

LEGEND

BOUNDARY

EXISTING BOUNDARY FENCE

NEW BOUNDARY FENCE

POOL FENCE

SEDIMENT CONTROL FENCE

RETAINING WALL

PROPOSED CONCRETE

PROPOSED PAVEMENT

EXISTING TURF TO BE RETAINED

PROPOSED TURF

EXISTING PLANTING TO BE RETAINED

PROPOSED PLANTING

EXISTING TREE TO BE RETAINED

EXISTING TREE TO BE REMOVED

SITE ANALYSIS LEGEND

SITE VEHICLE ENTRY

WASTE STORAGE AREA

NEW WORKS COLOURS

EXISTING LANDSCAPE AREA

MATERIALS STORAGE AREA

BRICK

CONCRETE

METAL

TIMBER

GLASS

LONDONDERRY DRIVE

LONDONDERRY DRIVE

POOL NOTES:

- 1/ Refer to Pool Fencing Code per AS 1926.1 - 2012 for compliance of the safety barriers for swimming pools.
- 2/ Overflow of pool is to be connected to sewer according to Sydney Water specifications.
- 3/ Pool pavement pattern and setout shown is indicative only. No allowance has been made for coping overhang, mortar gaps and joints.
- 4/ Pool fence shown is the approximate position of proposed 1200mm(h) minimum childproof safety barrier with solid gate in accordance with AS1926.1-2012. The proposed pool enclosure has been designed to comply with the Australian Standard, the Swimming Pools Act and Swimming Pool Regulations.
- 5/ The boundary fence inside the pool zone must be a minimum height of 1800mm with a non climbable zone of 900mm on the inside of the fence. Any shrubs or plants located adjacent to the inside of the boundary fence must be maintained for the lifetime of the development at a height that does not interfere with the 900mm non climbable zone.

SEDIMENT & EROSION CONTROL NOTES

During earthworks the following procedures shall be followed:

1. Install silt barriers where shown on plan prior to commencement of works.
2. Silt barriers to be maintained regularly & after heavy rain by removal of built up silt & spreading silt on existing site when 50% capacity.
3. Repair any damages to fence immediately.
4. Clean up spillages outside silt fence immediately.
5. Sediment control measures to be left in place until works completed.
6. Topsoil from the work's area will be stockpiled for later use in landscaping if necessary.
7. Approved bins for building waste, concrete and mortar slurries, paints and acid washings will be provided by contractor.

BASIX REQUIREMENTS					
RAINWATER TANK THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1465 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES. THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 100 SQUARE METRES OF ROOF AREA. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.					
OUTDOOR SWIMMING POOL THE SWIMMING POOL MUST BE OUTDOORS. THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 59.1 KILOLITRES. THE SWIMMING POOL MUST HAVE A POOL COVER. THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL. THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT: GAS					
CONSTRUCTION INSULATION REQUIREMENTS - THE APPLICANT MUST CONSTRUCT THE NEW OR ALTERED (FLOOR(S), WALLS AND CEILINGS/ROOFS) IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW, EXCEPT THAT A) ADDITIONAL INSULATION IS NOT REQUIRED WHERE THE AREA OF NEW CONSTRUCTION IS LESS THAN 2M ² . B) INSULATION SPECIFIED IS NOT REQUIRED FOR PARTS OF ALTERED CONSTRUCTION WHERE INSULATION ALREADY EXISTS.					
CONSTRUCTION - EXTERNAL WALL: BRICK VENEER: R1.16 (OR R1.70 INCLUDING CONSTRUCTION)					
GLAZING REQUIREMENTS WINDOWS & GLAZED DOORS THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES, IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW. RELEVANT OVERSHADOWING SPECIFICATIONS MUST BE SATISFIED FOR EACH WINDOW AND GLAZED DOOR. THE FOLLOWING REQUIREMENTS MUST ALSO BE SATISFIED IN RELATION TO EACH WINDOW AND GLAZED DOOR: EACH WINDOW OR GLAZED DOOR WITH STANDARD ALUMINIUM OR TIMBER FRAMES AND SINGLE CLEAR OR TONED GLASS MAY EITHER MATCH THE DESCRIPTION, OR HAVE A U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) NO GREATER THAN THAT LISTED IN THE TABLE BELOW. TOTAL SYSTEM U-VALUES AND SHGC'S MUST BE CALCULATED IN ACCORDANCE WITH NATIONAL FENESTRATION RATING COUNCIL (NFR) CONDITIONS. FOR PROJECTIONS DESCRIBED IN MILLIMETRES, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR RAINING MUST BE NO MORE THAN 500mm ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR AND NO MORE THAN 2400mm ABOVE THE SILL. PERGOLAS WITH POLYCARBONATE ROOF OR SIMILAR TRANSLUCENT MATERIAL MUST HAVE A SHADING COEFFICIENT OF LESS THAN 0.35. PERGOLAS WITH FIXED BATTENS MUST HAVE BATTENS PARALLEL TO THE WINDOW OR GLAZED DOOR ABOVE WHICH THEY ARE SITUATED. UNLESS THE PERGOLA ALSO SHADES A PERPENDICULAR WINDOW, THE SPACING BETWEEN BATTENS MUST NOT BE MORE THAN 50mm. OVERSHADOWING BUILDINGS OR VEGETATION MUST BE OF THE HEIGHT & DISTANCE FROM THE CENTRE AND THE BASE OF THE WINDOW AND GLAZED DOORS, AS SPECIFIED IN THE 'OVERSHADOWING COLUMN' IN THE TABLE BELOW.					
WINDOW AND GLAZED DOORS GLAZING REQUIREMENTS					
Window /door no.	Orientation	Area of glass inc. frame (m ²)	Overshading Height (m)	Shading device	Frame and glass type
W1	N	2.6	3.7	0.64	eave/verandah/pergola standard aluminium, single clear, (or /balcony >=600mm U-value: 7.63, SHGC: 0.75)
W2	N	2.6	3.7	0.64	eave/verandah/pergola standard aluminium, single clear, (or /balcony >=600mm U-value: 7.63, SHGC: 0.75)
D1	N	12.8	3.7	0.64	eave/verandah/pergola standard aluminium, single clear, (or /balcony >=600mm U-value: 7.63, SHGC: 0.75)

NOTES:
- Contractors to check and verify all dimensions and all levels on site prior to any works.
- Any discrepancies should be immediately referred to Space Landscape Designs.
- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.
- Dimensions designed over datum. All measurements are in millimetres.

Rev.

Date

Issue

17/09/2019

Preliminary Issue

24/09/19

DA Issue

Checked

AE

AE

SPACE

LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd

ABN 60 799 663 674 ACN 139 316 251

info@spacelandscape.com.au

spacelandscape.com.au

P 02 9905 7870 F 02 9905 7657

Suite 138, 117 Old Pittwater Rd,

Brookvale NSW 2100

CLIENT

Evan Batten

ADDRESS

5 Londonderry Drive

KILLARNEY HEIGHTS

DRN:

C.Wallace (B Arch)

DATE:

17/09/2019

SCALE:

1:100@A1

PROJECT NO:

191644

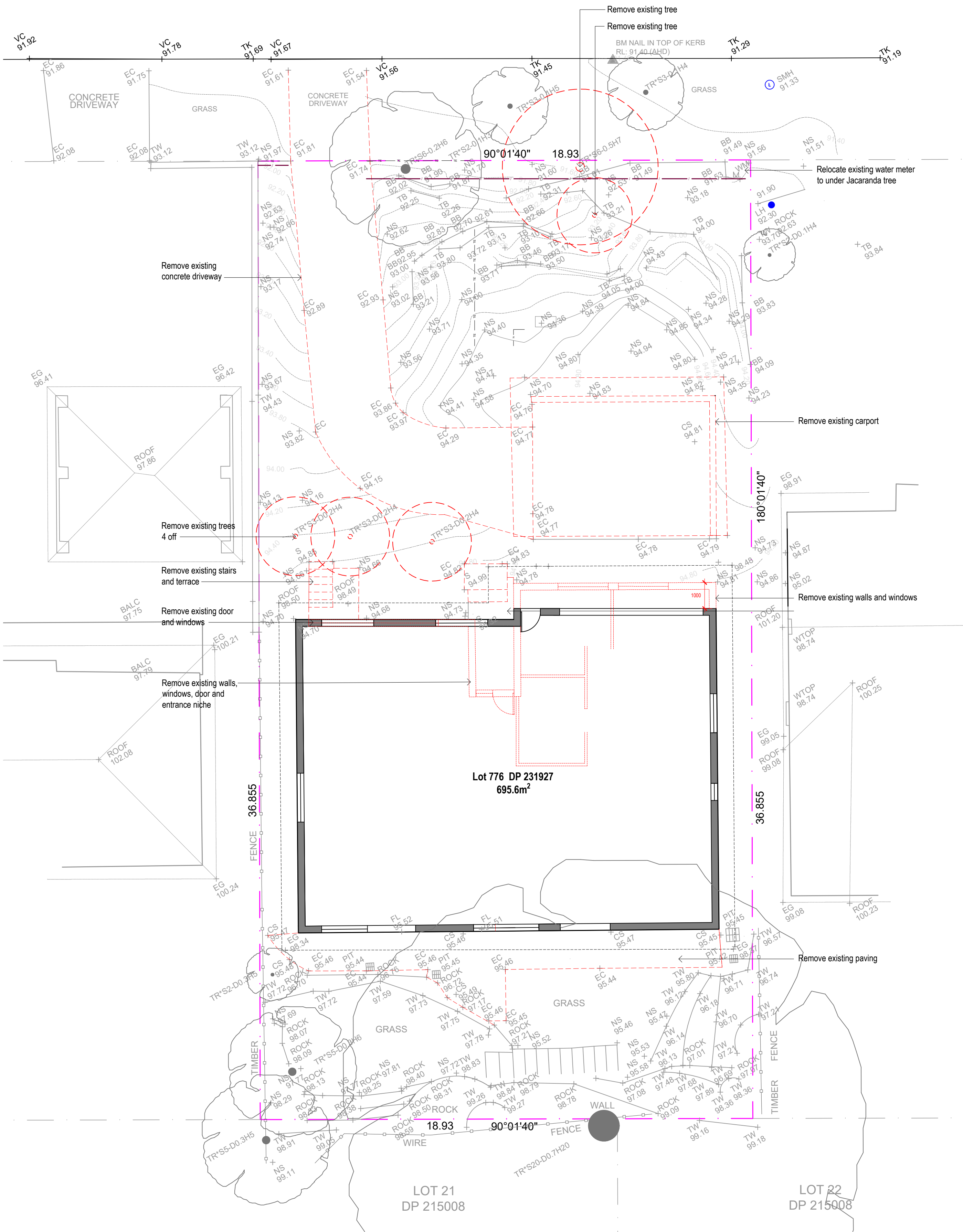
NORTH

SITE PLAN SITE ANALYSIS/

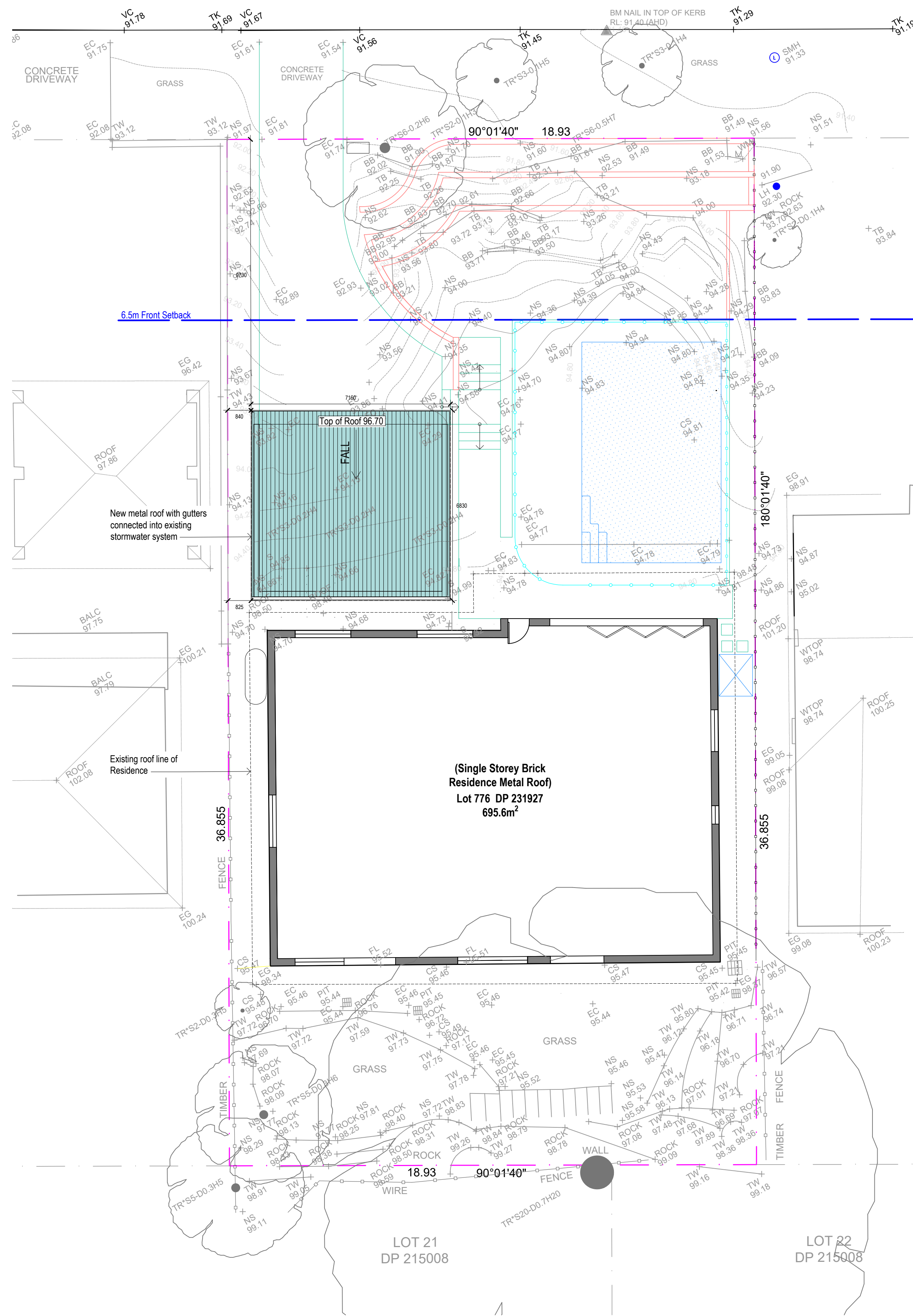
SEDIMENT CONTROL PLAN

DA-01

Rev B



DEMOLITION PLAN
SCALE 1:100



CARPORT ROOF PLAN
SCALE 1:100

NOTES:
- Contractors to check and verify all dimensions and all levels on site prior to any works.
- Any discrepancies should be immediately referred to Space Landscape Designs.
- All work to comply with B.C.A. (Building Australia) and relevant Australian Standards.
- Dimensions designed over existing. All measurements are in millimetres.

Rev.	Date	Issue
A	17/09/19	Preliminary Issue
B	24/09/19	DA Issue

Checked
AE
AE

SPACE
LANDSCAPE DESIGNS

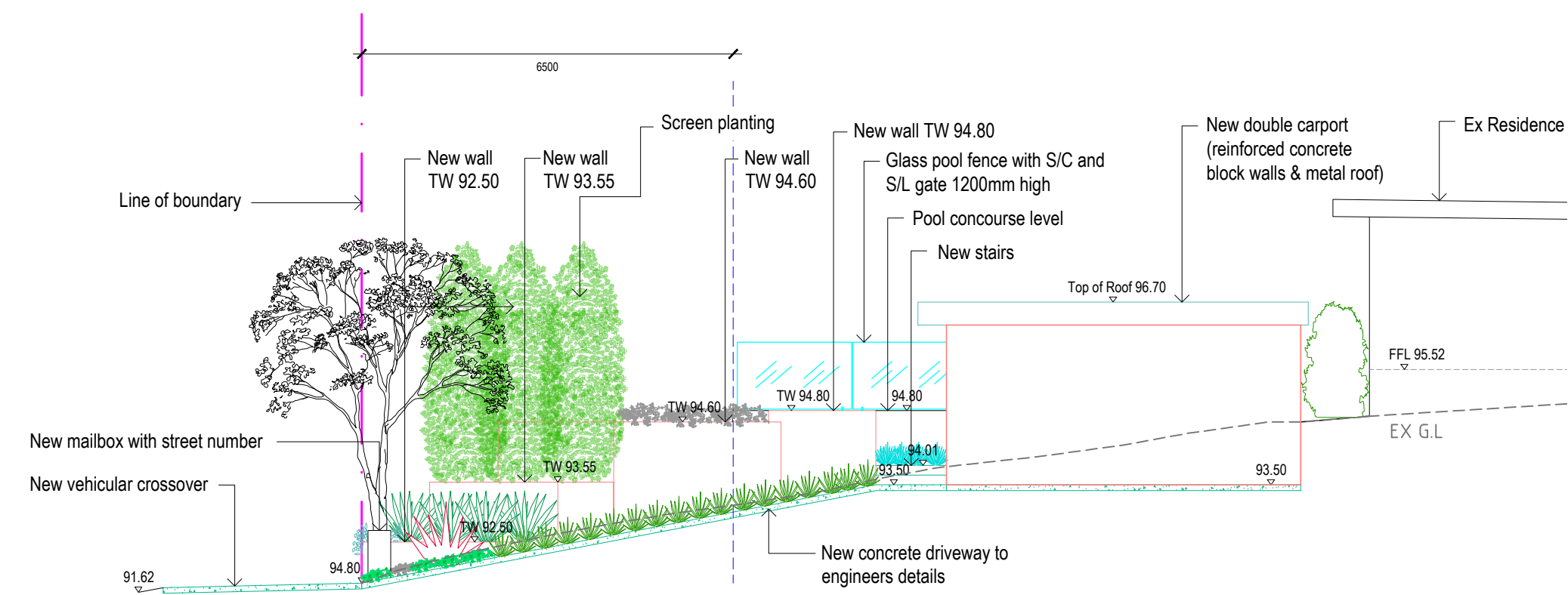
Space Landscape Designs Pty Ltd
ABN 60 799 663 674 ACN 139 316 251
info@spacelandscape.com.au
spacelandscape.com.au
P 02 9905 7870 F 02 9905 7657
Suite 138, 117 Old Pittwater Rd,
Brookvale NSW 2100

CLIENT
Evan Batten
ADDRESS
5 Londonderry Drive
KILLARNEY HEIGHTS

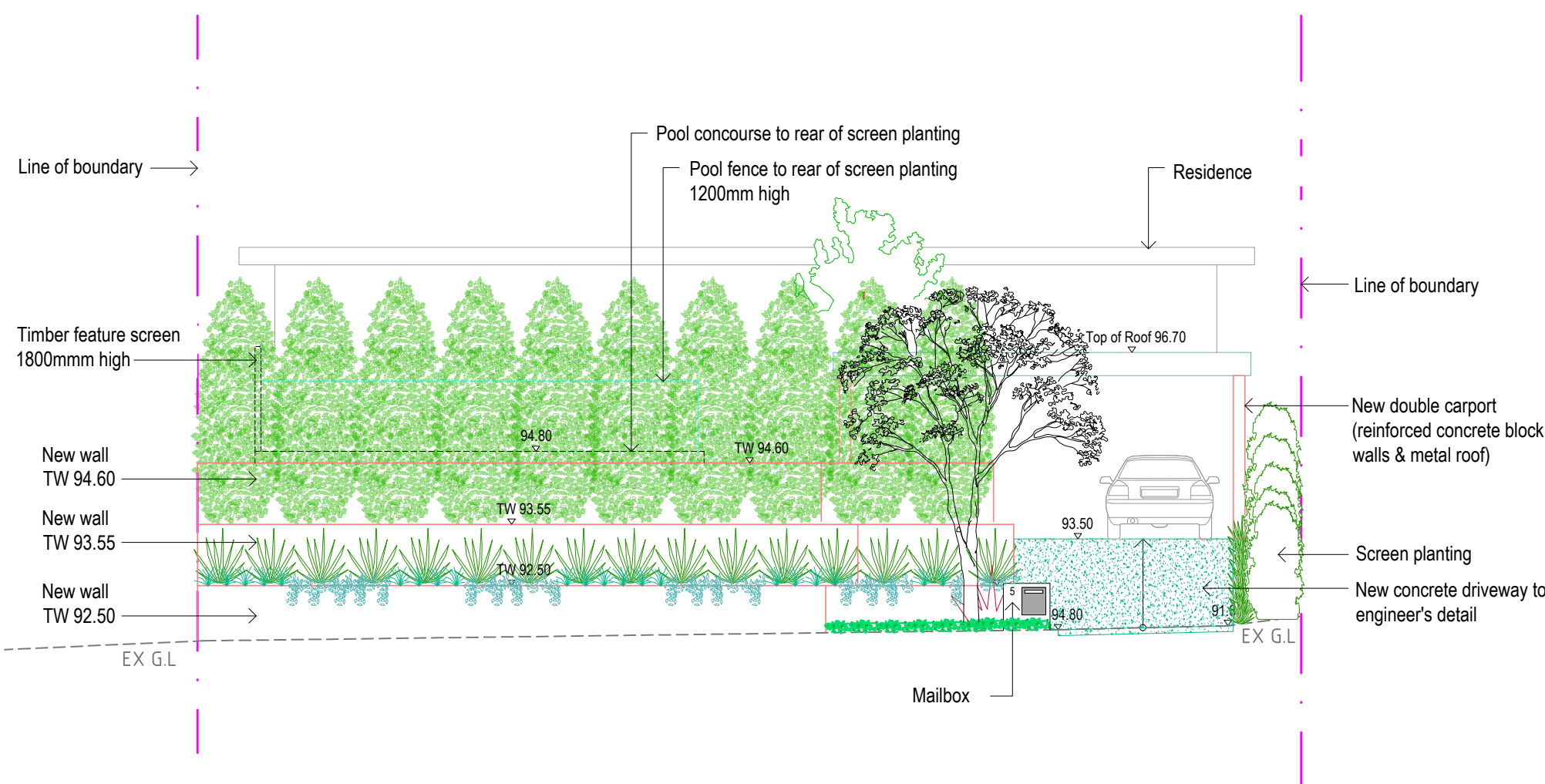
DRN: C.Wallace (B Arch)
DATE: 17/09/2019
SCALE: 1:100@A1
PROJECT NO: 191644



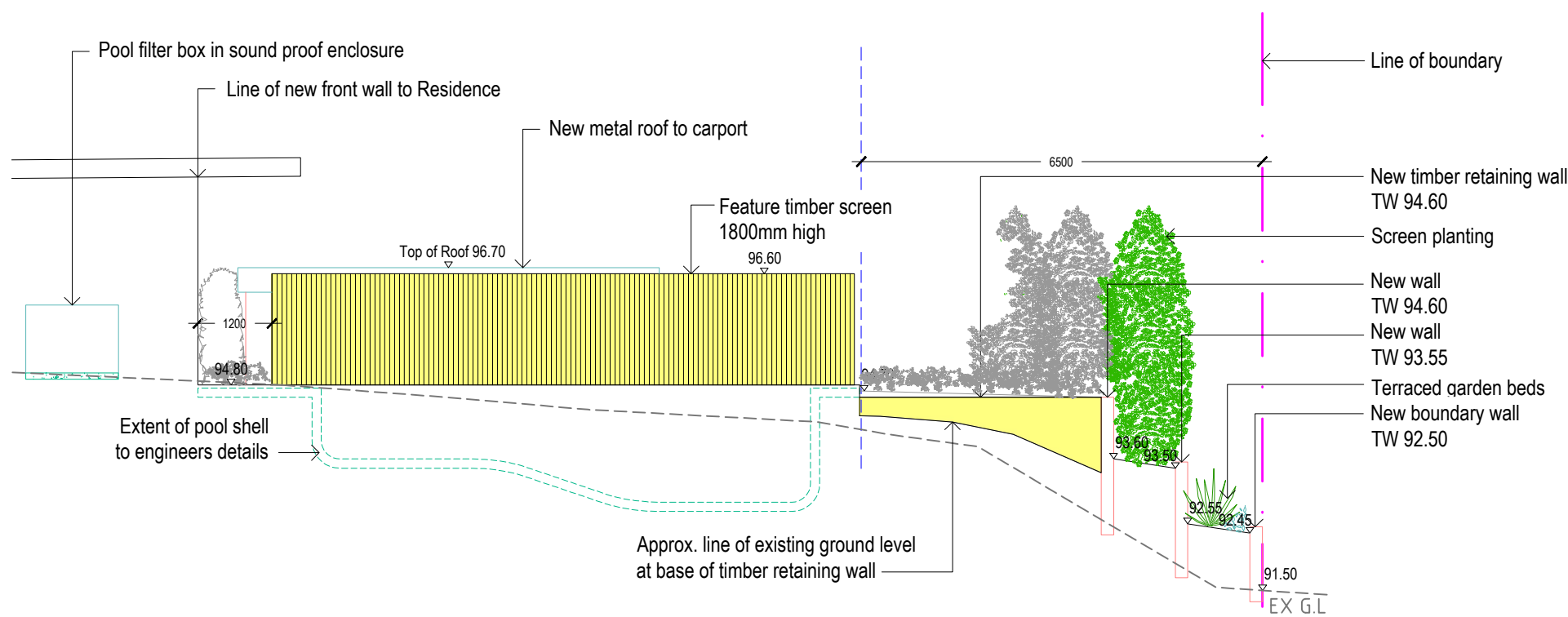
DEMOLITION PLAN &
ROOF PLAN
DA-02
Rev B



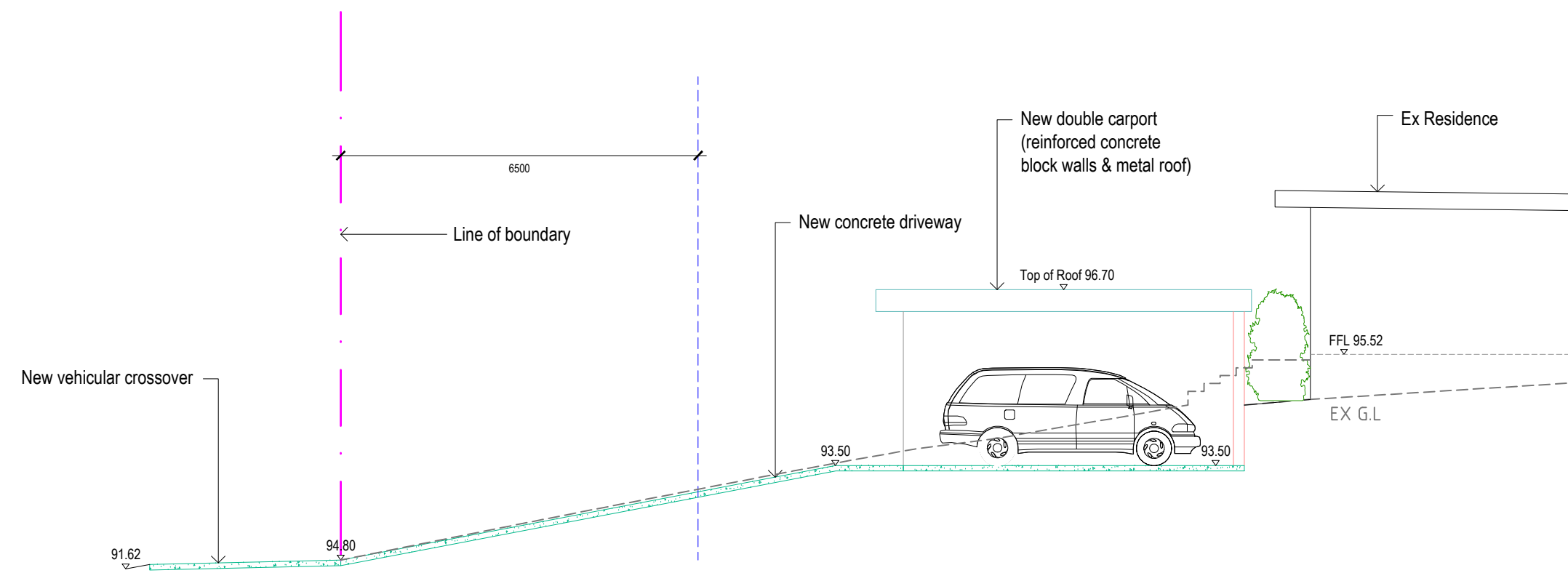
WESTERN ELEVATION AA
Scale 1:100



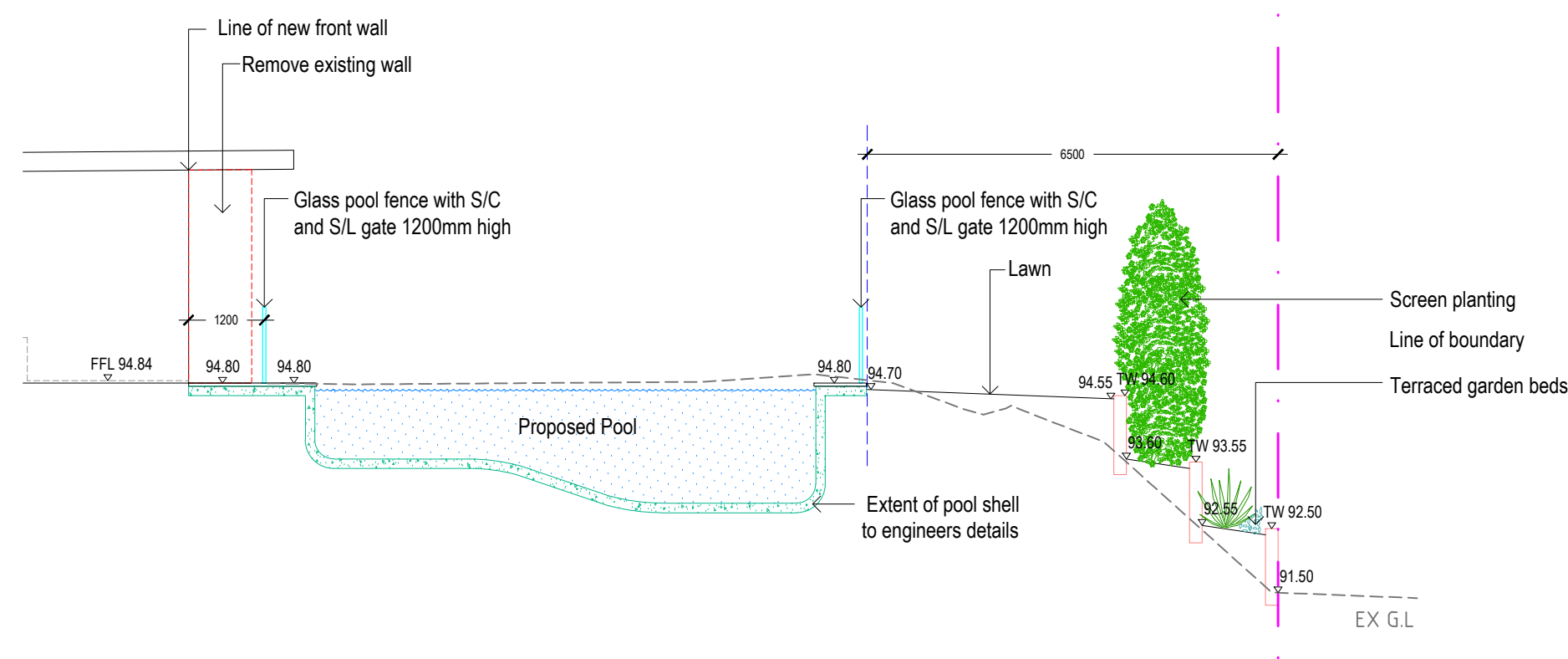
NORTHERN (STREET) ELEVATION BB
Scale 1:100



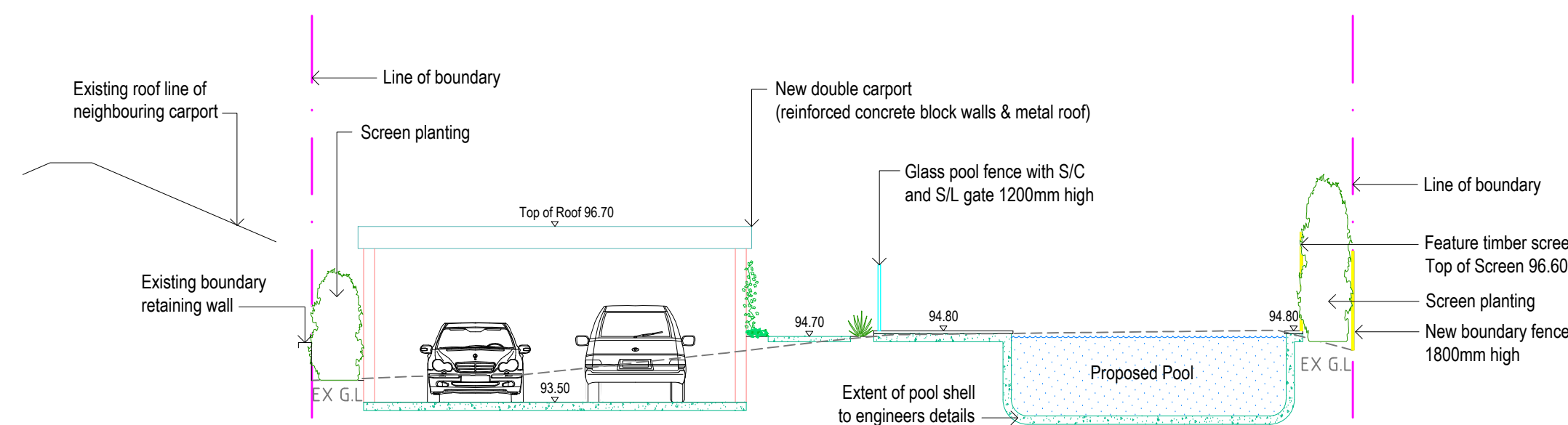
EASTERN ELEVATION CC
Scale 1:100



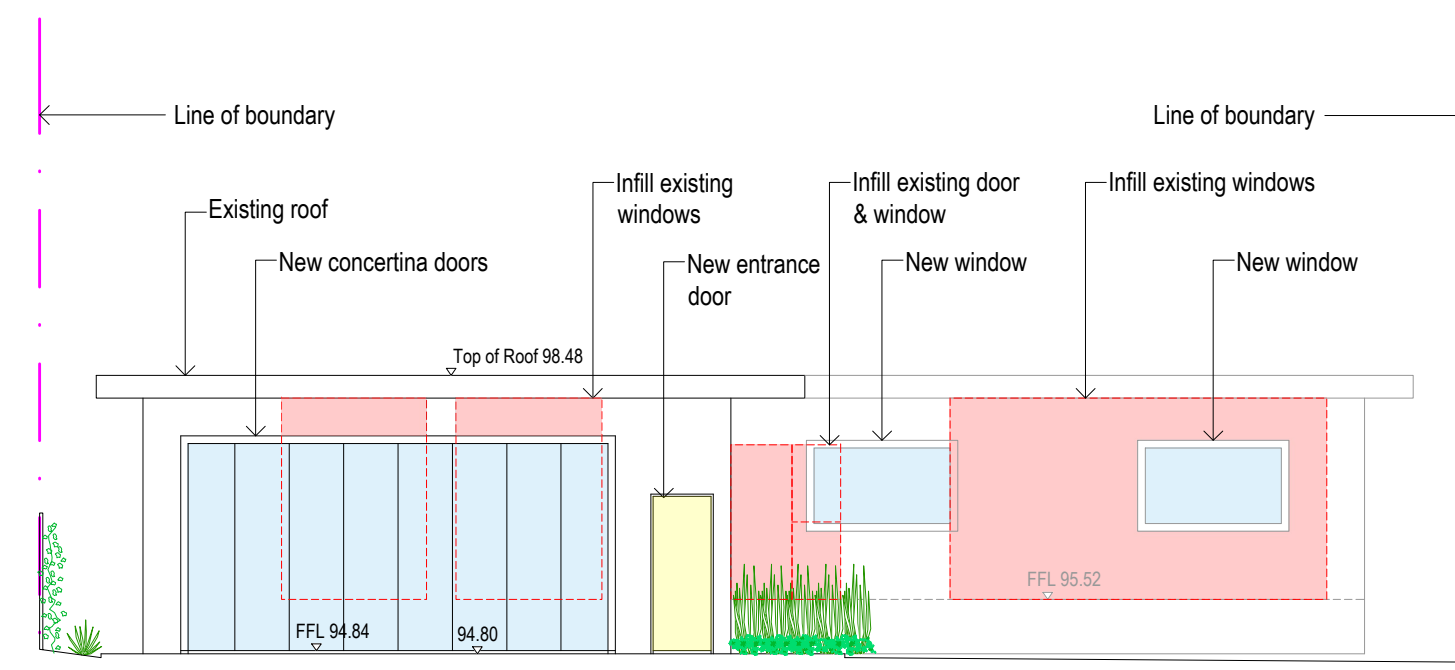
SECTION DD
Scale 1:100



SECTION EE
Scale 1:100



SECTION FF
Scale 1:100



NORTHERN ELEVATION
SCALE 1:100

NOTES:
- Contractors to check and verify all dimensions and all levels on site prior to any works.
- Any discrepancies should be immediately referred to Space Landscape Designs.
- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.
- Dimensions designed over parties. All measurements are in millimetres.

Rev.	Date	Issue
A	17/09/19	Preliminary Issue
B	24/09/19	DA Issue

Checked	AE
AE	AE

SPACE
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd
ABN 60 799 663 674 ACN 139 316 251
info@spacedesigns.com.au
spacedesigns.com.au
P 02 9905 7870 F 02 9905 7657
Suite 138, 117 Old Pittwater Rd,
Brookvale NSW 2100

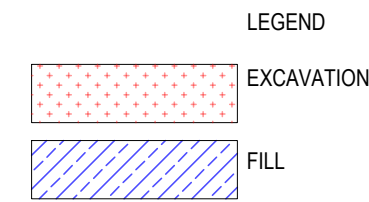
CLIENT
Evan Batten
ADDRESS
5 Londonderry Drive
KILLARNEY HEIGHTS

DRN: C.Wallace (B Arch)
DATE: 17/09/2019
SCALE: 1:100@A1
PROJECT NO: 191644

NORTH

SECTION ELEVATION
PLAN
DA-03

Rev B



Checked
AE
AE

CLIENT
Evan Batten

ADDRESS
5 Londonderry Drive
KILL ARNEY HEIGHTS

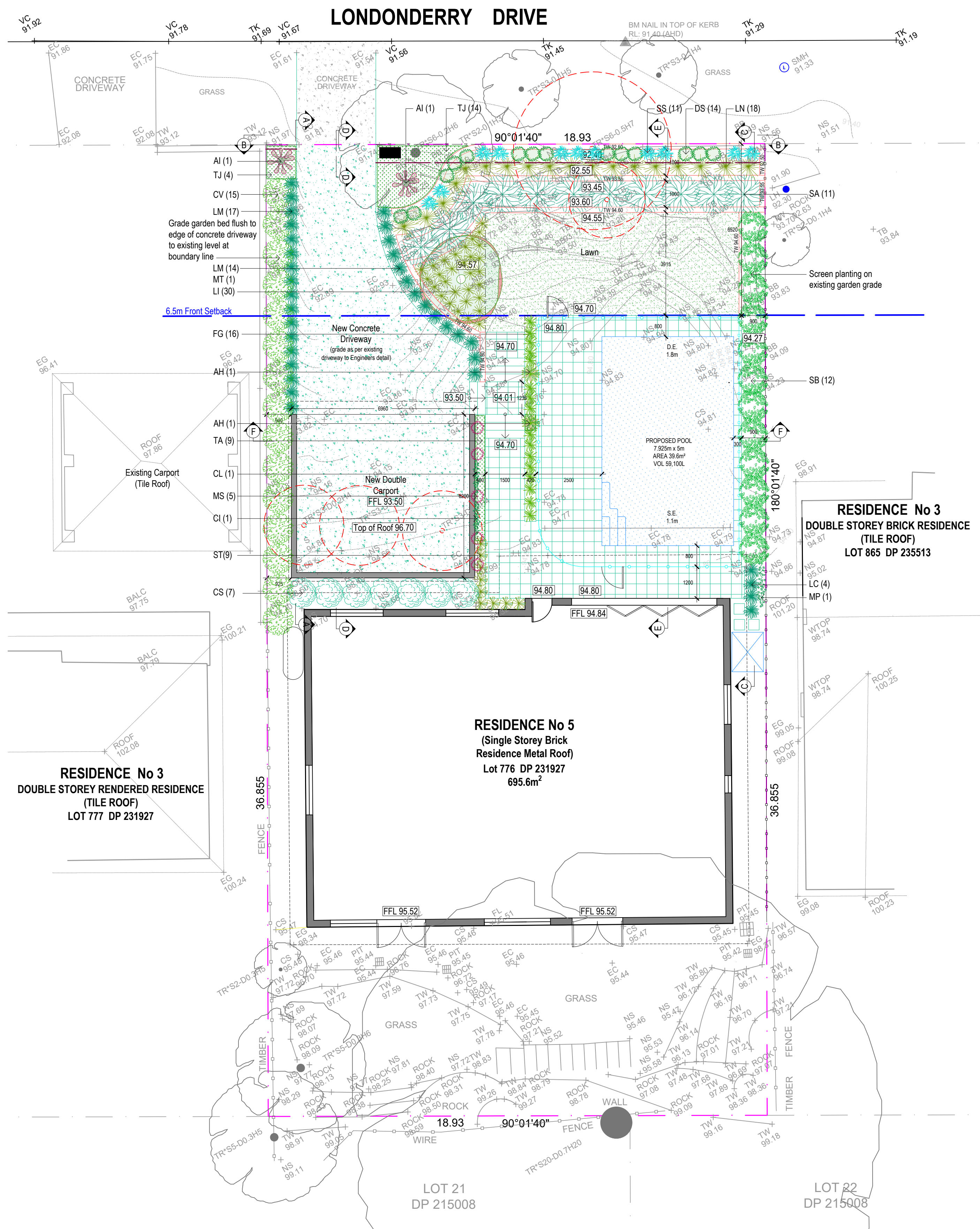
DRN: C.Wallace (B.Arch)
DATE: 18/09/2019
SCALE: 1:100@A1
PROJECT NO: 191644



EXCAVATION & FILL PLAN

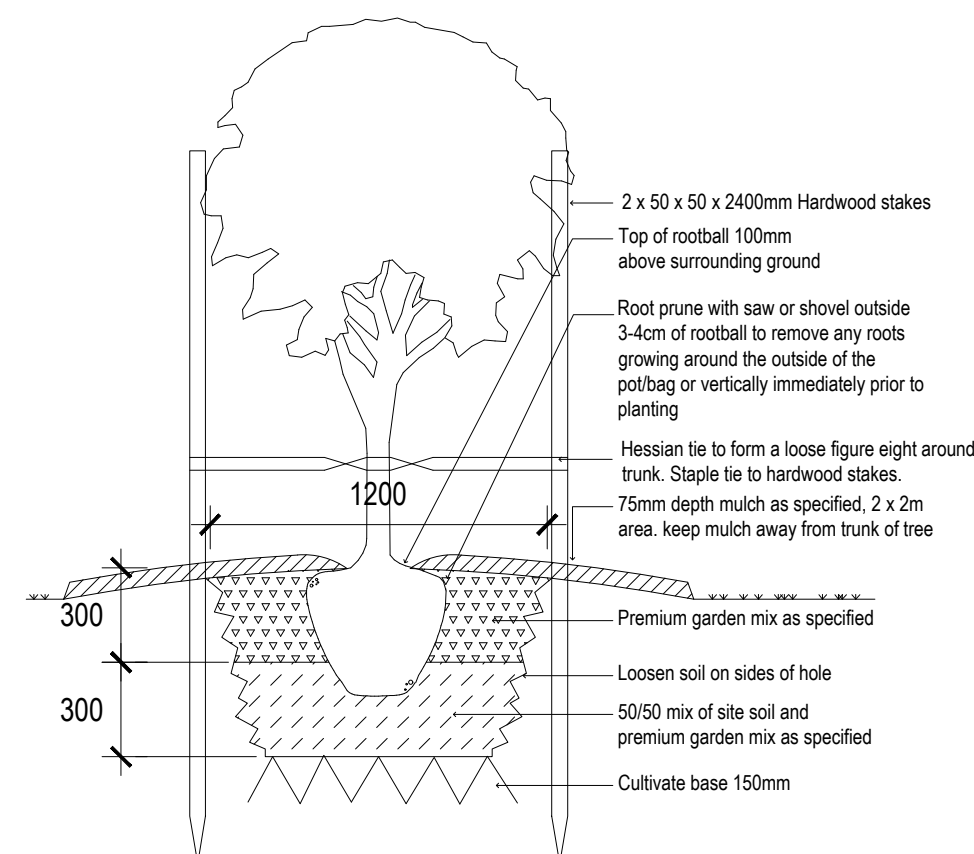
DA-05 Rev B

LEGEND	
	BOUNDARY
	EXISTING BOUNDARY FENCE
	NEW BOUNDARY FENCE
	POOL FENCE
	SEDIMENT CONTROL FENCE
	RETAINING WALL
	PROPOSED CONCRETE
	PROPOSED PAVEMENT
	EXISTING TURF TO BE RETAINED
	PROPOSED TURF
	EXISTING PLANTING TO BE RETAINED
	PROPOSED PLANTING

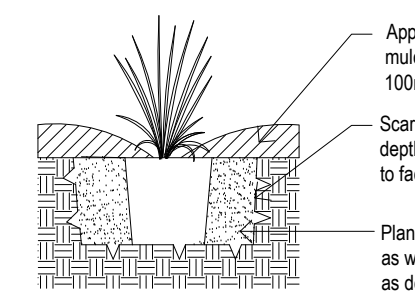


PROPOSED PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE
MT	TREES				
	MAGNOLIA GRANDIFLORA 'TEDDY BEAR'	TEDDY BEAR MAGNOLIA	1	3m	75Ltr
	SHRUBS				
AI	ALCANTAREA IMPERIALIS 'RUBRA'	GIANT BROMELIAD	2	1.5m	200mm
AH	ALOË HYBRID 'MIGHTY SUNSET'	MIGHTY SUNSET ALOË	2	0.6m	200mm
CV	CALLISTEMON 'IMINALS' SILK'	SILK BOTTLEBRUSH	15	3m	300mm
CS	CAMELLIA SASANQUA 'PURE SILK'	PURE SILK CAMELLIA	7	2m	300mm
CL	CITRUS LATIFOLIA 'TAHITIAN LIME'	TAHITIAN LIME ESPALIER	1	2m	250mm
CI	CITRUS LIMON 'MEYER'	MEYER LEMON ESPALIER	1	2m	250mm
SB	SYZYGIUM AUSTRALE 'BUSH CHRISTMAS'	BUSH CHRISTMAS LILLY PILLY	12	3m	45Ltr
SA	SYZYGIUM AUSTRALE 'HINTERLAND GOLD'	HINTERLAND GOLD LILLY PILLY	11	4m	75Ltr
	GRASSES / GROUND COVERS				
DS	DICHOCHRA ARGENTEA	SILVER FALLS	14	0.1m	140mm
FG	FESTUCA GLAUCA	BLUE FESCUE	16	0.3m	200mm
LI	LIRIOPE MUSCARI 'ISABELLA'	ISABELLA	30	0.4m	140mm
LM	LIRIOPE MUSCARI 'JUST RIGHT'	JUST RIGHT	31	0.5m	140mm
LC	LOMANDRA CONFERTFOLIA 'TILGA'	TILGA	4	0.7m	140mm
LN	LOMANDRA LONGIFOLIA 'NYALLA'	NYALLA	18	0.8m	140mm
MS	MANDEVILLA 'SUN PARASOL'	'SUN PARASOL'	5	4m	200mm
MP	MANDEVILLA 'PRETTY WHITE'	'PRETTY WHITE'	1	4m	200mm
ST	SAUSEVERIA TRIFASCIATA 'LAURENTI'	MOTHER IN LAWS TONGUE	9	0.5m	200mm
SS	SENECIO SERPENS	BLUE CHALK STALKS	11	0.2m	140mm
TA	TRACHELOSPERMUM ASIATICUM 'FLAT MAT'	FLAT MAT	9	0.2m	200mm
TJ	TRACHELOSPERMUM JASMINOIDES 'TRICOLOR'	VARIATED JASMINE	18	0.2m	200mm

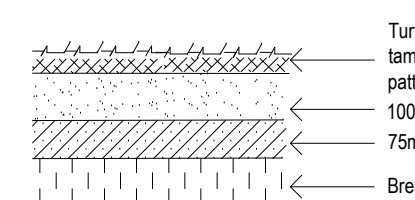
* trained as espalier on masonry wall
** trained on stainless steel trellis



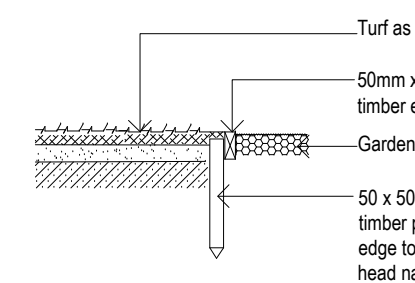
DETAIL A
TREE PIT NTS



DETAIL B
SHRUB PLANTING DETAIL N.T.S



DETAIL C
TURF DETAIL N.T.S



DETAIL D
TIMBER EDGE DETAIL N.T.S

LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION

Locate any underground and overground services & ensure no damage occurs. Levels on plan are nominal only & all dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

PROTECTION OF EXISTING TREES:

Prior to construction, the builder shall erect tree protection fencing to the drip line of existing trees to be retained. The fence shall be constructed of star pickets at 2.4m spacings and connected by three strands of 2mm wire at 300mm spacings to a minimum height of 1500mm. Protect all trees affected by demolition & construction. Take necessary precautions to protect the Structural Root Zone (SRZ) as per AS 4970-2009 Australian Standard for Protection of Trees on Development Sites. Tree protection measures shall remain intact until the completion of all construction works.

Prohibited Works or material storage within the TPZ as per AS 4970-2009 except with approval of council:

- entry of machinery or storage of building materials, parking of any kind of vehicle
- erection or placement of site facilities, removal or stockpiling of soil or site debris
- disposal of liquid waste including paint & concrete wash
- excavation or trenching of any kind (including irrigation or electrical connections)
- attaching any signs or any other objects to the tree, placement of waste disposal or skip bins
- pruning and removal of branches, other than those by a qualified Arborist

REMOVAL OF EXISTING TREES

All trees to be removed shall be carried out by a qualified arborist and work shall conform to the provisions of AS4373-2007 Australian Standards for The Pruning of Amenity Trees.

ELIMINATE WEEDS

Remove all existing weeds by hand, wiping or spraying with a glyphosate based herbicide. Weed control shall never be performed by mechanical cultivation or by scraping. Herbicide spraying is to be used to eliminate all existing weeds 30 days prior to planting.

EXCAVATION & SUB SOIL PREPARATION

Excavate garden beds to the depth required and rip or scarify base & sides of pit to a minimum depth of 150mm.

SUB SOIL DRAINAGE

Install drainage layer where there is surface water runoff draining into garden bed areas & where the existing sub-soil has more than 50% clay composition & there is a risk of subsurface water ponding. Install perforated corrugated ag line 75-100mm Dia. with geotextile filter sock & backfill to a minimum 200mm using free draining material, reclaimed/recycled where available. Direct flows at a minimum 0.5% fall to SW system. In areas isolated from stormwater system excavate & backfill an appropriate water dispersion pit.

REUSE EXISTING TOPSOIL

Existing site topsoil should be salvaged & appropriately stockpiled where possible.

IMPORTED TOPSOIL

All construction must comply with AS 4419-2003 Soils for Landscaping and Garden Use. Turf Areas: 'Turf Underlay', Tree Pit and Shrub Planting: 'Premium Garden Mix' as supplied by, ANL p. 02 9450 1444 or approved alternative.

TREE STOCK

Tree stock to be supplied by production nurseries in accordance with AS 2303-2018 Tree Stock for Landscape Use.

Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species. Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%. Stock selection should also be based on NATSPEC Guide Specifying Trees: a Guide to Assessment of Tree Quality.

STAKING

Install 2 x 2400mm x 50mm x 50mm hardwood timber stakes with hessian ties to all trees. Provide appropriate support considering exposure to prevailing winds. Stakes and hessian ties to be removed as soon as the tree is self supporting.

MULCHING

All construction must comply with AS 4454-2003 Compost, soil conditioners and mulches. All planting area impacted by building works to receive 50-75mm of garden Mulch, Droughtmaster, ANL p. 02 9450 1444 or approved alternative. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.

TURFING

New turf: Sir Walter Softed Leafed Buffalo. Excavate / grade all areas to be turfed to 120mm below finished levels. Ensure that all surface runoff is directed away from buildings. Ensure that no pooling or ponding will occur. Further rip the subgrade to 150mm. Install 100mm of imported turf underlay. Rolls to be closely butted and laid in a brickwork pattern. Fill any small gaps with topsoil and water thoroughly.

WATERING

Water in immediately after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.

PAVING OVER SAND BASE

Excavated sub-base to be compacted. Provide and install 75mm depth of Fine Crushed Rock (FCR) to be compacted after installation. Provide and install 25mm depth of Sydney Sand to be compacted after installation. Pavers to be installed in pattern as indicated on plan. Ensure 2mm gap between pavers and sweep Sydney Sand between gaps upon completion and then compact with protection under compacting plate to ensure no damage to the pavers. Repeat sweeping sand and compaction. Provide concrete strip edge restraint between pavement and soft areas. Ensure top of restraint is lower than top of paver.

STEPPING STONES

Install each stepping stone on a 75mm thick mortar bed and space according to plan. Stones to finish 20mm above adjacent surface. Fill gaps with turf as specified.

TIMBER RETAINING WALL

Timber retaining wall constructed in H4 Treated Pine Sleepers. Timber post to be set in concrete. Install perforated corrugated ag. line 75-100mm Dia. with geotextile filter sock & backfill behind wall. Connect to existing SW system.

RETAINING WALLS & PLANTER BOXES

All retaining walls & planter boxes to be constructed to Engineer's details. Ensure all internal surfaces are waterproofed. Geotextile wrapped ag. drainage line backfilled with aggregate is to be installed behind all retaining walls & connected to stormwater in accordance with Sydney Water regulations. All planter boxes are to have Atlantis drainage cell (or approved alternative) installed & connected to stormwater in accordance with Sydney Water regulations.

NOTES:
- Confirm to check and verify all dimensions and all levels on site prior to any works.
- Any discrepancies should be immediately referred to Space Landscape Designs.
- All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.
- Dimensions designated over walls. All measurements are in millimetres.

Rev. | Date | Issue
A | 17/09/19 | Preliminary Issue
B | 24/09/19 | DA Issue

Checked
AE
AE

SPACE
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd
ABN 60 799 663 674 ACN 139 316 251
info@spacedesigns.com.au
spacedesigns.com.au
P 02 9905 7870 F 02 9905 7657
Suite 138, 117 Old Pittwater Rd,
Brookvale NSW 2100

CLIENT
Evan Batten
ADDRESS
5 Londonderry Drive
KILLARNEY HEIGHTS

DRN: C.Wallace (B Arch)
DATE: 17/09/2019
SCALE: 1:100@A1
PROJECT NO: 191644



LANDSCAPE PLAN

DA-06

Rev B