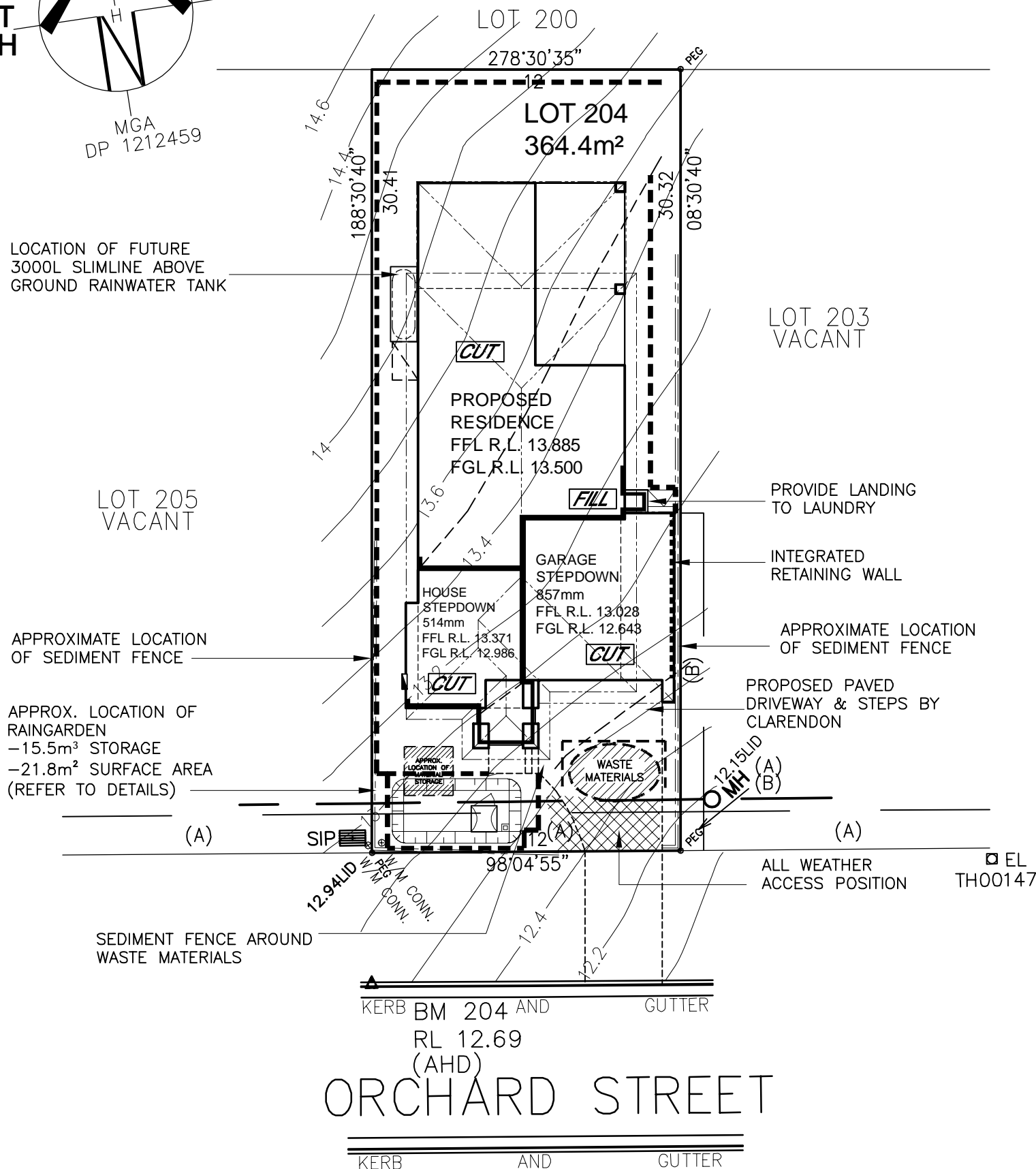


LOT 204
D.P: 1212459
L.G.A: Northern Beaches

**SITING HAS BEEN COMPLETE
 IN ACCORDANCE WITH
 WARRIEWOOD VALLEY URBAN
 RELEASE**



ORCHARD STREET

- PORTABLE TOILET
- DENOTES TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION

NOTE:
 TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

NOTE:
 GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE
 NOT TO SCALE

**CONSTRUCTION MANAGEMENT PLAN
 EROSION AND SEDIMENT CONTROL PLAN**

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
 BL No. 2298C
 ABN 18 003 892 706
 Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8854 5000

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 # DIMENSIONS TO BE READ IN

PRODUCT:
PADDINGTON 29 MKII
 Chisholm
 R/H Garage
 Sapphire Specification

CLIENT:
 Mr FAINBAUM
 Mrs MORIKI
 SITE ADDRESS:
 Lot 204, No.8
 ORCHARD STREET
 WARRIEWOOD 2100

CONSTRUCTION DRAWINGS			
DRAWN: PG.	DATE: 26.09.16	Rev: L	
RATIO @ A3: 1:200	CHECKED: M.P.		
SHEET: 21	JOB No: 29911591	NSW	