

NOTE:
- 2340h Doors to Ground Floor
- 2040h Door to Upper Floor

BAL 19 to North East Elevation

**NORTHERN BEACHES
COUNCIL
THIS PLAN TO BE READ IN
CONJUNCTION WITH
DEFERRED
COMMENCEMENT
DA2018/1200**

(Activation of consent must be obtained via written notice)

BAL 29 to North
West Elevation

BAL 29 to South East Elevation

BAL 29 to South West Elevation

Ground Floor Plan

Floor Area	
Upper Living	116.30
Lower Living	106.88
Garage	37.84
Porch	6.81
Upper Living	1.56
	269.39 m²

Notes:

1. Levels shown are approx and should be verified on site
2. Figured dimensions are to be taken in preference to scaling
3. All measurements are in mm unless otherwise stated
4. Window sizes are nominal only. Final window sizes by builder
5. Dimensions are to be verified on site by builder before commencement of work.
6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
7. Final AJ's to engineers specifications
8. Floor Level +/- 200mm

ICON Job Number: J/0335

Client Approval:

Date:

Client:



Job:

Proposed B/V Residence

LOT: 6 DP: UNREG
Lorikeet Grove,
Warriewood

Drawing:

Ground Floor Plan

Scale:

1:100

Date:

24-10-18

Drawing No:

17223-15

Sheet:

3/15

Issue:

N

House Design: Custom	
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design and drafting

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Email: info@accuratedesign.com.au

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Legend:

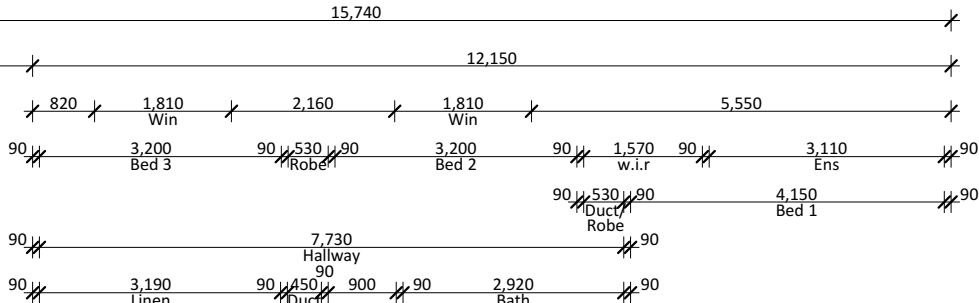
- ACU - Air Conditioning Unit
- AJ - Articulation Joint
- B/Bar - Breakfast Bar
- D - Dryer
- DP - Downpipe
- DW - Dishwasher
- Ens - Ensuite
- FW - Floor Waste
- HWS - Hot Water System
- LOH - Lift off Hinge
- LC - Laundry Chute
- MH - Manhole
- MW - Microwave Oven
- OBS - Obscure
- OHC - Over Head Cupboard
- RHS - Rolled Hollow Steel
- S - Smoke Detector
- Shr - Shower
- TR - Towel Rail
- Van - Vanity
- WF - Wine Fridge
- w.i.l. - Walk in Linen
- w.i.r. - Walk in Robe
- w.i.p. - Walk in Pantry
- WM - Washing Machine

NOTE:
- 2340h Doors to Ground Floor
- 2040h Door to Upper Floor

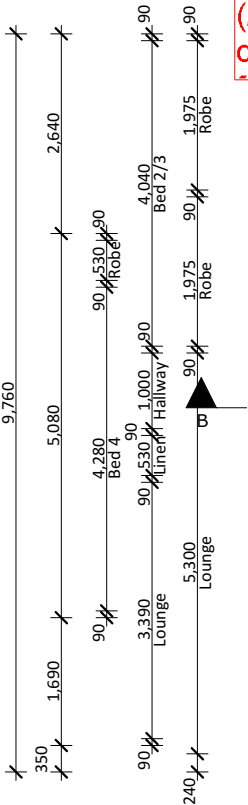
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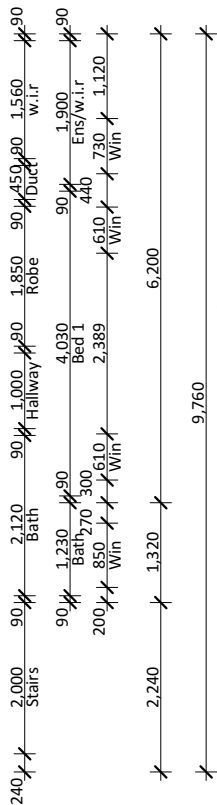
BAL 19 to North
East Elevation



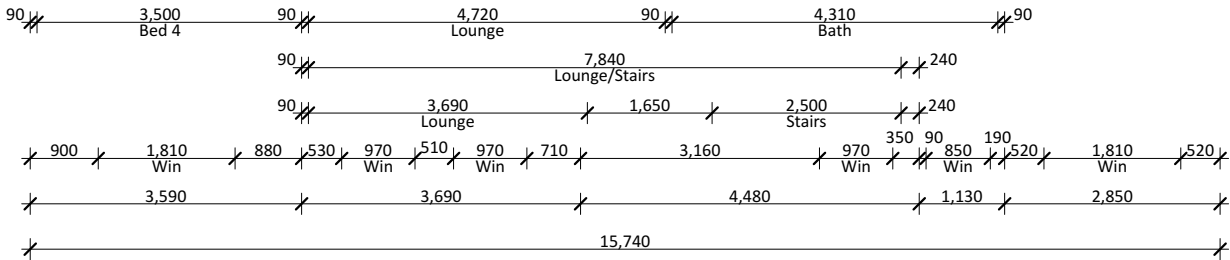
BAL 29 to North
West Elevation



BAL 29 to South
East Elevation



BAL 29 to South
West Elevation



Upper Floor Plan
1:100

Floor Area	
Upper Living	116.30
Lower Living	106.88
Garage	37.84
Porch	6.81
Upper Living	1.56
269.39 m ²	

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ICON Job Number: J/0335

Client Approval:

Date:

Client:



Job:

Proposed B/V Residence

LOT: 6 DP: UNREG
Lorikeet Grove,
Warriewood

Drawing:

Upper Floor Plan

Scale:

1:100

Date:

24-10-18

Drawing No:

17223-15

Sheet:

4/15

Issue:

N

House Design: Custom



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- Legend:
- ACU - Air Conditioning Unit
 - AJ - Articulation Joint
 - B/Bar - Breakfast Bar
 - D - Dryer
 - DP - Downpipe
 - DW - Dishwasher
 - Ens - Ensuite
 - FW - Floor Waste
 - HWS - Hot Water System
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8. Floor Level +/- 200mm

Client Approval:	Date:
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Job: Proposed B/V Residence

Drawing:
**Front & Rear
Elevations**

Drawing No: 17223-15	Sheet: 5/15	Issue: N
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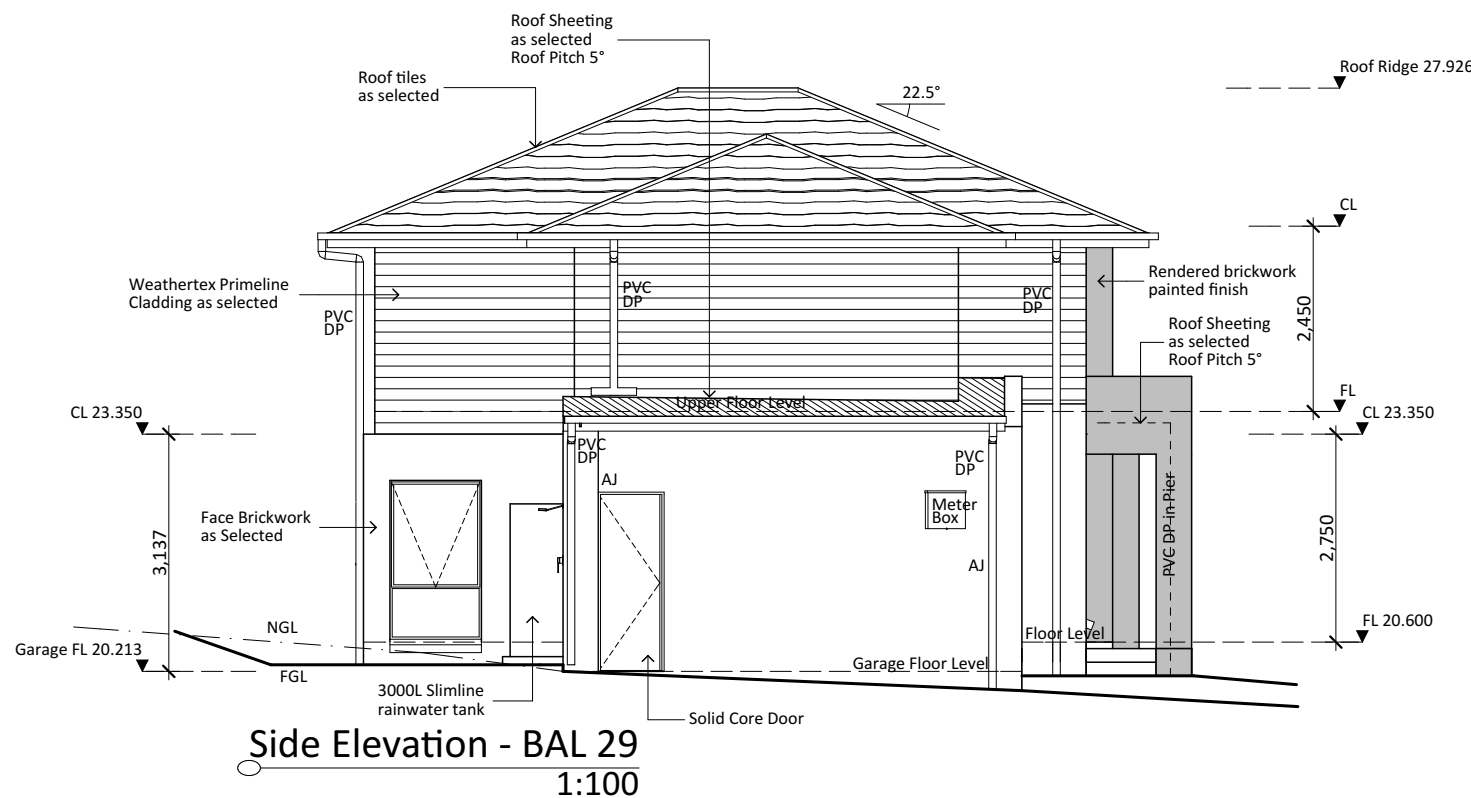
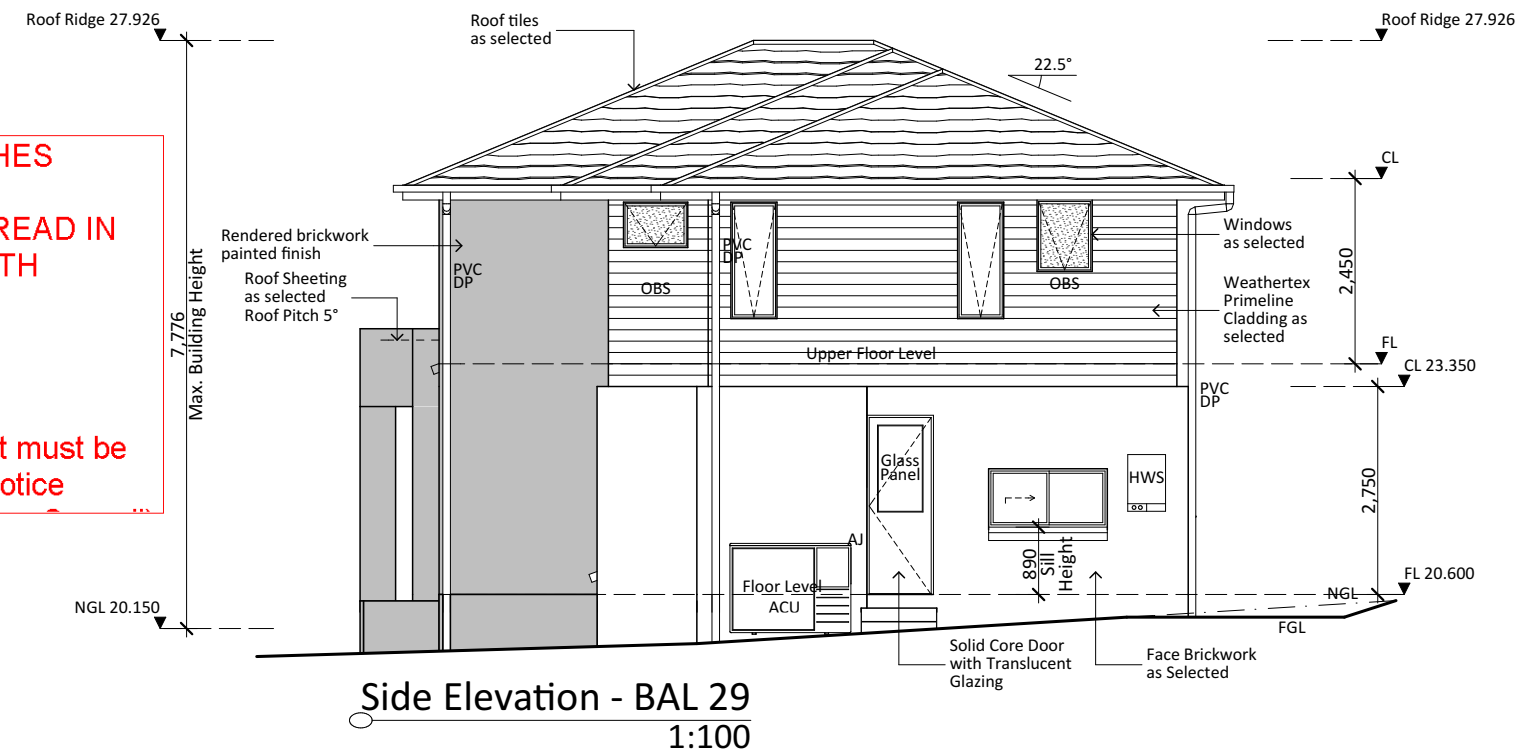
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Legend:
ACU - Air Conditioning Unit
AJ - Articulation Joint
CL - Ceiling Level
DP - Downpipe
FGL - Finish Ground Line
FL - Floor Level
HWS - Hot Water System
NGL - Natural Ground Line
OBS - Obscure
RW - Retaining Wall

Notes:
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8. Floor Level +/- 200mm

ICON Job Number: J/0335

Client Approval:

Date:

Client:



Job:

Proposed B/V Residence

LOT: 6 DP: UNREG
Lorikeet Grove,
Warriewood

Drawing:

Side Elevations

Scale:

1:100

Date:

24-10-18

Drawing No:

17223-15

Sheet:

6/15

Issue:

N

House Design: Custom



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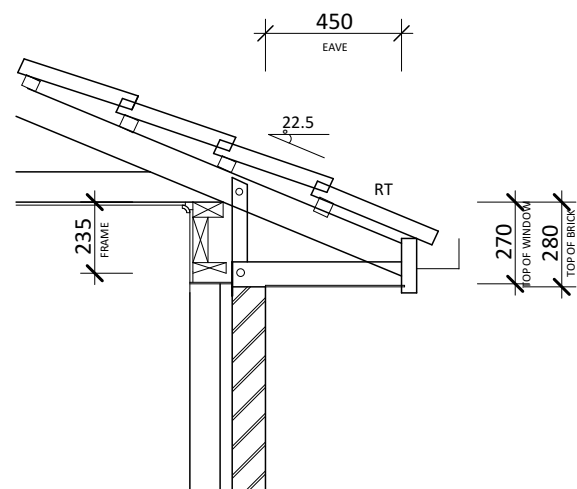
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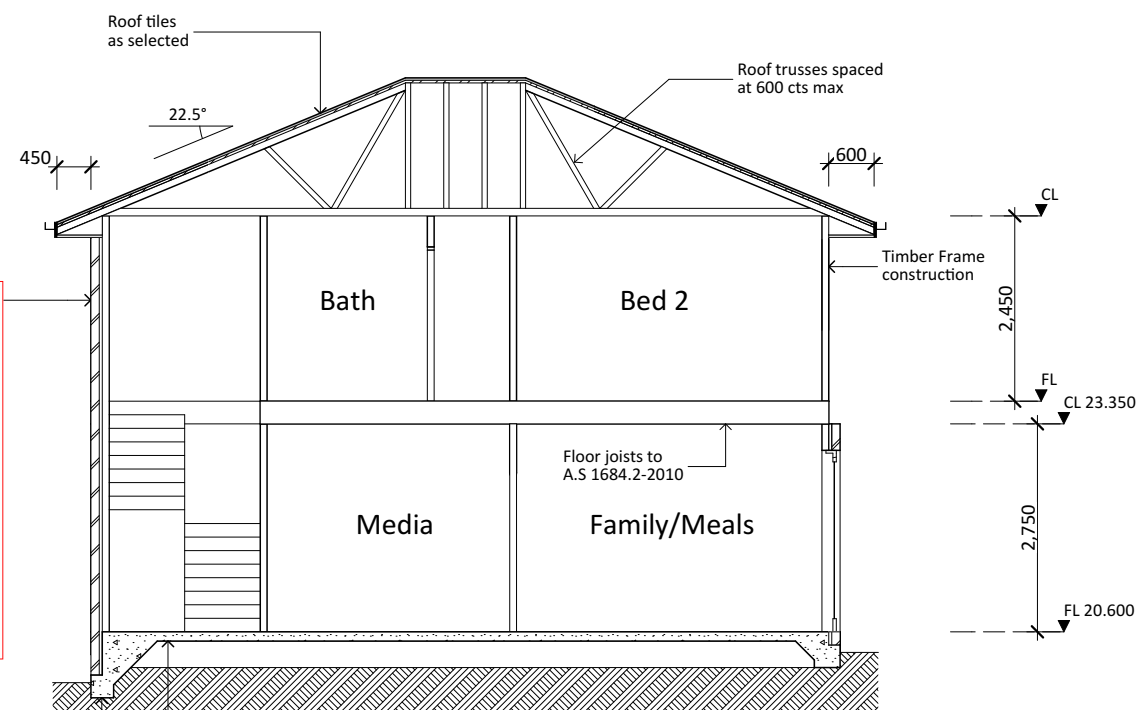


Eave Detail
1:25
(2450 C.H.)

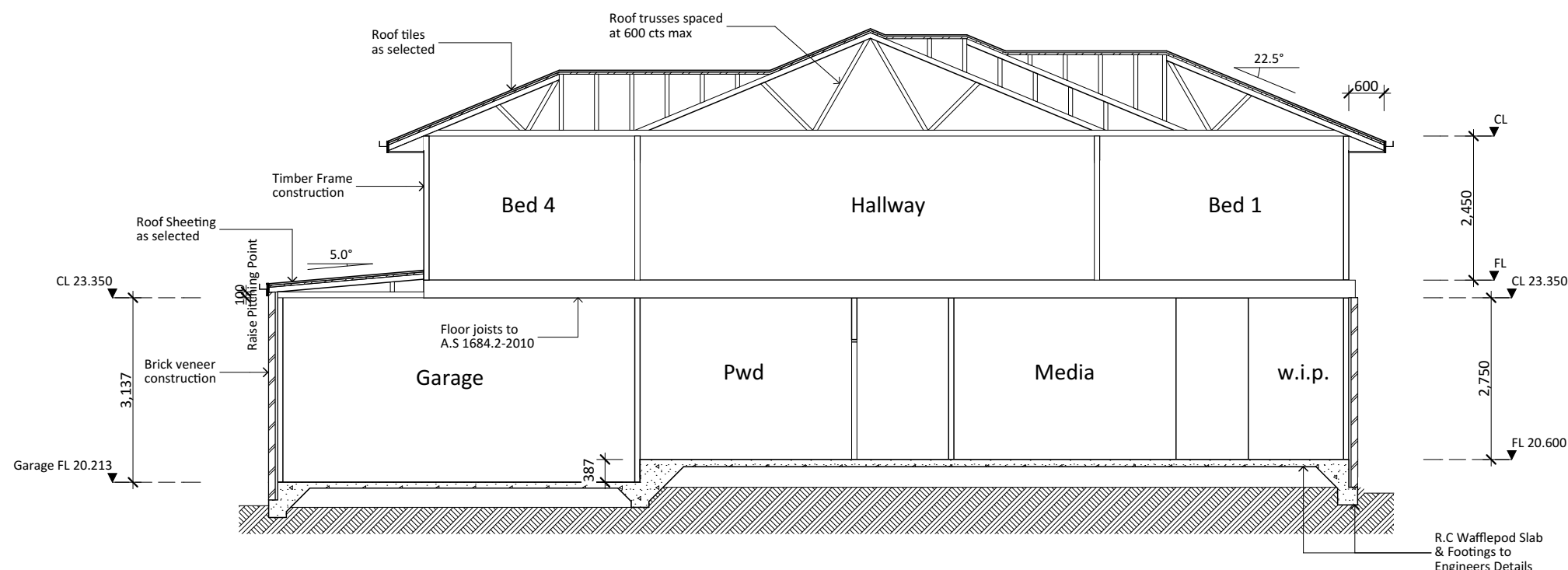
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Brick veneer construction

R.C Wafflepod Slab & Footings to Engineers Details



Section A-A
1:100



Section B-B
1:100

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ICON Job Number: J/0335

Client Approval:

Date:

Client:



Job:

Proposed B/V Residence

LOT: 6 DP: UNREG
Lorikeet Grove,
Warriewood

Drawing:
Sections

Scale:
1:100

Date:
24-10-18

Drawing No:
17223-15

Sheet:
7/15

Issue:
N

House Design: Custom

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