

Alan Ave

27 Alan Avenue, Seaforth NSW 2092

O'Hanlon, Gluliano & El Khouri

Development Application

General Notes

Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the affected part of the works.

Specifications and Schedules

Where applicable refer to and coordinate with relevant Specifications and Schedules. Written specifications and schedules take precedence to the extent of any discrepancy. Notify discrepancies between documents for direction prior to proceeding with the affected part of the works.

Detail Drawings

Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales to the extent of any discrepancy. Notify discrepancies for direction prior to proceeding with the affected part of the works.

Execution of the works (Standards)

Execute the works in compliance with the current edition of the Building Code of Australia (as amended), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and Statutory Authorities.

Units of measurement

Unless noted otherwise:
- Dimensions are shown in millimetres; and
- Levels are shown in meters

To detail

Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

Materials handling and storage

Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Structure

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications.

Hydraulics

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements.

Erosion & Sediment Control

Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

Services (existing & proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

Levels

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

Falls

Finish surfaces typically to fall as required to facilitate effective drainage.

Interpretation

"Provide" means to supply and install.

"Required" means required by the contract documents or by the Local or Statutory Authorities.

"Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.

Standard Abbreviations

AFFL	Above finished floor level
AP	Access Panel
A/W	Accordance with
Awn	Awning
Bal	Balustrade
Bdy	(Property) Boundary
Bhd	Bulkhead
Bldg	Building
Bldr	Builder or building contractor
CJ	Control / construction joint
CL	Centre line
Con	Consultant(s)
COS	Check / confirm on site
Crs	Centres
Doc(s)	Documentation / documents
Dp	Downpipe
D,Dr	Door
Dwg	Drawing
Eng	Engineer(s)
Est	Estimated
Extst	Existing
Ext	External
FFL	Finished floor level
FGL	Finished ground level
FR	Fire rated
Fxd	Fixed
GC	Gas Cock
Gnd	Ground
HC	Hose Cock
Hr	Handrail
Hyd	Hydraulic
Inst	Instruction(s)
Int	Internal
I/S	Inside / Inside of...
Man	Manufacturer(s)
Nom	Nominal
NTS	Not to scale
O/A	Overall
O/H	Overhead
O/S	Outside / Outside of...
Own	Owner Proprietor Principal
Req	Requirement(s)
RL	Relative Level (to Datum)
Schd	Schedule(s)
SDr	Surface drainage
SFL	Structural floor level
Slid	Sliding
Spec	Specification(s)
SSD	Sub-surface drainage
SSL	Structural slab level
Struct	Structural
Std	Standard
TBA	To be advised
TBC	To be confirmed
TBD	To be demolished
TBR	To be removed
T/O	Top of...
TOW	Top of wall
Typ	Typical
U/G	Under ground
UNO	Unless noted otherwise
U/S	Underside
W/	With
W#	Window and Number (#)
W/O	Without

Location Plan

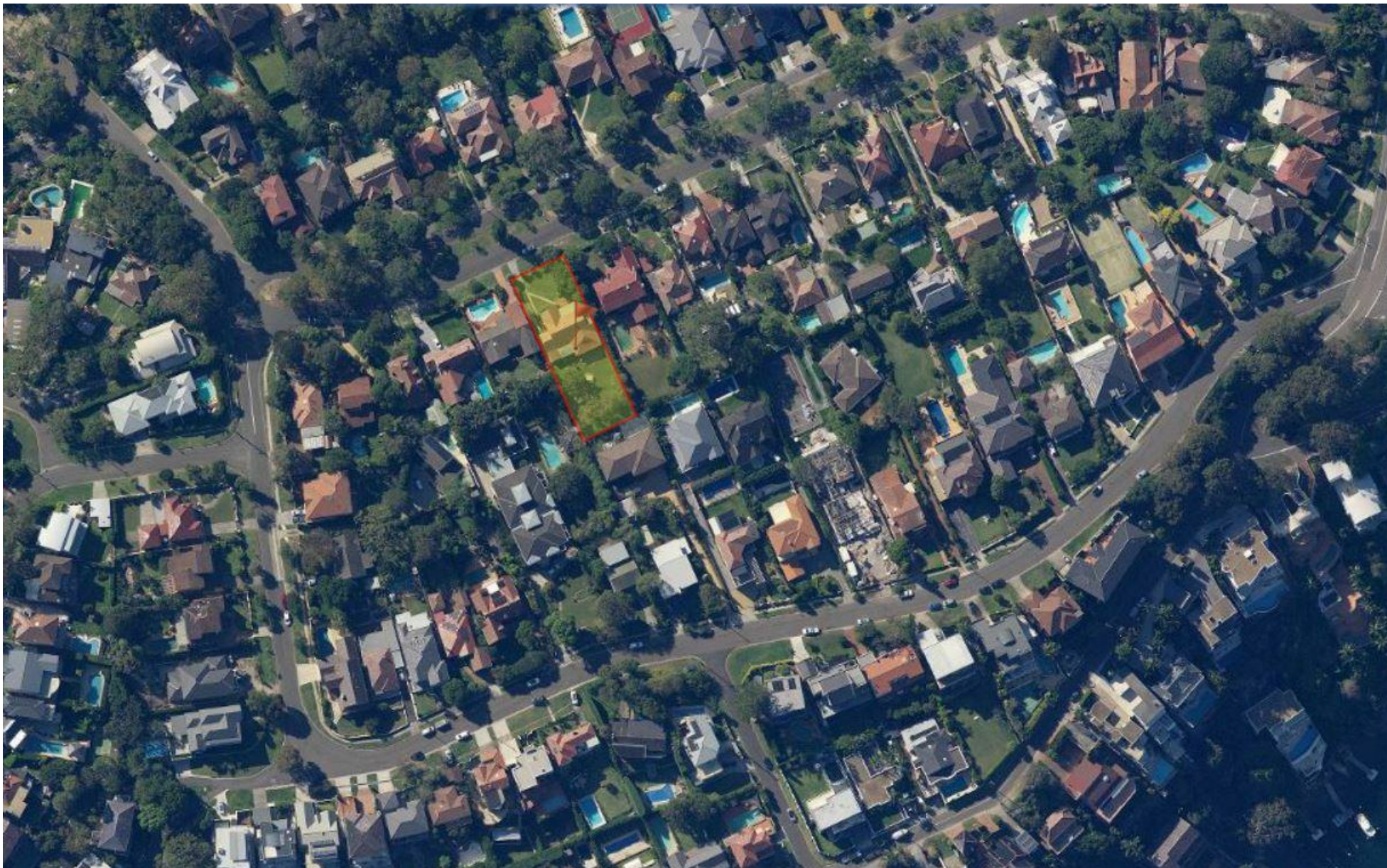


Image Source: NSW SIX Maps



Street Perspective

Architectural Drawings

No.	Name	Rev	Date
DA-000	Cover Sheet, Title Page & Notes	3	17.02.2021
DA-100	Site/Roof Plan & Basement Plan	3	17.02.2021
DA-101	Ground Floor & First Floor Plans	3	17.02.2021
DA-200	Elevations - Proposed	3	17.02.2021
DA-201	Elevations - Proposed	3	17.02.2021
DA-202	Sections	3	17.02.2021
DA-700	Window Schedule	1	17.02.2021
DA-900	Shadow Diagrams	1	17.02.2021
DA-901	Shadow Diagrams	1	17.02.2021
DA-902	Shadow Diagram Elevations - No. 29 Alan Avenue	1	17.02.2021
DA-910	Schedule of External Finishes No. 27	1	17.02.2021
DA-911	Schedule of External Finishes No. 27A	1	17.02.2021
DA-920	Site Analysis	1	17.02.2021
DA-930	Demolition Plan	1	17.02.2021
DA-940	Waste Management Site Plan	1	17.02.2021
DA-960	Excavation and Fill Plan	1	17.02.2021
DA-970	DCP & LEP Areas Diagram	3	17.02.2021
DA-971	Basix Requirements - No 27	1	17.02.2021
DA-972	Basix Requirements - No 27A	1	17.02.2021
DA-980	Perspective	1	17.02.2021

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Issue	Description	Date
1	Issue for Information	12.11.2020
2	Issue for Information	23.11.2020
3	Issue for Development Application	17.02.2021

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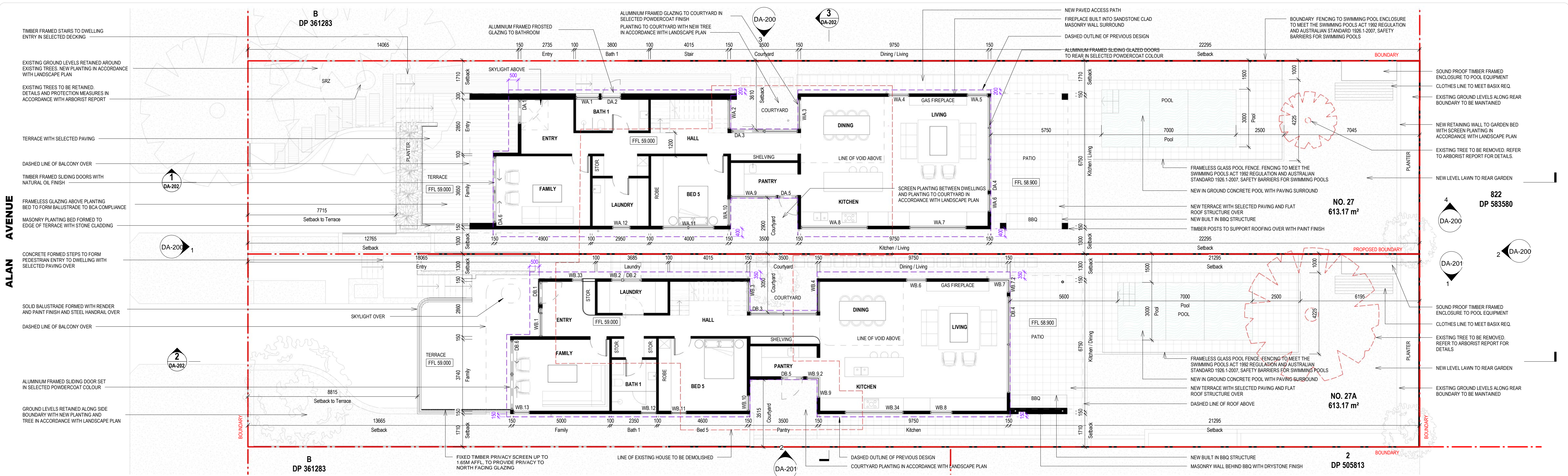
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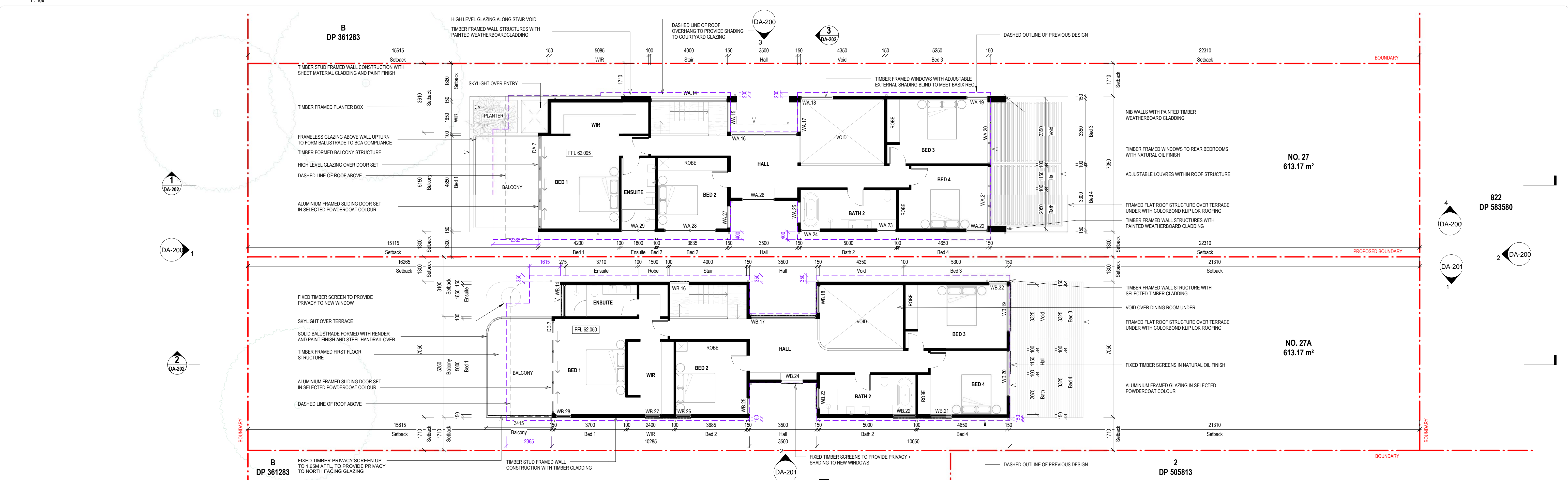
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Project Issue Date Oct 2020	Sheet Issue Date 07/26/19	
Project number 1141	Drawing # DA-000	3

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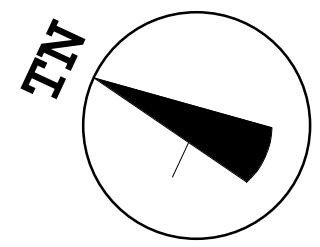


1 GROUND FLOOR PLAN
1 : 100

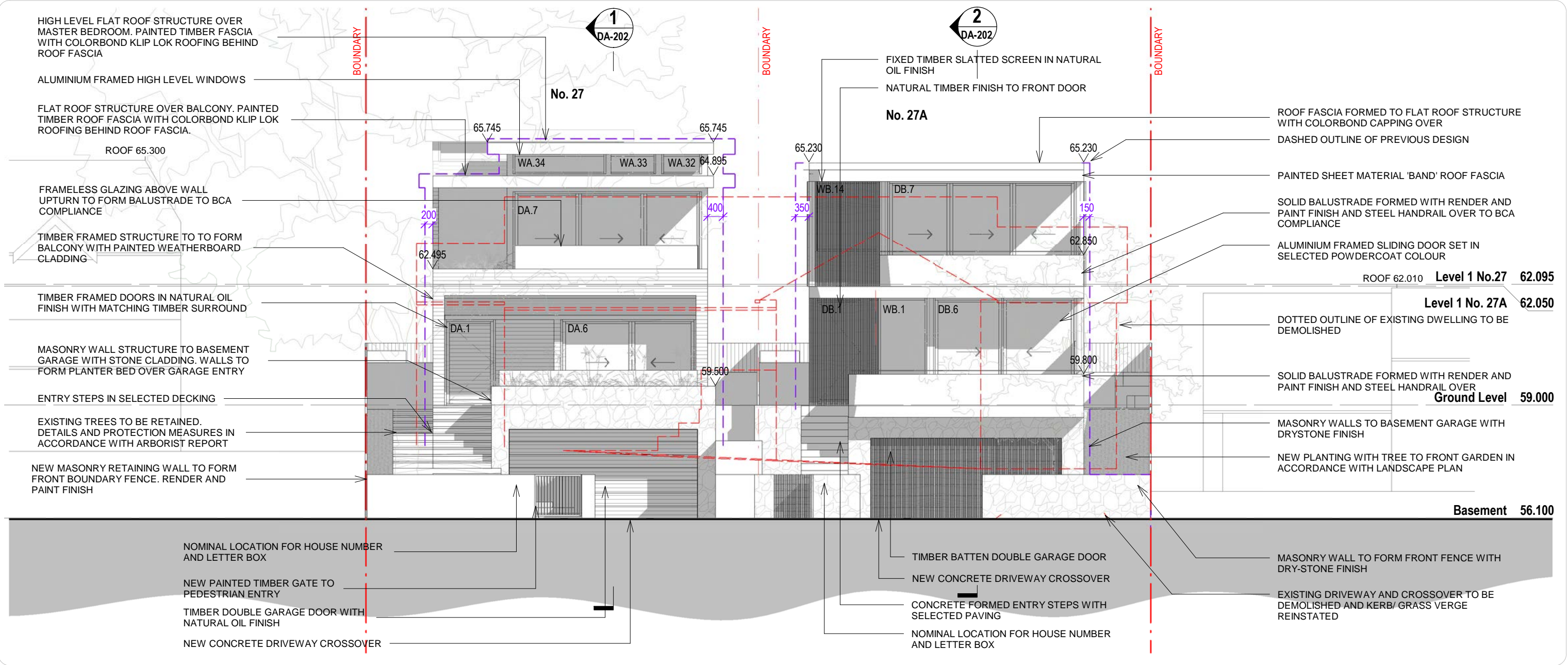


2 FIRST FLOOR PLAN
1 : 100

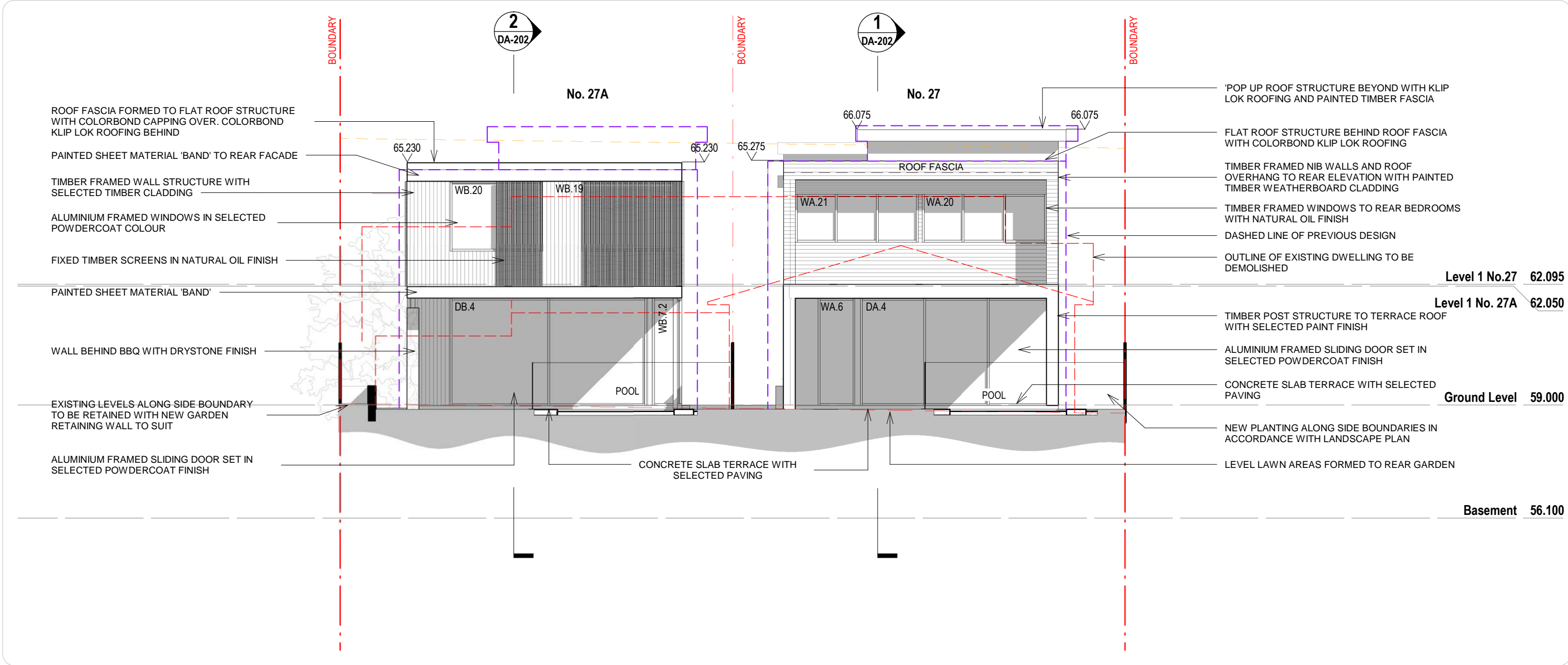
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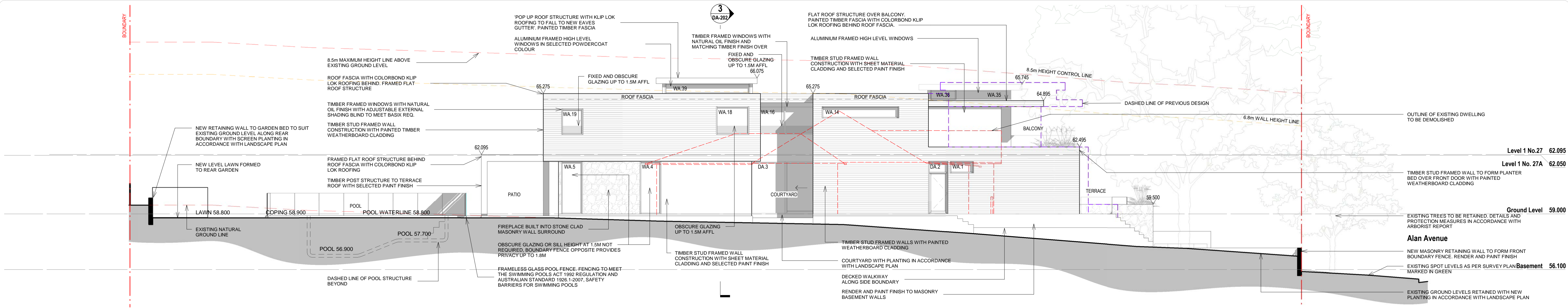
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		ABN : 86 106 604 025						
		NSW #8631 VIC #19664						
		www.buckandsimple.com						
		Development Application						
		1	Issue for Information	12.11.2020	Location	Project Issue Date	Sheet Issue Date	
		2	Issue for Information	23.11.2020		Oct 2020		17.02.2021
		3	Issue for Development Application	17.02.2021	Client	Project number	Drawing #	Issue
					O'Hanlon, Giuliano & El Khouri	1141	DA-101	3
					Drawing	Ground Floor & First Floor Plans		



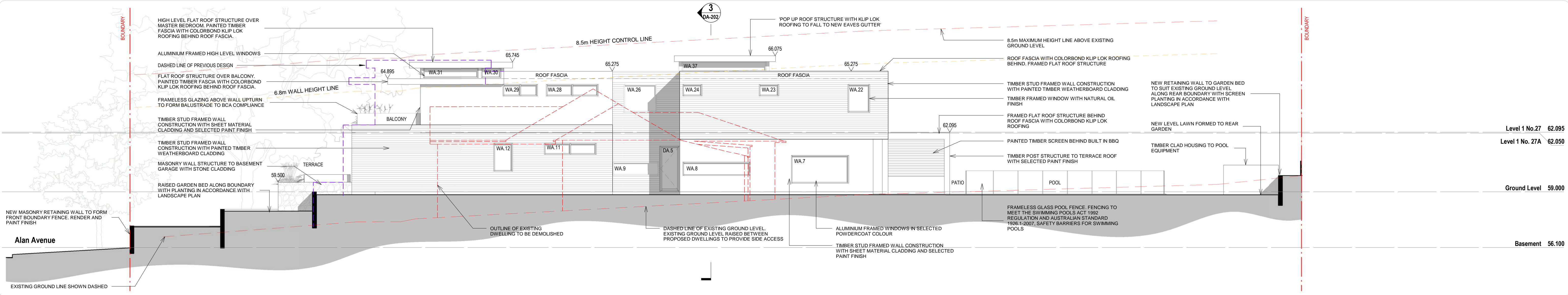
1 NORTH ELEVATION (ALAN AVE)
1:100



2 SOUTH ELEVATION
1:100



3 NO. 27 EAST ELEVATION
1:100



4 NO. 27 WEST ELEVATION
1:100

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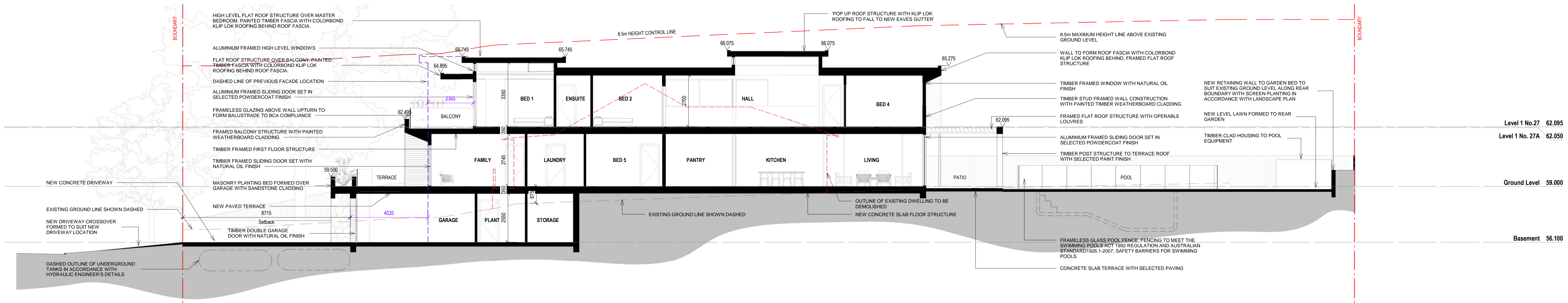
No.	Description	Date
1	Issue for Information	12.11.2020
2	Issue for Information	23.11.2020
3	Issue for Development Application	17.02.2021

Project	Alan Ave
Location	27 Alan Avenue, Seaforth NSW 9092
Client	O'Hanlon, Gluliano & El Khouri
Drawing	Elevations - Proposed

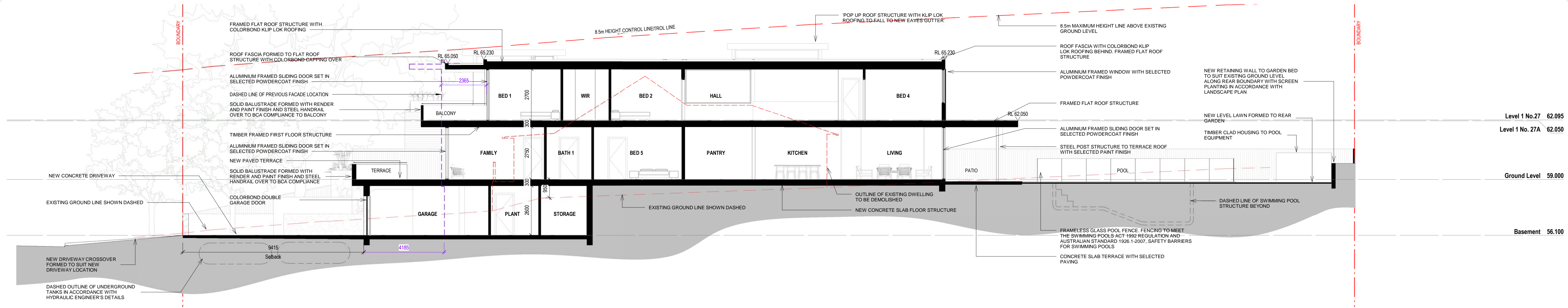
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Project number	1141	Drawing #	DA-200	Issue	3



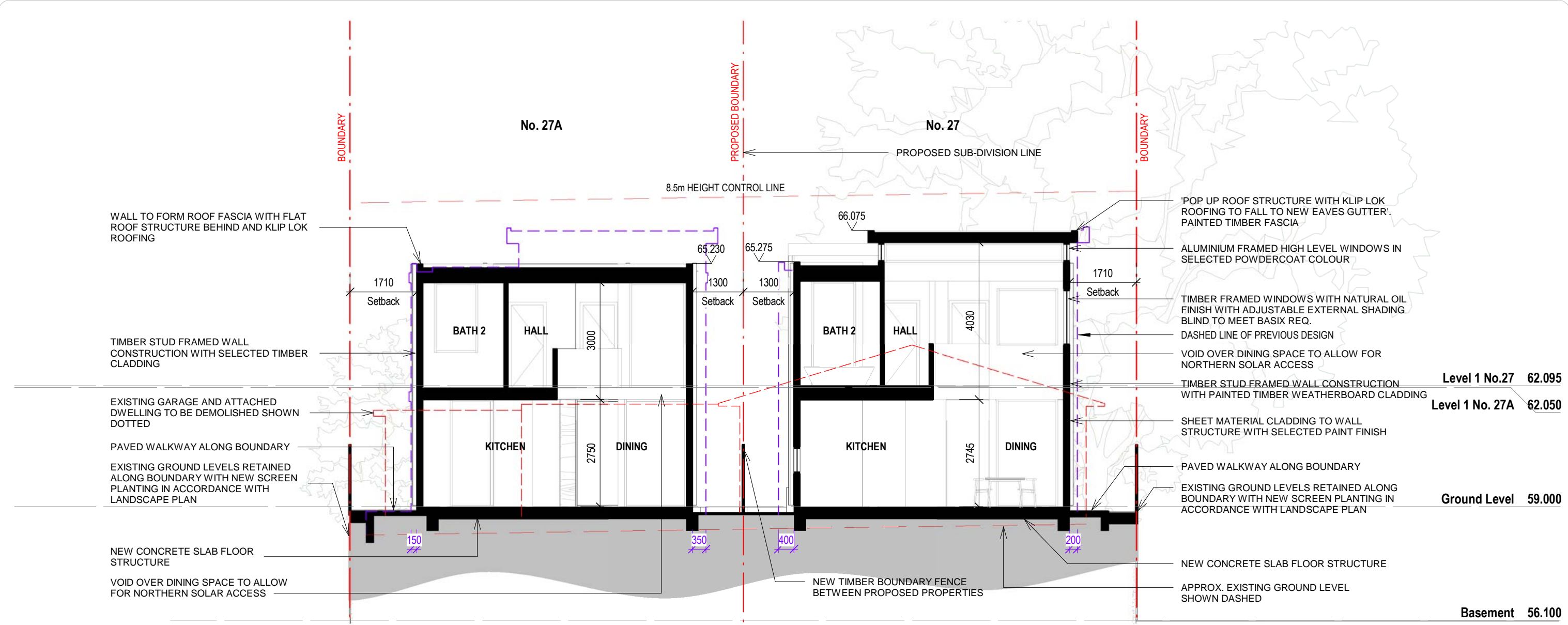
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1 SECTION A - NO.27
1: 100



2 SECTION B - NO.27A
1: 100



3 SECTION C
1: 100

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General Notes		No.	Description	Date	Project	Scale @ A1: A3 half indic.	Drawn by	Checked by
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		2	Issue for Information	23.11.2020		Project Issue Date	Oct 2020	17.02.2021
		3	Issue for Development Application	17.02.2021		Project number	Drawing #	Issue
		Contact: info@buckandsimple.com ABN : 86 106 604 025 NSW #8631 VIC #19664 www.buckandsimple.com			Alan Ave	1141	DA-202	3
					27 Alan Avenue, Seaforth NSW 2092			
					O'Hanlon, Gluliano & El Khouri			
					Sections			

Window Schedule_No. 27					
Code	Sill Height	Length	Height	Area	Comments
DA.1	0	1300	2200	3 m²	
DA.2	0	1040	2745	3 m²	
DA.3	0	3475	2745	10 m²	
DA.4	0	4926	2745	14 m²	
DA.5	0	1060	2404	3 m²	
DA.6	0	3475	2200	8 m²	
DA.7	0	4850	2400	12 m²	
WA.1	2145	1220	600	1 m²	
WA.2	0	1550	2745	4 m²	
WA.3	0	1575	2745	4 m²	
WA.4	0	1100	2745	3 m²	
WA.5	0	1100	2745	3 m²	
WA.6	0	940	2745	3 m²	
WA.7	450	2989	1450	4 m²	
WA.8	850	3500	700	2 m²	
WA.9	850	2400	700	2 m²	
WA.10	0	1600	2745	4 m²	
WA.11	1945	2700	600	2 m²	
WA.12	1070	977	1475	1 m²	
WA.14	1900	4000	600	2 m²	
WA.15	1050	1550	1450	2 m²	
WA.16	1050	3475	1450	5 m²	
WA.17	1050	1550	1450	2 m²	
WA.18	1050	1700	1450	2 m²	
WA.19	1050	1113	1330	1 m²	
WA.20	1100	3200	1230	4 m²	
WA.21	1100	3150	1230	4 m²	
WA.22	1050	1144	1450	2 m²	
WA.23	1900	1020	600	1 m²	
WA.24	1900	1000	600	1 m²	
WA.25	0	1130	2700	3 m²	
WA.26	1050	1700	1450	2 m²	
WA.27	0	1175	2700	3 m²	
WA.28	1900	2700	600	2 m²	
WA.29	1900	1850	600	1 m²	
WA.30	2895	1175	500	1 m²	
WA.31	2895	3025	500	1 m²	
WA.32	2895	1175	500	1 m²	
WA.33	2895	1295	500	1 m²	
WA.34	2895	2530	500	1 m²	
WA.35	2895	2665	500	1 m²	
WA.36	2895	1335	500	1 m²	
WA.37	3225	4537	500	2 m²	
WA.38	3225	4600	500	2 m²	
WA.39	3225	4462	500	2 m²	

Note:

Refer to plans & elevations for window locations

Windows removed from previous DA Submission:

WA.13

Window Schedule_No. 27A					
Code	Sill Height	Length	Height	Area	Comments
DB.1	0	1200	2750	3 m²	
DB.2	0	1020	2750	3 m²	
DB.3	0	3500	2750	10 m²	
DB.4	0	5050	2750	14 m²	
DB.5	0	1200	2750	3 m²	
DB.6	0	3665	2750	10 m²	
DB.7	0	4840	2700	13 m²	
WB.1	0	1500	2750	4 m²	
WB.2	0	600	2750	2 m²	
WB.3	0	1600	2750	4 m²	
WB.4	0	1575	2750	4 m²	
WB.6	0	1080	2750	3 m²	
WB.7	0	1050	2750	3 m²	Turns corner
WB.7.2	0	674	2750	2 m²	Turns comers
WB.8	0	1186	2750	3 m²	
WB.9	0	1024	2750	3 m²	Turns corner
WB.9.2	0	625	2750	2 m²	Turns corner
WB.10	0	850	2750	2 m²	
WB.11	0	800	2750	2 m²	
WB.12	0	825	2750	2 m²	
WB.13	0	860	2750	2 m²	
WB.14	900	1650	1800	3 m²	
WB.16	900	1000	1800	2 m²	
WB.17	900	3412	1800	6 m²	
WB.18	0	1425	2700	4 m²	
WB.19	900	2399	1800	4 m²	
WB.20	900	2375	1800	4 m²	
WB.21	900	1160	1800	2 m²	
WB.22	900	1200	1800	2 m²	
WB.23	900	1100	1800	2 m²	
WB.24	900	1190	1800	2 m²	
WB.25	0	925	2700	2 m²	
WB.26	900	800	1800	1 m²	
WB.27	900	800	1800	1 m²	
WB.28	795	780	1905	1 m²	
WB.32	900	947	1800	2 m²	
WB.33	0	570	2750	2 m²	New Window
WB.34	900	3061	650	2 m²	New Window

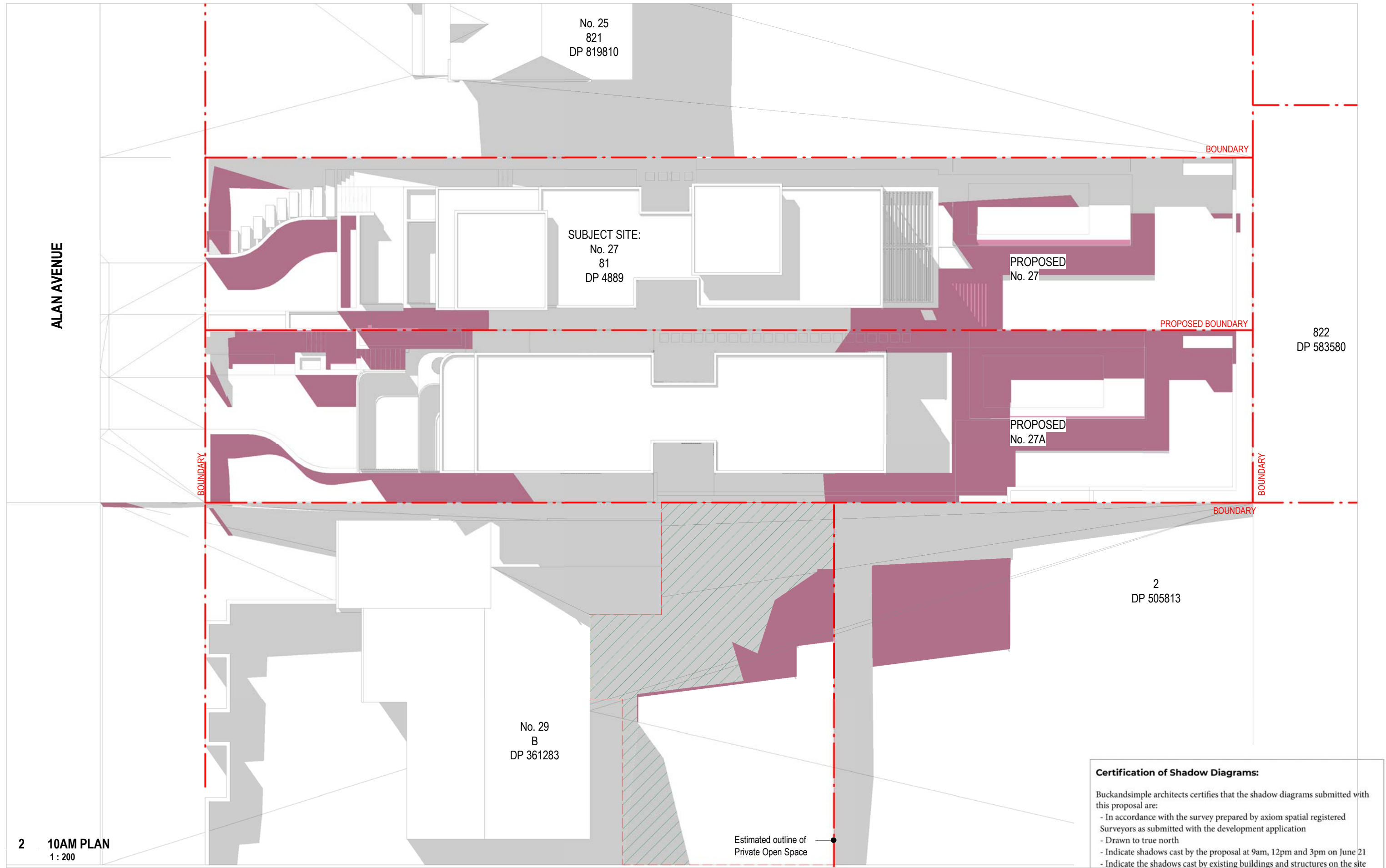
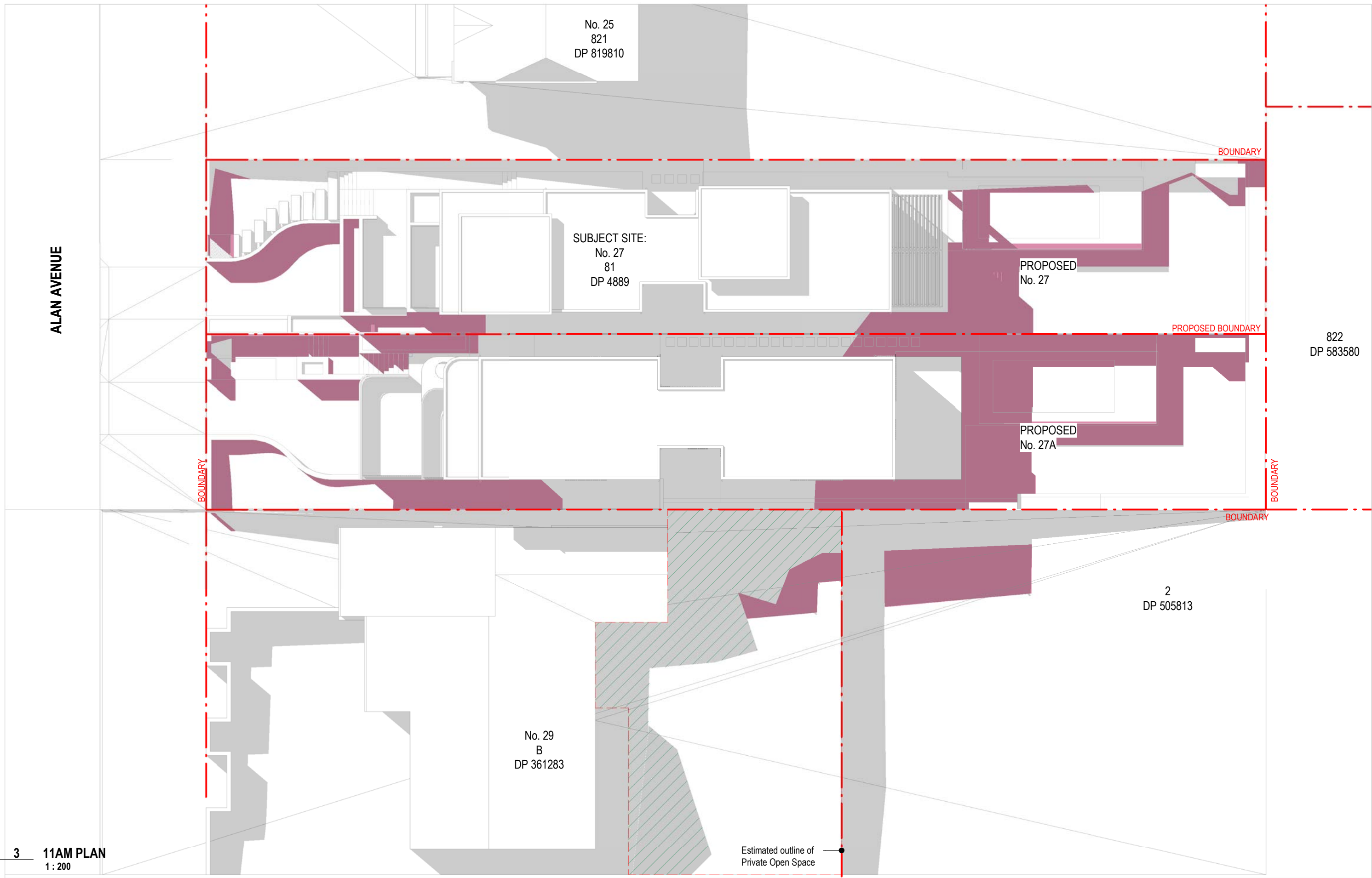
Note:

Refer to plans & elevations for window locations

Windows removed from previous DA Submission:

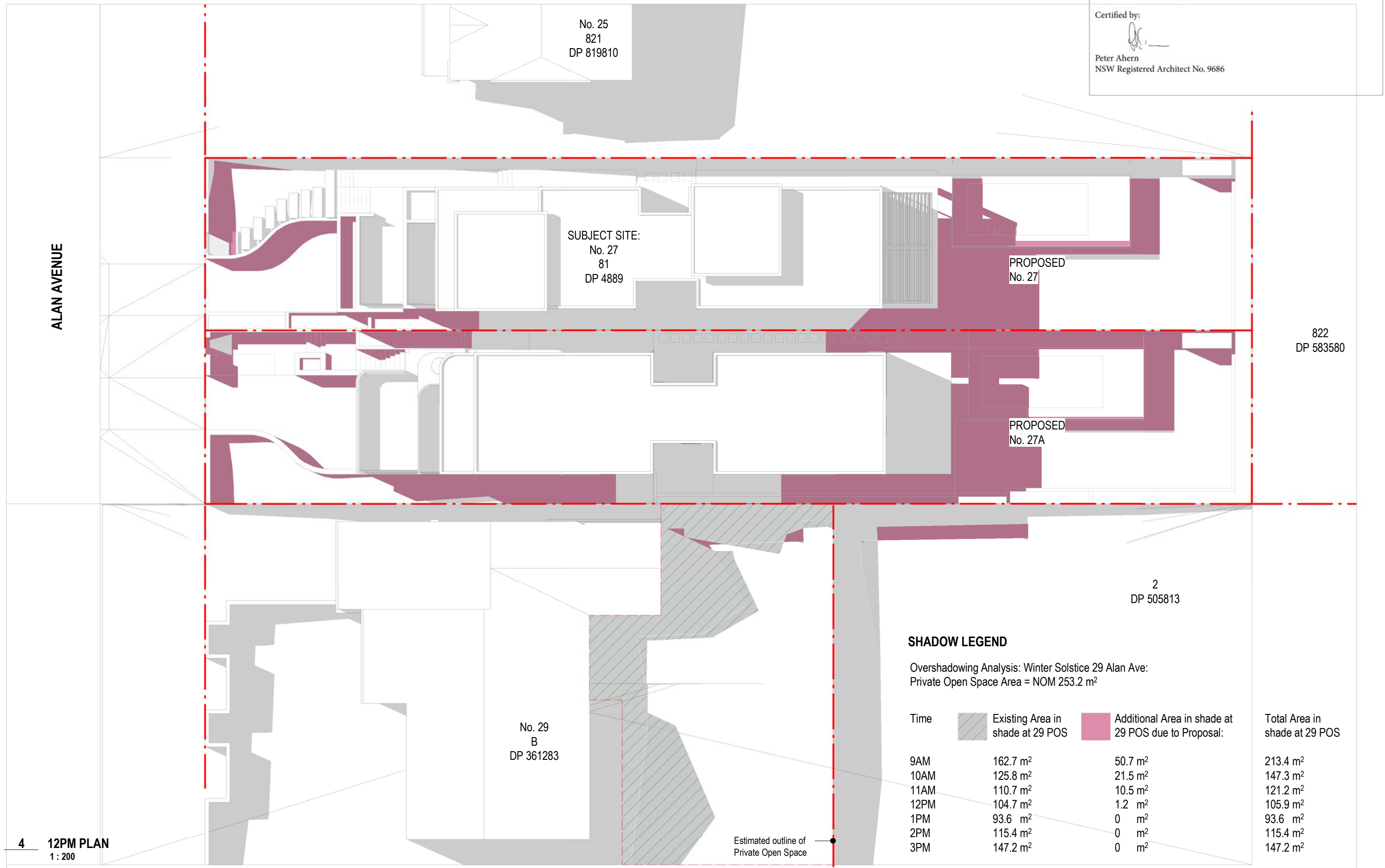
WB.15
WB.29
WB.31
WB.30

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				27 Alan Avenue, Seaforth NSW 2092	Oct 2020	Sheet Issue Date	17.02.2021
				O'Hanlon, Gluliano & El Khouri	Project number	Drawing #	Issue
				Window Schedule	1141	DA-700	1



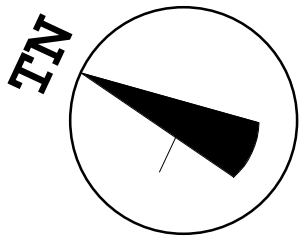
Certification of Shadow Diagrams:
Buckandsimple architects certifies that the shadow diagrams submitted with this proposal are:
- In accordance with the survey prepared by axion spatial registered Surveyors as submitted with the development application
- Drawn to true north
- Indicate shadows cast by the proposal at 9am, 12pm and 3pm on June 21
- Indicate the shadows cast by existing buildings and structures on the site and in the surrounding area
Certified by:

Peter Alerna
NSW Registered Architect No. 9686



SHADOW LEGEND			
Overshadowing Analysis: Winter Solstice 29 Alan Ave: Private Open Space Area = NOM 253.2 m²			
Time	Existing Area in shade at 29 POS	Additional Area in shade at 29 POS due to Proposal:	Total Area in shade at 29 POS
9AM	162.7 m²	50.7 m²	213.4 m²
10AM	125.8 m²	21.5 m²	147.3 m²
11AM	110.7 m²	10.5 m²	121.2 m²
12PM	104.7 m²	1.2 m²	105.9 m²
1PM	93.6 m²	0 m²	93.6 m²
2PM	115.4 m²	0 m²	115.4 m²
3PM	147.2 m²	0 m²	147.2 m²

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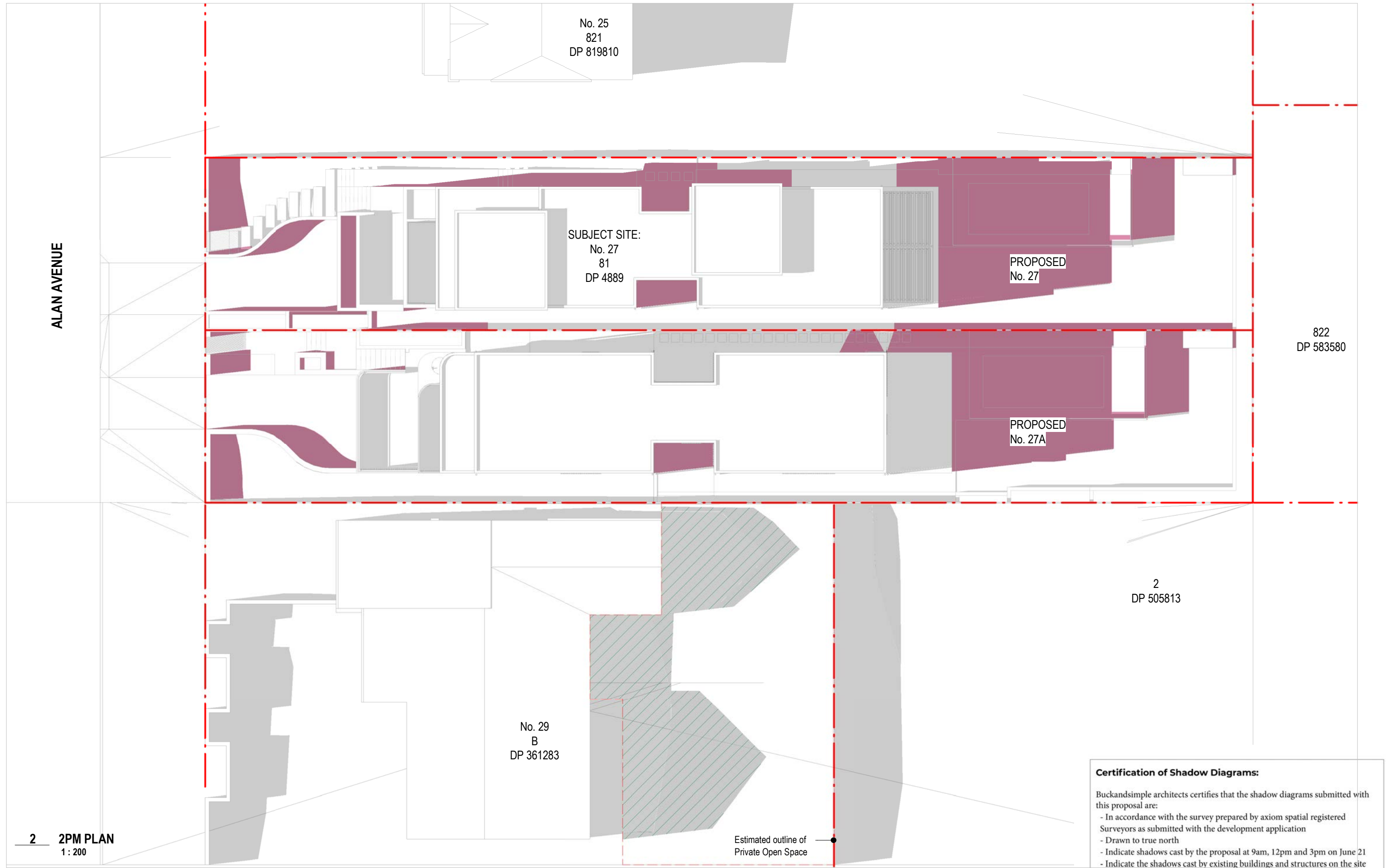
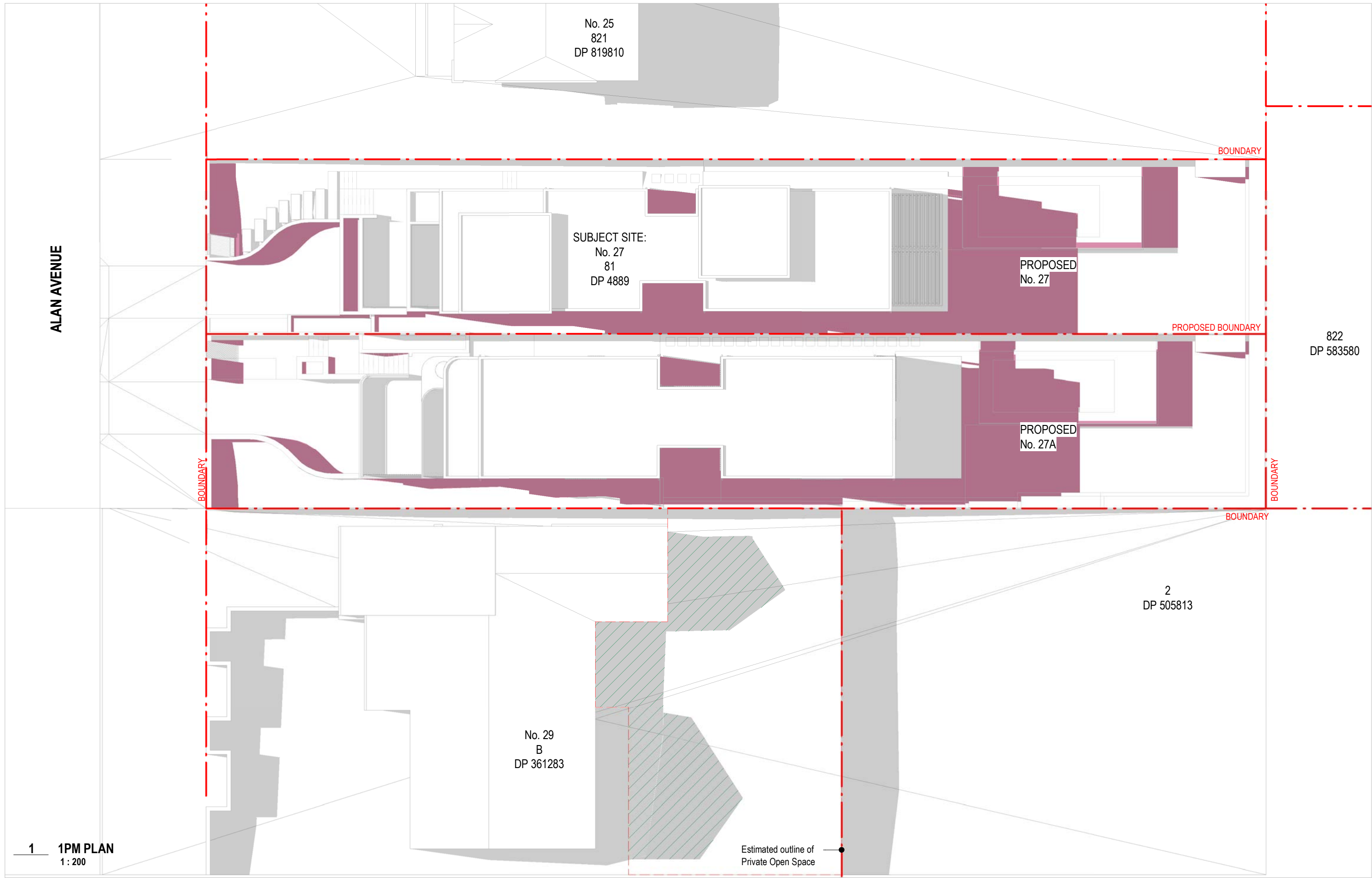


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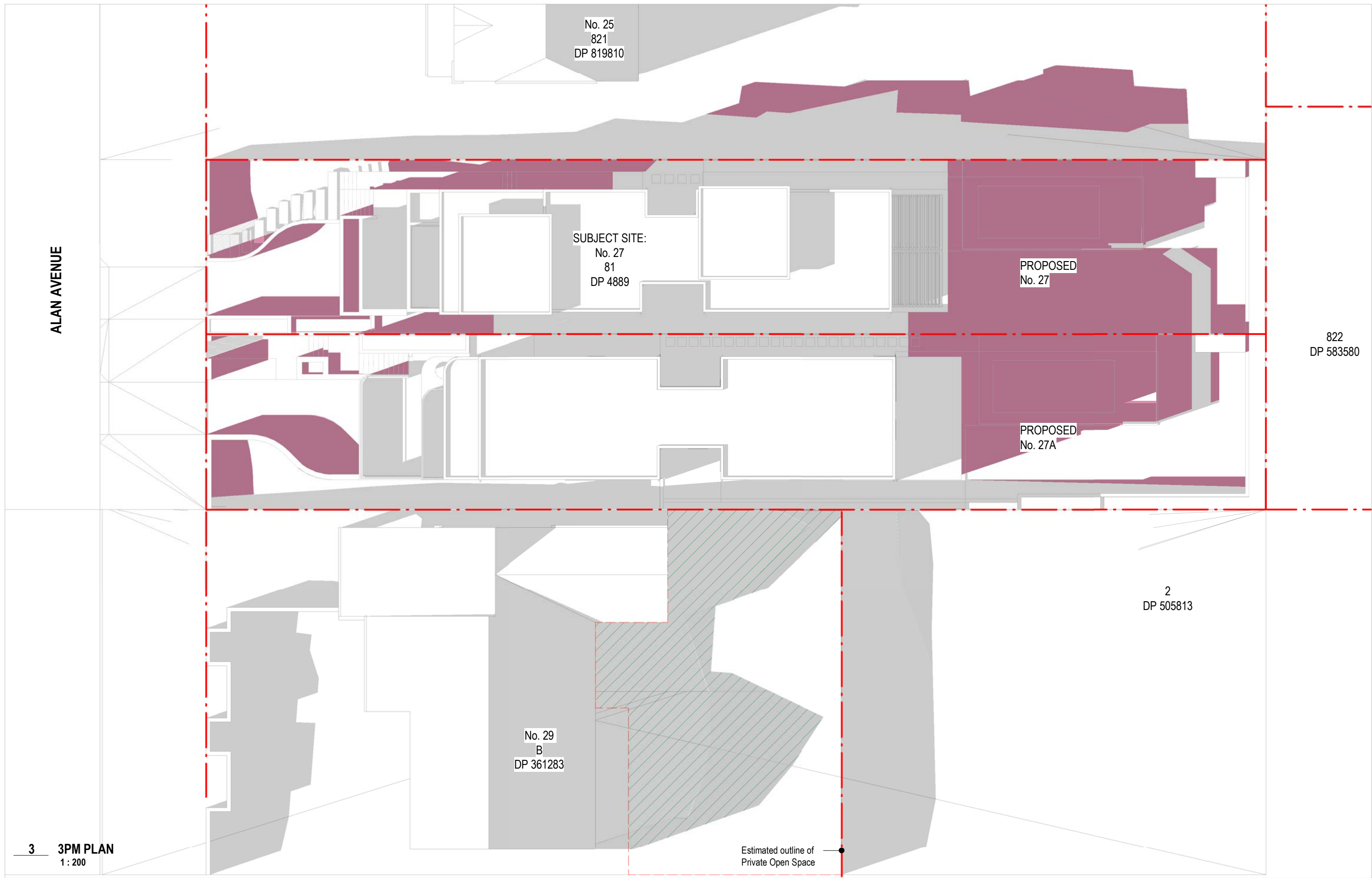
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1	Issue for Development Application	17.02.2021	Alan Ave	27 Alan Avenue, Seaforth NSW 2092	O'Hanlon, Gluliano & El Khouri	Shadow Diagrams	1 : 200	BS	BS
							Project Issue Date	Sheet Issue Date	
							Oct 2020	17.02.2021	
							Project number	Drawing #	Issue
							1141	DA-900	1



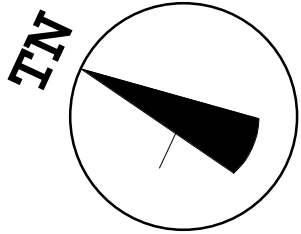
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- Indicate shadows cast by the proposal at 9am, 12pm and 3pm on June 21
- Indicate the shadows cast by existing buildings and structures on the site and in the surrounding area
Certified by:

Peter Albani
NSW Registered Architect No. 9686



SHADOW LEGEND			
Overshadowing Analysis: Winter Solstice 29 Alan Ave: Private Open Space Area = NOM 253.2 m ²			
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10AM	125.8 m ²	21.5 m ²	147.3 m ²
11AM	110.7 m ²	10.5 m ²	121.2 m ²
12PM	104.7 m ²	1.2 m ²	105.9 m ²
1PM	93.6 m ²	0 m ²	93.6 m ²
2PM	115.4 m ²	0 m ²	115.4 m ²
3PM	147.2 m ²	0 m ²	147.2 m ²

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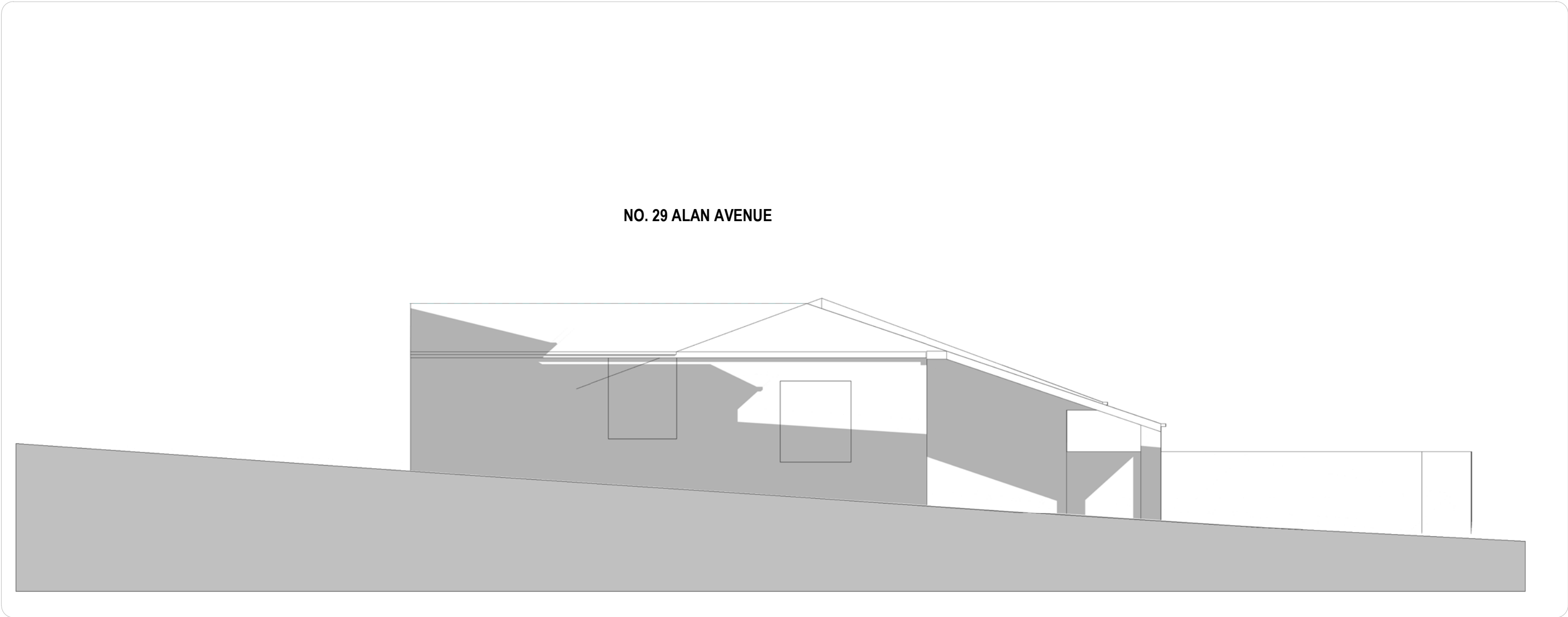


General Notes

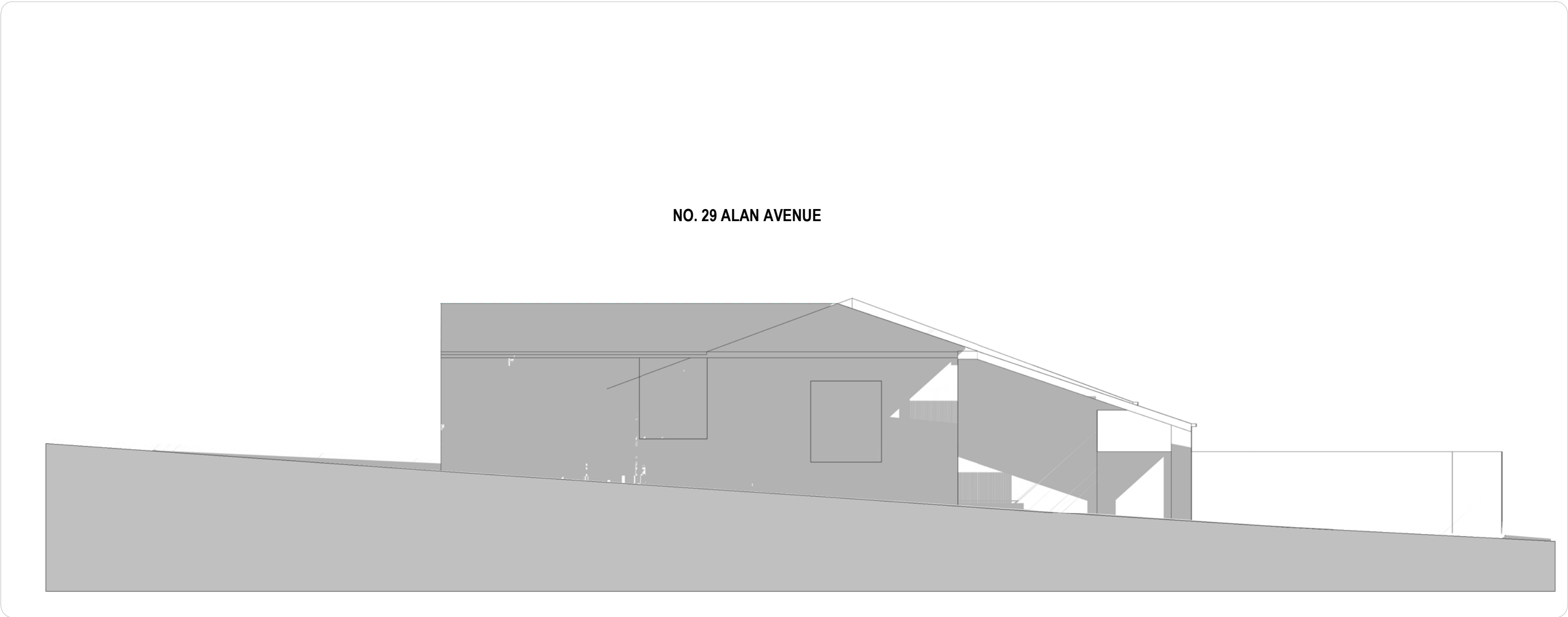
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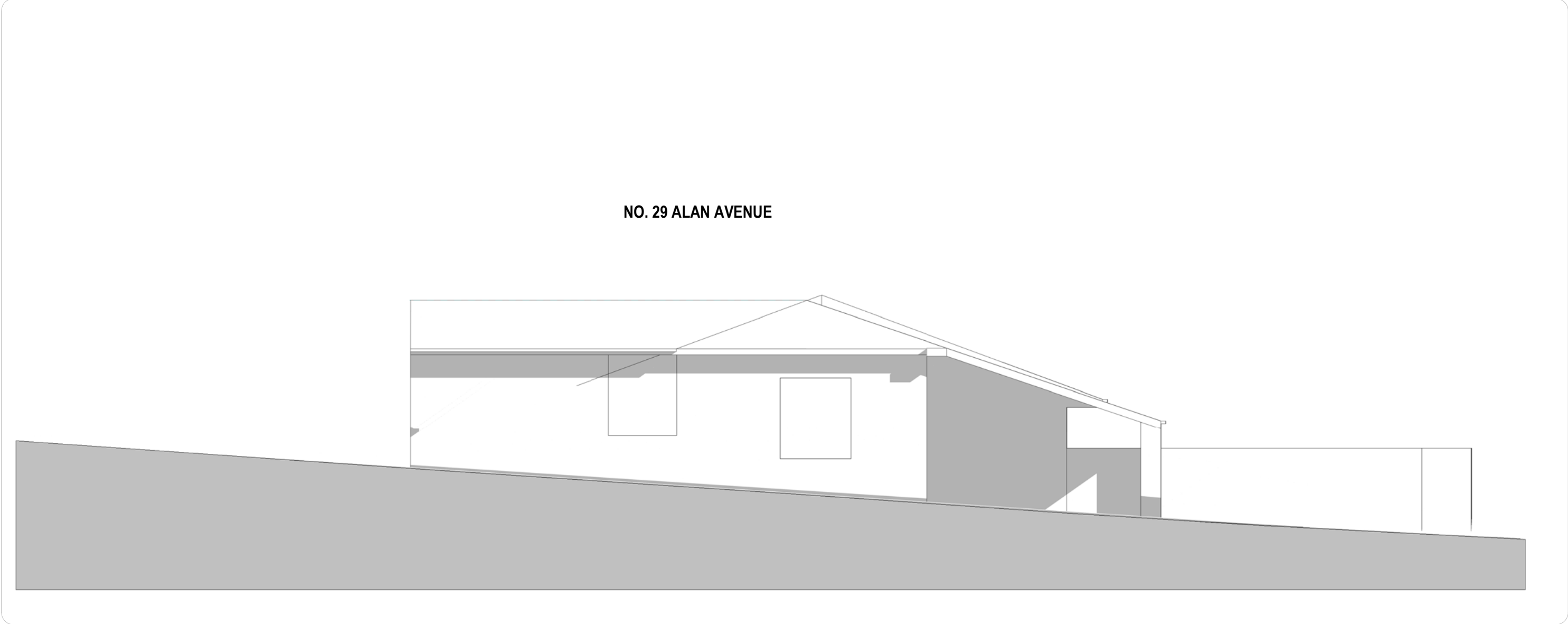
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							Project Issue Date	Sheet Issue Date	
							Oct 2020	17.02.2021	
							Project number	Drawing #	Issue
							1141	DA-901	1



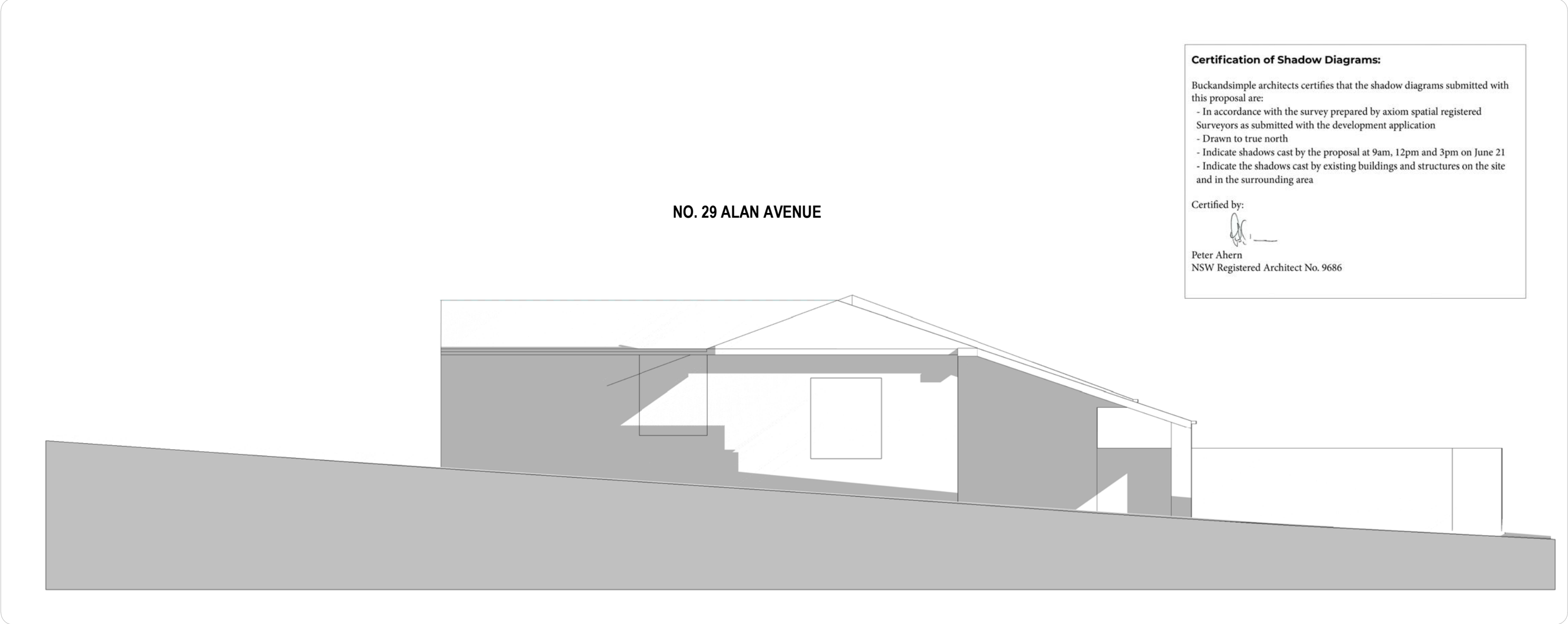
1 SHADOW ELEVATION_EXISTING_No. 29 ALAN AVE_9AM



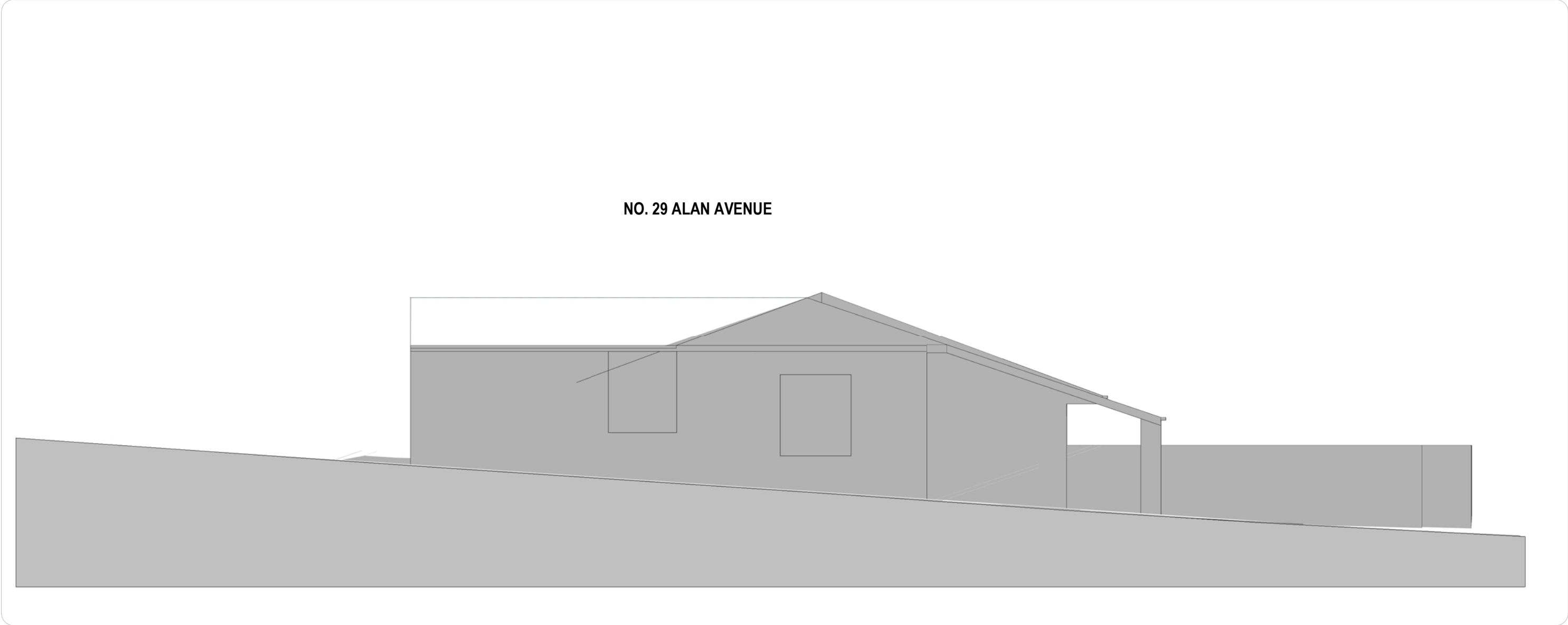
4 SHADOW ELEVATION_PROPOSED_No. 29 ALAN AVE_9AM



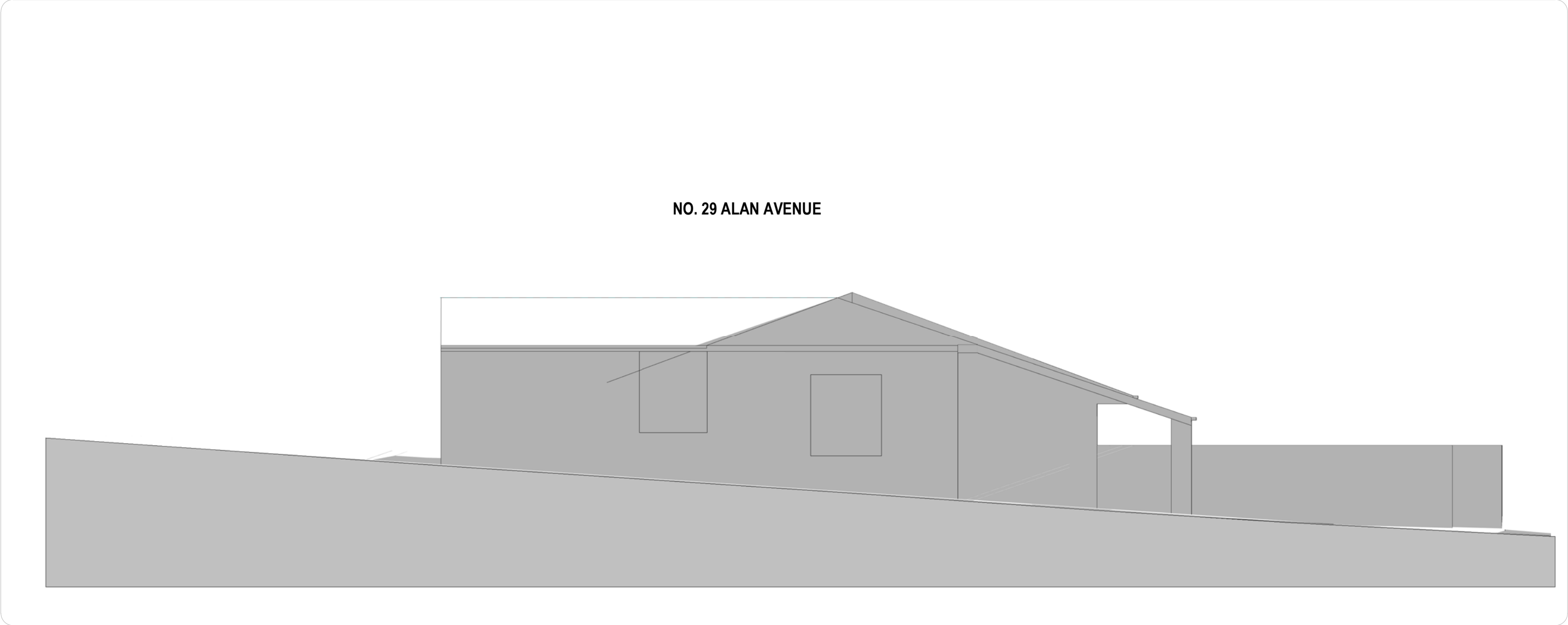
2 SHADOW ELEVATION_EXISTING_No. 29 ALAN AVE_12PM




5 SHADOW ELEVATION_PROPOSED_No. 29 ALAN AVE_12PM



3 SHADOW ELEVATION_EXISTING_No. 29 ALAN AVE_3PM



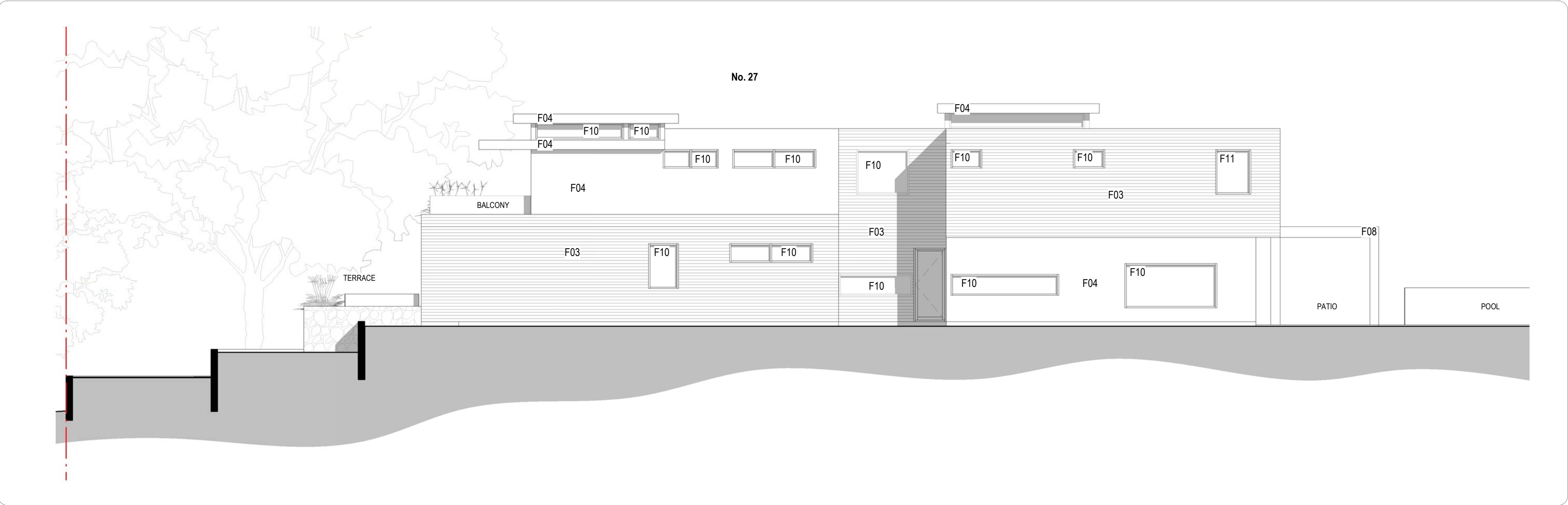
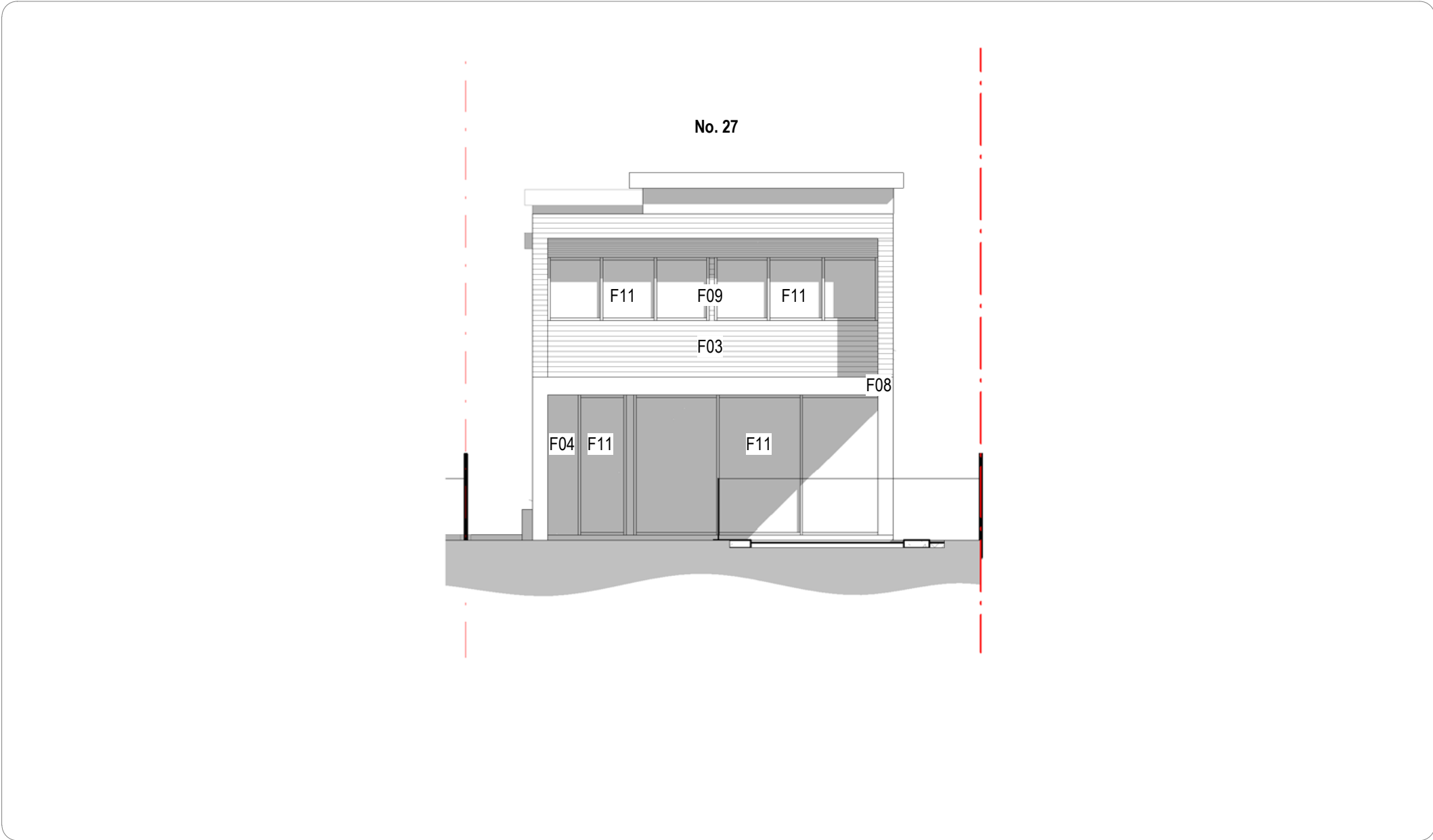
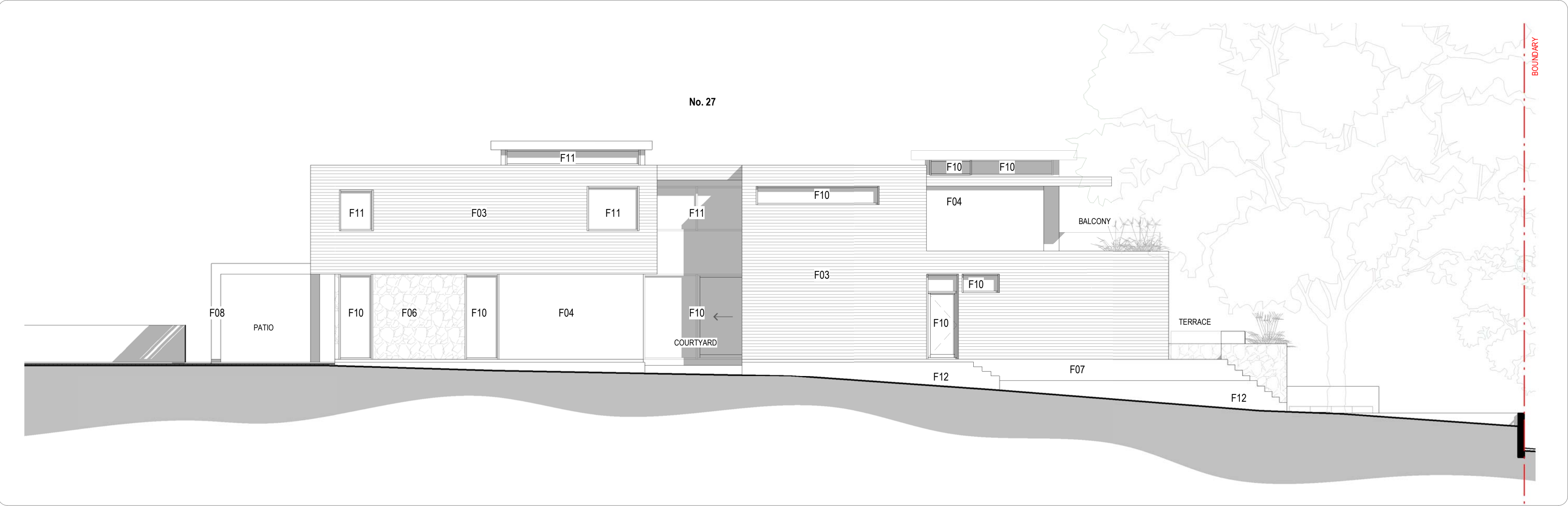
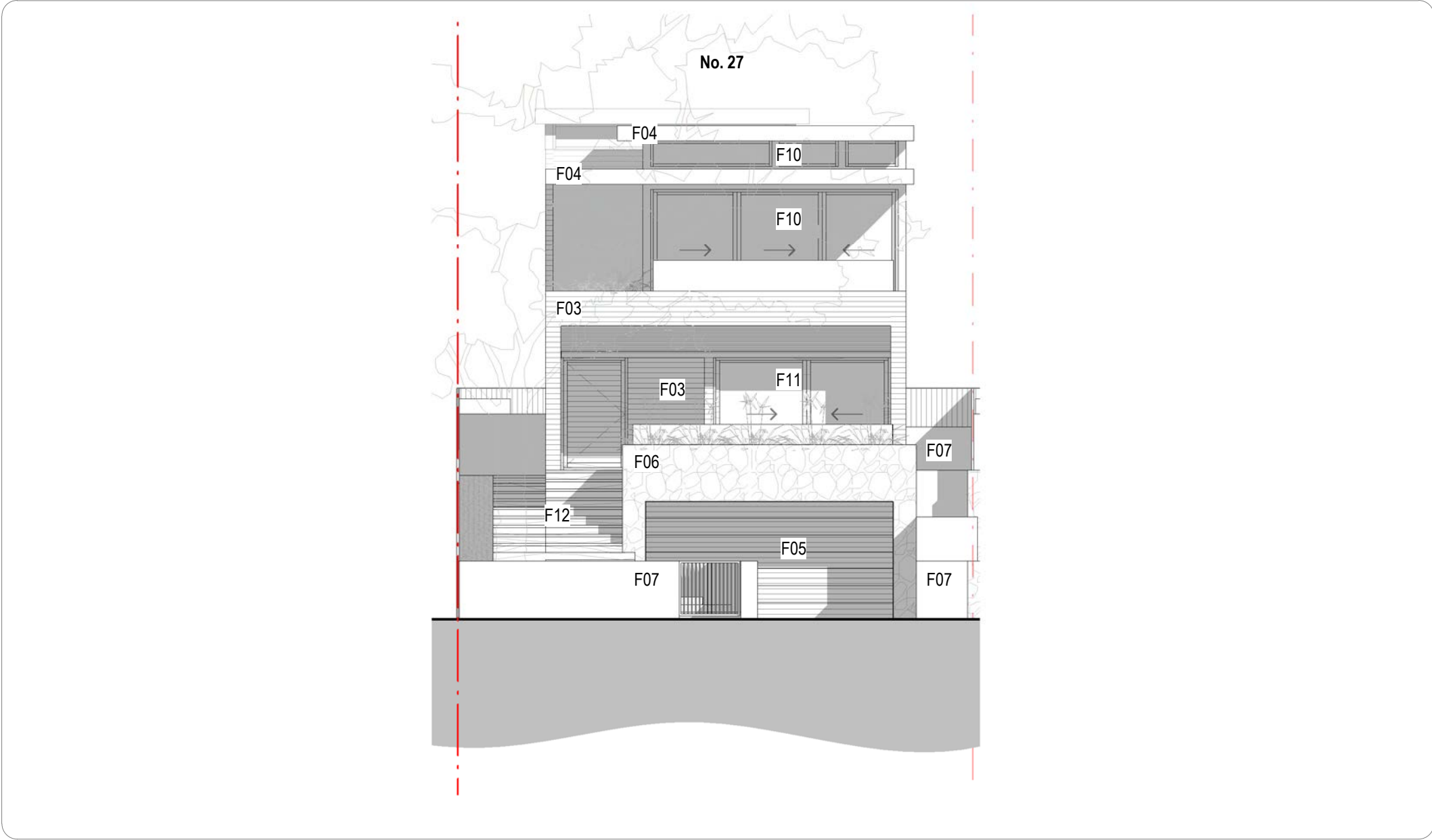
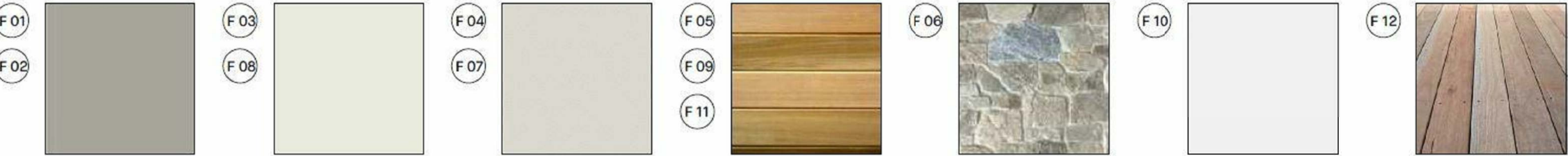
6 SHADOW ELEVATION_PROPOSED_No. 29 ALAN AVE_3PM

Certification of Shadow Diagrams:
Buckandsimple architects certifies that the shadow diagrams submitted with this proposal are:
- In accordance with the survey prepared by axiom spatial registered Surveyors as submitted with the development application
- Drawn to true north
- Indicate shadows cast by the proposal at 9am, 12pm and 3pm on June 21
- Indicate the shadows cast by existing buildings and structures on the site and in the surrounding area
Certified by:

Peter Ahern
NSW Registered Architect No. 9686

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General Notes		No.	Description	Date	Project	Scale @ A1: A3 half indic.	Drawn by	Checked by				
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		Development Application			Location	27 Alan Avenue, Seaforth NSW 2092		Project Issue Date	Oct 2020		Sheet Issue Date	17.02.2021
					Client	O'Hanlon, Gluliano & El Khouri		Project number	Drawing #	Issue	1	
					Drawing	Shadow Diagram Elevations - No. 29 Alan Avenue		1141	DA-902			

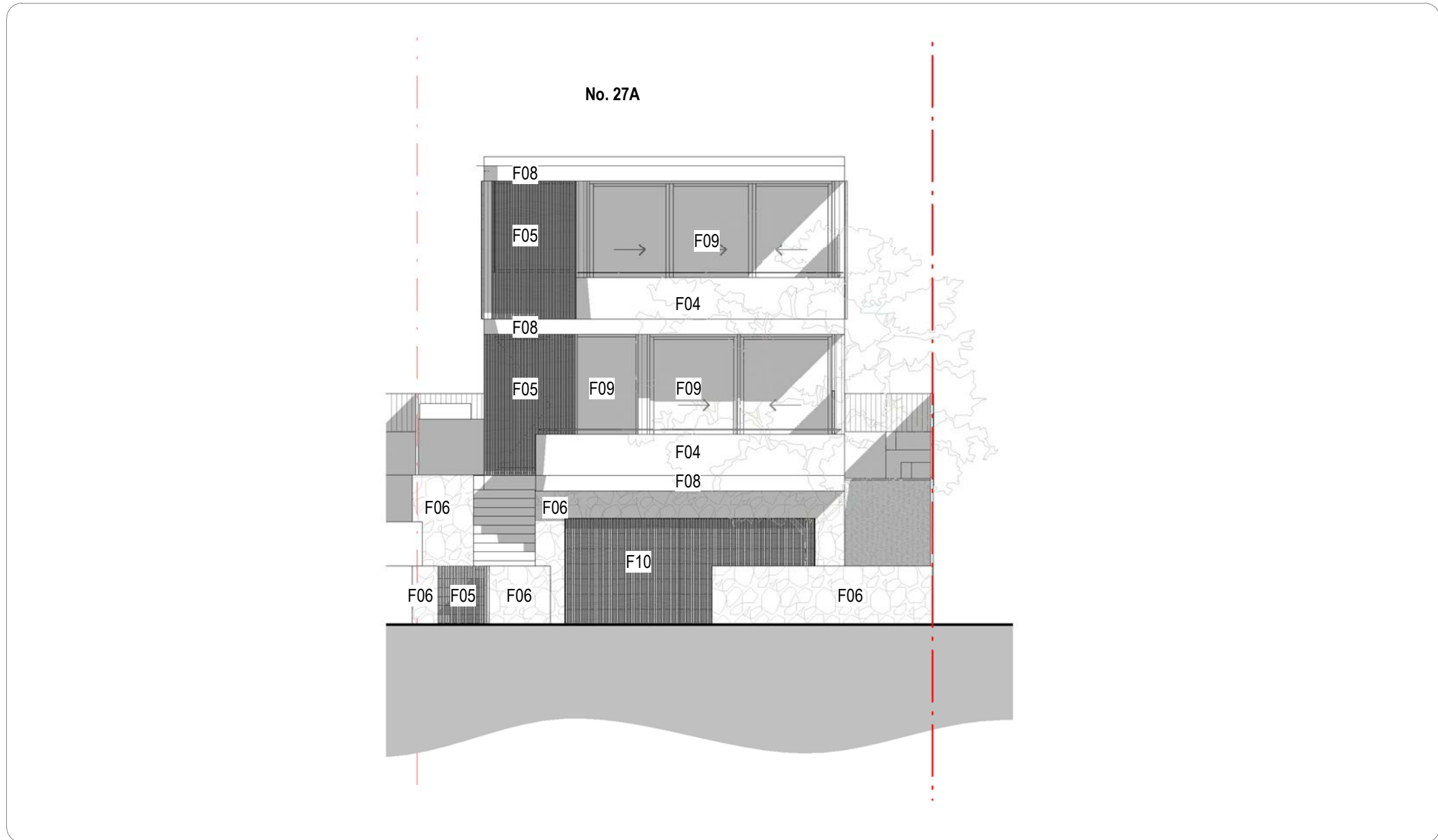
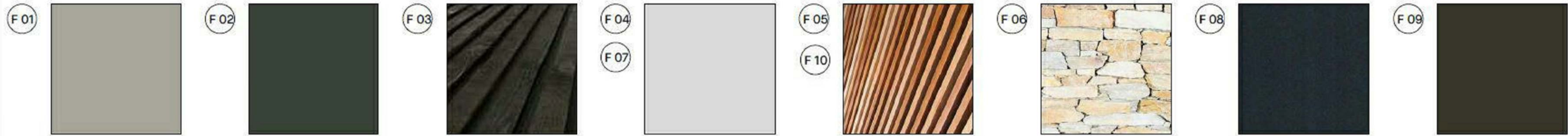
LEGEND			
KEY	MATERIAL	FINISH	COLOUR
F 01	STEEL ROOFING- KLIP LOK	COLORBOND	DUNE
F 02	STEEL ROOFING GUTTERS + DOWNPIPES	COLORBOND	DUNE
F 03	TIMBER WEATHERBOARD CLADDING	PAINT	DULUX 'WHISPER WHITE'
F 04	RENDERED EXSULITE CLADDING	PAINT	DULUX 'LIMED WHITE HALF'
F 05	TIMBER CLADDING	OIL	WESTERN RED CEDAR- NATURAL
F 06	STONE CLAD MASONRY	ROCK FACE	'WOLLOMBI' QUARTZITE CLADDING
F 07	RENDERED MASONRY	PAINT	DULUX 'LIMED WHITE HALF'
F 08	TIMBER TRIMS	PAINT	DULUX 'WHISPER WHITE'
F 09	TIMBER TRIMS	OIL	WESTERN RED CEDAR
F 10	ALUMINIUM FRAMED WINDOWS AND DOORS	POWDERCOAT	DULUX 'ELECTRO' FLAT WHITE
F 11	TIMBER FRAMED WINDOWS AND DOORS	OIL	WESTERN RED CEDAR
F 12	TIMBER DECKING	OIL	HARDWOOD EG BLACKBUTT



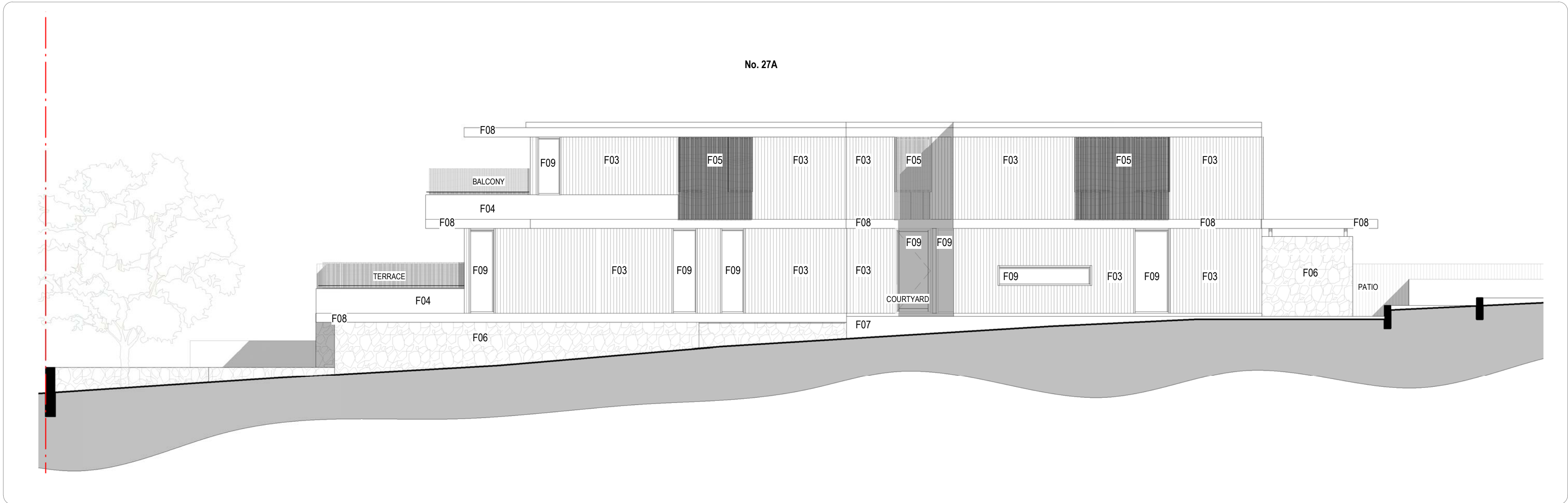
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General Notes			No.	Description	Date	Project	Location	Client	Drawing	Scale @ A1: A3 half indic.	Drawn by	Checked by
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										Project Issue Date	Sheet Issue Date	
										Oct 2020		17.02.2021
										Project number	Drawing #	Issue
										1141	DA-910	1

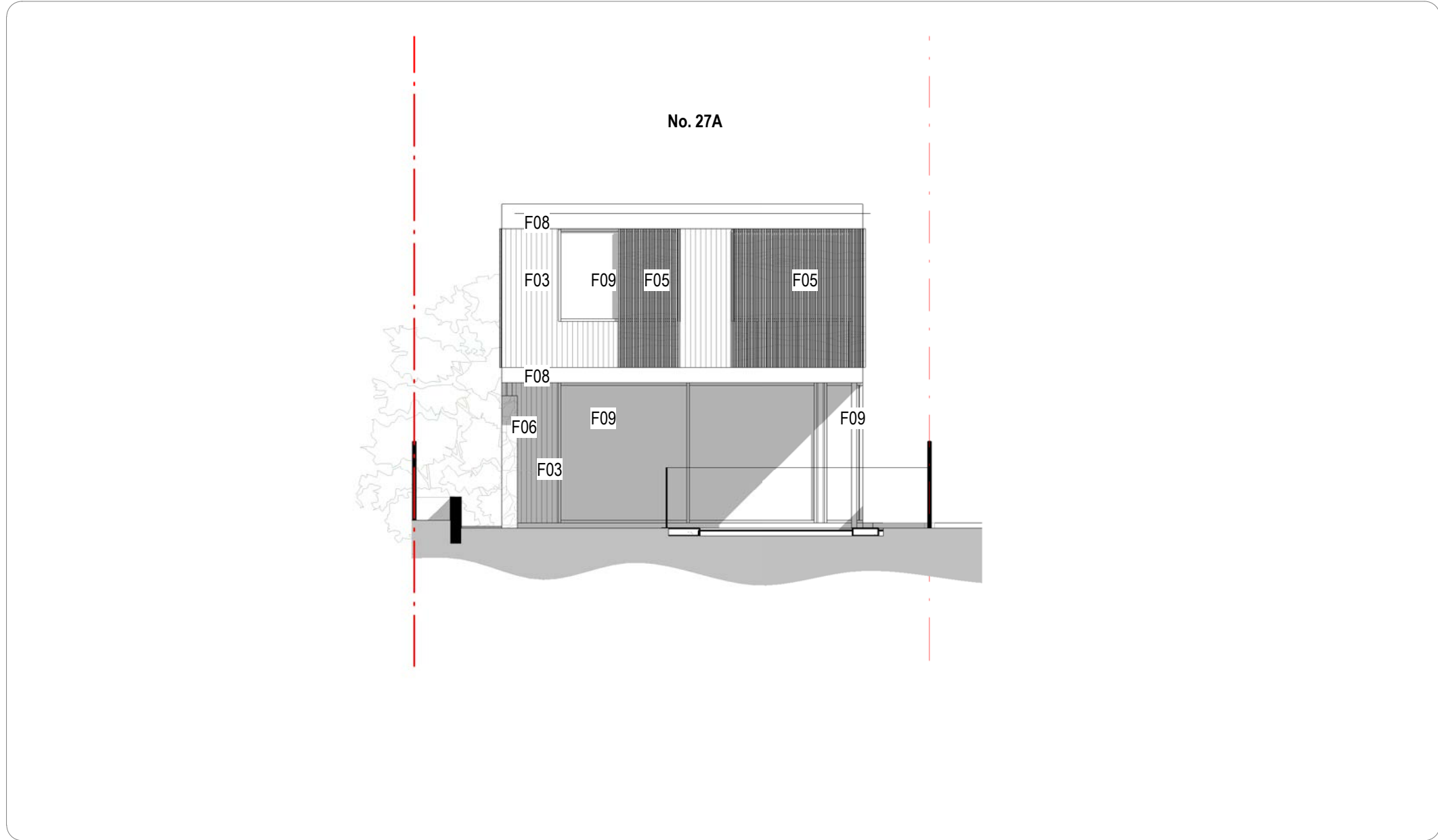
LEGEND			
KEY	MATERIAL	FINISH	COLOUR
F 01	STEEL ROOFING- KLIP LOK	COLORBOND	DUNE
F 02	STEEL ROOFING GUTTERS + DOWNPIPES	COLORBOND	MONUMENT
F 03	TIMBER CLADDING	CHARRED	WESTERN RED CEDAR 'BEACH CLAD'
F 04	RENDERED EXSULITE CLADDING	PAINT	DULUX 'TERRACE WHITE'
F 05	TIMBER SCREENING	OIL	WESTERN RED CEDAR- NATURAL
F 06	SANDSTONE CLAD MASONRY	ROCK FACE	SANDSTONE 'DRYSTONE LOOK'
F 07	RENDERED MASONRY	PAINT	DULUX 'TERRACE WHITE'
F 08	RENDER FASCIA PAINTED	PAINT	DULUX M.I.O. 'NATURAL GREY'
F 09	ALUMINIUM FRAMED WINDOWS AND DOORS	POWDERCOAT	DULUX 'ELECTRO DARK BRONZE FLAT'
F 10	GARAGE DOOR - TIMBER BATTENS	OIL	WESTERN RED CEDAR- NATURAL



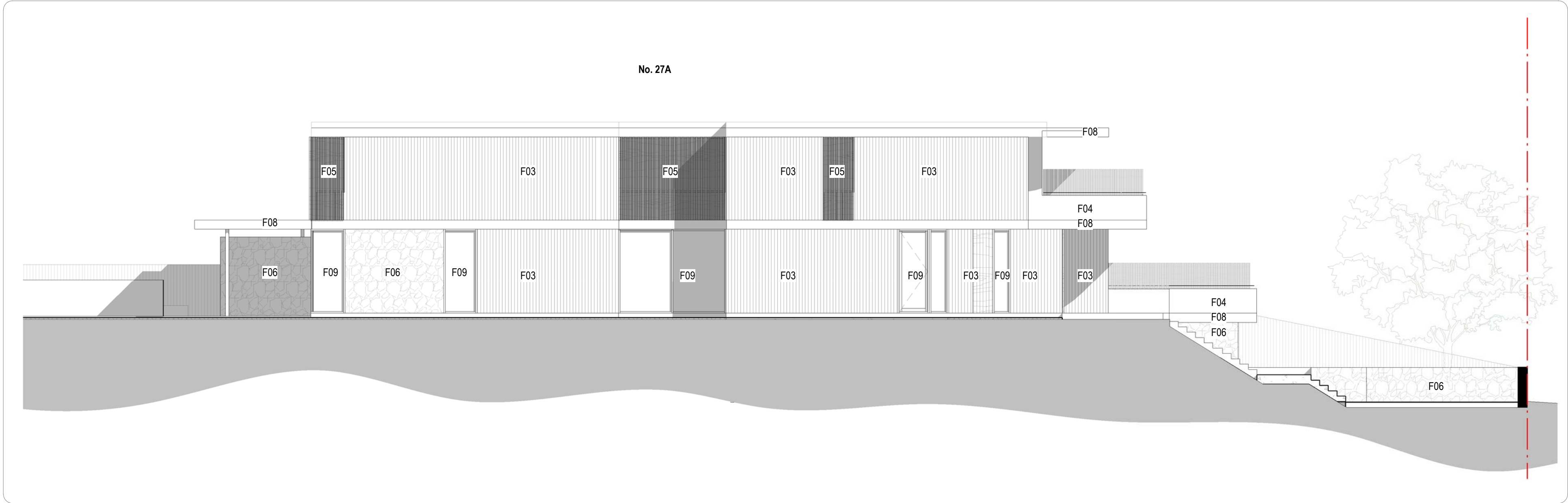
1 NORTH ELEVATION (ALAN AVE)
1 : 100



2 NO. 27A WEST ELEVATION
1 : 100




3 SOUTH ELEVATION
1 : 100



4 NO. 27A EAST ELEVATION
1 : 100

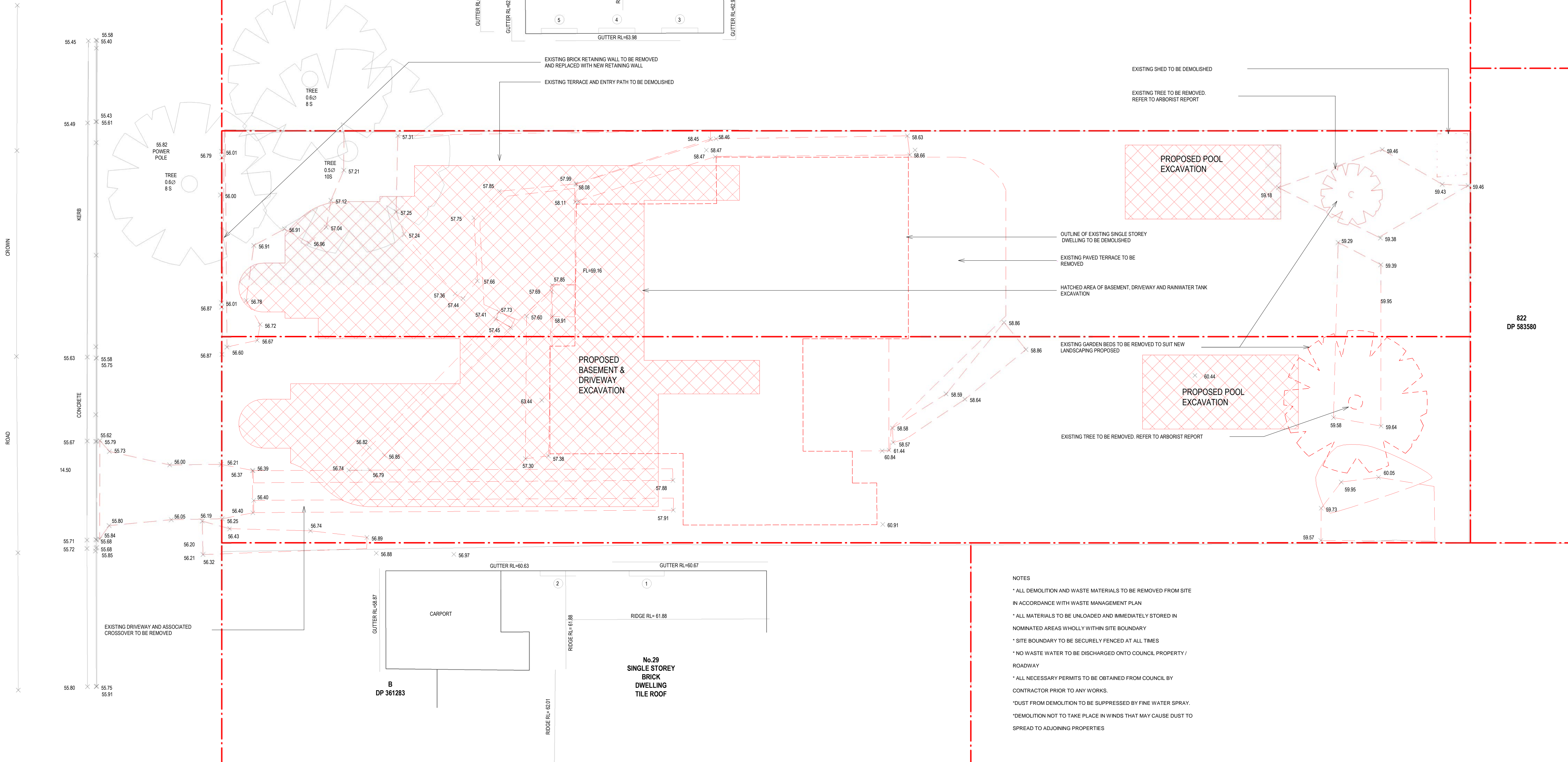
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General Notes			No.	Description	Date	Project	Location	Client	Drawing	Scale @ A1: A3 half indic.	Drawn by	Checked by
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										Oct 2020		17.02.2021
										Project number	Drawing #	Issue
										1141	DA-911	1



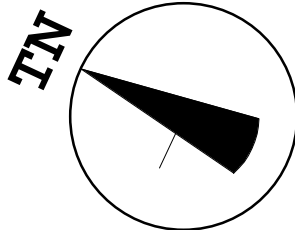
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ALAN AVENUE

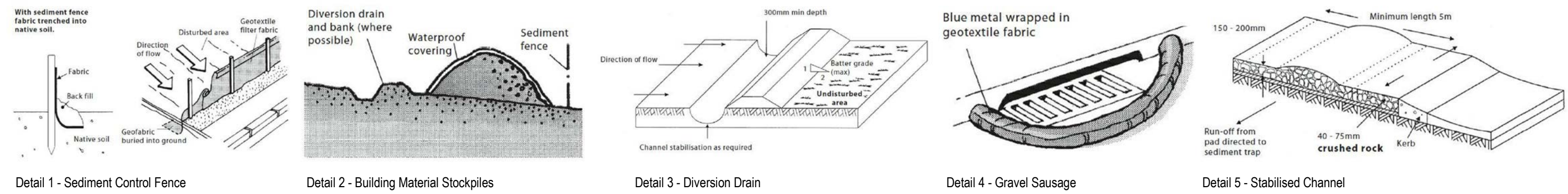
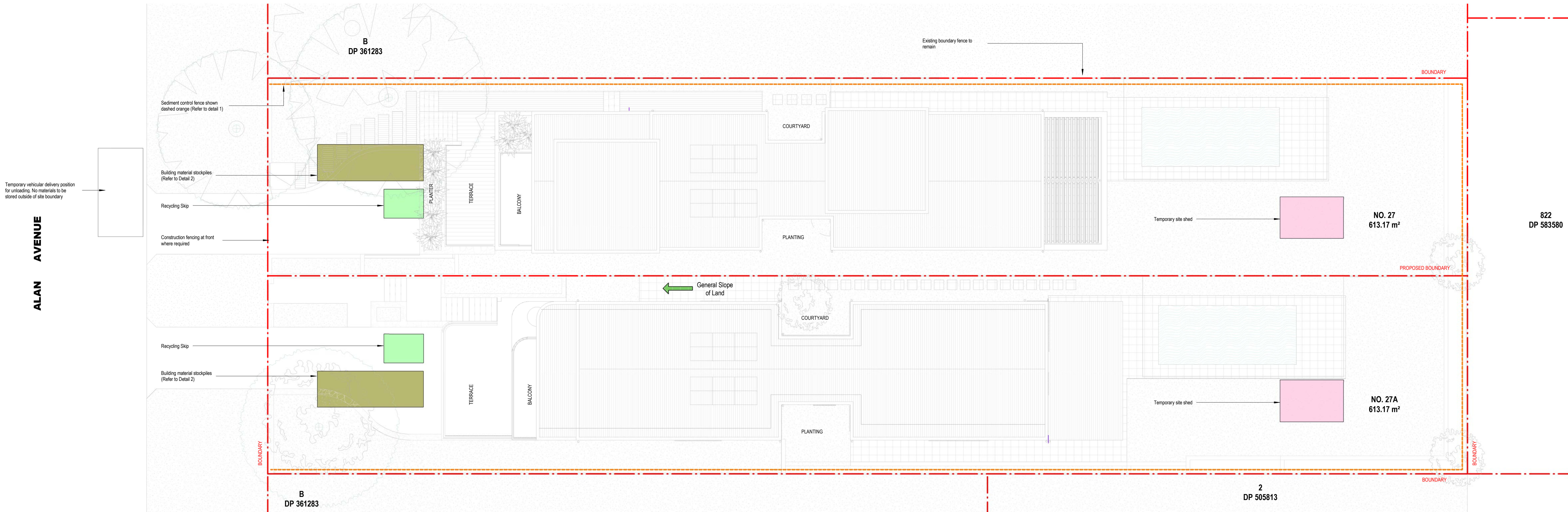


- NOTES
- * ALL DEMOLITION AND WASTE MATERIALS TO BE REMOVED FROM SITE IN ACCORDANCE WITH WASTE MANAGEMENT PLAN
 - * ALL MATERIALS TO BE UNLOADED AND IMMEDIATELY STORED IN NOMINATED AREAS WHOLLY WITHIN SITE BOUNDARY
 - * SITE BOUNDARY TO BE SECURELY FENCED AT ALL TIMES
 - * NO WASTE WATER TO BE DISCHARGED ONTO COUNCIL PROPERTY / ROADWAY
 - * ALL NECESSARY PERMITS TO BE OBTAINED FROM COUNCIL BY CONTRACTOR PRIOR TO ANY WORKS.
 - * DUST FROM DEMOLITION TO BE SUPPRESSED BY FINE WATER SPRAY.
 - * DEMOLITION NOT TO TAKE PLACE IN WINDS THAT MAY CAUSE DUST TO SPREAD TO ADJOINING PROPERTIES

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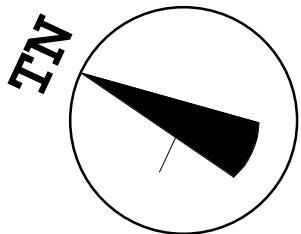


General Notes		No.	Description	Date	Project	Scale @ A1: A3 half indic.	Drawn by	Checked by
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		1	Issue for Development Application	17.02.2021	Location	Project Issue Date	Sheet Issue Date	
					Client	Oct 2020	17.02.2021	
					Drawing	Demolition Plan	Project number	Issue
							1141	1
							DA-930	



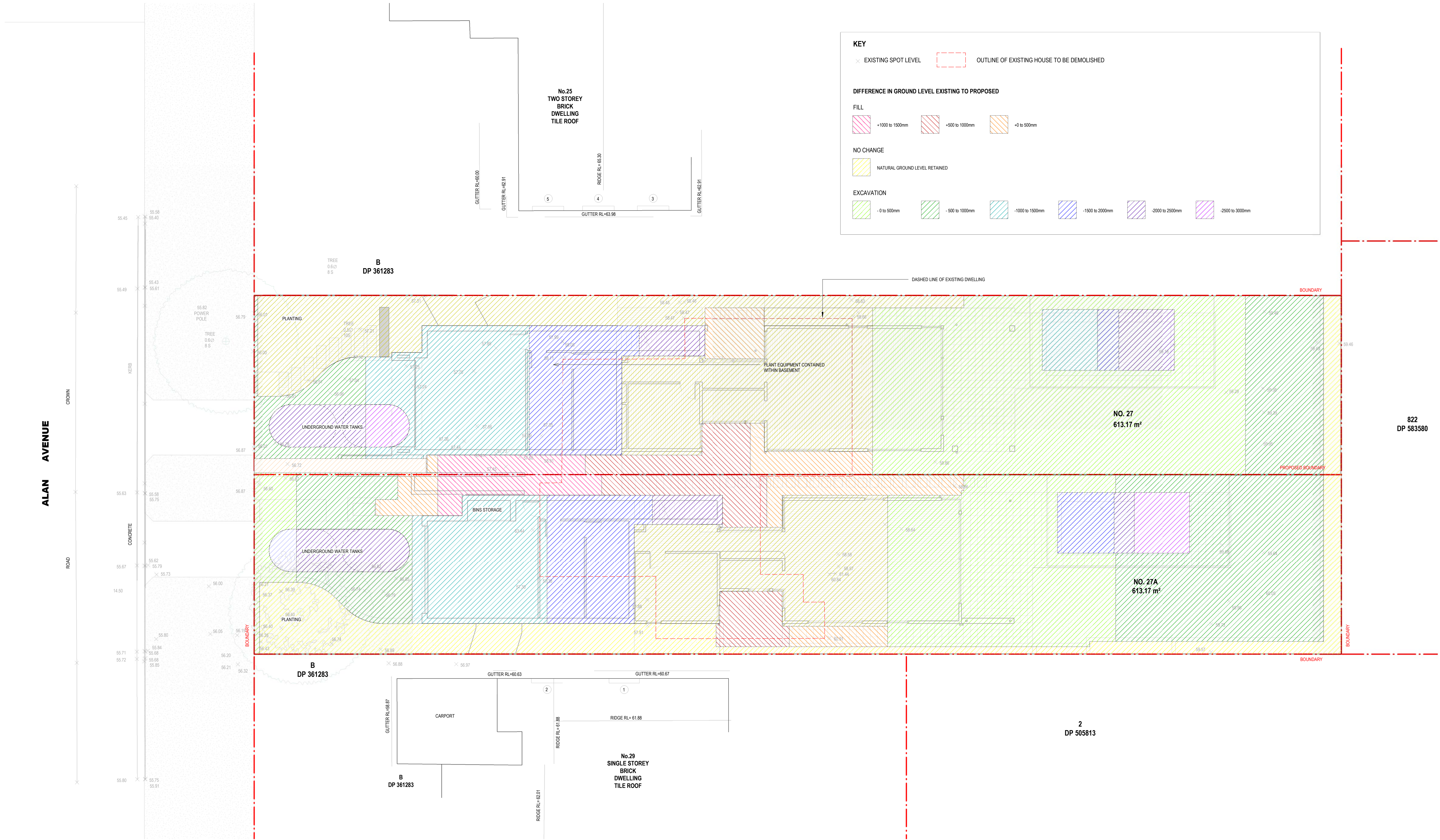
2 Erosion, Sediment & Stormwater Images - Scale 1-1

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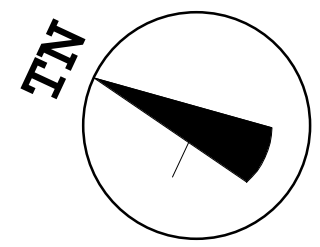


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	1 Issue for Development Application			Location 27 Alan Avenue, Seaforth NSW 2092		Project Issue Date Oct 2020	Sheet Issue Date 17.02.2021	
				Client O'Hanlon, Gluliano & El Khouri		Project number 1141	Drawing # DA-940	Issue
				Drawing Waste Management Site Plan		1		

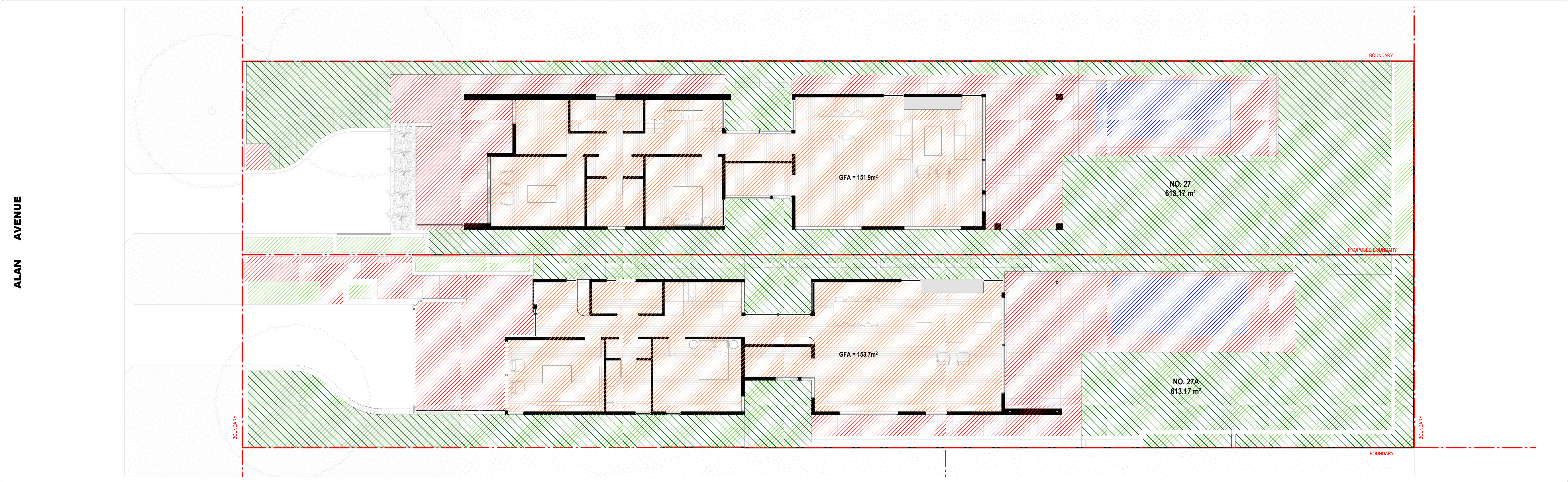
ALAN AVENUE



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				Location 27 Alan Avenue, Seaforth NSW 2092	Project Issue Date Oct 2020	Sheet Issue Date 17.02.2021	
				Client O'Hanlon, Gluliano & El Khouri	Project number 1141	Drawing # DA-960	Issue 1
				Drawing Excavation and Fill Plan			



1 GROUND FLOOR PLAN AREA CALCULATIONS
1 : 100

KEY

- Gross Floor Area of Proposal
- Proposed Soft Permeable Area
- Portion of Soft Permeable Area (included in open space calculation)
- Proposed Hard Open Space Area
- Proposed Swimming Pool Area

EXISTING SITE CONDITIONS:

Existing Site Area = 1226.3m²
Existing GFA = 180m²
Existing FSR = 0.15:1
Existing Total Open Space = 887.9m²
Existing Soft Permeable Area = 754.8m²

DCP & LEP REQUIREMENTS:

Min Lot Size Permitted: 600m²
Max. FSR Permitted: 0.45:1
Max. GFA Permitted: 551.8m²
Min. Total Open Space (55% of site): 674.5m²
Min. Soft Permeable Area: 236.1m²

FSR CALCULATIONS:

No. 27
Ground Floor GFA= 151.9m²
First Floor GFA = 118.3m²
Total GFA = 270.2m²

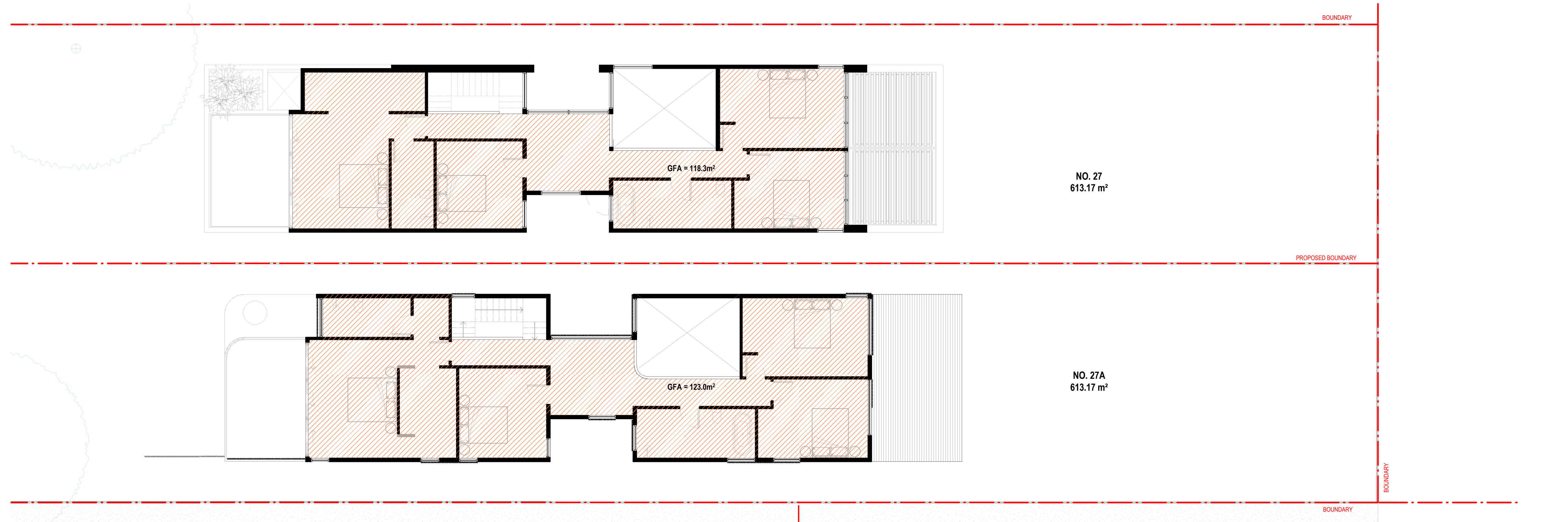
No 27A
Ground Floor GFA= 153.7m²
First Floor GFA = 123.0m²
Total GFA= 276.7m²

Combined GFA Total = 546.9m²
FSR = 0.446:0

OPEN SPACE CALCULATIONS:

Proposed Landscaped Open Area = 465m²
Proposed Hard Open Space Area = 241.4m²
Proposed Swimming Pool Area = 42.1m²
Total Open Space Area = 748.5m²

Proposed Landscaped Area = 493.6m²



2 FIRST FLOOR PLAN AREA CALCULATIONS
1 : 100

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								Project Issue Date Oct 2020		Sheet Issue Date 17.02.2021			
								Project number 1141		Drawing # DA-970		Issue 3	

Single Dwelling

Certificate number: 1053668S_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1053668S lodged with the consent authority or certifier on 16 December 2019 with application DA2019/1447.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000.

Secretary
Date of issue: Thursday, 11 February 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	ER 191361-2 Seaforth Dwg 27_02	
Street address	27 Alan Avenue Seaforth 2092	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 4889	
Lot no.	81	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 81	Target 50

Certificate Prepared by	
Name / Company Name:	Insight Energy
ABN (if applicable):	119008534

Description of project

Project address		Assessor details and thermal loads	
Project name	ER 191361-2 Seaforth Dwg 27_02	Assessor number	1469/12
Street address	27 Alan Avenue Seaforth 2092	Certificate number	0005679501
Local Government Area	Northern Beaches Council	Climate zone	56
Plan type and plan number	Deposited Plan 4889	Area adjusted cooling load (MJ/m ² .year)	25
Lot no.	81	Area adjusted heating load (MJ/m ² .year)	38
Section no.	-	Ceiling fan in at least one bedroom	No
Project type	separate dwelling house	Ceiling fan in at least one living room or other conditioned area	Yes
No. of bedrooms	5	Project score	
Site details		Water	✓ 40 Target 40
Site area (m ²)	613	Thermal Comfort	✓ Pass Target Pass
Roof area (m ²)	175	Energy	✓ 81 Target 50
Conditioned floor area (m ²)	244.3		
Unconditioned floor area (m ²)	25.4		
Total area of garden and lawn (m ²)	255		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 175 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)a tap that is located within 10 metres of the swimming pool in the development		✓	✓
Swimming pool			
The swimming pool must not have a volume greater than 35 kilolitres.	✓	✓	
The swimming pool must be outdoors.	✓	✓	

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3.5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 4.5 star (average zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 4.5 star (average zone)		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 4.5 star (average zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 4.5 star (average zone)		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓ ✓ ✓	✓ ✓ ✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 5 of the bedrooms / study;		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">at least 3 of the living / dining rooms;the kitchen;all bathrooms/toilets;the laundry;all hallways;		✓ ✓ ✓ ✓ ✓	✓ ✓ ✓ ✓ ✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar (gas boosted)		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 4 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

General Notes	No.	Description	Date	Project	Scale @ A1: A3 half indic.	Drawn by	Checked by
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				Client O'Hanlon, Gluliano & El Khouri	Project number 1141	Drawing # DA-971	Issue 1
				Drawing Basix Requirements - No 27			

Single Dwelling

Certificate number: 10632395_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 10632395 lodged with the consent authority or certifier on 16 December 2019 with application DA2019/1447.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary
Date of issue: Thursday, 11 February 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	ER 191361-2 Seaforth Dwig 27A_02	
Street address	27A Alan Avenue Seaforth 2092	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 4889	
Lot no.	81	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 81	Target 50

Certificate Prepared by		
Name / Company Name: Insight Energy		
ABN (if applicable): 119008534		

Description of project

Project address		Assessor details and thermal loads	
Project name	ER 191361-2 Seaforth Dwig 27A_02	Assessor number	1469/12
Street address	27A Alan Avenue Seaforth 2092	Certificate number	0005680947
Local Government Area	Northern Beaches Council	Climate zone	56
Plan type and plan number	Deposited Plan 4889	Area adjusted cooling load (MJ/m²·year)	26
Lot no.	81	Area adjusted heating load (MJ/m²·year)	40
Section no.	-	Ceiling fan in at least one bedroom	Yes
Project type		Ceiling fan in at least one living room or other conditioned area	Yes
Project type	separate dwelling house	Project score	
No. of bedrooms	5	Water	✔ 40 Target 40
Site details		Thermal Comfort	✔ Pass Target Pass
Site area (m²)	613	Energy	✔ 81 Target 50
Roof area (m²)	197		
Conditioned floor area (m2)	250.8		
Unconditioned floor area (m2)	17.17		
Total area of garden and lawn (m2)	238		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 197 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) • a tap that is located within 10 metres of the swimming pool in the development		✔	✔
Swimming pool			
The swimming pool must not have a volume greater than 35 kilolitres.	✔	✔	
The swimming pool must be outdoors.	✔	✔	

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✔	✔	✔
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3.5 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning: Energy rating: 4.5 star (average zone)		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning: Energy rating: 4.5 star (average zone)		✔	✔
The cooling system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning: Energy rating: 4.5 star (average zone)		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning: Energy rating: 4.5 star (average zone)		✔	✔
The heating system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔ ✔ ✔	✔ ✔ ✔
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 5 of the bedrooms / study;		✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 3 of the living / dining rooms: • the kitchen; • all bathrooms/toilets; • the laundry; • all hallways;		✔ ✔ ✔ ✔ ✔	✔ ✔ ✔ ✔ ✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar (gas boosted)		✔	
The applicant must install a timer for the swimming pool pump in the development.		✔	
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 4 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

General Notes		No.	Description	Date	Project	Scale @ A1: A3 half indic.	Drawn by	Checked by
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					Project	Alan Ave		
					Location	27 Alan Avenue, Seaforth NSW 2092		
					Client	O'Hanlon, Gluliano & El Khouri		
					Project Issue Date	Oct 2020		
					Project number	Drawing #	Issue	
					1141	DA-972		1
					Drawing	Basix Requirements - No 27A		



View of Proposal From Alan Avenue

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	1 Issue for Development Application			Date 17.02.2021		Location 27 Alan Avenue, Seaforth NSW 2092		Project Issue Date Oct 2020	Sheet Issue Date 17.02.2021	
						Client O'Hanlon, Gluliano & El Khouri		Project number 1141	Drawing # DA-980	Issue 1
						Drawing Perspective				