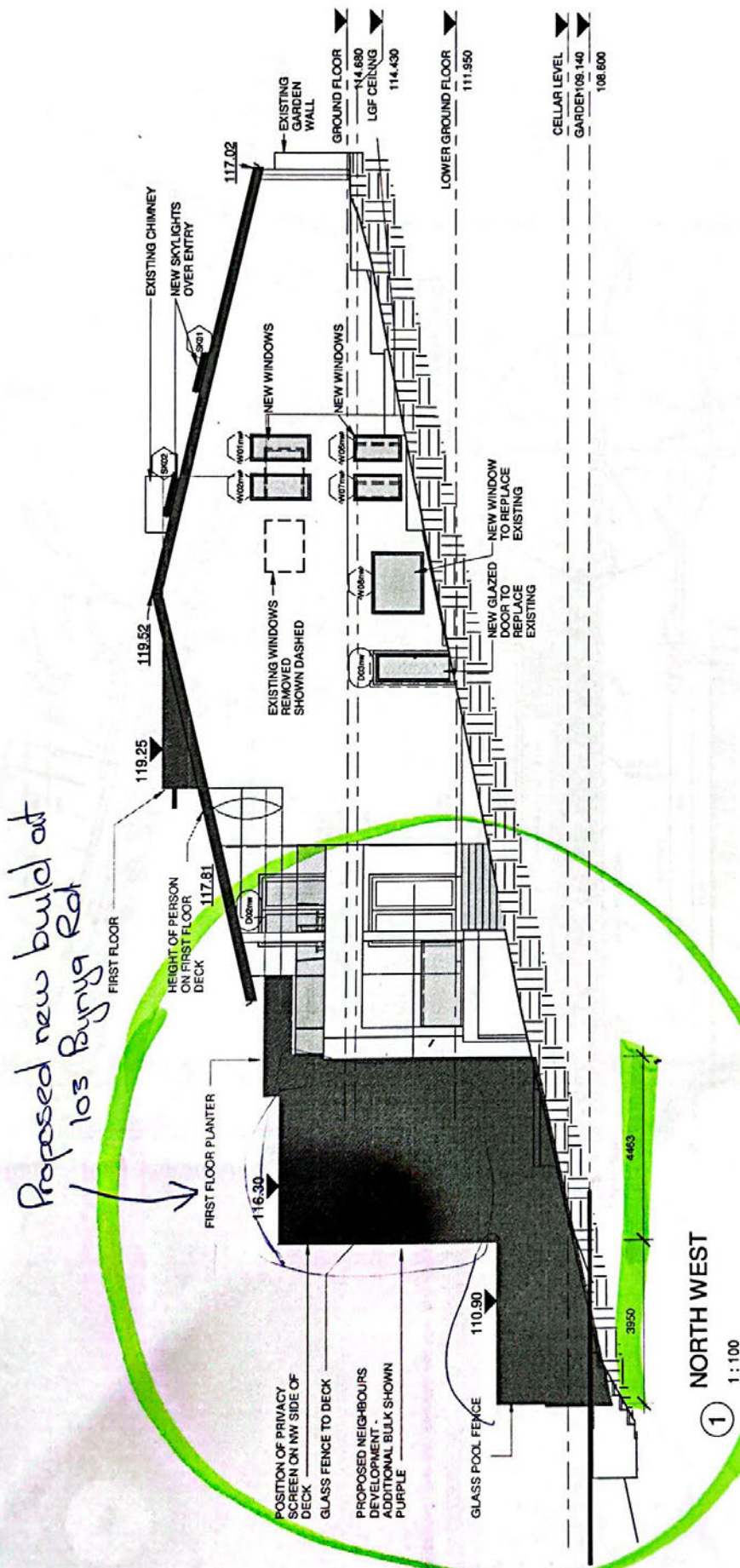


Paint interior

[Continue](#)

Discover insights for 4 bed houses in Palm Beach

Appendix B



ALL DIMENSIONS & LEVELS TO BE CHECKED & CONFIRMED ON SITE PRIOR TO CONSTRUCTION - DO NOT SCALE OFF THE DRAWING
ALL BACK COMMENTS NOTED ON DRAWING ARE TO BE INCLUDED IN DEVELOPMENT
ALL DIMENSIONS TO BE CARRIED OUT ACCORDING TO NBSPEC 2015 SPECIFICATIONS & RELEVANT AUSTRALIAN BUILDING STANDARDS INCLUDING BUSHFIRE REQUIREMENTS TO AS3959:2009

ALISON LUDWIG
BAS BAYCH

m 0404 105 864
o alisonludwig1@gmail.com
a 11 Station Street, Pyrmont, NSW 1500

ABN 50 187 740 403

HOUSE BUFFA

105 BYNYA ROAD, PALM BEACH

Revision description

Date

NORTH WEST ELEV WITH 103 DA PROPOSAL

N303

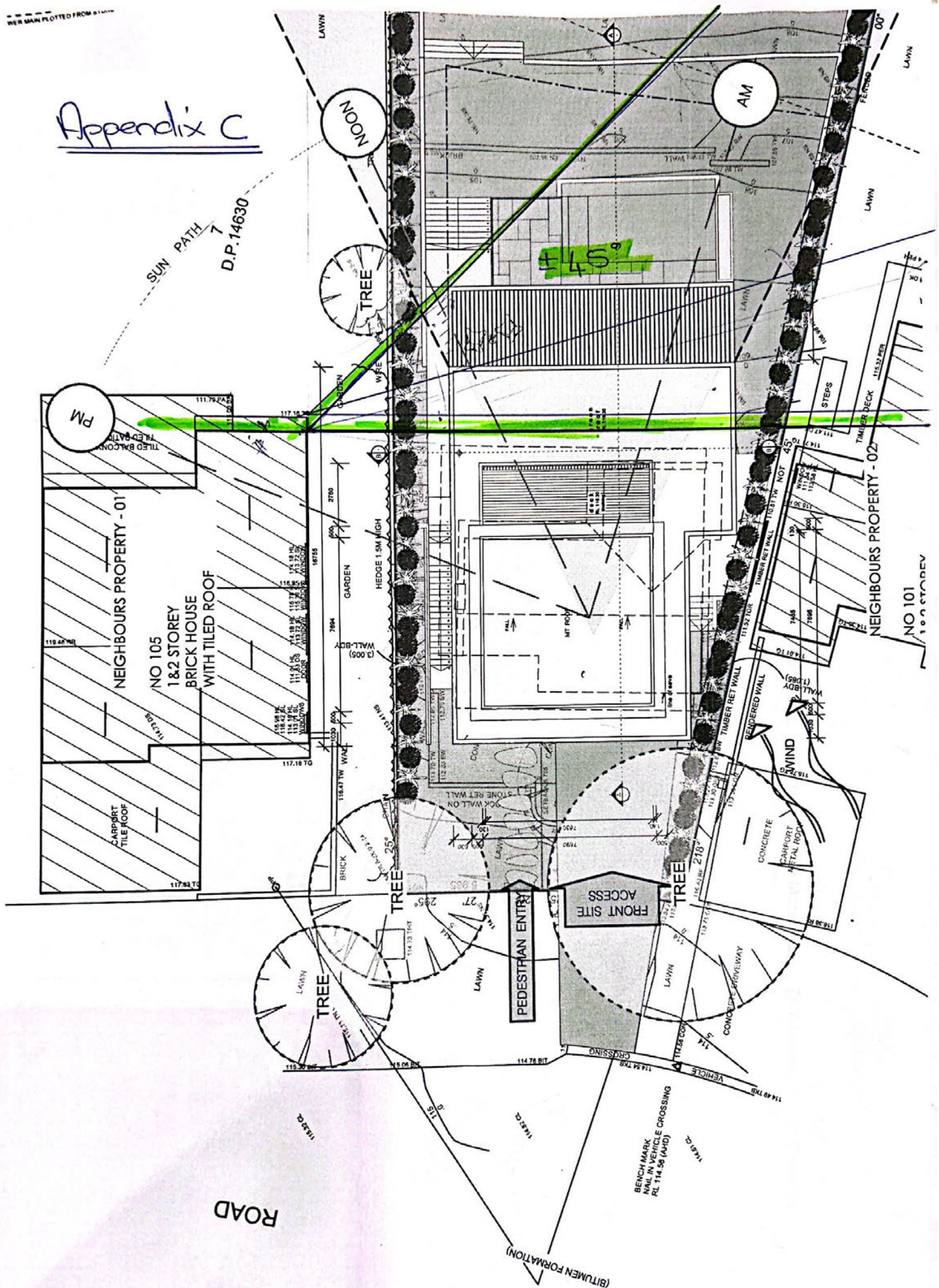
Project number 81704-011

Date FEB 23

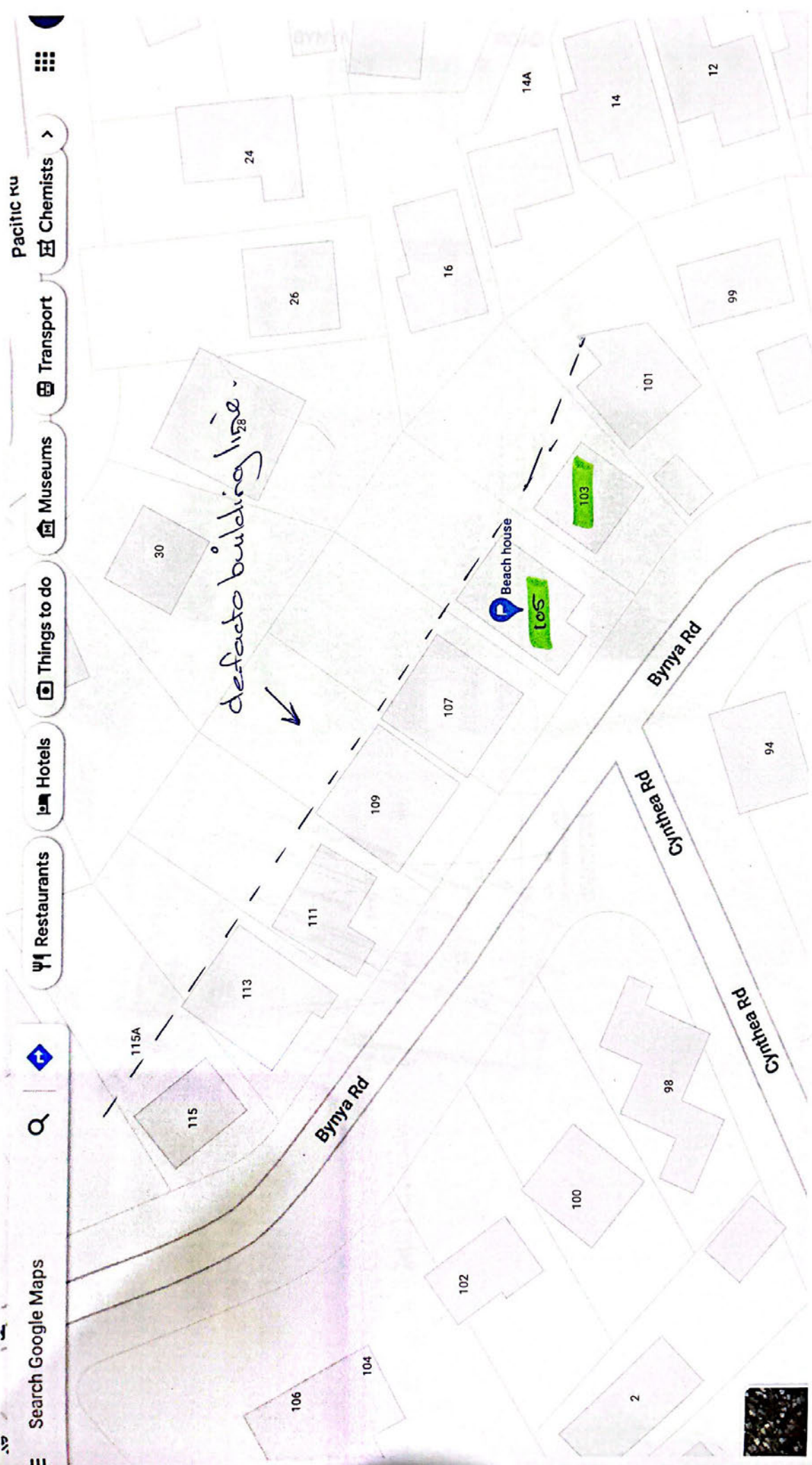
Scale 1:100

3/02/2023 3:41:32 PM

Appendix C

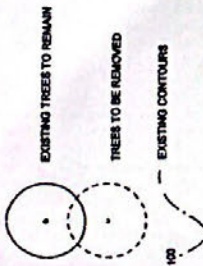


Appendix D



SURVEY NOTE
 BOUNDARIES, LEVELS, CONTOURS, EXISTING IMPROVEMENTS
 AND IN DIA. 1:400 BY
 RYKATE AND COMPANY PTY. LTD.
 DATED 29 MAY 2004

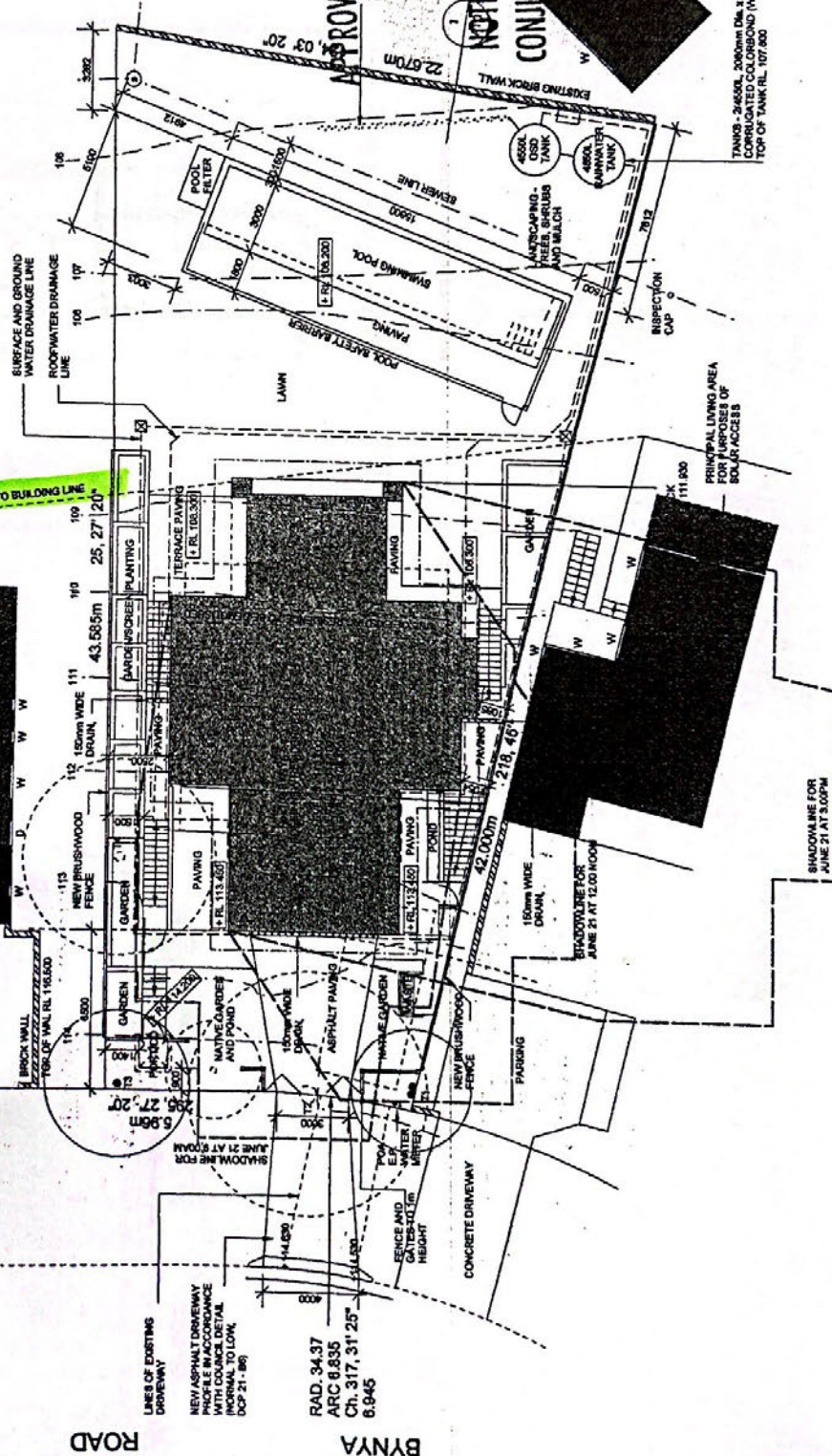
LEGEND



Appendix D Cont.

No. 105 BYNVA
 2 STOREY RESIDENCE
 TILE ROOF

APPROXIMATE DEFACIO BUILDING LINE



ROAD

BYNVA

PITTVATER COUNCIL
 APPROVED DEVELOPMENT CONSENT PLANS

DATE: 22/03/2006
 JACK HODGSON CONSULTANTS Pty Ltd. 2280-11

NOTE: THESE PLANS MUST BE READ IN
 CONJUNCTION WITH THE CONDITIONS OF
 DEVELOPMENT CONSENT

No. 10 PACIFIC ROAD
 2 STOREY RENDERED BRICK
 METAL ROOF RESIDENCE

PAVING - 2460L, 200mm DIA. x 120mm H.
 CASTED COLLOIDAL (WOODLAND GREY)
 TOP OF TANK RL 107.00

REVISION
 4.05

DISPERSED TRENCH/TANK DETAILS

CONSULTANTS
 LANDSCAPE - SELINA HANNAH, (02) 9073 3247, 0402 041 187
 STRUCTURAL ENGINEER -
 HYDRAULIC ENGINEER -

NOTES
 1. DO NOT SCALE THIS DRAWING. USE DIMENSIONS ONLY.
 ALL DIMENSIONS TO BE SHOWN ON THIS DRAWING FOR THE PURPOSES OF DESIGN/CONSTRUCTION.
 BEFORE PROCEEDING WITH THE WORK
 THE DESIGNER IS TO BE IN CONTACT WITH ALL OTHER
 DESIGNERS AND CONSULTANTS INVOLVED IN THE PROJECT.

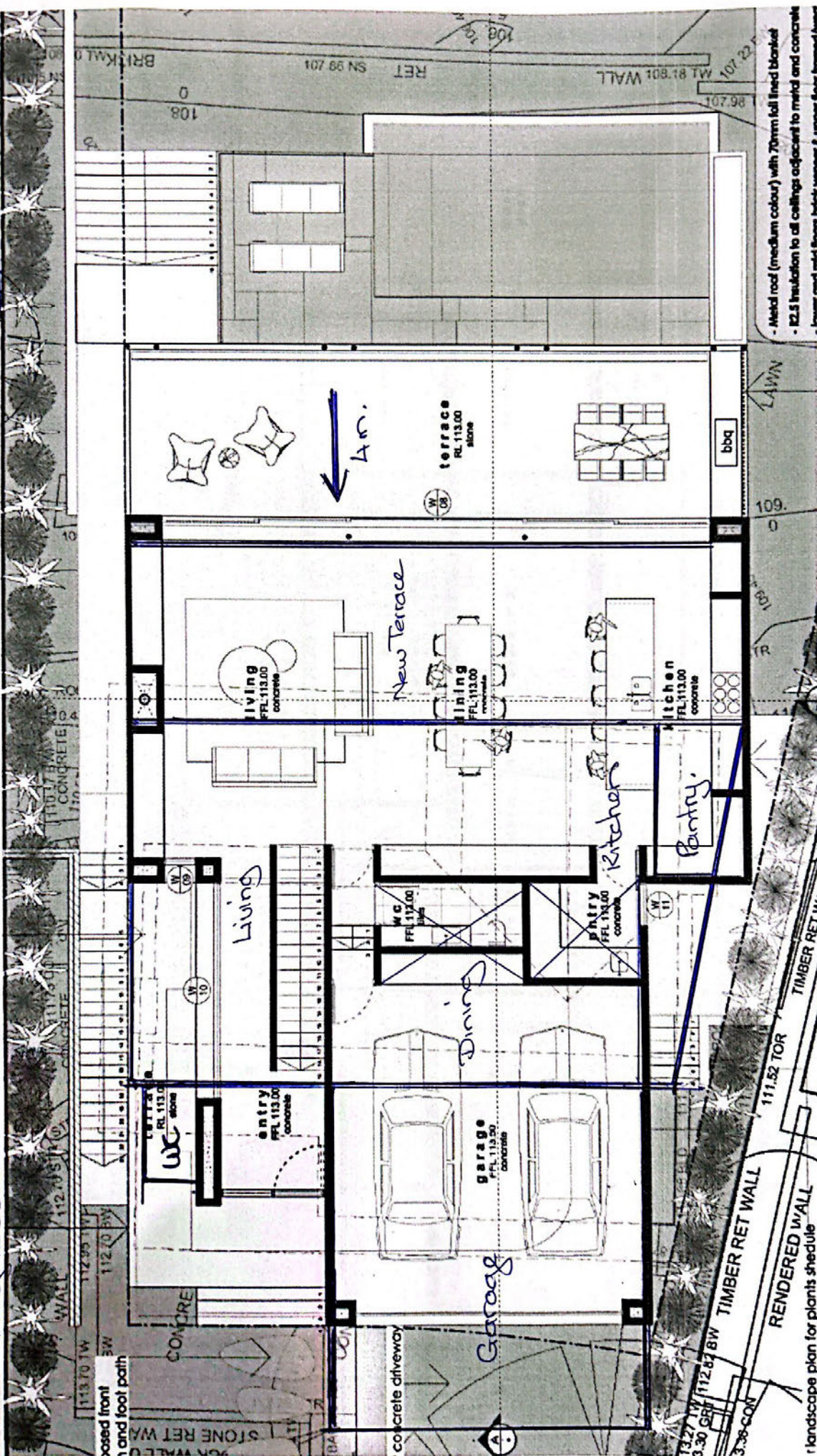
mike foran architecture
 6. AND
 1215 SEABEACH AVENUE,
 MONA VILLE NSW 2103
 PHONE: (02) 9073 4000
 EMAIL: mforan@foranarch.com.au

PROJECT
 NEW RESIDENCE AT
 103 BYNVA RD, PALM BEACH
 FOR MR. & MRS. DEYNE

DOCUMENT SHEET NO.
 DA
 04/05

Alternative option to push house back approximately 4 m. to be in line with neighbours.

Appendix E



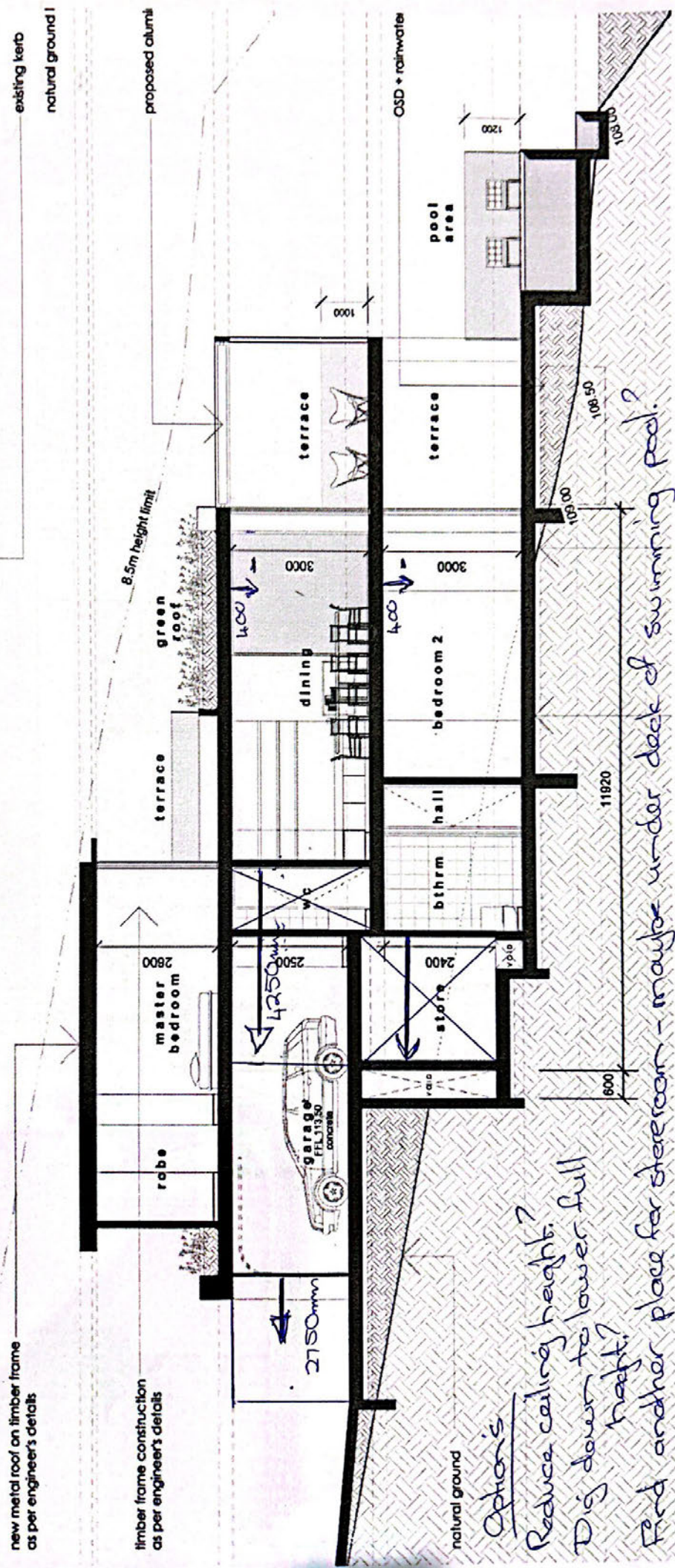
Trouble-shoot: Stairs are a problem?
Lose some floor space in Kitchen?
Can't relax/enjoyment?

26mm = 4320

Scale. 5mm = 600mm
1mm = 120mm

Store = 23mm = 2760mm
Garage = 63mm = 7560mm
Move Garage forward by 23mm
WC = 12mm = 1440mm.

Appendix E



Option's

Reduce ceiling height?
Dig down to lower full height?

Find another place for storeroom - maybe under deck of swimming pool?

Move WC to opposite stairs?

Move ground level + level 1 back 4.2m. + lower by 1m.

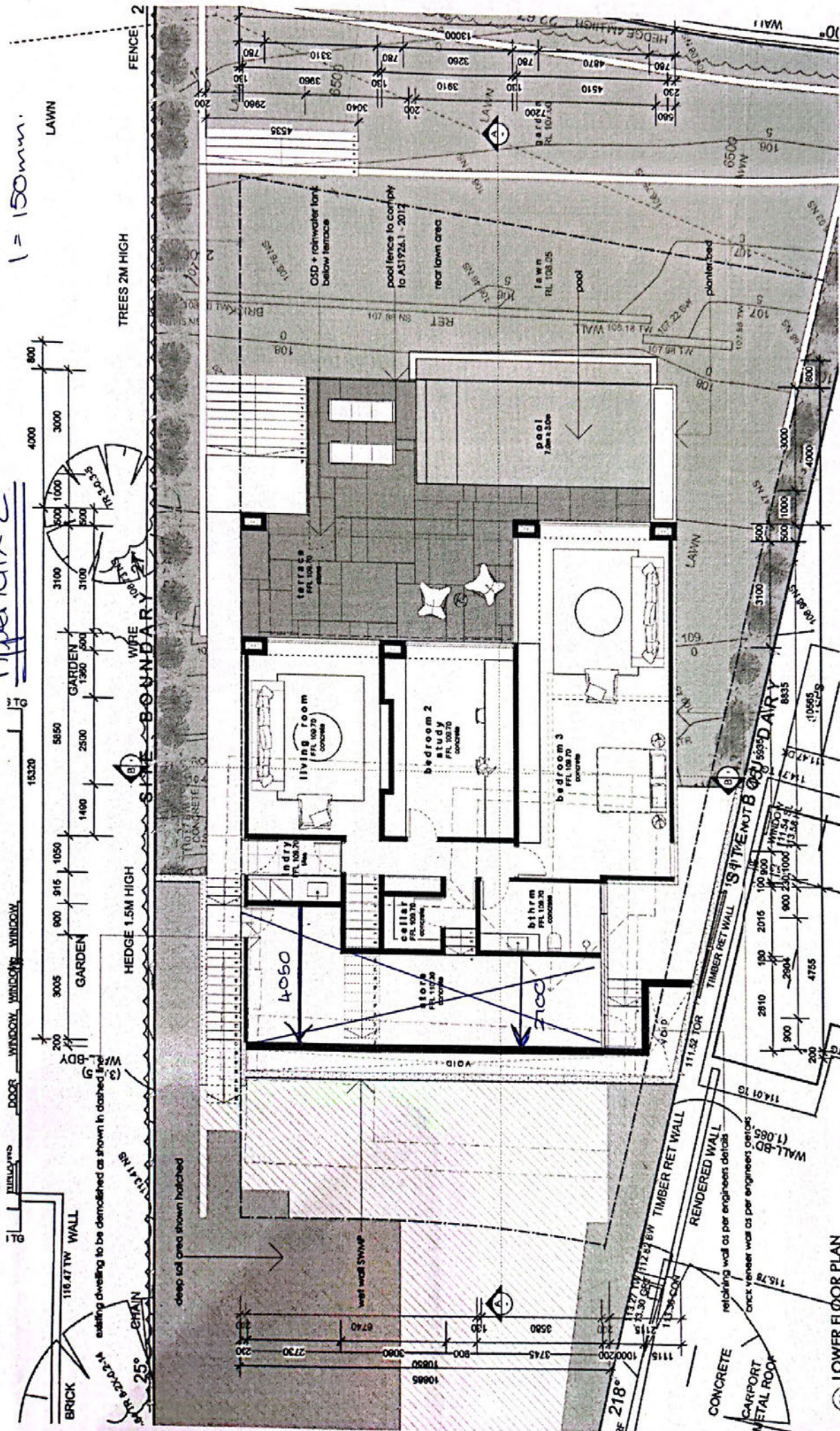
Move garage forward.

3000mm = 26mm
1mm = 115mm
26mm = 4538mm

to 4.4

Appendix E

6mm = 900mm
1 = 150mm.



Store = 18mm = 2700mm
+ = 27mm = 4,050mm.

radical hudson architect
www.radicalhudson.com.au
0410 323 664

EGGERS HOUSE	EH08-DA	DATE
Mark + Leanne Eggers	09.07.22	
103 Berry Road	A	
Prato Beach NSW 2108	1:100	