

Aspect Development and Survey Pty Ltd

CONSULTING REGISTERED SURVEYORS

ABN: 60 078 649 000

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Fax: (02) 9554 8588

25 February 2021

CLARENDON HOMES (AUST) PTY LTD

PO BOX 7105
BAULKHAM HILLS BC NSW 2153

Our Ref: 21/1054804/323437
Your Ref: Sahakian/29914556

BOUNDARY IDENTIFICATION SURVEY REPORT

Dear Sirs

Acting in accordance with your instructions, I have surveyed for identification purposes only the land in Certificate of Title Folio Identifier 18/270907, being Lot 18 in Community Plan Deposited Plan Number 270907, situated with a frontage to Baz Retreat at Warriewood, in the Local Government Area of Northern Beaches, Parish of Narrabeen, County of Cumberland and report as follows:

1. The subject land is shown on the attached sketch - 21/1054804/323437.
2. The survey undertaken is based on Title details dated 24 August 2020, obtained from New South Wales Land Registry Services.
3. The boundaries of the subject land have been identified and the relationship of the improvements surveyed to the boundaries are as shown on the attached sketch.
4. The property bears neither name nor number.
5. The subject land is affected by:
 - An easement for access, construction and maintenance 0.9 metres wide created by Deposited Plan Number 270907
 - An easement for access, maintenance and support 0.9 metres wide created by Deposited Plan Number 1206507
 - Positive covenant created by Deposited Plan Number 1206507
 - Restriction(s) on the use of land created by Deposited Plan Number 270907.

With regards to the improvements and subject land, I note that no investigation has been carried out by this office to verify any compliance with the above restriction(s) or covenant(s).

6. During the course of the survey no investigation has been undertaken to determine the existence of any possible subterranean services, structures or encroachments.
7. If further improvements are proposed the boundaries of the subject land should be marked.

Yours Sincerely

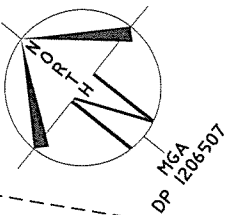


Peter Nedelkovski B.Surv. M.I.S.N.S.W.
Surveyor Registered under the Surveying
and Spatial Information Act, 2002.

BOUNDARY IDENTIFICATION SURVEY

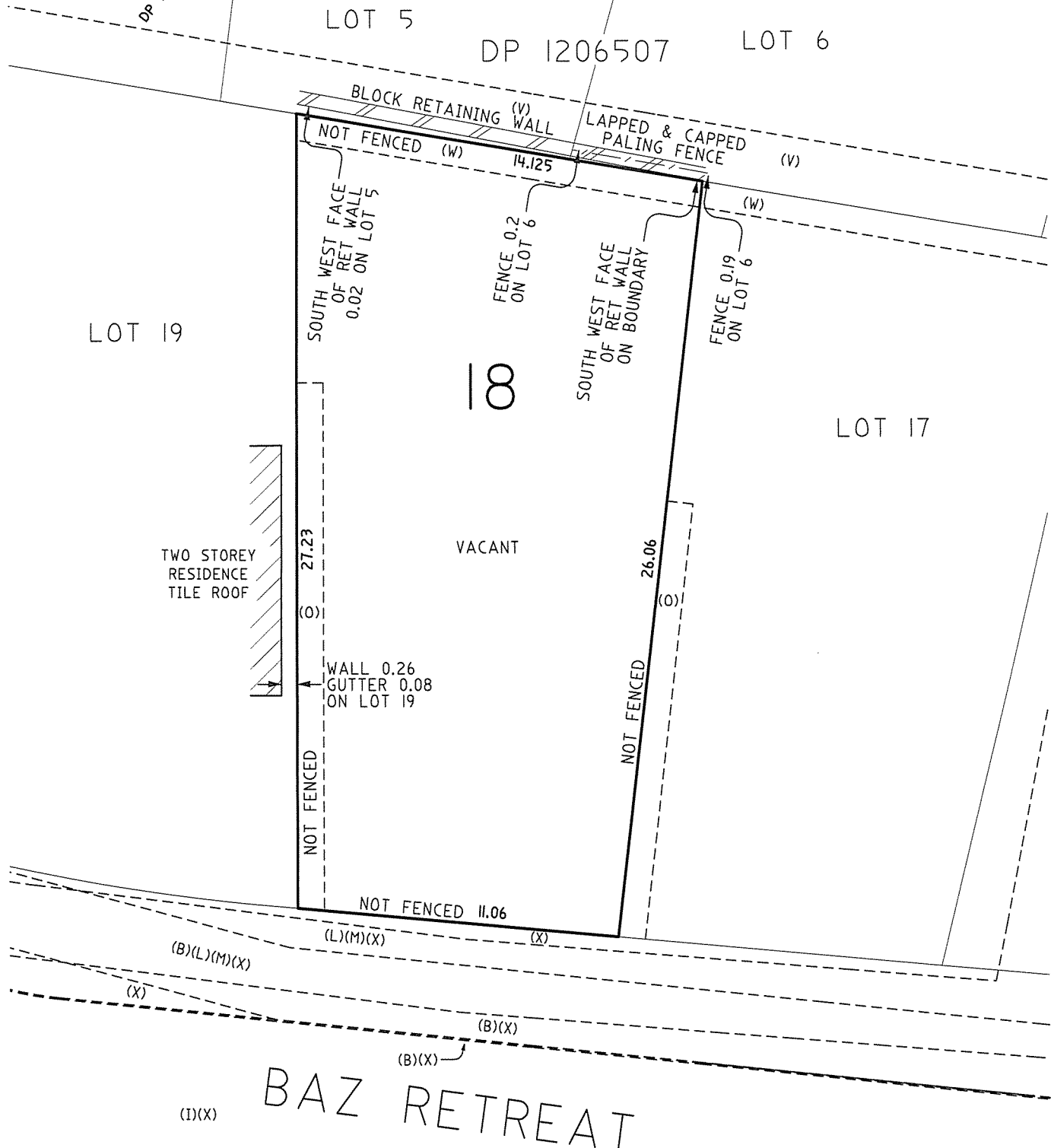
SKETCH

NORTH



PAGE 2 OF 2.
NOTE: PAGE 1 FORMS AN INTEGRAL
PART OF THIS SURVEY REPORT

IF FURTHER IMPROVEMENTS ARE
PROPOSED THE BOUNDARIES OF THE
SUBJECT LAND SHOULD BE MARKED.



- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DPI206507)
- (I) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390790) (APPROXIMATE POSITION)
- (L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (VIDE DPI206507)
- (M) EASEMENT FOR ACCESS AND MAINTENANCE PURPOSES 2.5 WIDE (VIDE DPI206507)
- (O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE 0.9 WIDE
- (V) EASEMENT TO DRAIN WATER 2 WIDE (VIDE DPI206507)
- (W) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE (VIDE DPI206507)
- (X) RIGHT OF CARRIAGEWAY VARIABLE WIDTH No.8

ASPECT DEVELOPMENT & SURVEY PTY LTD A.C.N. 078 649 000
CONSULTING REGISTERED SURVEYORS

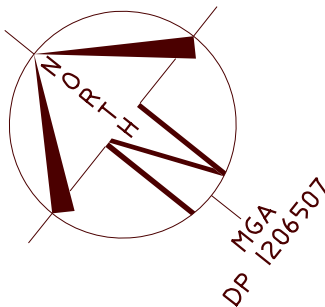
OUR REF: 21/1054804/323437
YOUR REF: SAHAKIAN/29914556

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P.O. BOX 161
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SUBURB: WARRIEWOOD

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R
T
H



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ATTENTION IS DIRECTED TO THE
MANAGEMENT STATEMENT AND
DEVELOPMENT CONTRACT OF THE
COMMUNITY SCHEME FILED WITH
THE COMMUNITY PLAN



HOW TO PROTECT SURVEY MARKS BEFORE WORKS COMMENCE

For details refer to
[https://www.spatial.nsw.gov.au/data/assets/pdf/file/0003/221736/Protecting Survey Marks June2018 Final.pdf](https://www.spatial.nsw.gov.au/data/assets/pdf/file/0003/221736/Protecting%20Survey%20Marks%20June2018%20Final.pdf)
Find out if there are survey marks located in the area of interest by:

1. Viewing the Permanent survey mark layer on SIX Maps - maps.six.nsw.gov.au and print the map showing location of survey marks.
2. Download the Permanent Survey Mark Locality Sketches.
3. Inspecting the site, paying particular attention to survey marks located in the footpath, kerb or gutter.

IF NO SURVEY MARKS ARE AFFECTED COMMENCE WORKS IF SURVEY MARKS ARE IN THE AREA & COULD BE AFFECTED BY THE WORKS, eg. disturbed or removed

1. Apply for Surveyor General Approval - Survey Mark(s) Removal.
2. Where required contact a Registered Surveyor to assist with the conditions of approval.

PENALTIES FOR DISTURBING SURVEY MARKS

The unauthorised removal, disturbance or destruction of survey marks is costly to the community. Section 24(1) of the Surveying and Spatial Information Act 2002 states a person must not remove, damage, destroy, displace, obliterate or deface any survey mark unless authorised to do so by the Surveyor-General.

Penalties such as \$10,000 towards the cost of reinstatement and up to \$10,000 towards loss or damage may apply.

THE POSITION OF STRUCTURES AND IMPROVEMENTS SHOWN ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO ANY CRITICAL DESIGN OR CONSTRUCTION WORKS. FOR ANY PROPOSED STRUCTURES IN RELATION TO A BOUNDARY, A REGISTERED SURVEYOR MUST CARRY OUT A BOUNDARY SURVEY, SETOUT SURVEY OR IDENTIFICATION SURVEY FOR THE PROPOSED WORKS.

NOTE: POSITION OF SEWER MAIN NOT YET AVAILABLE. REFER TO SYDNEY WATER DIAGRAM DATED 24.08.2020



© COPYRIGHT : COPYRIGHT OF THIS PLAN AND THE ACCOMPANYING CAD FILE(S) WHERE APPLICABLE VESTS WITH ASPECT DEVELOPMENT & SURVEY PTY LTD. THE PLAN AND CAD FILE SHALL ONLY BE USED BY THE ADDRESSED CLIENT FOR THE PURPOSE FOR WHICH THE SURVEY WAS CARRIED OUT.

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.
- C) PITS AND SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO DA & THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.
- E) THIS SURVEY HAS BEEN CARRIED OUT UNDER CLAUSE 9 OF THE SURVEYING AND SPATIAL INFORMATION REGULATION 2017.

SYMBOLS & ABBREVIATIONS:		
GP	GULLY PIT	-E- OVERHEAD ELEC LINE
SIP	SURFACE INLET PIT	-S- SEWER LINE
SIC	SEWER INSPECTION COVER	PP POWER POLE
MH	SEWER MANHOLE	LP LIGHT POLE
W/MH	STORMWATER MANHOLE	EC ELECTRICITY CONDUIT
W/M	WATER METER	ECT ELEC & TELE CONDUIT
EL	ELECTRICITY BOX	TC TELECOM CONDUIT
TP	TELECOMMUNICATIONS PIT	WC WATER CONDUIT
HYD	WATER HYDRANT	G GAS CONDUIT
R/W	RECYCLED WATER HYDRANT	GM GAS METER
SV	STOP VALVE	
TK	TOP OF KERB	
RTK	ROLL TOP KERB	
VC	VEHICLE CROSSING	
INV	INVERT	
KO	KERB OUTLET	
TOB	TOP OF BANK	
BOB	BOTTOM OF BANK	
PSPP	PRESSURE SEWER PUMP PIT	
PSVP	PRESSURE SEWER VALVE PIT	
FP	FLUSHING POINT	

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HURSTVILLE

PROJECT

OUR REFERENCE	21/1054804/309570
LOT 18	DP 270907
DATUM A.H.D.	SOURCE DP 270907
ORIGIN OF LEVELS	SSM 206406
SURVEYED DS/SB	REDUCED LEVEL 9.860
DRAWN RGJ	DATE 27.08.2020
SCALE 1: 200	DATE 28.08.2020
A3 SHEET	

CLIENT: CLARENDON HOMES Pty. Ltd.

REF: SAHAKIAN

REF: 29914556

ADDRESS: 22 BAZ RETREAT

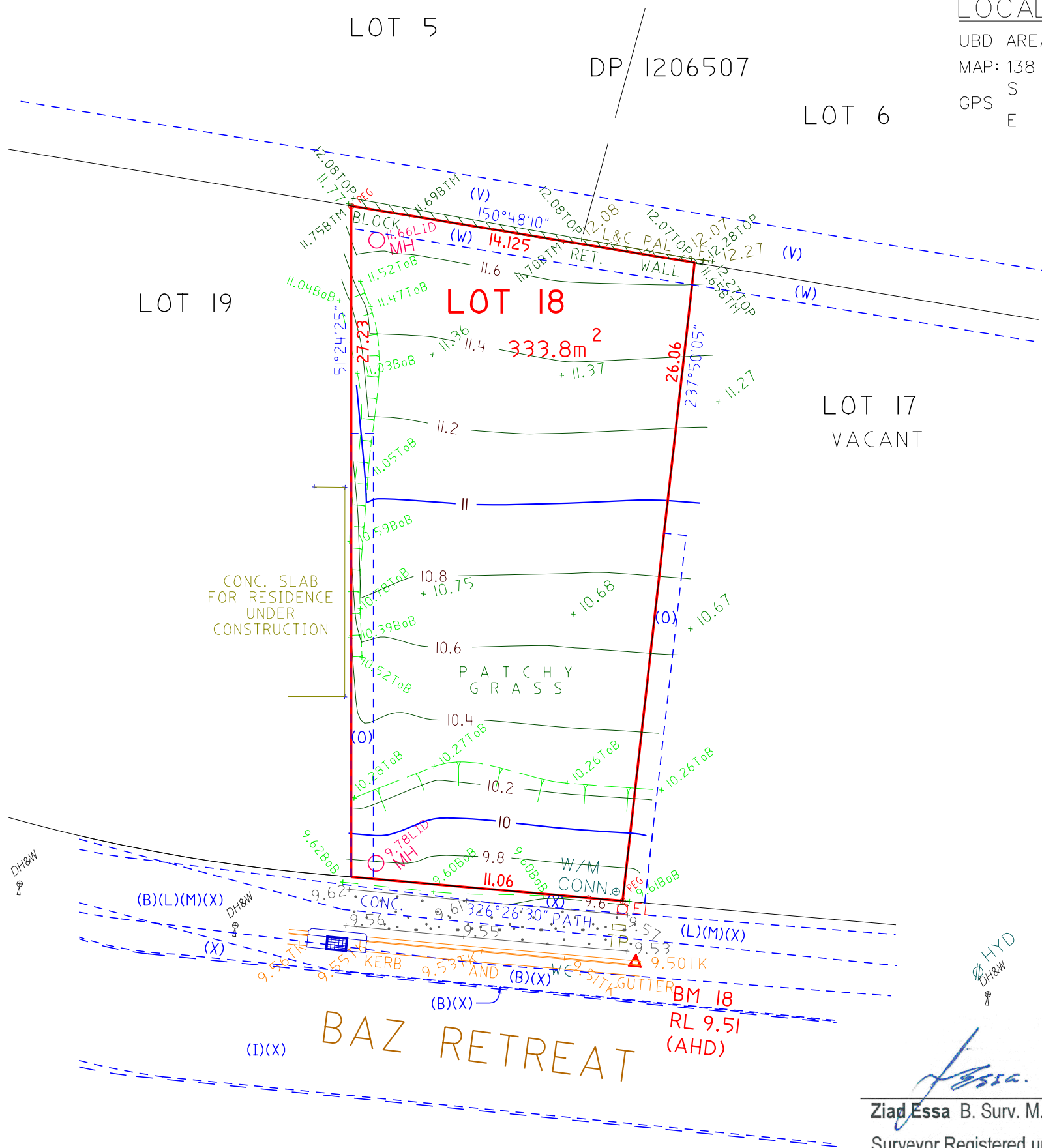
SUBURB: WARRIEWOOD

LOCALITY SKETCH

UBD AREA: SYD REVISION: 54

MAP: 138 REF: F8

S
GPS
E



Ziad Essa

Ziad Essa B. Surv. M.I.S.N.S.W.

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Identification No. 87