#### Coordination

#### Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the affected part of the works.

#### **Specifications and Schedules**

Where applicable refer to and coordinate with relevant Specifications and Schedules. Written specifications and schedules take precedence to the extent of any discrepancy. Notify discrepancies between documents for direction prior to proceeding with the affected part of the works.

#### Detail Drawings

Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales to the extent of any discrepancy. Notify discrepancies for direction prior to proceeding with the affected part of the works.

#### Execution of the works (Standards)

Execute the works in compliance with the current edition of the Building Code of Australia (as amended), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and Statutory Authorities.

#### Units of measurement

- Levels are shown in meters

Unless noted otherwise: - Dimensions are shown in millimetres; and

#### To detail

Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

#### Materials handling and storage

Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

#### Structure

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications.

#### Hydraulics

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements.

#### Erosion & Sediment Control

Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

#### Services (existing & proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

#### Levels

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

#### Falls

Finish surfaces typically to fall as required to facilitate effective drainage.

#### Interpretation

"Provide" means to supply and install. "Required" means required by the contract documents or by the Local or Statutory Authorities. "Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.

#### **Standard Abbreviations**

AFFL Above finished floor level AP Access Panel A/W Accordance with Awn Awning Bal Balustrade Bdy (Property) Boundary Bhd Bulkhead Bldg Building Bldr Builder or building contractor CJ Control / construction joint CL Centre line

- Con Consultant('s)
- COS Check / confirm on site Crs Centres
- Doc(s) Documentation / documents
- Dp Downpipe D,Dr Door
- Dwg Drawing
- Eng Engineer('s) Est Estimated
- Exst Existing
- Ext External
- FFL Finished floor level FGL Finished ground level
- FR Fire rated
- Fxd Fixed GC Gas Cock
- Gnd Ground
- HC Hose Cock
- Hr Handrail Hyd Hydraulic
- Instruction(s) Inst
- Int Internal
- Inside / Inside of... I/S
- Man Manufacturer('s) Nom Nominal
- NTS Not to scale
- O/A Overall
- O/H Overhead O/S Outside / Outside of...
- Own Owner | Proprietor | Principal
- Req Requirement(s) Relative Level (to Datum) RL
- Schd Schedule(s)
- SDr Surface drainage SFL Structural floor level
- SId Sliding
- Spec Specification(s)
- SSD Sub-surface drainage
- SSL Structural slab level Struct Structural
- Std Standard
- TBA To be advised TBC To be confirmed
- TBD To be demolished
- TBR To be removed
- T/O Top of... TOW Top of wall
- Typ Typical
- U/G Under ground UNO Unless noted otherwise
- U/S Underside
- W/ With W# Window and Number (#)
- W/O Without

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#### Description Issue

1

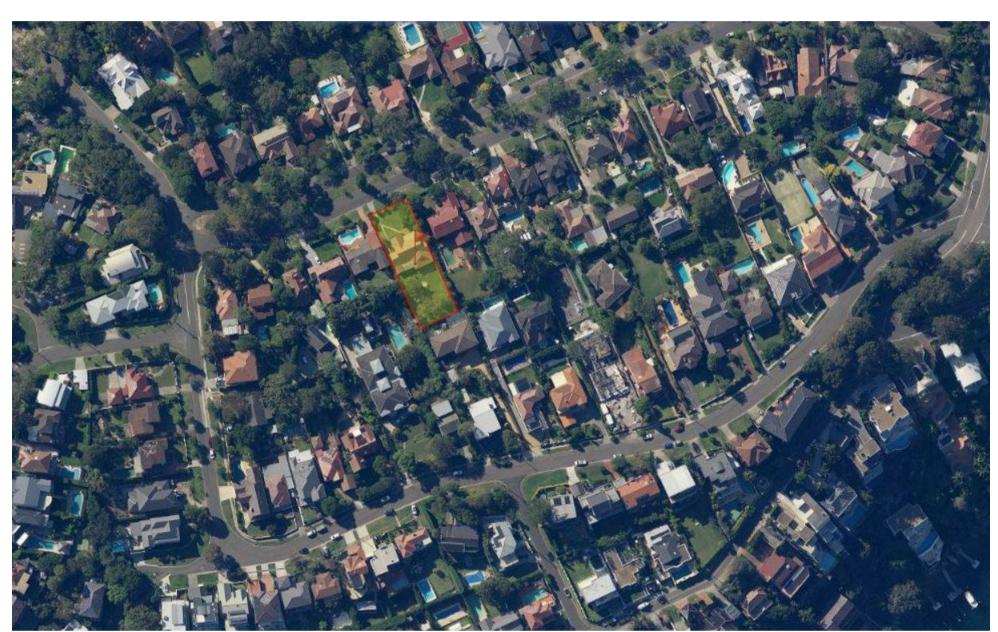
2

- Issue for Information
- Issue for Information
- 3 Issue for Development Application

# Alan Ave 27 Alan Avenue, Seaforth NSW 2092 **O'Hanlon, Gluliano & El Khouri**

## **Development Application**

Location Plan



No.	Name	Rev	Date
DA-000	Cover Sheet, Title Page & Notes	3	17.02.2021
DA-100	Site/Roof Plan & Basement Plan	3	17.02.2021
DA-101	Ground Floor & First Floor Plans	3	17.02.2021
DA-200	Elevations - Proposed	3	17.02.2021
DA-201	Elevations - Proposed	3	17.02.2021
DA-202	Sections	3	17.02.2021
DA-700	Window Schedule	1	17.02.2021
DA-900	Shadow Diagrams	1	17.02.2021
DA-901	Shadow Diagrams	1	17.02.2021
DA-902	Shadow Diagram Elevations - No. 29 Alan Avenue	1	17.02.2021
DA-910	Schedule of External Finishes No. 27	1	17.02.2021
DA-911	Schedule of External Finishes No. 27A	1	17.02.2021
DA-920	Site Analysis	1	17.02.2021
DA-930	Demolition Plan	1	17.02.2021
DA-940	Waste Management Site Plan	1	17.02.2021
DA-960	Excavation and Fill Plan	1	17.02.2021
DA-970	DCP & LEP Areas Diagram	3	17.02.2021
DA-971	Basix Requirements - No 27	1	17.02.2021
DA-972	Basix Requirements - No 27A	1	17.02.2021
DA-980	Perspective	1	17.02.2021

Image Source: NSW SIX Maps

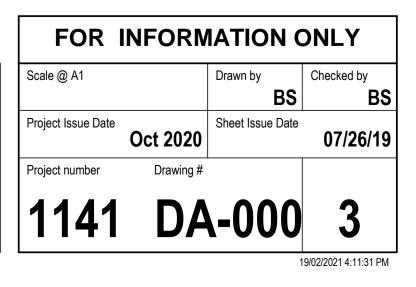


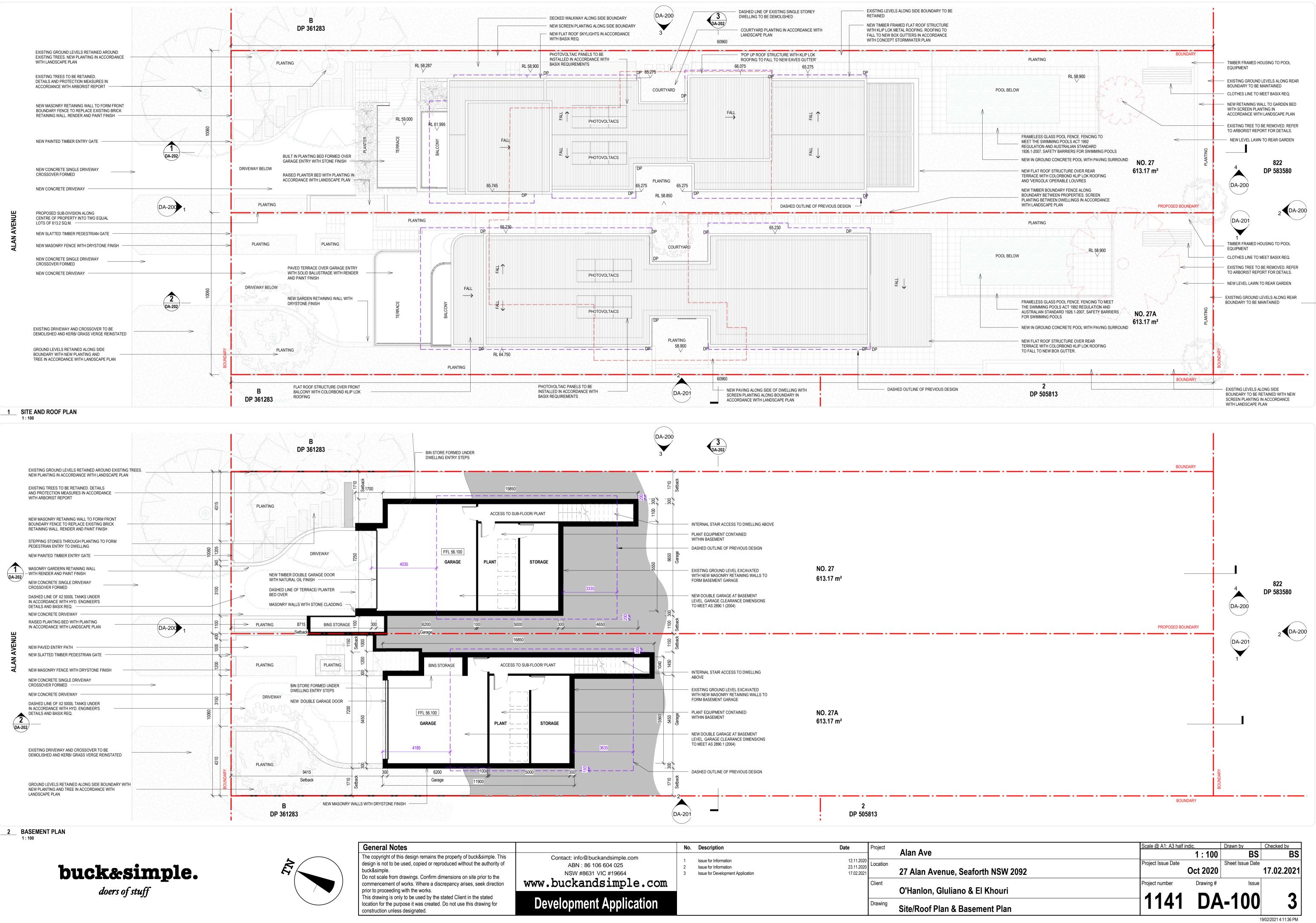
Street Perspective

Date 12.11.2020 23.11.2020 17.02.2021

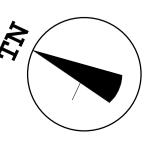


#### **Architectural Drawings**

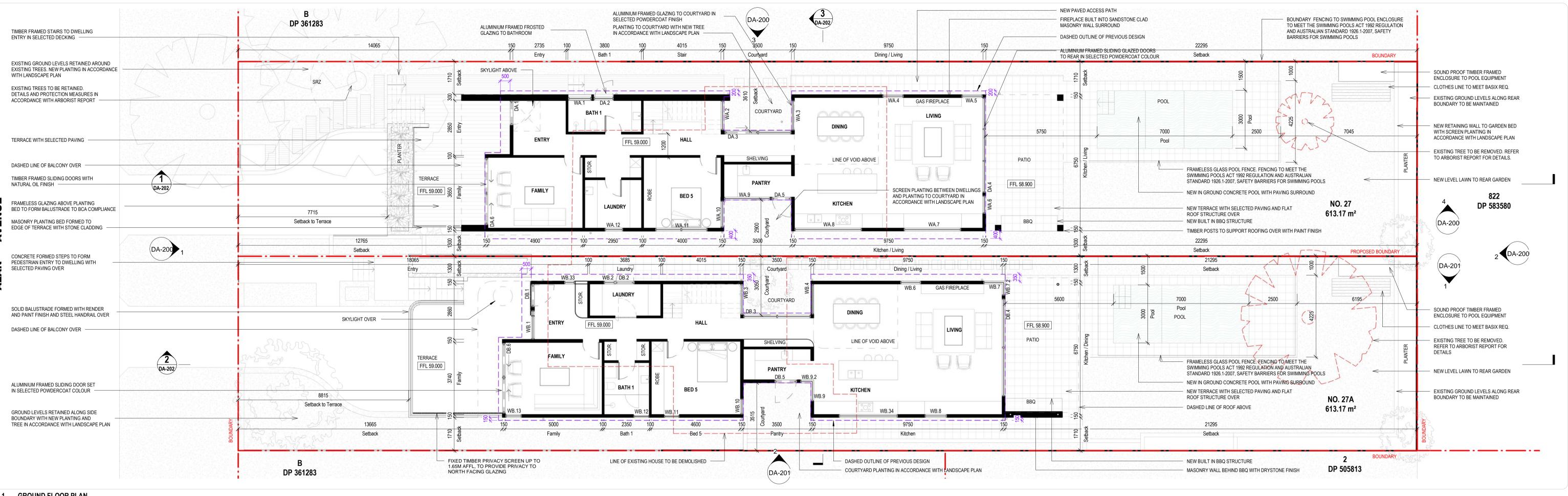




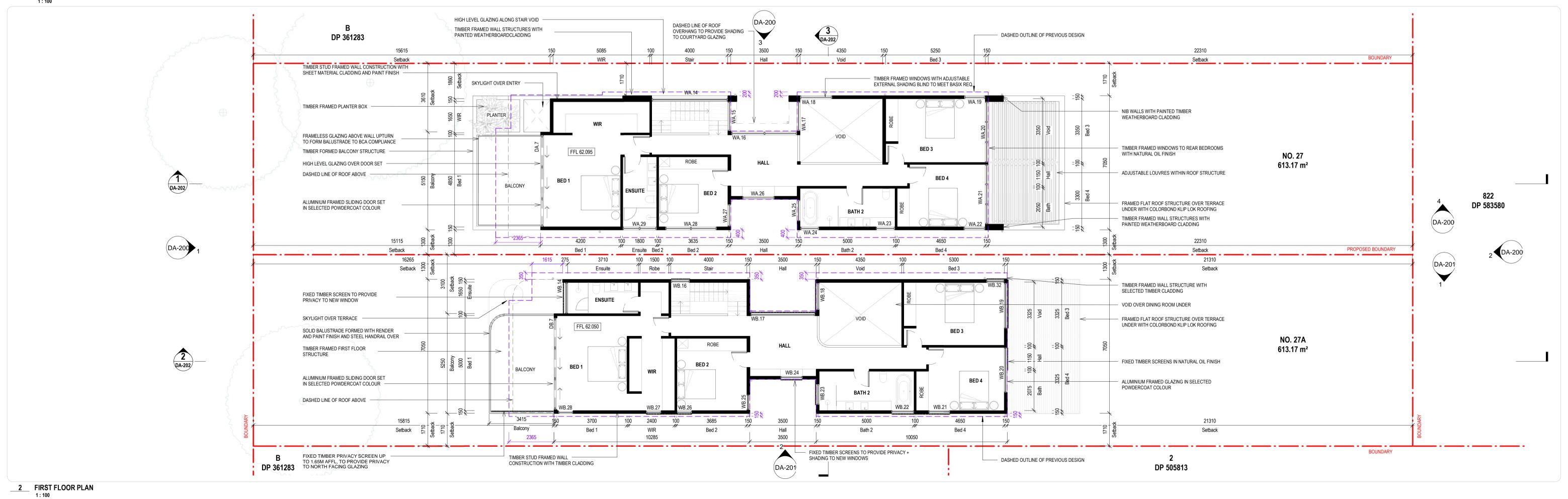




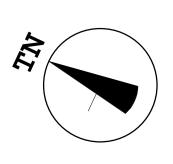
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\_\_\_\_\_ GROUND FLOOR PLAN 1:100







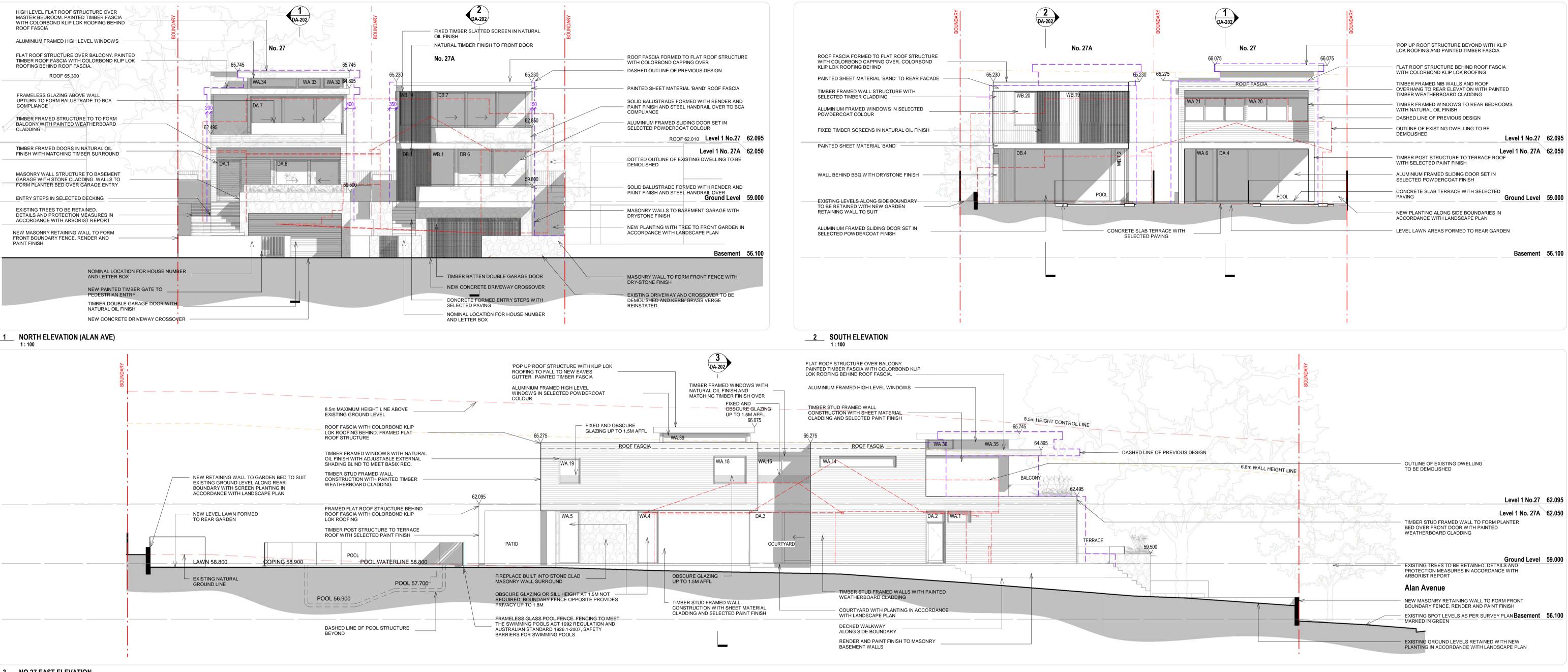
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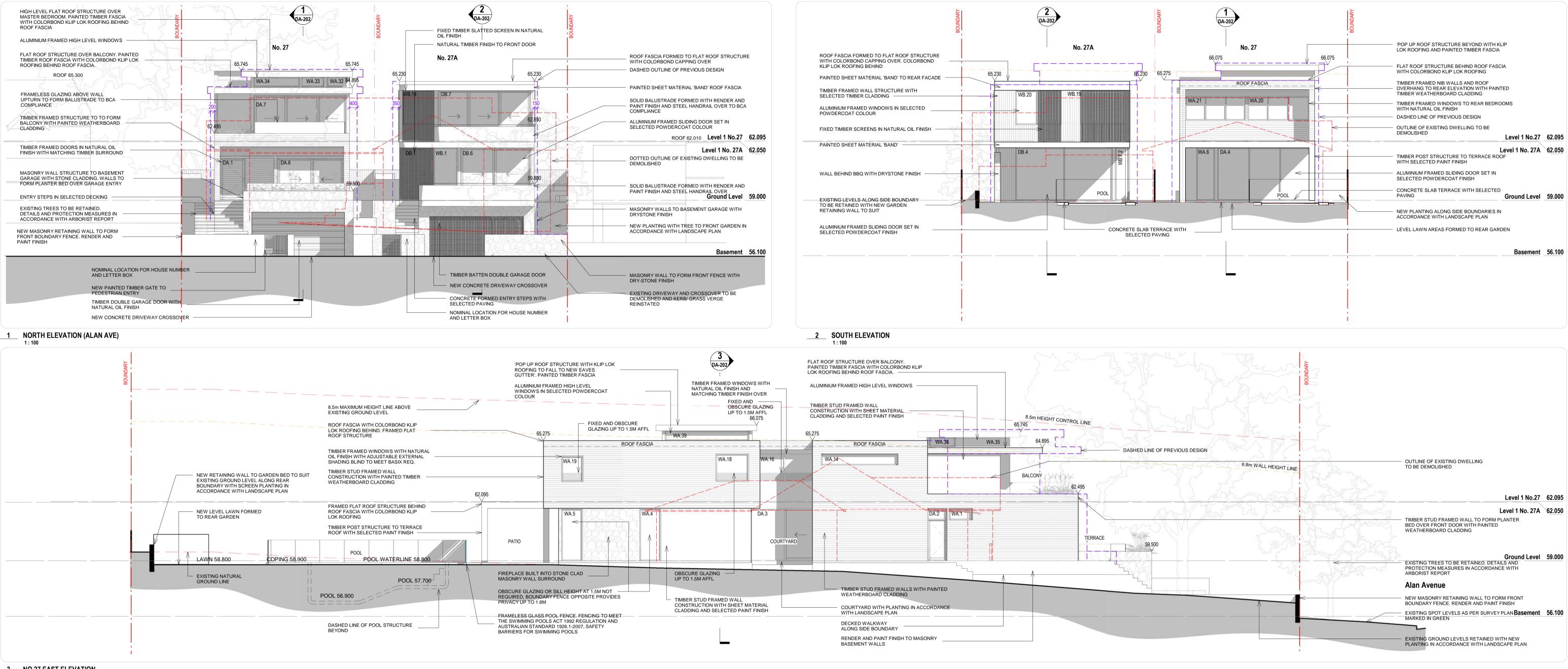
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ection	www.buckandsimple.com				Client	O'Hanlon, Gluliano & El Khou
l for	<b>Development Application</b>				Drawing	Ground Floor & First Floor Pla

lans	1141	DA		<b>3</b> 9/02/2021 4:11:41 PM
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SW 2092	Project Issue Date	Oct 2020	Sheet Issue Date	17.02.2021
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### <u>3</u> NO.27 EAST ELEVATION

EVI MASONRY RETAINING WALL OF ORM ROYT BOLINDARY FETAINING WALL OF CORM Alan Avenue					
EV MASONRY RETAINING WALL TO FORM AND FINIS OF OLD ADDINE SHOWN DASHED	BOUNDARY	MASTER BEDROOM. PAINTED TIMBER FASCIA WITH COLORBOND KLIP LOK ROOFING BEHIND ROOF FASCIA. ALUMINIUM FRAMED HIGH LEVEL WINDOWS - DASHED LINE OF PREVIOUS DESIGN FLAT ROOF STRUCTURE OVER BALCONY. PAINTED TIMBER FASCIA WITH COLORBOND		64.895 WA.31	
EV MASONRY RETAINING WALL TO FORM AND FINIS OF OLD ADDINE SHOWN DASHED	7-2	KLIP LOK ROOFING BEHIND ROOF FASCIA.	6.8m WALL HEIGHT LINE	S- Law	WA.29 WA.28
EXISTING GROUND LINE SHOWN DASHED	SE DR	FRAMELESS GLAZING ABOVE WALL UPTURN	FXX		
EXISTING GROUND LINE SHOWN DASHED	NS "middl		and a los	A LILL	/
CLADDING AND SELECTED PAINT FINSH	man and the fact of			BALCONY	
EXISTING GROUND LINE SHOWN DASHED					
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EXISTING GROUND LINE SHOWN DASHED	Land I		$p_{-}$ 5 i	>	WA.12 WA.11
EW MASONRY RETAINING WALL TO FORM RONT BOUNDARY FENCE. RENDER AND ANT FINISH Alan Avenue EXISTING GROUND LINE SHOWN DASHED	5 Franks	MASONRY WALL STRUCTURE TO BASEMENT	TERRACE		
EXISTING GROUND LINE SHOWN DASHED	- ALAN AND A	GARAGE WITH STONE CLADDING			
EXISTING GROUND LINE SHOWN DASHED	Frankling and	RAISED GARDEN BED ALONG BOUNDARY			
EW MASONRY RETAINING WALL TO FORM RONT BOUNDARY FENCE. RENDER AND AINT FINISH Alan Avenue EXISTING GROUND LINE SHOWN DASHED NO.27 WEST ELEVATION		WITH PLANTING IN ACCORDANCE WITH	T CALLED MALLA		
Alan Avenue  Existing GROUND LINE SHOWN DASHED  NO.27 WEST ELEVATION	2 Martines		123/23		
Alan Avenue  Existing ground line shown dashed  NO.27 WEST ELEVATION					
Alan Avenue          EXISTING GROUND LINE SHOWN DASHED         NO.27 WEST ELEVATION					
EXISTING GROUND LINE SHOWN DASHED					DWELLING TO BE DEMOLISHED
NO.27 WEST ELEVATION	Alah Avenue				
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	EXISTING GROUND LINE SHOWN DASHED				
		8			
	NO.27 WEST ELEVATION				

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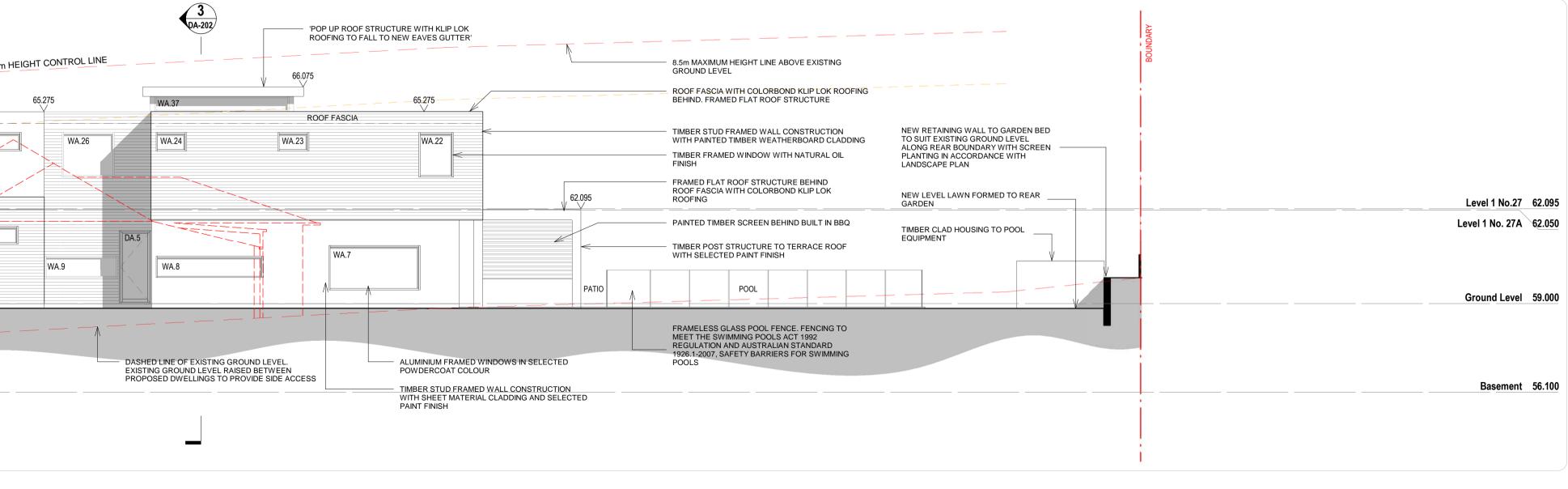
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k direction	www.buckandsimple.com				Client		Project number	Drawing #	Issue	
ated						O'Hanlon, Gluliano & El Khouri			200	2
ving for					Drawing	Elevations - Proposed	1141	UA	-200	5
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BOUNDARY			
		ROOF FASCIA TO FLAT ROOF STRUCTURE WITH COLORBOND CAPPING OVER. COLORBOND KLIP LOK ROOFING BEHIND PAINTED SHEET MATERIAL ROOF FASCIA 'BAND' TO REAR FACADE	
	NEW RETAINING WALL TO GARDEN BED TO SUI EXISTING GROUND LEVEL ALONG REAR BOUNDARY WITH SCREEN PLANTING IN	TIMBER STUD FRAMED WALL CONSTRUCTION WITH SELECTED TIMBER CLADDING T FIXED TIMBER SCREENS IN NATURAL OIL FINISH	
	ACCORDANCE WITH LANDSCAPE PLAN	FLAT ROOF STRUCTURE OVER TERRACE         WITH PAINT FINISH         PAINTED STEEL COLUMN TO SUPPORT         ROOF STRUCTURE OVER TERRACE	WB.7
	FRAMELESS GLASS POOL FENCE.		PATIO
	FRAMELESS GLASS FOOL FENCE. FENCING TO MEET THE SWIMMING POOLS ACT 1992 REGULATION AND AUSTRALIAN STANDARD 1926.1-2007, SAFETY BARRIERS    FOR SWIMMING POOLS		DASHED LINE OF SWIMMING POOL STRUCTURE BEYOND
1 NO. 27A EAST ELEVATION 1 : 100			
BOUNDARY	ROOF FASCIA TO FLAT ROOF STRUCTURE WITH COLORBOND CAPPING OVER		<ul> <li>FIXED TIMBER PRIVACY SCREEN UP TO 1.65M AFFL, TO PROVIDE PRIVACY TO NORTH FACING GLAZING</li> <li>FIXED AND OBSCURE GLAZING UP TO 1.5M AFFL</li> </ul>
	DASHED LINE OF PREVIOUS DESIGN	65.050 65.230	B.28 WB.27
	ROOF FASCIA PAINTED SHEET MATERIAL 'BAND' CONTINUOUS AROUND FACADE SOLID BALUSTRADE FORMED WITH RENDER AND PAINT FINISH AND STEEL HANDRAIL OVER TO BCA COMPLIANCE TO BALCONY	62.850 BALCONY	
	RENDER AND PAINT FINISH AND STEEL	800 TERRACE	
NEW PLANTING WITH TREE TO FRONT GARDEN IN ACCORDANCE WITH LANDSCAPE PLAN NEW MASONRY RETAINING WALL TO FORM FRONT BOUNDARY FENCE. DRYSTONE 57.238			
Alan Avenue	FIXED TIMBER PRIVACY SCREEN UP TO 1.65M AFFL, TO PROVIDE PRIVACY TO NORTH FACING GLAZING	MASONRY WALLS TO FORM BASEMEN LEVEL WITH DRYSTONE FINISH	FIXED AND OBSCURE GLAZING UP TO 1.5M AFFL

2 NO. 27A WEST ELEVATION



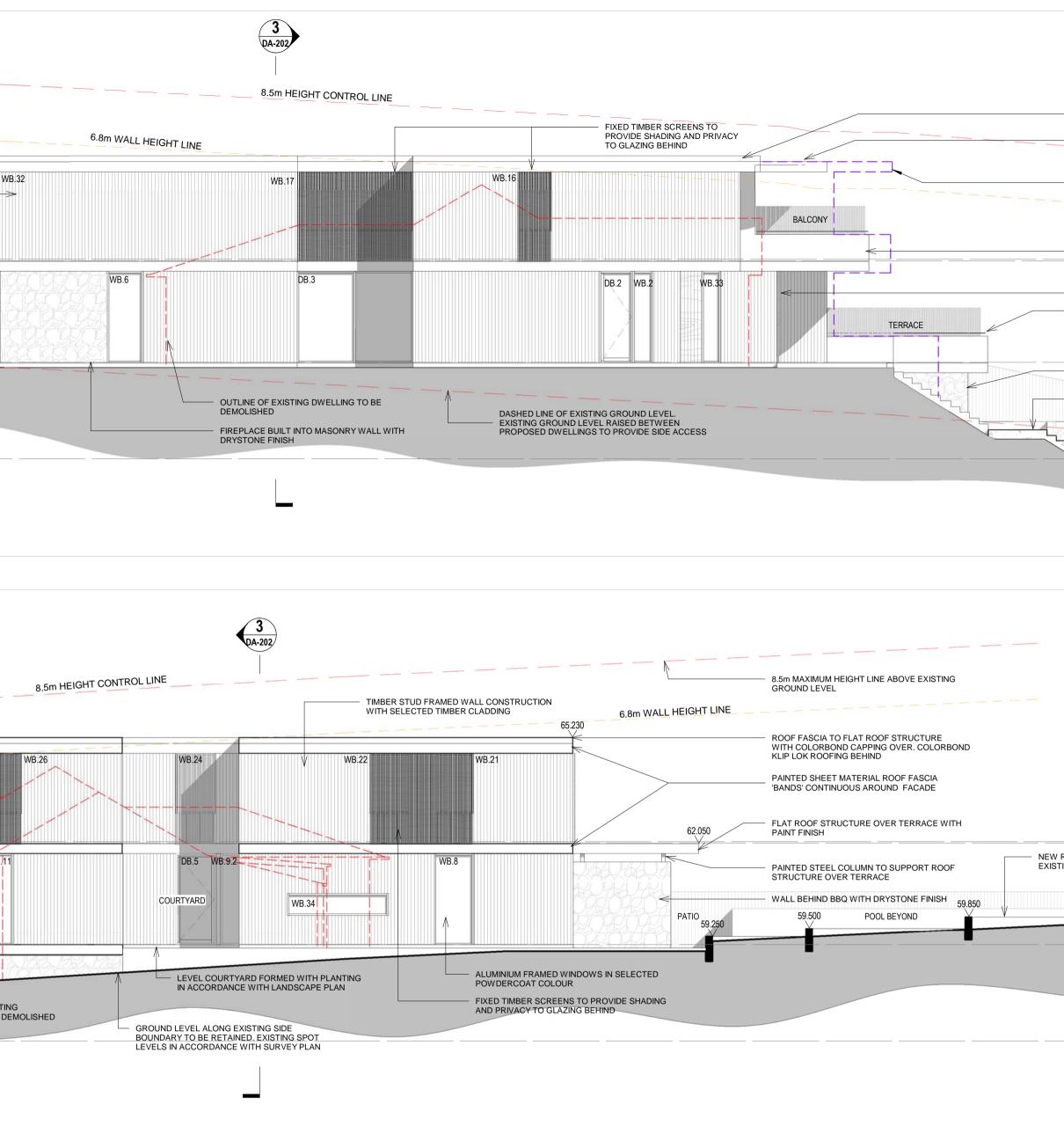
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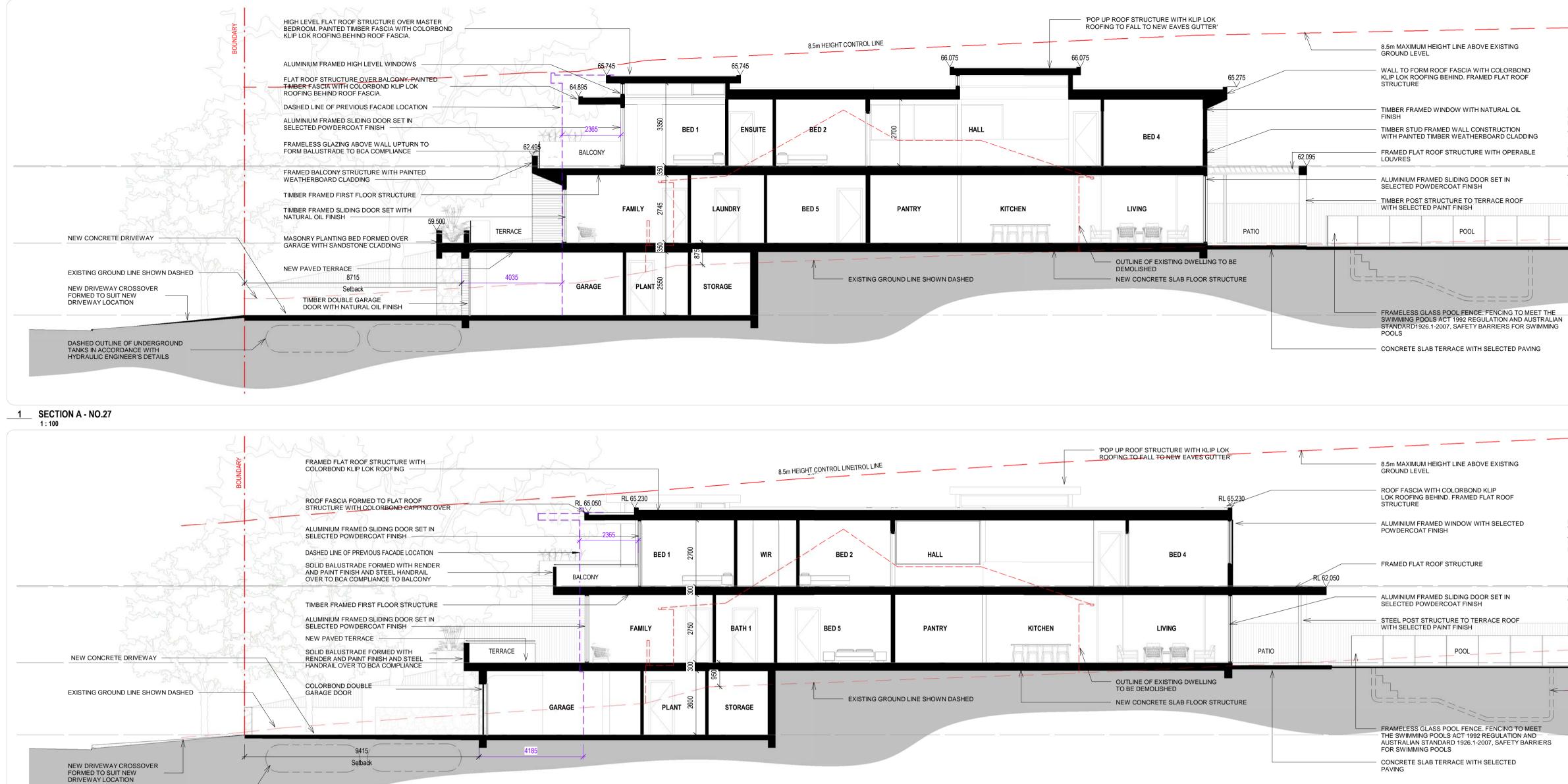
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the ection	www.buckandsimple.com	Ū		Cli	ent	O'Hanlon, Gluliano & El Khouri	Project number	Drawing #	Issue	•
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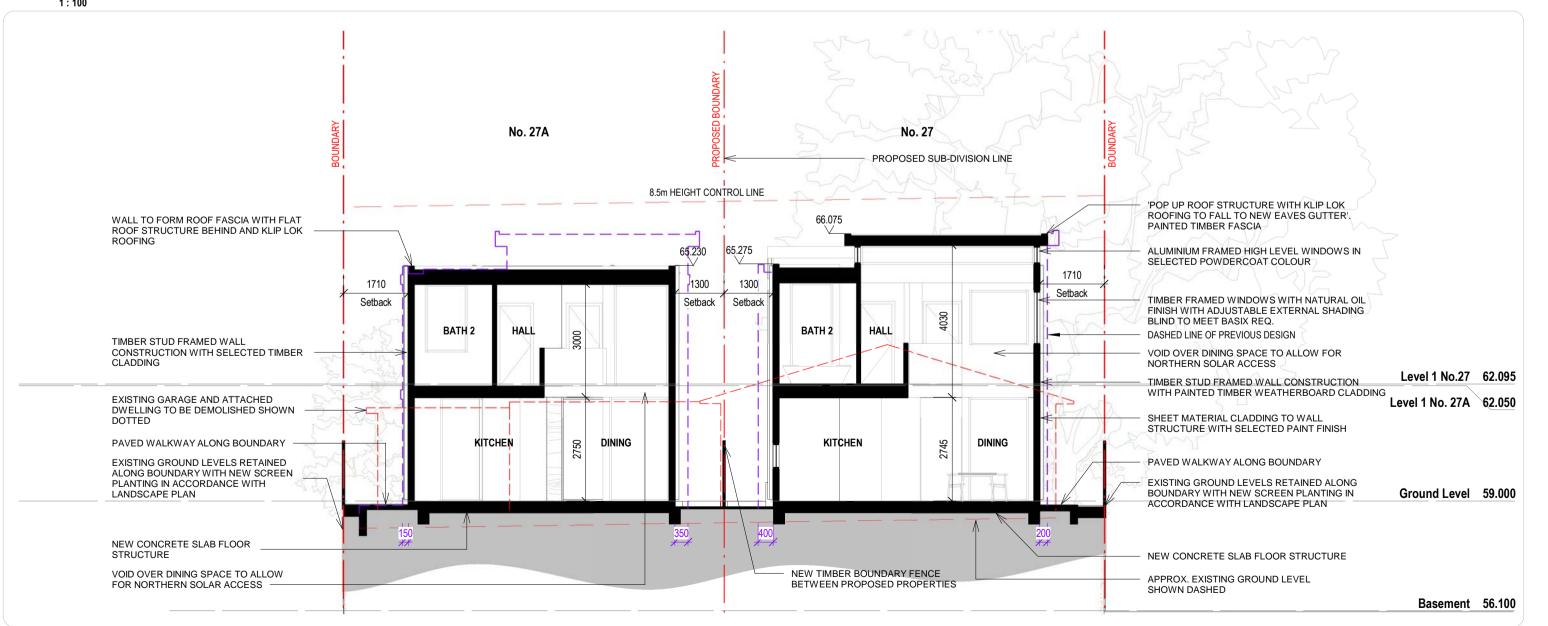
EXPOSED STEEL BEAM TO ROOF STRUCTURE WITH PAINT FINISH      LINE OF PREVIOUS DESIGN      SOLID BALUSTRADE FORMED WITH RENDER AND PAINT FINISH AND STEEL HANDRAIL OVER TO BCA COMPLIANCE TO PAIL OVER TO BCA COMPLIANCE TO PAIL OVER TO BCA	- SOL PAIN COM	BER GATE ID BALUSTRADE FORMED WITH RENDER AND NT FINISH AND STEEL HANDRAIL OVER TO BCA MPLIANCE	Ground Level	59.000
EXPOSED STEEL BEAM TO ROOF STRUCTURE WITH PAINT FINISH	PAI	NT FINISH AND STEEL HANDRAIL OVER TO BCA MPLIANCE TO BALCONY		62.09 62.05
- EXPOSED STEEL BEAM TO ROOF STRUCTURE	— LINE	OF PREVIOUS DESIGN		
<ul> <li>ROOF FASCIA FORMED TO FLAT ROOF STRUCTURE</li> <li>WITH COLORBOND CAPPING OVER</li> </ul>	WIT	H COLORBOND CAPPING OVER		

BOUNDARY		
	Level 1 No.27	62.095
RETAINING WALLS TO GARDEN BEDS TO SUIT ING GROUND LEVELS ALONG BOUNDARY	Level 1 No. 27A	
	Ground Level	



DASHED OUTLINE OF UNDERGROUND TANKS IN ACCORDANCE WITH HYDRAULIC ENGINEER'S DETAILS

2 SECTION B - NO.27A



<u>3</u> SECTION C 1 : 100

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direction	www.buckandsimple.com				Client	O'Hanlon, Gluliano & El Khouri
ig for					Drawing	Sections

	BOUNDARY
NEW RETAINING WALL TO GARDEN BED TO SUIT EXISTING GROUND LEVEL ALONG REAR BOUNDARY WITH SCREEN PLANTING IN ACCORDANCE WITH LANDSCAPE PLAN	
GARDEN	Level 1 No.27 62.095
TIMBER CLAD HOUSING TO POOL	Level 1 No. 27A 62.050
	Ground Level 59.000
N	Basement 56.100
	BOUNDARY
NEW RETAINING WALL TO GARDEN BED TO SUIT EXISTING GROUND LEVEL ALONG REAR BOUNDARY WITH SCREEN PLANTING IN ACCORDANCE WITH LANDSCAPE PLAN	

Level 1 No.27 62.095

Level 1 No. 27A 62.050

Ground Level 59.000

Basement 56.100

NEW LEVEL LAWN FORMED TO REAR

--- DASHED LINE OF SWIMMING POOL STRUCTURE BEYOND

TIMBER CLAD HOUSING TO POOL

GARDEN

EQUIPMENT

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		Wi	ndow Schedule_	_No. 27	
Code	Sill Height	Length	Height	Area	Comments
DA.1	0	1300	2200	3 m <sup>2</sup>	
DA.2	0	1040	2745	3 m <sup>2</sup>	
DA.3	0	3475	2745	10 m <sup>2</sup>	
DA.4	0	4926	2745	14 m <sup>2</sup>	
DA.5	0	1060	2404	3 m <sup>2</sup>	
DA.6	0	3475	2200	8 m <sup>2</sup>	
DA.7	0	4850	2400	12 m <sup>2</sup>	
WA.1	2145	1220	600	1 m <sup>2</sup>	
NA.2	0	1550	2745	4 m <sup>2</sup>	
WA.3	0	1575	2745	4 m <sup>2</sup>	
WA.4	0	1100	2745	3 m <sup>2</sup>	
WA.5	0	1100	2745	3 m <sup>2</sup>	
WA.6	0	940	2745	3 m <sup>2</sup>	
WA.7	450	2989	1450	4 m <sup>2</sup>	
WA.8	850	3500	700	2 m <sup>2</sup>	
WA.9	850	2400	700	2 m <sup>2</sup>	
WA.10	0	1600	2745	4 m <sup>2</sup>	
WA.11	1945	2700	600	2 m <sup>2</sup>	
WA.12	1070	977	1475	1 m <sup>2</sup>	
WA.14	1900	4000	600	2 m <sup>2</sup>	
WA.15	1050	1550	1450	2 m <sup>2</sup>	
WA.16	1050	3475	1450	5 m <sup>2</sup>	
WA.17	1050	1550	1450	2 m <sup>2</sup>	
WA.18	1050	1700	1450	2 m <sup>2</sup>	
WA.19	1050	1113	1330	1 m <sup>2</sup>	
WA.20	1100	3200	1230	4 m <sup>2</sup>	
WA.21	1100	3150	1230	4 m <sup>2</sup>	
WA.22	1050	1144	1450	2 m <sup>2</sup>	
WA.23	1900	1020	600	1 m <sup>2</sup>	
WA.24	1900	1000	600	1 m <sup>2</sup>	
WA.25	0	1130	2700	3 m <sup>2</sup>	
WA.26	1050	1700	1450	2 m <sup>2</sup>	
WA.27	0	1175	2700	3 m <sup>2</sup>	
WA.28	1900	2700	600	2 m <sup>2</sup>	
WA.29	1900	1850	600	1 m <sup>2</sup>	
WA.30	2895	1175	500	1 m <sup>2</sup>	
WA.31	2895	3025	500	1 m <sup>2</sup>	
WA.32	2895	1175	500	1 m <sup>2</sup>	
WA.33	2895	1295	500	1 m <sup>2</sup>	
NA.34	2895	2530	500	1 m <sup>2</sup>	
WA.35	2895	2665	500	1 m <sup>2</sup>	
WA.36	2895	1335	500	1 m <sup>2</sup>	
WA.37	3225	4537	500	2 m <sup>2</sup>	
WA.38	3225	4600	500	2 m <sup>2</sup>	
WA.39	3225	4462	500	2 m <sup>2</sup>	

Note:

Refer to plans & elevations for window locations Windows removed from previous DA Submission:

WA.13

#### C DB.1 DB.2 DB.3 DB.4 DB.5 DB.6 DB.7 WB.1 WB.2 WB.3 WB.4 WB.6 WB.7 WB.7 WB.7 WB.7 WB.7 WB.8 WB.9 WB.9 WB.9 WB.9 WB.10 WB.11 WB.12 WB.13 WB.14 WB.12 WB.13 WB.14 WB.16 WB.17 WB.13 WB.14 WB.12 WB.13 WB.14 WB.12 WB.13 WB.14 WB.22 WB.21 WB.21 WB.22 WB.23 WB.24 WB.23 WB.24 WB.25 WB.23 WB.24 WB.25 WB.24 WB.22 WB.23 WB.24 WB.25 WB.26 WB.27 WB.28 WB.23 WB.24 WB.25 WB.25 WB.26 WB.27 WB.26 WB.27 WB.26 WB.27 WB.26 WB.27 WB.26 WB.27 WB.27 WB.26 WB.27 WB.27 WB.26 WB.27 WB.27 WB.27 WB.26 WB.27 WB.28 WB.33 WB.34 WB.33 WB.34 WB.33 WB.34 WB.34 WB.34 WB.34 WB.35 WB.35 WB.35 WB.37 WB.37

WB.33 WB.34 Note: Refer to p Windows WB.15 WB.29 WB.31 WB.30

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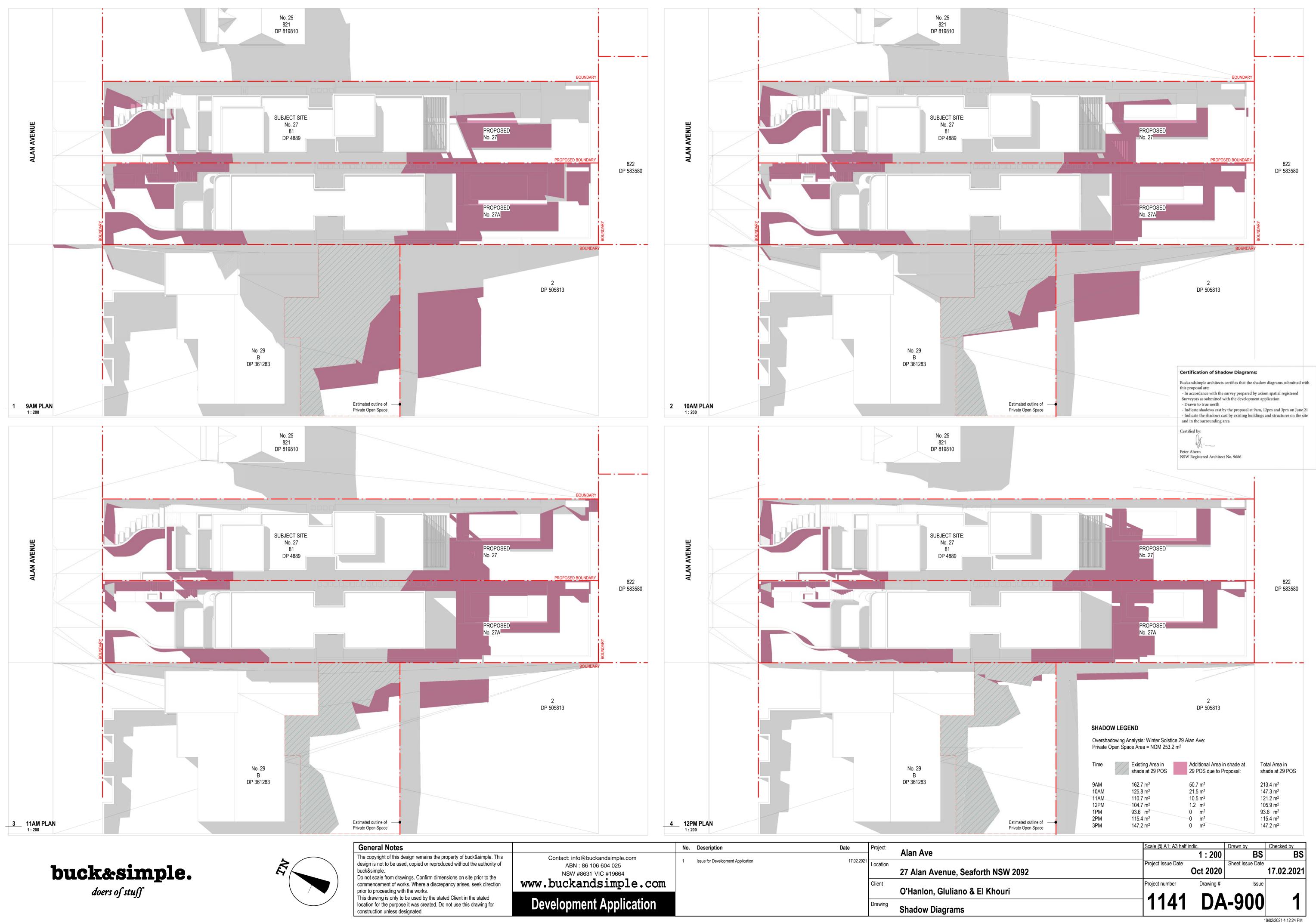
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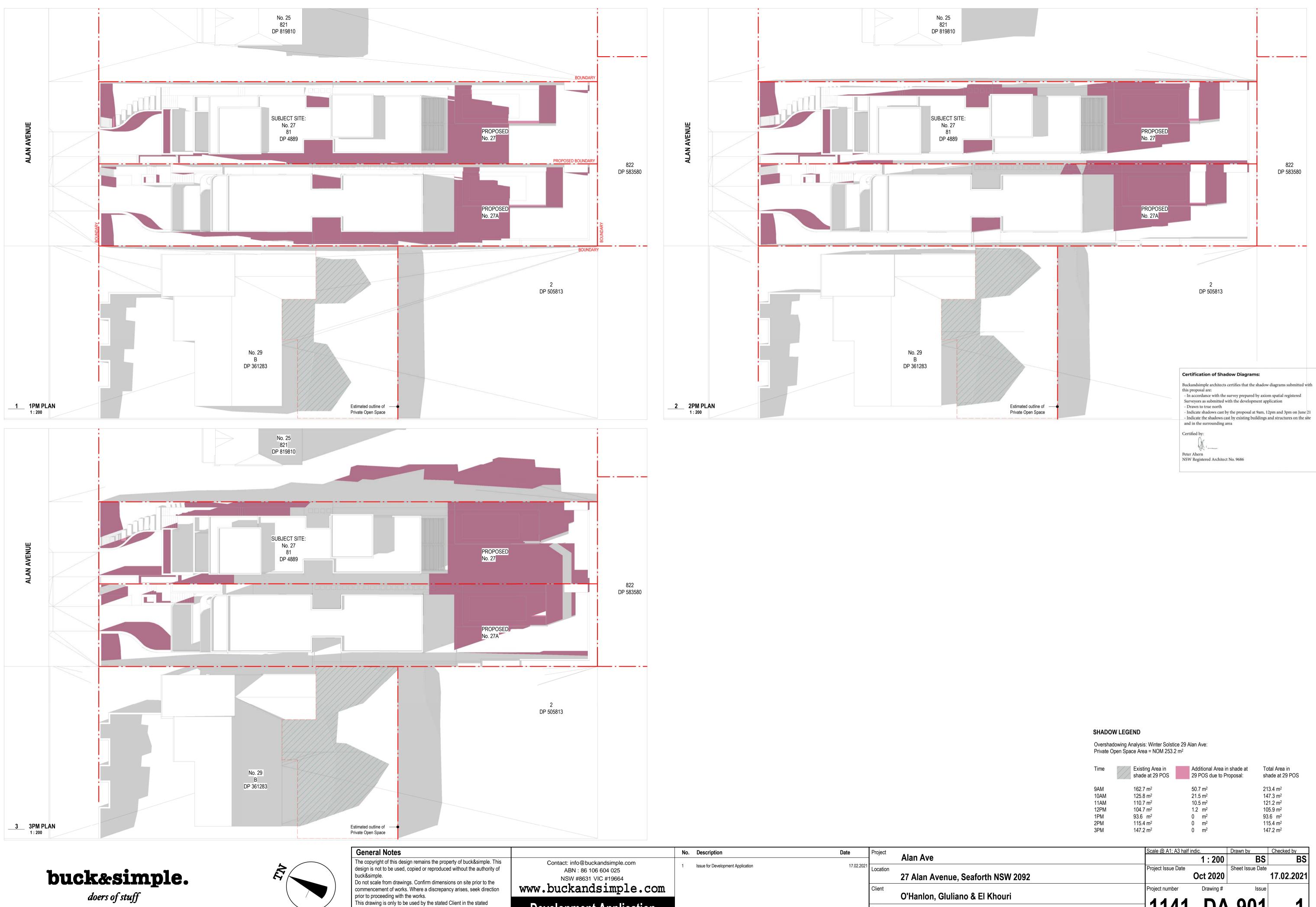
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Code	Sill Height	Length	Height	Area	Comments
1	0	1200	0750	22	
1	0		2750	3 m <sup>2</sup>	
2	0	1020	2750	3 m <sup>2</sup>	
3	0	3500	2750	10 m <sup>2</sup>	
4	0	5050	2750	14 m <sup>2</sup>	
5	0	1200	2750	3 m <sup>2</sup>	
6	0	3665	2750	10 m <sup>2</sup>	
7	0	4840	2700	13 m <sup>2</sup>	
.1	0	1500	2750	4 m <sup>2</sup>	
.2	0	600	2750	2 m <sup>2</sup>	
.3	0	1600	2750	4 m <sup>2</sup>	
.4	0	1575	2750	4 m <sup>2</sup>	
.6	0	1080	2750	3 m <sup>2</sup>	
.7	0	1050	2750	3 m <sup>2</sup>	Turns corner
.7.2	0	674	2750	2 m <sup>2</sup>	Turns corners
.8	0	1186	2750	3 m <sup>2</sup>	
.9	0	1024	2750	3 m <sup>2</sup>	Turns corner
.9.2	0	625	2750	2 m <sup>2</sup>	Turns corner
.10	0	850	2750	2 m <sup>2</sup>	
.11	0	800	2750	2 m <sup>2</sup>	
.12	0	825	2750	2 m²	
.13	0	860	2750	2 m²	
.14	900	1650	1800	3 m <sup>2</sup>	
.16	900	1000	1800	2 m²	
.17	900	3412	1800	6 m²	
.18	0	1425	2700	4 m <sup>2</sup>	
.19	900	2399	1800	4 m <sup>2</sup>	
.20	900	2375	1800	4 m <sup>2</sup>	
.21	900	1160	1800	2 m²	
.22	900	1200	1800	2 m²	
.23	900	1100	1800	2 m²	
.24	900	1190	1800	2 m²	
.25	0	925	2700	2 m <sup>2</sup>	
.26	900	800	1800	1 m <sup>2</sup>	
.27	900	800	1800	1 m <sup>2</sup>	
.28	795	780	1905	1 m <sup>2</sup>	
.32	900	947	1800	2 m <sup>2</sup>	
.33	0	570	2750	2 m <sup>2</sup>	New Window
.34	900	3061	650	2 m <sup>2</sup>	New Window

Refer to plans & elevations for window locations

Windows removed from previous DA Submission:

		No.	Description	Date	Proiect		Scale @ A1; A3 half ind	ic.	Drawn by	Checked by
simple. This	Contact: info@buckandsimple.com				- <b>J</b>	Alan Ave			BS	BS
authority of	ABN : 86 106 604 025	1	Issue for Development Application	17.02.2021	Location		Project Issue Date		Sheet Issue Date	
or to the	NSW #8631 VIC #19664					27 Alan Avenue, Seaforth NSW 2092		Oct 2020		17.02.2021
k direction	www.buckandsimple.com				Client		Project number	Drawing #	Issue	
tated	-					O'Hanlon, Gluliano & El Khouri	11/1		700	
wing for					Drawing	Window Schedule	1141	UΑ	-700	1
									19	)/02/2021 4:12:12 PM

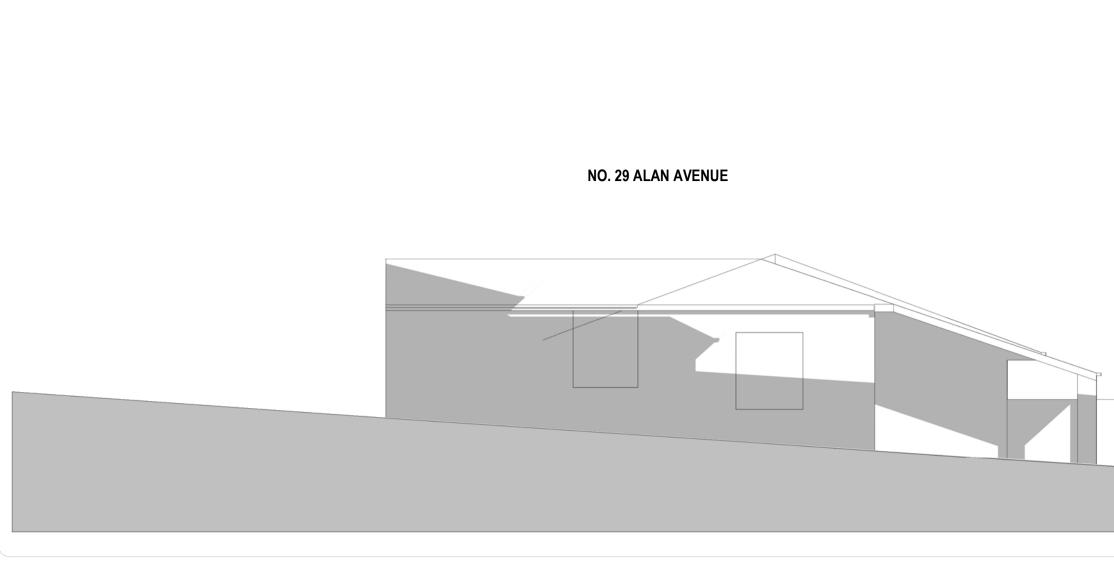




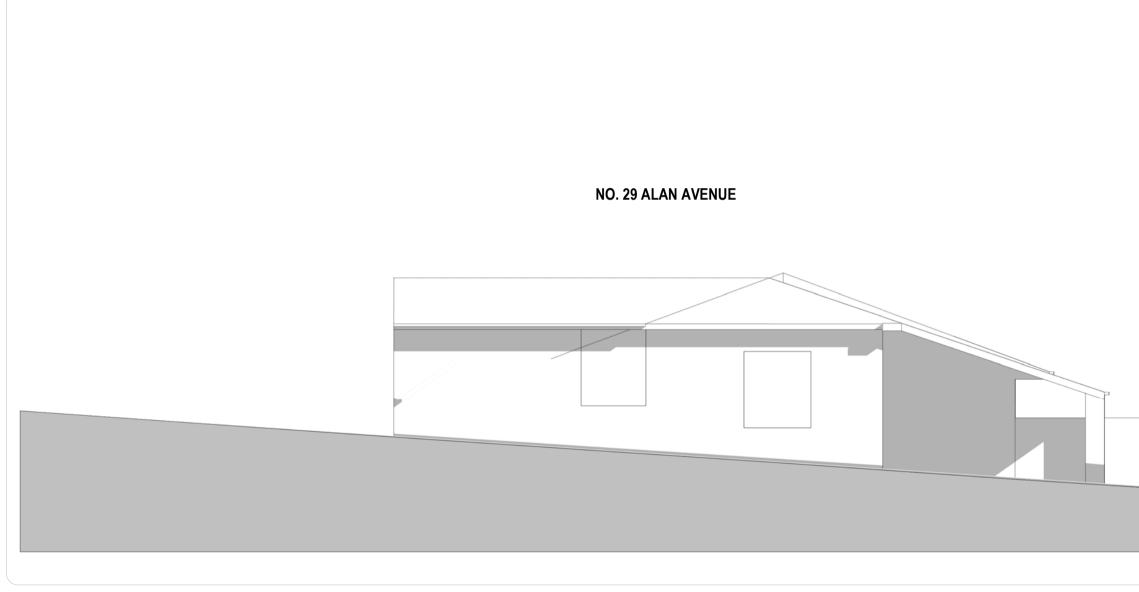
Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

		No.	Description	Date	Project		Scale @ A1; A3 half	indic.	Drawn by	Checked by
nple. This uthority of	Contact: info@buckandsimple.com ABN : 86 106 604 025	1	Issue for Development Application	17.02.2021	Location	Alan Ave 27 Alan Avenue, Seaforth NSW 2092	Project Issue Date	1 : 200 Oct 2020	Sheet Issue Date	BS 17.02.2021
r to the direction	www.buckandsimple.com				Client	O'Hanlon, Gluliano & El Khouri	Project number	Drawing #	Issue	
ited ng for	<b>Development Application</b>				Drawing	Shadow Diagrams	1141	DA	-901	1
									19	9/02/2021 4:12:32 PM

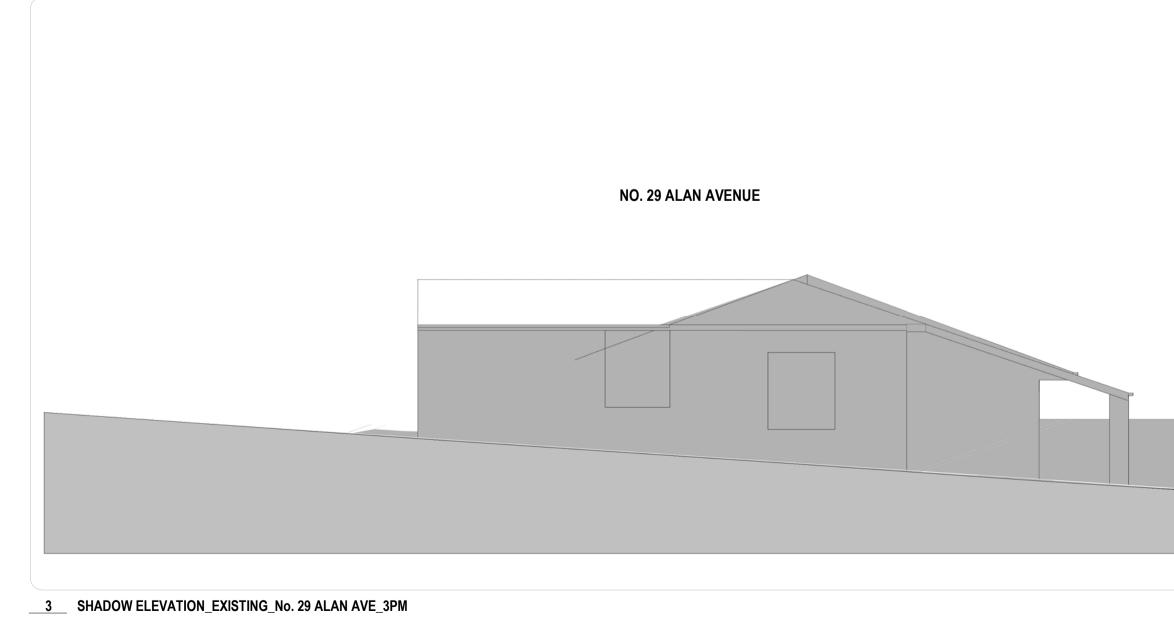
Time	Existing Area in shade at 29 POS	Additional Area in shade at 29 POS due to Proposal:	Total Area in shade at 29 POS
9AM	162.7 m <sup>2</sup>	$\begin{array}{c} 50.7 \ m^2 \\ 21.5 \ m^2 \\ 10.5 \ m^2 \\ 1.2 \ m^2 \\ 0 \ m^2 \\ 0 \ m^2 \\ 0 \ m^2 \end{array}$	213.4 m <sup>2</sup>
10AM	125.8 m <sup>2</sup>		147.3 m <sup>2</sup>
11AM	110.7 m <sup>2</sup>		121.2 m <sup>2</sup>
12PM	104.7 m <sup>2</sup>		105.9 m <sup>2</sup>
1PM	93.6 m <sup>2</sup>		93.6 m <sup>2</sup>
2PM	115.4 m <sup>2</sup>		115.4 m <sup>2</sup>
3PM	147.2 m <sup>2</sup>		147.2 m <sup>2</sup>



1 SHADOW ELEVATION\_EXISTING\_No. 29 ALAN AVE\_9AM



2 SHADOW ELEVATION\_EXISTING\_No. 29 ALAN AVE\_12PM

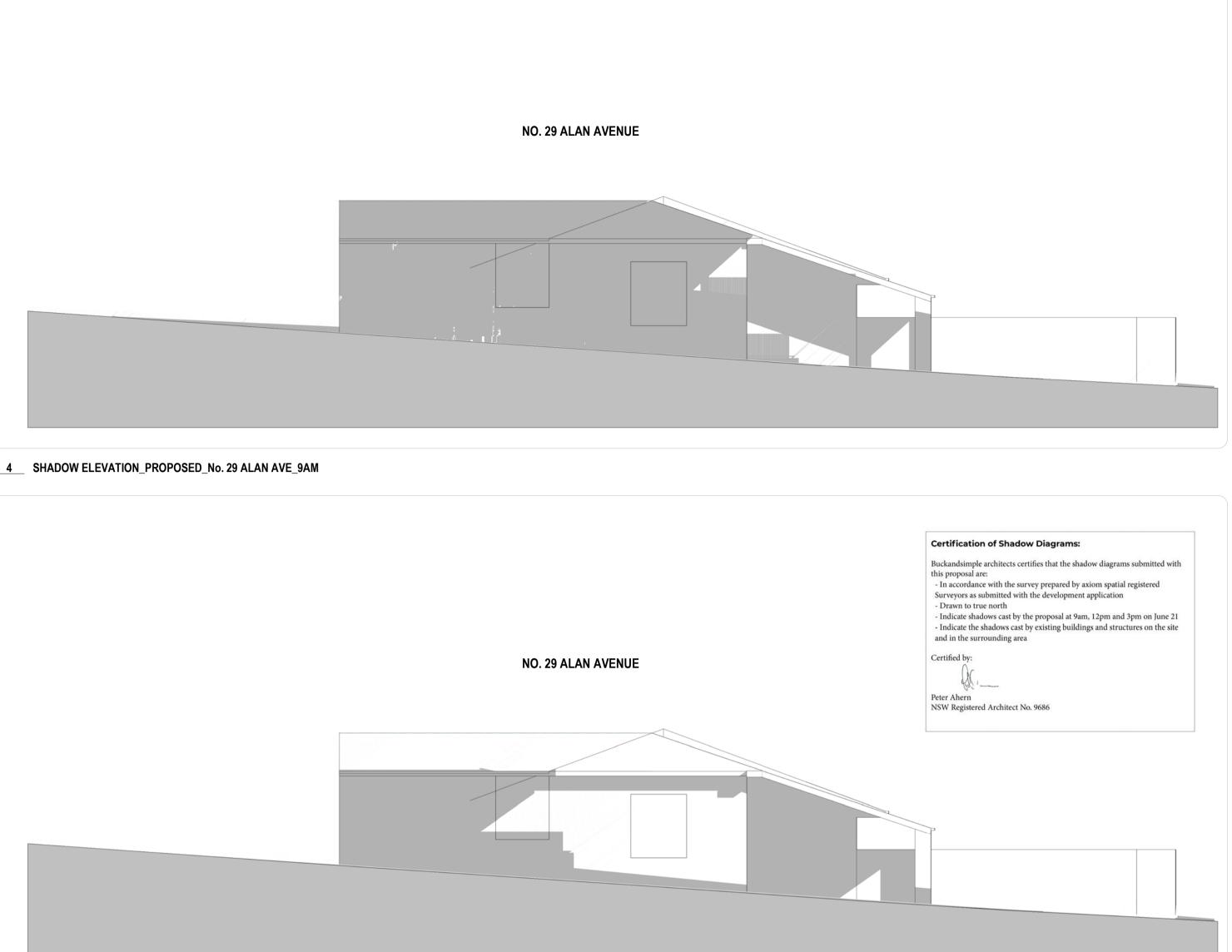


buck&simple. doers of stuff

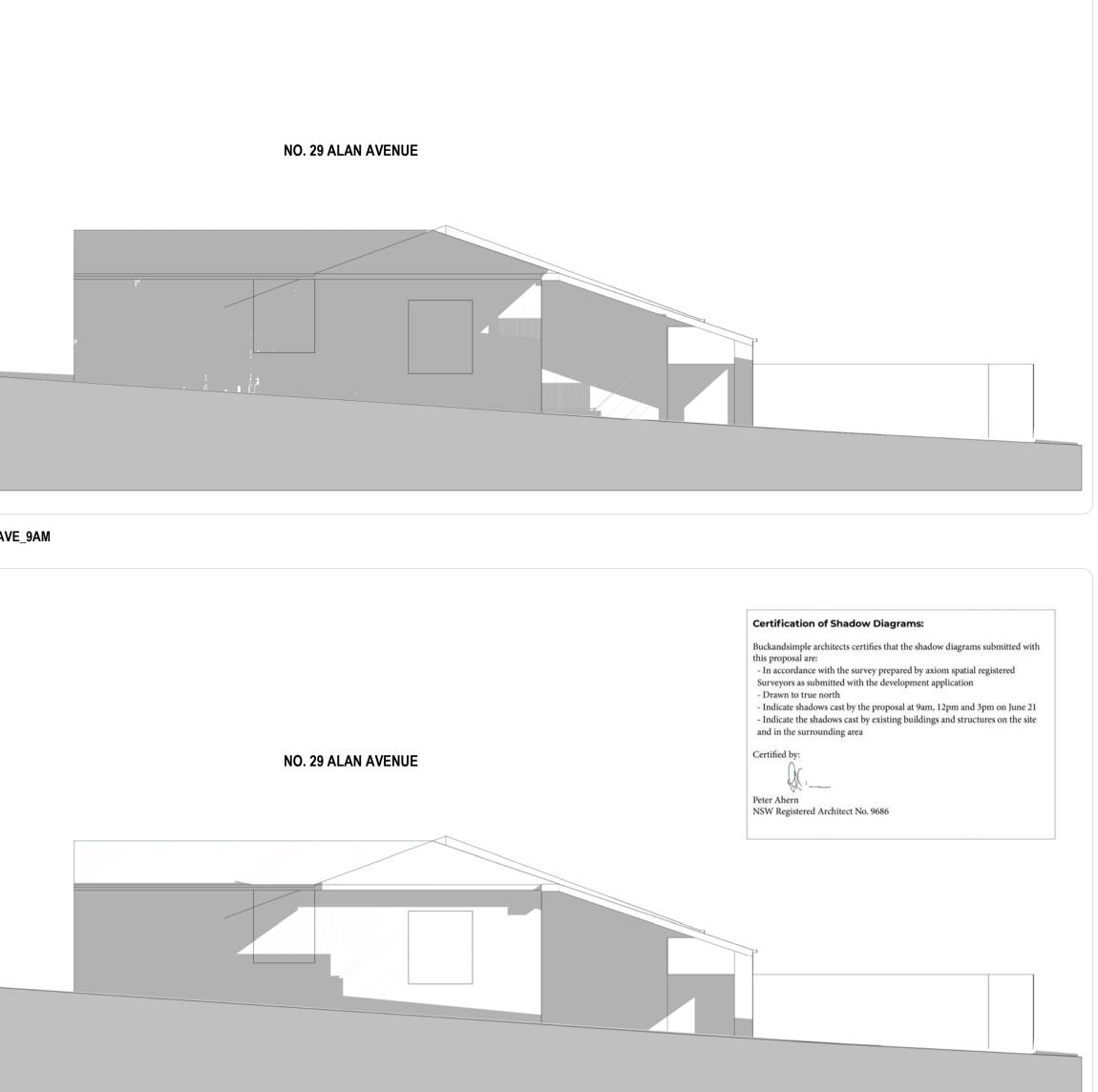
General Notes

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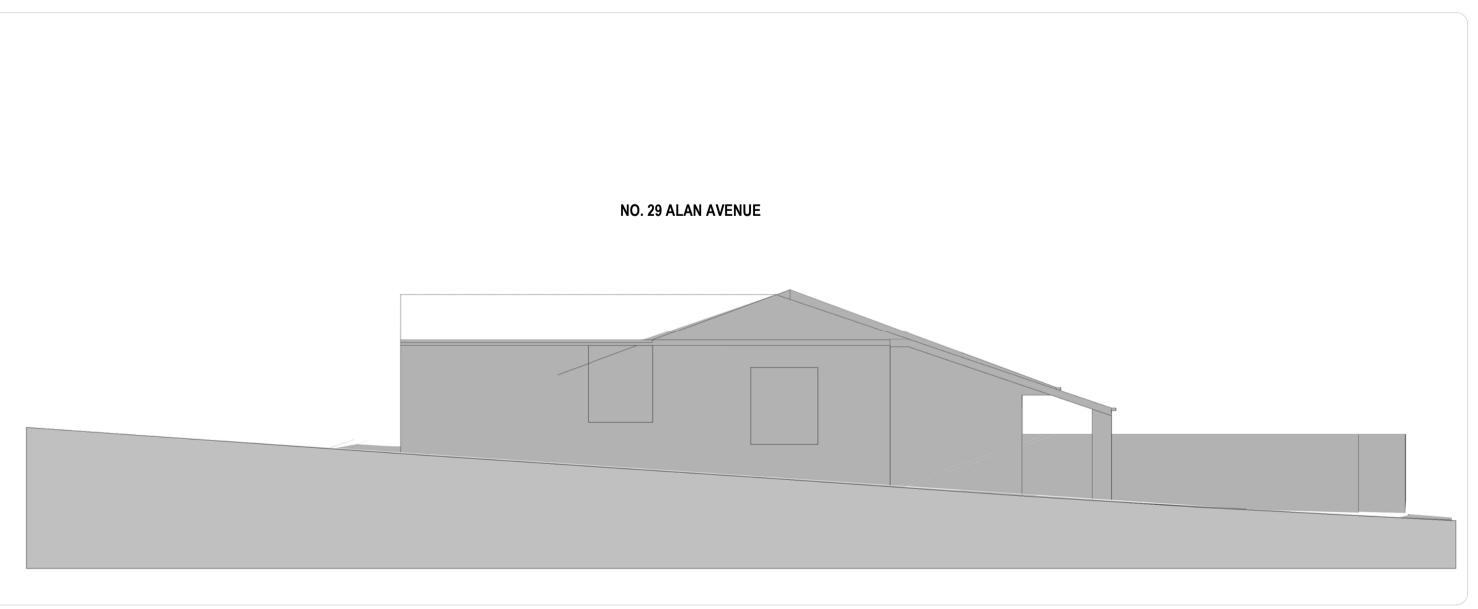
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#### 4 SHADOW ELEVATION\_PROPOSED\_No. 29 ALAN AVE\_9AM









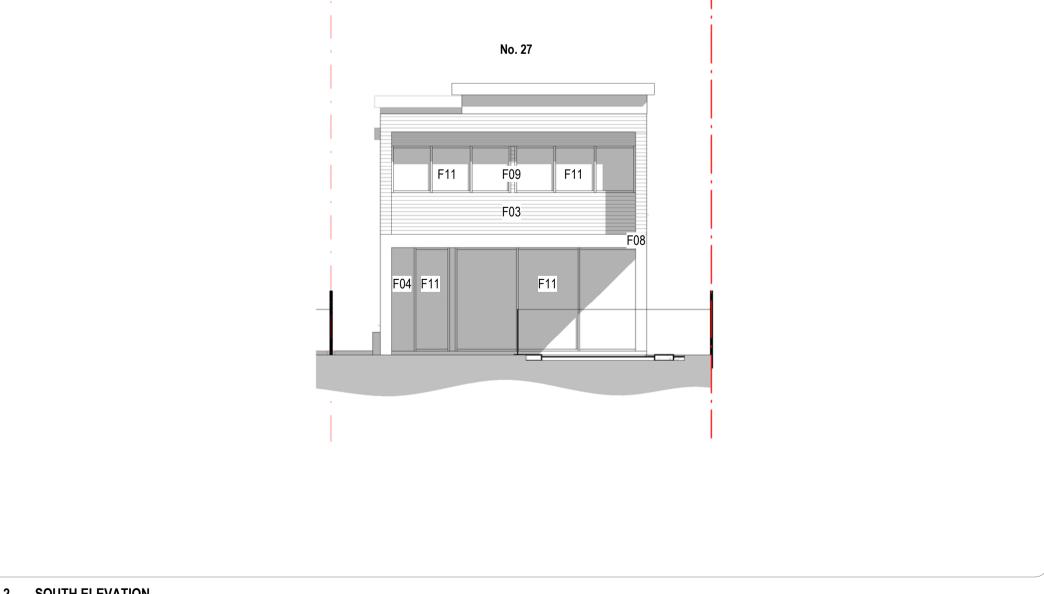
		No.	Description	Date	Project		Scale @ A1; A3 half ind			Checked by
simple. This authority of ior to the	Contact: info@buckandsimple.com ABN : 86 106 604 025 NSW #8631 VIC #19664	1	Issue for Development Application	17.02.202	<sup>1</sup> Location	Alan Ave 27 Alan Avenue, Seaforth NSW 2092	Project Issue Date	1 : 25 Oct 2020	BS Sheet Issue Date	BS 17.02.2021
ek direction	www.buckandsimple.com				Client	O'Hanlon, Gluliano & El Khouri	Project number	Drawing #	Issue	
stated wing for	<b>Development Application</b>				Drawing	Shadow Diagram Elevations - No. 29 Alan Avenue	1141	DA	-902	1
									1	9/02/2021 4:12:39 PM

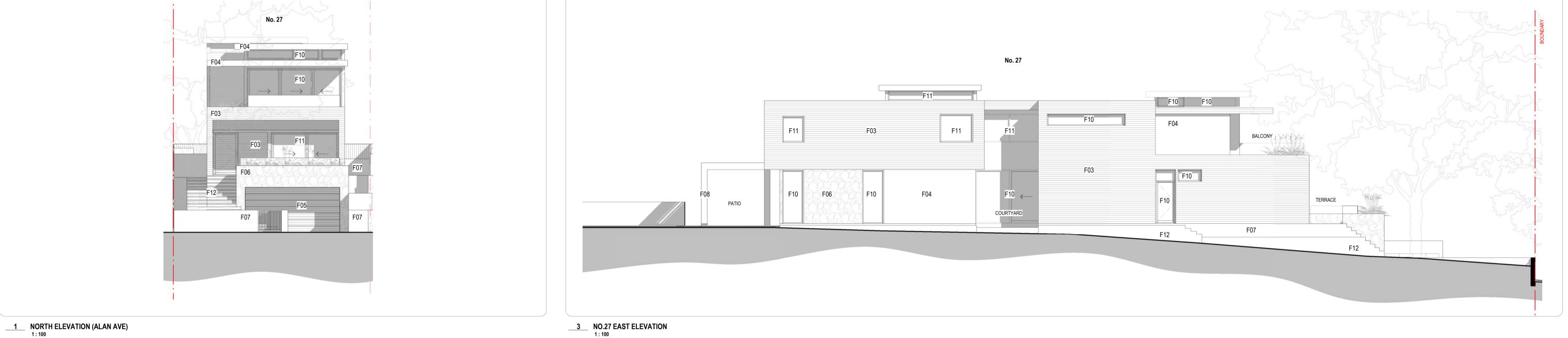


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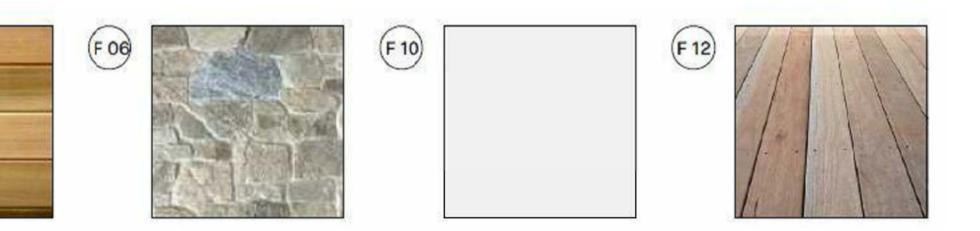
\_\_\_\_\_ SOUTH ELEVATION



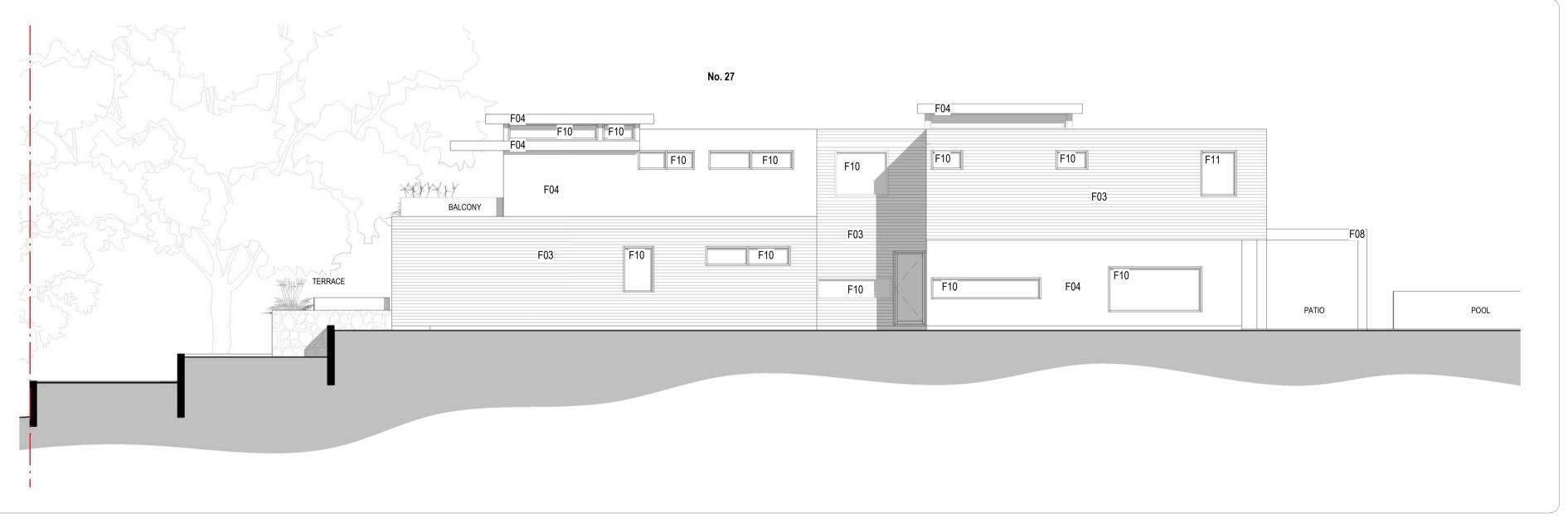


F 06	STONE CLAD MASONRY	ROCK FACE	'WOLLOMBI' QUARTZITE CLADDING	
F 07	RENDERED MASONRY	PAINT	DULUX 'LIMED WHITE HALF'	
F 08	TIMBER TRIMS	PAINT	DULUX 'WHISPER WHITE'	
F 09	TIMBER TRIMS	OIL	WESTERN RED CEDAR	
F 10	ALUMINIUM FRAMED WINDOWS AND DOORS	POWDERCOAT	DULUX 'ELECTRO' FLAT WHITE	
F 11	TIMBER FRAMED WINDOWS AND DOORS	OIL	WESTERN RED CEDAR	
F 12	TIMBER DECKING	OIL	HARDWOOD EG BLACKBUTT	
F 01 F 02	F 03 F 08	F 04 F 07	(F 05) (F 09) (F 11)	

KEY	MATERIAL	FINISH	COLOUR
F 01	STEEL ROOFING- KLIP LOK	COLORBOND	DUNE
F 02	STEEL ROOFING GUTTERS + DOWNPIPES	COLORBOND	DUNE
F 03	TIMBER WEATHERBOARD CLADDING	PAINT	DULUX 'WHISPER WHITE'
F 04	RENDERED EXSULITE CLADDING	PAINT	DULUX 'LIMED WHITE HALF'
F 05	TIMBER CLADDING	OIL	WESTERN RED CEDAR- NATURAL
F 06	STONE CLAD MASONRY	ROCK FACE	'WOLLOMBI' QUARTZITE CLADDING
F 07	RENDERED MASONRY	PAINT	DULUX 'LIMED WHITE HALF'
F 08	TIMBER TRIMS	PAINT	DULUX 'WHISPER WHITE'
F 09	TIMBER TRIMS	OIL	WESTERN RED CEDAR
F 10	ALUMINIUM FRAMED WINDOWS AND DOORS	POWDERCOAT	DULUX 'ELECTRO' FLAT WHITE
F 11	TIMBER FRAMED WINDOWS AND DOORS	OIL	WESTERN RED CEDAR
F 12	TIMBER DECKING	OIL	HARDWOOD EG BLACKBUTT

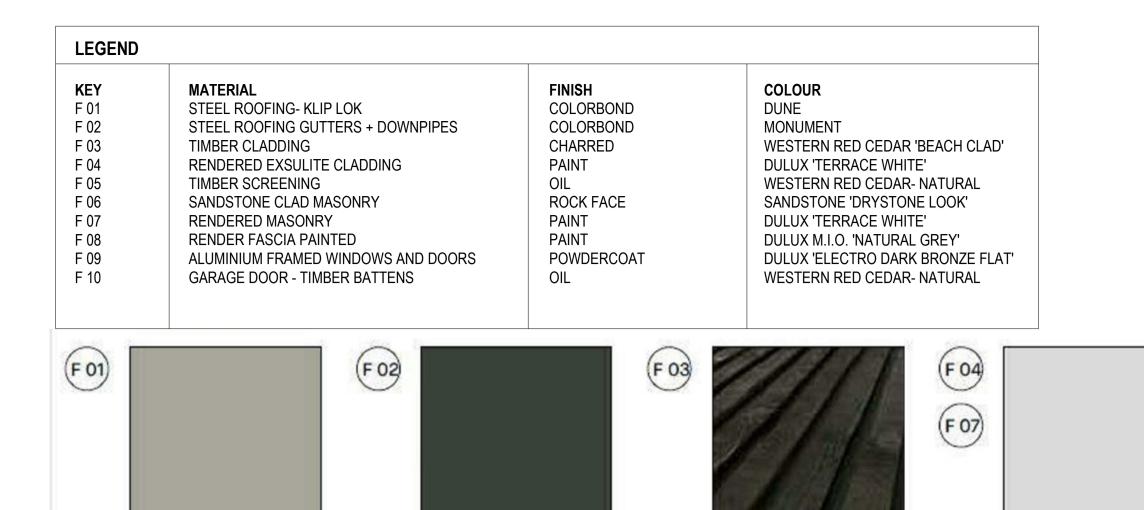


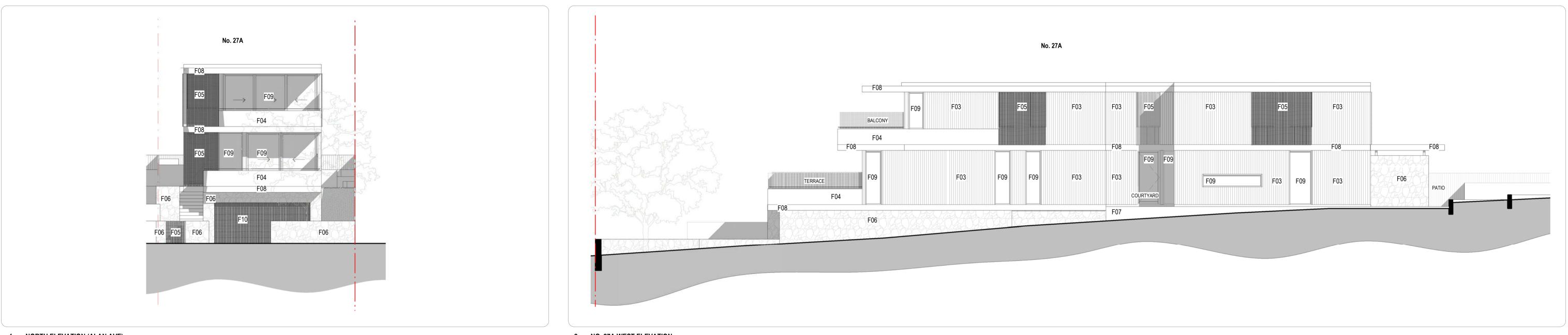
### 3 NO.27 EAST ELEVATION



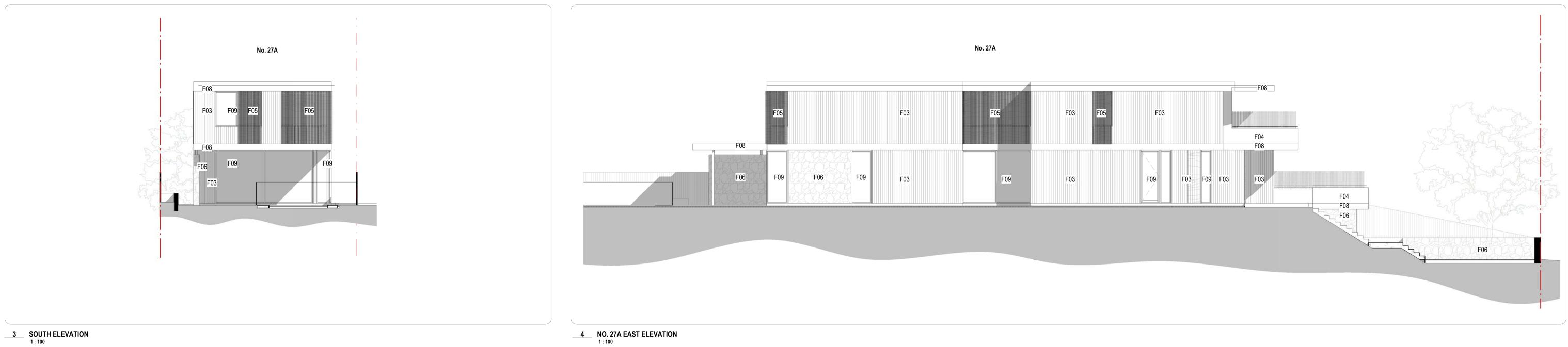
### \_\_\_\_\_ NO.27 WEST ELEVATION

		No.	Description	Date	Project	Alan Ave	Scale @ A1; A3 half ind			Checked by
mple. This uthority of	Contact: info@buckandsimple.com ABN : 86 106 604 025 NSW #8631 VIC #19664	1	Issue for Development Application	17.02.202	<sup>1</sup> Location		Project Issue Date	1 : 100 Oct 2020	Sheet Issue Date	BS 17.02.2021
or to the direction	www.buckandsimple.com				Client		Project number	Drawing #	Issue	
ated ing for					Drawing	Schedule of External Finishes No. 27	1141	DA	-910	1
									1	9/02/2021 4:12:47 PM





1 NORTH ELEVATION (ALAN AVE) 1 : 100

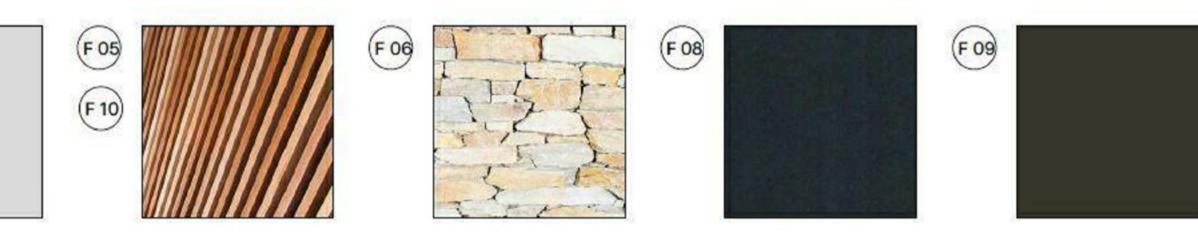




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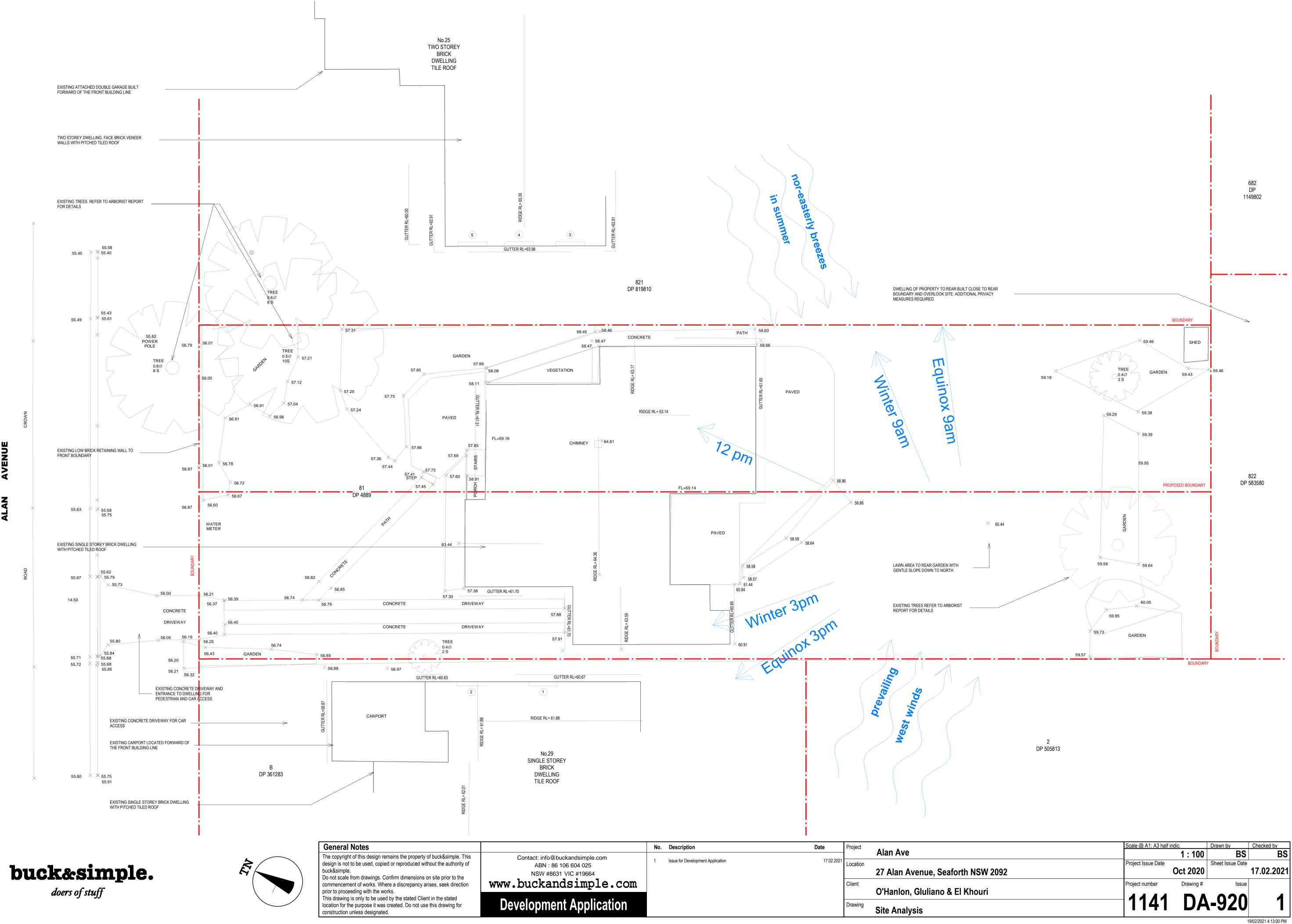
Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek directic prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.



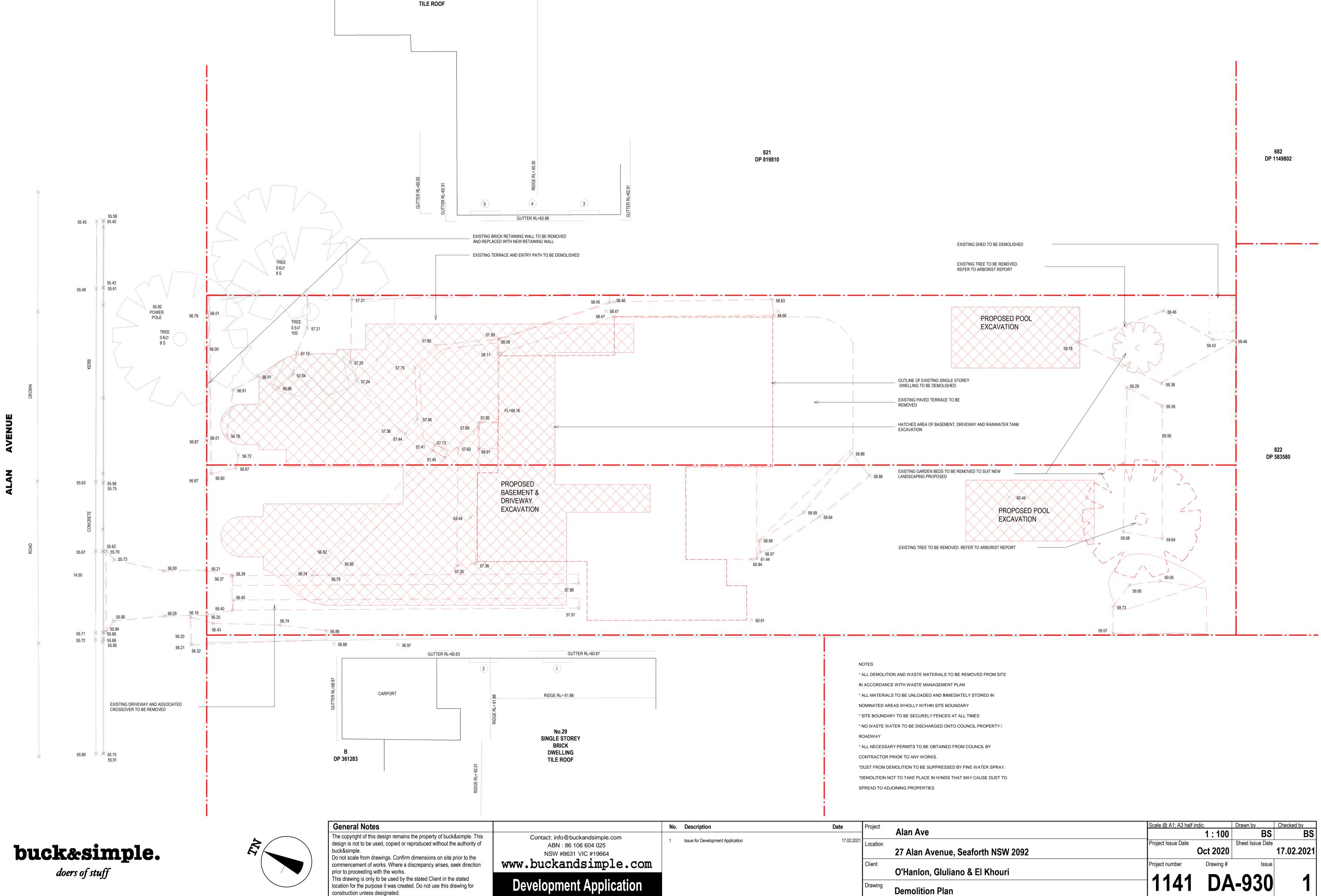
2 NO. 27A WEST ELEVATION 1 : 100

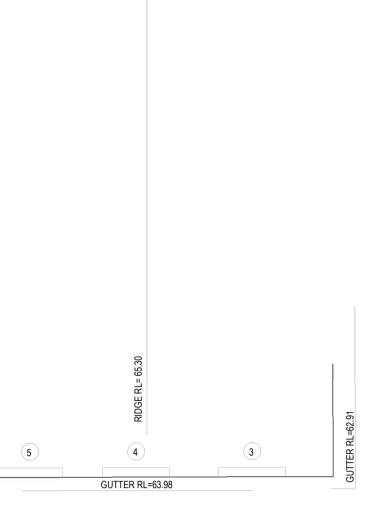
<u>4</u> NO. 277 1 : 100	A EAST ELEVATION									
		No.	Description	Date	Project		Scale @ A1; A3 half i		Drawn by	Checked by
mple. This	Contact: info@buckandsimple.com			47.00.0004		Alan Ave		1:100	BS	BS
uthority of	ABN : 86 106 604 025	1	Issue for Development Application	17.02.2021	Location		Project Issue Date		Sheet Issue Date	
or to the	NSW #8631 VIC #19664					27 Alan Avenue, Seaforth NSW 2092		Oct 2020		17.02.2021
direction	www.buckandsimple.com				Client		Project number	Drawing #	lssue	
	······································					O'Hanlon, Gluliano & El Khouri			<b>•</b> • • •	
ated ing for				F	Drawing		1141	Ι)Δ	-911	1
ing ioi						Schedule of External Finishes No. 27A	• • • •			
•							•		1	9/02/2021 4:12:57 PM





uri	1141	C C	-920	1
	Project number	Drawing #	Issue	
SW 2092	.,	Oct 2020		17.02.2021
	Project Issue Date		Sheet Issue Date	
		1:100	BS	BS
	Scale @ A1; A3 half	indic.	Drawn by	Checked by

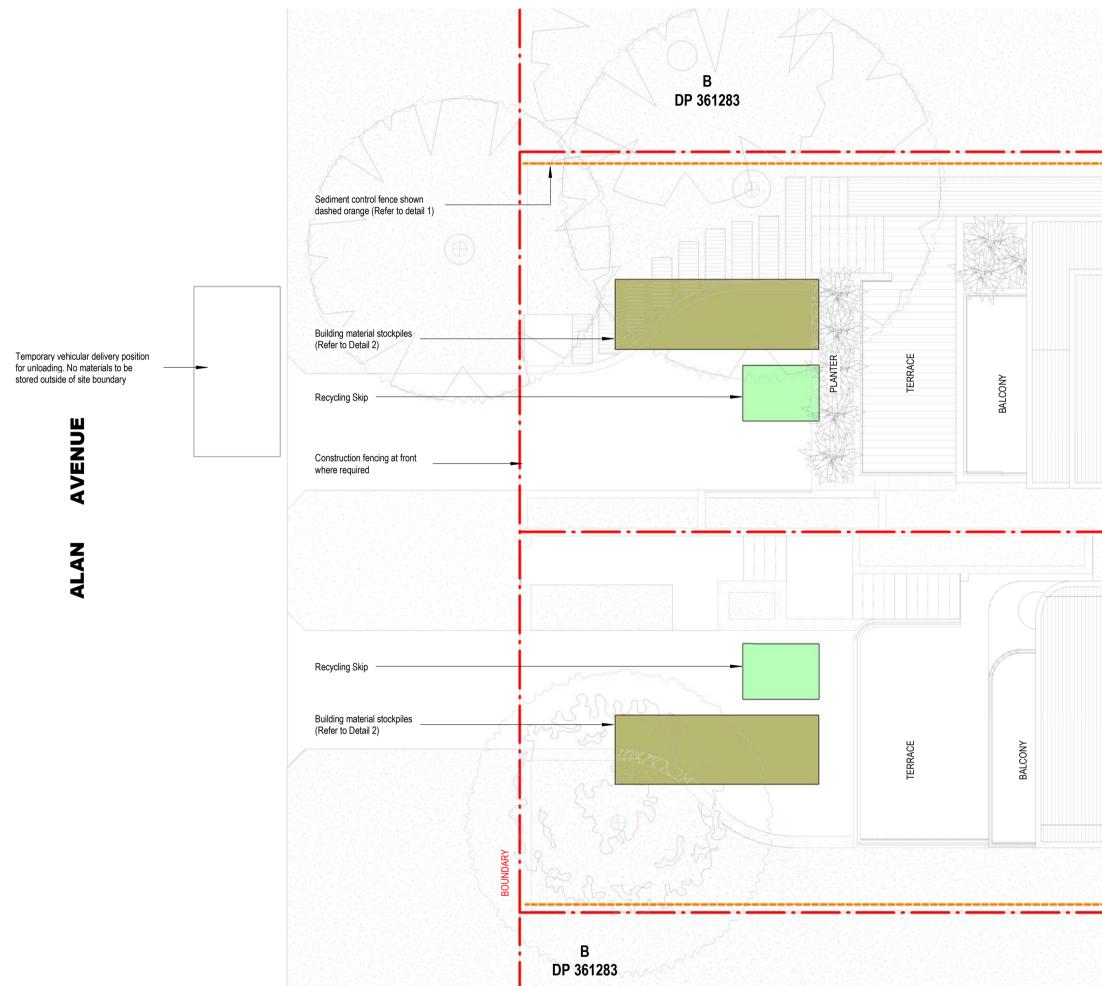




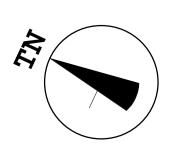
No.25 TWO STOREY BRICK DWELLING

		inuio.	Diawinby	Oncorrection
		1:100	BS	BS
	Project Issue Date	Oct 2020	Sheet Issue Date	17.02.2021
SW 2092				11.02.2021
	Project number	Drawing #	Issue	
uri	1111		020	4
	1141	DA	-920	
			1	9/02/2021 4·13·03 PM

19/02/2021 4:13:03 PM





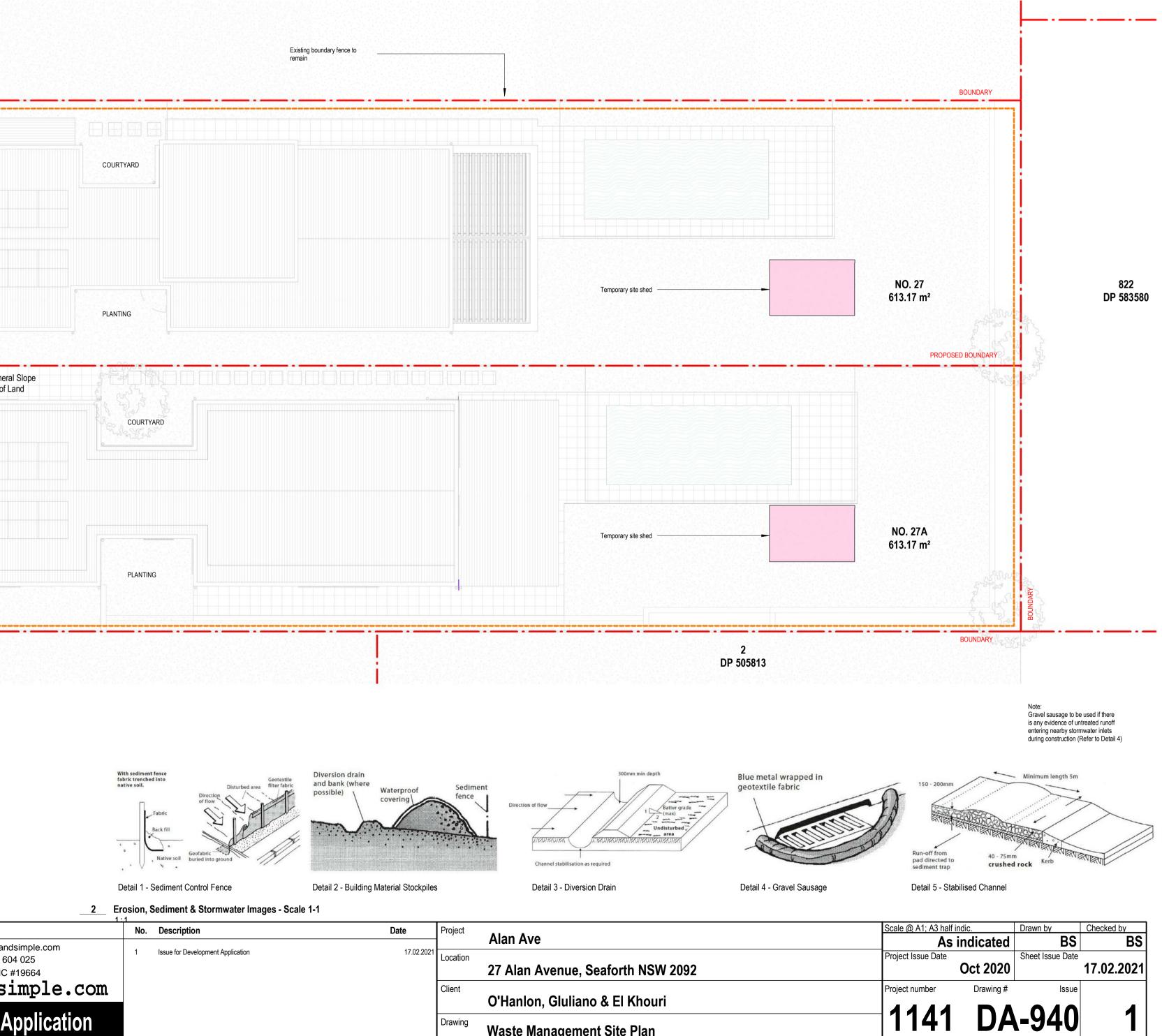


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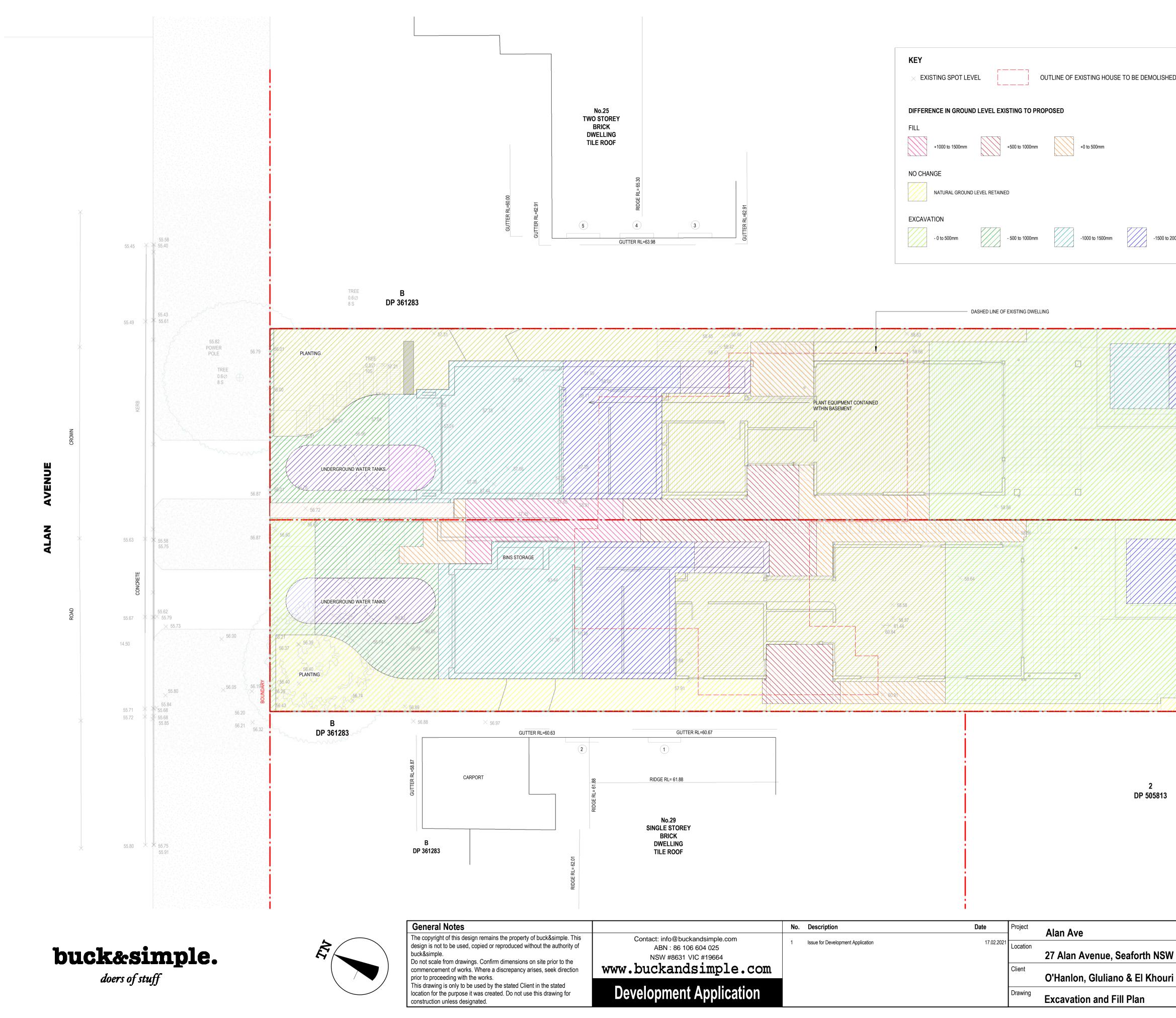
	Existing boundary fence to remain	
COURTYARD		
ð		
PLANTING		Temporar

General Slope of Land	COURTYARD	
A     A	PLANTING	Temporary site shed —



		No.	Description	Date	Project	Alan Ave
mple. This uthority of	Contact: info@buckandsimple.com ABN : 86 106 604 025	1	Issue for Development Application	17.02.2021	Location	
r to the	NSW #8631 VIC #19664					27 Alan Avenue, Seaforth NSV
direction	www.buckandsimple.com				Client	O'Hanlon, Gluliano & El Khour
ated	Development Application				<b>.</b>	O Hamon, Giunano & El Knour
ng for	Development Application				Drawing	Waste Management Site Plan

19/02/2021 4:13:08 PM

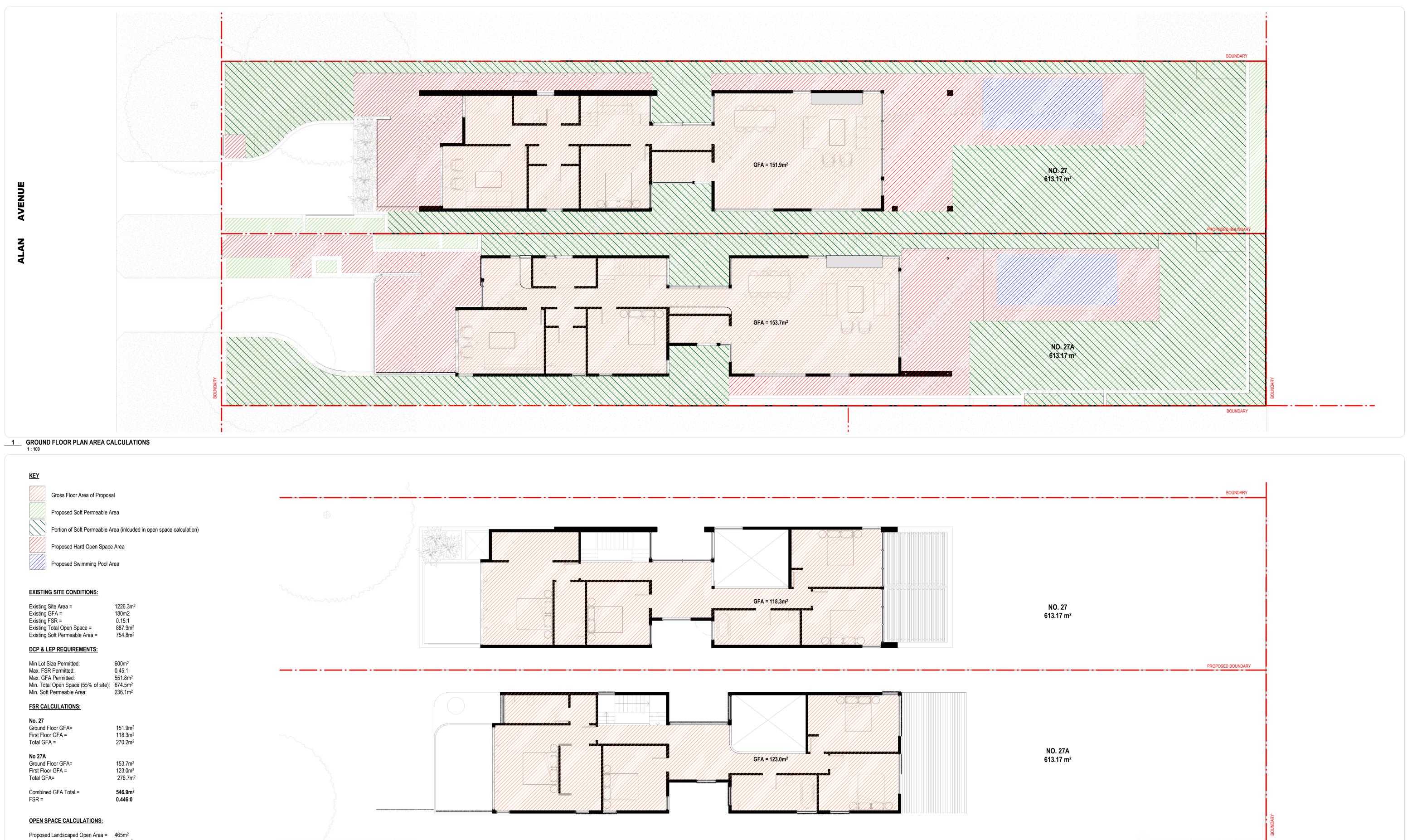




ISHED 00 to 2000mm	0mm		
58.28 NO. 27 613.17 m <sup>2</sup>	BOUNDARY 59/48/ 59/48/ 59/58/ 59/58/ 59/55/ 59/55/ PROPOSED BOUNDARY	59.46	822 DP 583580
NO. 27A 613.17 m <sup>2</sup> 58.98	50.05	BOUNDARY	

SW 2092         Oct 2020         17.02           Project number         Drawing #         Issue	2.2021				Droiget Jacus Date	
		17.02.2			Project Issue Date	SW 2092
			lssue	Drawing #	Project number	
1141 DA-960	1		-960	DA	1141	uri

BOUNDARY



#### KEY

Gross Floor Area of Proposal Proposed Soft Permeable Area Proposed Hard Open Space Area

Proposed Swimming Pool Area

#### EXISTING SITE CONDITIONS:

Existing Site Area =	1226
Existing GFA =	180r
Existing FSR =	0.15
Existing Total Open Space =	887
Existing Soft Permeable Area =	754

#### DCP & LEP REQUIREMENTS:

Min Lot Size Permitted:	600m
Max. FSR Permitted:	0.45:
Max. GFA Permitted:	551.8
Min. Total Open Space (55% of site):	674.5
Min. Soft Permeable Area:	236.1

### FSR CALCULATIONS:

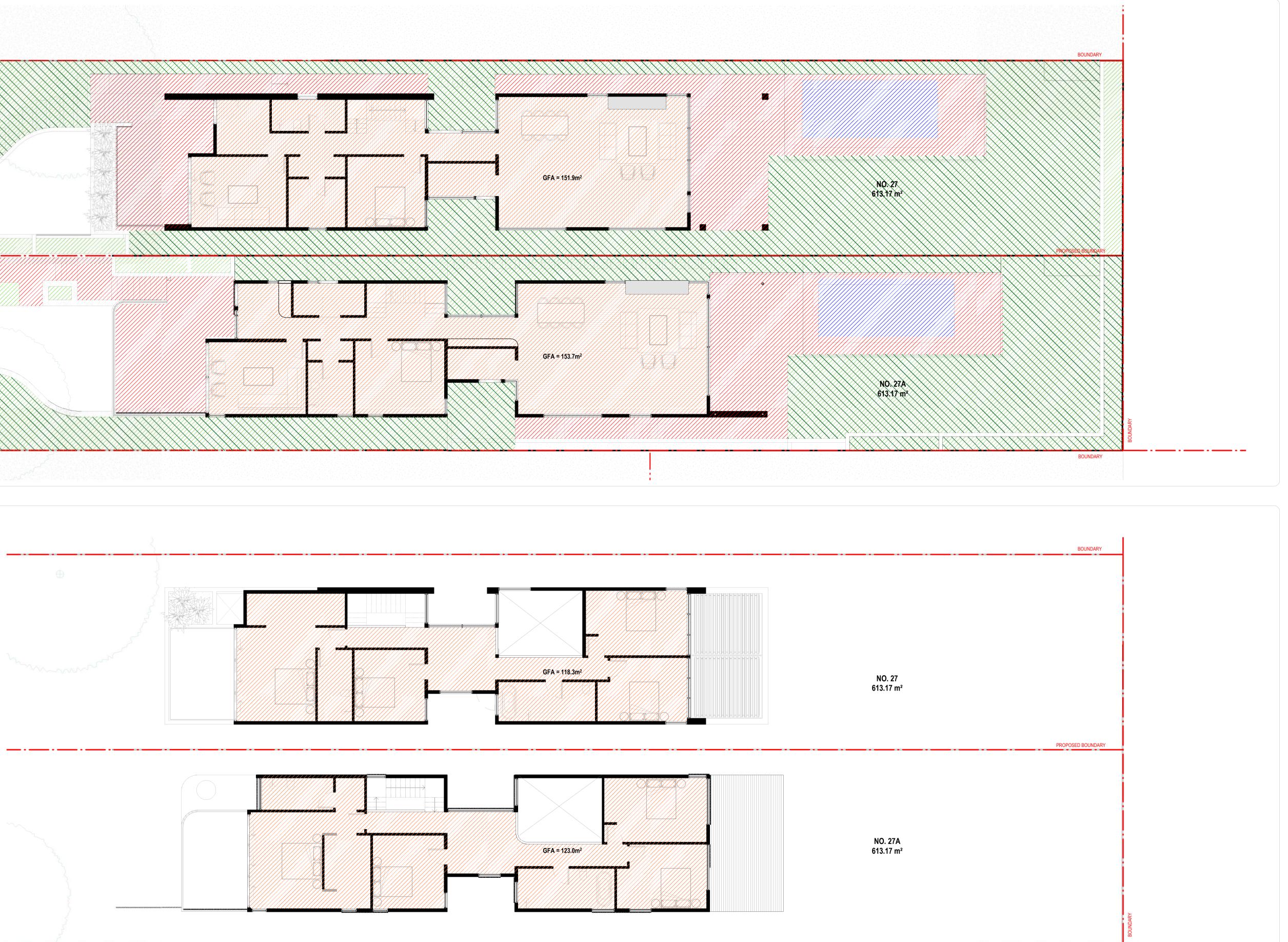
<b>No. 27</b> Ground Floor GFA= First Floor GFA = Total GFA =	151.9m² 118.3m² 270.2m²
<b>No 27A</b> Ground Floor GFA= First Floor GFA = Total GFA=	153.7m² 123.0m² 276.7m

## Combined GFA Total = FSR =

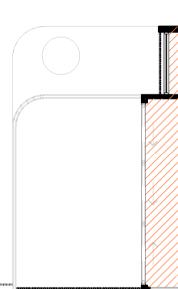
#### **OPEN SPACE CALCULATIONS:**

Proposed Landscaped Open Area =	465m <sup>2</sup>
Proposed Hard Open Space Area =	241.4m <sup>2</sup>
Proposed Swimming Pool Area =	42.1m <sup>2</sup>
<b>Total Open Space Area =</b>	748.5m <sup>2</sup>
Proposed Landscaped Area =	493.6m <sup>2</sup>

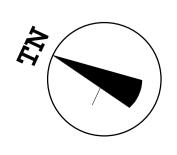








2 FIRST FLOOR PLAN AREA CALCULATIONS 1:100



General	Notae
General	INULES

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		No.	Description	Date	Project	Alan Ave
ple. This nority of	Contact: info@buckandsimple.com ABN : 86 106 604 025 NSW #8631 VIC #19664	1 2 3	Issue for Information Issue for Information Issue for Development Application	12.11.2020 23.11.2020 17.02.2021	Location	27 Alan Avenue, Seaforth NSW
o the irection	www.buckandsimple.com				Client	O'Hanlon, Gluliano & El Khour
ed g for	<b>Development Application</b>				Drawing	DCP & LEP Areas Diagram

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ıri	1141	DA	-970	3
	Project number	Drawing #	Issue	
W 2092	Project Issue Date	Oct 2020	Sheet Issue Date	17.02.2021
		1 : 100	BS	BS
	Scale @ A1; A3 half	indic.	Drawn by	Checked by

2 PROPOSED BOUNDARY	
BOUNDARY	
BOUNDARY	

#### **BASIX**<sup>°</sup>Certificate Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1053668S\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1053668S lodged with the consent authority or certifier on 16 December 2019 with application DA2019/1447.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Project summary		
Project name	ER 191361-2 Seafe	orth Dwlg 27_02
Street address	27 Alan Avenue Se	aforth 2092
Local Government Area	Northern Beaches	Council
Plan type and plan number	deposited 4889	
Lot no.	81	
Section no.	-	
Project type	separate dwelling h	iouse
No. of bedrooms	5	
Project score		
Water	40	Target 40
Thermal Comfort	V Pass	Target Pass
Energy	♥ 81	Target 50

Secretary Date of issue: Thursday, 11 February 2021 To be valid, this certificate must be lodged within 3 months of the date of issue.



Certificate Prepared by	
Name / Company Name: Insight Energy	
ABN (if applicable): 119008534	

page 1/7

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA\_3\_15\_1 Certificate No.: 1053668S\_02 Thursday, 11 February 2021

**Description of project** 

Project name	ER 191361-2 Seaforth Dwlg 27_02
Street address	27 Alan Avenue Seaforth 2092
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 4889
Lot no.	81
Section no.	
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m²)	613
Roof area (m <sup>2</sup> )	175
Conditioned floor area (m2)	244.3
Unconditioned floor area (m2)	25.4
Total area of garden and lawn (m2)	255

Assessor details and thermal I	oads	
Assessor number	1469/12	
Certificate number	0005679501	
Climate zone	56	
Area adjusted cooling load (MJ/m².year)	25	
Area adjusted heating load (MJ/m².year)	38	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	Yes	
Project score		
Water	<b>V</b> 40	Target 40
Thermal Comfort	V Pass	Target Pass
Energy	✓ 81	Target 50

chedule of BASIX commitmen	ts					
e commitments set out below regulate how t evelopment certificate issued, for the propose				pment conser	nt granted, or complyi	ng
Nater Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures						
The applicant must install showerheads with a mini all showers in the development.	mum rating of 4 star (> 4.5 but	<= 6 L/min plus sp	ray force and/or coverage tests) in		~	~
The applicant must install a toilet flushing system v	ith a minimum rating of 5 star	in each toilet in the	development.		¥	~
The applicant must install taps with a minimum rati	ng of 4 star in the kitchen in the	e development.			~	
The applicant must install basin taps with a minimu	m rating of 4 star in each bath	room in the develop	ment.		~	
Alternative water						
Rainwater tank						
The applicant must install a rainwater tank of at lea accordance with, the requirements of all applicable		rainwater tank mu	st meet, and be installed in	~	~	×
The applicant must configure the rainwater tank to development (excluding the area of the roof which			of the roof area of the		~	~
The applicant must connect the rainwater tank to:						
<ul> <li>at least one outdoor tap in the development (No consumption in areas with potable water supp</li> </ul>		mmend that rainwa	ter be used for human		×	~
a tap that is located within 10 metres of the swi	mming pool in the developmen	t			<b>~</b>	~
Swimming pool						
The swimming pool must not have a volume greate	r than 35 kilolitres.			4	¥	
The swimming pool must be outdoors.						

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA\_3\_15\_1 Certificate No.: 1053668S\_02 Thursday, 11 February 2021



General Notes

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This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.



Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method				
The applicant must attach the certificate referred to under "Assessor Details" on the Certificate") to the development application and construction certificate application fr applying for a complying development certificate for the proposed development, to the Assessor Certificate to the application for an occupation certificate for the proposed	for the proposed development (or, if the applicant is that application). The applicant must also attach the			
The Assessor Certificate must have been issued by an Accredited Assessor in acco	ordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consist pertificate, including the Cooling and Heating loads shown on the front page of this of				
The applicant must show on the plans accompanying the development application for Assessor Certificate requires to be shown on those plans. Those plans must bear a Assessor to certify that this is the case. The applicant must show on the plans accor- certificate (or complying development certificate, if applicable), all thermal performan Certificate, and all aspects of the proposed development which were used to calcula	stamp of endorsement from the Accredited mpanying the application for a construction nce specifications set out in the Assessor	>	~	~
The applicant must construct the development in accordance with all thermal perform Certificate, and in accordance with those aspects of the development application or which were used to calculate those specifications.			~	~
The applicant must show on the plans accompanying the development application for eiling fans set out in the Assessor Certificate. The applicant must show on the plan certificate (or complying development certificate, if applicable), the locations of ceilin	ns accompanying the application for a construction	~	~	~
The applicant must construct the floors and walls of the dwelling in accordance with	the specifications listed in the table below.	~	~	~
-loor and wall construction	Area			
loor - concrete slab on ground	All or part of floor area square metres			

All or part of floor area

nsw.gov.au Version: 3.0 / DARWINIA_3_15_1 Certificate No.: 1053668S_02	Thursday, 11	February 2021	pa
	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
system in the development, or a system with a higher energy rating: gas		~	
stem, or a system with a higher energy rating, in at least 1 living area: 1-phase one)		<b>~</b>	~
stem, or a system with a higher energy rating, in at least 1 bedroom: 1-phase one)		~	~
ning between living areas and bedrooms.		~	~
stem, or a system with a higher energy rating, in at least 1 living area: 1-phase one)		~	~
stem, or a system with a higher energy rating, in at least 1 bedroom: 1-phase one)		¥	¥.
ning between living areas and bedrooms.		~	~
vstems in the development:			
ade or roof; Operation control: manual switch on/off		~	<ul> <li>Image: A second s</li></ul>
Operation control: manual switch on/off		~	~
Operation control: manual switch on/off		~	~
of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the appears, the fittings for those lights must only be capable of accepting fluorescent or			
		~	~
nsw.gov.au Version: 3.0 / DARWINIA_3_15_1 Certificate No.: 1053668S_02	Thursday, 11 F		pag

	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
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light in the kitchen of the dwelling for natural lighting.	~	~	~
light in 3 bathroom(s)/toilet(s) in the development for natural lighting.	~	~	~
			1
system for the swimming pool in the development (or alternatively must not install any gas boosted)		~	
ning pool pump in the development.		~	
n with the capacity to generate at least 4 peak kilowatts of electricity as part of the system to the development's electrical system.	~	¥	~
tric oven in the kitchen of the dwelling.		v	
space in the development so that it is "well ventilated", as defined in the BASIX		~	
es drying line as part of the development.		~	

		No.	Description	Date	Project		Scale @ A1; A3	alf indic.		Checked by
imple. This uthority of	Contact: info@buckandsimple.com ABN : 86 106 604 025 NSW #8631 VIC #19664	1	Issue for Development Application	17.02.2021	Location	Alan Ave 27 Alan Avenue, Seaforth NSW 2092	Project Issue Dat	Oct 2020	BS Sheet Issue Date	
or to the direction	www.buckandsimple.com				Client	O'Hanlon, Gluliano & El Khouri	Project number	Drawing #	Issue	
ated ring for	<b>Development Application</b>				Drawing	Basix Requirements - No 27	114 <sup>·</sup>	1 DA	-971	1
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## **BASIX** Certificate

Building Sustainability Index www.basix.nsw.gov.au

#### Single Dwelling

Certificate number: 1063239S\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Project summary Project name ER 191361-2 Seaforth Dwlg 27A\_02 Street address 27A Alan Avenue Seaforth 2092 Local Government Area Northern Beaches Council Plan type and plan number deposited 4889 Lot no. 81 Section no. Project type separate dwelling house No. of bedrooms 5 Project score Water 🧹 40 Target 40 Thermal Comfort V Pass Target Pass Energy 1 81 Target 50

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Target 40

Target Pass

Target 50

Show on CC/CDC Certifier plans & specs check

page 2/7

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page 3/7

This certificate is a revision of certificate number 1063239S lodged with the consent authority or certifier on 16 December 2019 with application DA2019/1447. It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary Date of issue: Thursday, 11 February 2021 To be valid, this certificate must be lodged within 3 months of the date of issue.



Certificate Prepared by Name / Company Name: Insight Energy

ABN (if applicable): 119008534

Project address		Assessor details and therma	l loads	
Project name	ER 191361-2 Seaforth Dwlg 27A_02	Assessor number	1469/1	2
Street address	27A Alan Avenue Seaforth 2092	Certificate number	00056	80947
Local Government Area	Northern Beaches Council	Climate zone	56	
Plan type and plan number	Deposited Plan 4889	Area adjusted cooling load (MJ/m <sup>2</sup> .year)	26	
Lot no.	81	Area adjusted heating load (MJ/m <sup>2</sup> .year)	40	
Section no.	-	Ceiling fan in at least one bedroom	Yes	
Project type		Ceiling fan in at least one living room or	Yes	
Project type	separate dwelling house	other conditioned area		
No. of bedrooms	5	Project score		
Site details		Water	4	0
Site area (m²)	613	Thermal Comfort	<b>V</b> F	ass
Roof area (m²)	197		× .	455
Conditioned fleer area (m2)	250.8	Energy	9	1
Conditioned floor area (m2)				
Conditioned floor area (m2) Unconditioned floor area (m2) Total area of garden and lawn (m2)	17.17 238			
Unconditioned floor area (m2) Total area of garden and lawn (m2) X Planning. Industry & Environment Schedule of BASIX com	238 www.basix.nsw.gov.au Version: 3.0 / DARWIN mitments			February 2021
Unconditioned floor area (m2) Total area of garden and lawn (m2) X Planning. Industry & Environment Schedule of BASIX com The commitments set out below reg levelopment certificate issued, for t Water Commitments	238 www.basix.nsw.gov.au Version: 3.0 / DARWIN mitments	e carried out. It is a condition of any developm mitments be complied with.		it granted, or com
Unconditioned floor area (m2) Total area of garden and lawn (m2)  Planning. Industry & Environment  Cchedule of BASIX com the commitments set out below reg evelopment certificate issued, for th Water Commitments  Fixtures	vww.basix.nsw.gov.au Version: 3.0 / DARWIN mitments ulate how the proposed development is to b he proposed development, that BASIX comr	e carried out. It is a condition of any developm mitments be complied with.	ent consen Show on	It granted, or com
Unconditioned floor area (m2) Total area of garden and lawn (m2) X Planning. Industry & Environment Schedule of BASIX com The commitments set out below reg levelopment certificate issued, for t Water Commitments Fixtures	vww.basix.nsw.gov.au Version: 3.0 / DARWIN mitments ulate how the proposed development is to b he proposed development, that BASIX comr	e carried out. It is a condition of any developm mitments be complied with.	ent consen Show on	It granted, or com Show on CC/CD

Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	~	~	~
The applicant must configure the rainwater tank to collect rain runoff from at least 197 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	~
The applicant must connect the rainwater tank to:			
<ul> <li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li> </ul>		~	~
a tap that is located within 10 metres of the swimming pool in the development		~	~
Swimming pool			
The swimming pool must not have a volume greater than 35 kilolitres.	~	~	
The swimming pool must be outdoors.	~	~	

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA\_3\_15\_1 Certificate No.: 1063239S\_02 Thursday, 11 February 2021



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Thermal Comfort Commitments		Show on DA plans	Show on ( plans & sp
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the fron Certificate") to the development application and construction certificate application for the	e proposed development (or, if the applicant is		
applying for a complying development certificate for the proposed development, to that a Assessor Certificate to the application for an occupation certificate for the proposed deve			
The Assessor Certificate must have been issued by an Accredited Assessor in accordan The details of the proposed development on the Assessor Certificate must be consistent			
ertificate, including the Cooling and Heating loads shown on the front page of this certif The applicant must show on the plans accompanying the development application for the			
Assessor Certificate requires to be shown on those plans. Those plans must bear a stan Assessor to certify that this is the case. The applicant must show on the plans accompar	p of endorsement from the Accredited ying the application for a construction	~	
ertificate (or complying development certificate, if applicable), all thermal performance s ertificate, and all aspects of the proposed development which were used to calculate the			
he applicant must construct the development in accordance with all thermal performance ertificate, and in accordance with those aspects of the development application or appl			
rhich were used to calculate those specifications. The applicant must show on the plans accompanying the development application for the			
eiling fans set out in the Assessor Certificate. The applicant must show on the plans ac ertificate (or complying development certificate, if applicable), the locations of ceiling far		× .	N
The applicant must construct the floors and walls of the dwelling in accordance with the	specifications listed in the table below.	~	V
Floor and wall construction loor - concrete slab on ground	Area All or part of floor area square metres		
floor - suspended floor above garage	All or part of floor area		
Version: 3.0 / DARWINI	A_3_15_1 Certificate No.: 1063239S_02	Thursday, 11 F	February 2021
Energy Commitments		Show on DA plans	Show on C plans & sp
Hot water			
The applicant must install the following hot water system in the development, or a system instantaneous with a performance of 3.5 stars.	n with a higher energy rating: gas	¥	V
Cooling system		Ť	1
he applicant must install the following cooling system, or a system with a higher energy irconditioning; Energy rating: 4.5 star (average zone)			•
he applicant must install the following cooling system, or a system with a higher energy irconditioning; Energy rating: 4.5 star (average zone)	rating, in at least 1 bedroom: 1-phase		~
he cooling system must provide for day/night zoning between living areas and bedroom	8.		V
leating system		1	
ne applicant must install the following heating system, or a system with a higher energy rconditioning; Energy rating: 4.5 star (average zone)	rating, in at least 1 living area: 1-phase		•
ne applicant must install the following heating system, or a system with a higher energy rconditioning; Energy rating: 4.5 star (average zone)	rating, in at least 1 bedroom: 1-phase		
he heating system must provide for day/night zoning between living areas and bedroon	18.		~
entilation		1	i.
he applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual	switch on/off		1.5
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/ol	f		×
aundry: individual fan, ducted to façade or roof; Operation control: manual switch on/c	ff		×
			×
. <b>rtificial lighting</b> he applicant must ensure that the "primary type of artificial lighting" is fluorescent or ligh			
<ul> <li>Illowing rooms, and where the word "dedicated" appears, the fittings for those lights mught emitting diode (LED) lamps:</li> <li>at least 5 of the bedrooms / study;</li> </ul>	st only be capable of accepting fluorescent or		
Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINI/	A_3_15_1 Certificate No.: 1063239S_02	Thursday, 11 F	ebruary 2021
Energy Commitments		Show on DA plans	Show on C
at least 3 of the living / dining rooms;			
the kitchen:			
- the Richen,			
all bathrooms/toilets;			
			U U
all bathrooms/toilets;			
<ul> <li>all bathrooms/toilets;</li> <li>the laundry;</li> <li>all hallways;</li> </ul>			
<ul> <li>all bathrooms/toilets;</li> <li>the laundry;</li> <li>all hallways;</li> </ul>	ral lighting.	<b>·</b>	
<ul> <li>all bathrooms/toilets;</li> <li>the laundry;</li> <li>all hallways;</li> </ul> Natural lighting The applicant must install a window and/or skylight in the kitchen of the dwelling for nature.		~	
<ul> <li>all bathrooms/toilets;</li> <li>the laundry;</li> <li>all hallways;</li> </ul> Natural lighting The applicant must install a window and/or skylight in the kitchen of the dwelling for natu The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development		>	
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<ul> <li>all bathrooms/toilets;</li> <li>the laundry;</li> <li>all hallways;</li> </ul> Natural lighting The applicant must install a window and/or skylight in the kitchen of the dwelling for natu The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the devel Swimming pool The applicant must install the following heating system for the swimming pool in the development must install a timer for the swimming pool pump in the development. Alternative energy The applicant must install a photovoltaic system with the capacity to generate at least 4 placelopment. The applicant must connect this system to the development's electrical system Dther The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.	ppment for natural lighting. Hopment (or alternatively must not install any beak kilowatts of electricity as part of the ttem.		
<ul><li>all bathrooms/toilets;</li><li>the laundry;</li></ul>	ppment for natural lighting. elopment (or alternatively must not install any beak kilowatts of electricity as part of the etem.		
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		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
d construction certificate application f	front page of this BASIX certificate (the "Assessor or the proposed development (or, if the applicant is hat application). The applicant must also attach the development.			
ed by an Accredited Assessor in acco	rdance with the Thermal Comfort Protocol.			
ne Assessor Certificate must be consis bads shown on the front page of this of	stent with the details shown in this BASIX certificate.			
hose plans. Those plans must bear a oplicant must show on the plans accord	or the proposed development, all matters which the stamp of endorsement from the Accredited mpanying the application for a construction nee specifications set out in the Assessor te those specifications.	~	~	~
	nance specifications set out in the Assessor application for a complying development certificate		~	~
The applicant must show on the plan	or the proposed development, the locations of s accompanying the application for a construction ng fans set out in the Assessor Certificate.	~	~	~
alls of the dwelling in accordance with	the specifications listed in the table below.	~	~	~
	(			
	Area			
	All or part of floor area square metres			
	All or part of floor area			

.gov.au	Version: 3.0 / DARWINIA_3_15_1	Certificate No.: 1063239S_02	Thursday, 11 F

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	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
ter system in the development, or a system with a higher energy rating: gas	~		
N			
		1	1
i system, or a system with a higher energy rating, in at least 1 living area: 1-phase e zone)		<b>~</b>	~
system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase e zone)		~	~
zoning between living areas and bedrooms.		~	~
g system, or a system with a higher energy rating, in at least 1 living area: 1-phase e zone)		~	~
g system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase e zone)		~	~
zoning between living areas and bedrooms.		~	~
st systems in the development:			
façade or roof; Operation control: manual switch on/off		~	~
oof; Operation control: manual switch on/off		~	~
oof; Operation control: manual switch on/off		~	~
pe of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of t			
ed" appears, the fittings for those lights must only be capable of accepting fluorescen	tor		
		~	~

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	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
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		~	~
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kylight in the kitchen of the dwelling for natural lighting.	~	~	~
xylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	~	~	~
	·		
ng system for the swimming pool in the development (or alternatively must not install any (gas boosted)		~	
nming pool pump in the development.		~	
		A	
em with the capacity to generate at least 4 peak kilowatts of electricity as part of the s system to the development's electrical system.	~	¥	~
			- A-
ectric oven in the kitchen of the dwelling.		~	
or space in the development so that it is "well ventilated", as defined in the BASIX		~	
thes drying line as part of the development.		~	

		No. Description	Date	Project	Alan Ave	Scale @ A1; A3 half	ndic.		Checked by
mple. This uthority of	Contact: info@buckandsimple.com ABN : 86 106 604 025 NSW #8631 VIC #19664	1 Issue for Development Application	17.02.2021	Location		Project Issue Date	Oct 2020	BS Sheet Issue Date	BS 17.02.2021
r to the direction	www.buckandsimple.com			Client	O'Hanlon, Gluliano & El Khouri	Project number	Drawing #	Issue	
ated ng for	<b>Development Application</b>			Drawing	Basix Requirements - No 27A	1141	DA	-972	1
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		No.	Description	Date	Project	Alan Ave
le. This ority of	Contact: info@buckandsimple.com ABN : 86 106 604 025	1	Issue for Development Application	17.02.2021	Location	
the	NSW #8631 VIC #19664					27 Alan Avenue, Seaforth NS
rection	www.buckandsimple.com				Client	O'Hanlon, Gluliano & El Khou
d for	<b>Development Application</b>				Drawing	
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	Project number	Drawing #	Issue	
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