

FOR TERMITE CONTROL SYSTEM
EXTENT OF WORK:
FORM A PHYSICAL TERMITE PROTECTION BARRIER TO
PROTECT ALL NEW WORK FROM TERMITE ATTACK.
PROPRIETARY SYSTEM:
TERMIMESH STAINLESS STEEL TERMITE CONTROL BY
TMA CORPORATION.
SUPPLY AND INSTALL MARINE GRADE STAINLESS
STEEL WOVEN WIRE MESH BY AN ACCREDITED
TECHNICIAN IN ACCORDANCE WITH THE
MANUFACTURERS SPECIFICATION AND AUSTRALIAN
STANDARD 3660.1-2000,"TERMITE MANAGEMENT,PART
1:NEW BUILDING WORK".

GENERAL NOTES

Do not scale drawings. Figured dimensions only to be used. All dimensions to be checked on site prior to commencement of the works.

All work to be done in a tradesperson manner and shall comply in all respects with local Government requirements. Relevant Aust. standards. Building code of Australia and Industry trade practice.

All Electrical,Plumbing and drainage works to be carried out by relevant qualified licenced persons in strict accordance with the requirements of the relevant authority.

All worked to be carried out with a minimum of inconvenience to adjoining residence. Protect adjoining properties from dust and debris. Keep site clean at all times and protect all established flora

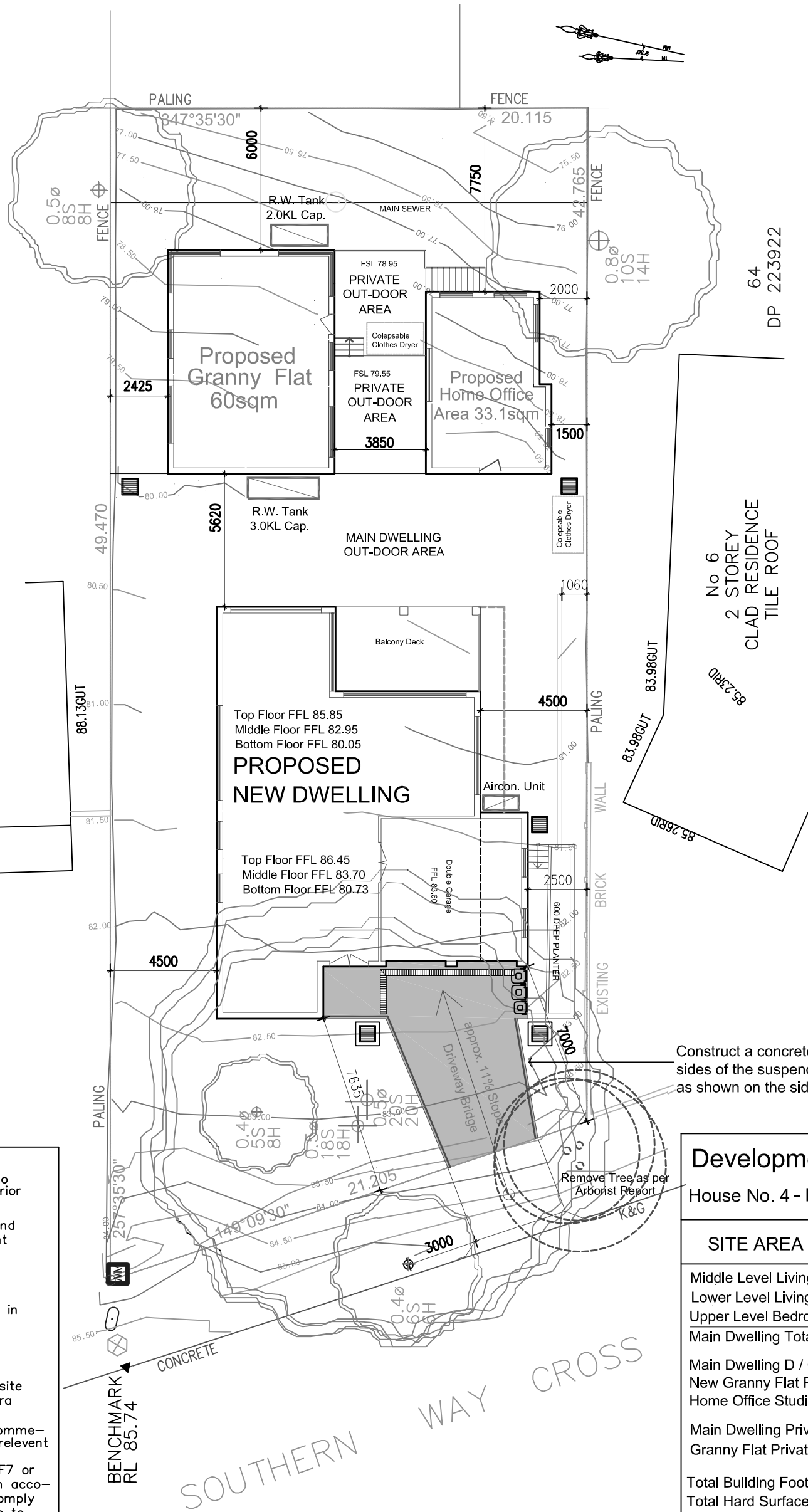
All insurances must be taken out prior to the commencement of works and evidence provided to the relevant Authority

All timber framing members to be stress grade F7 or greater unless otherwise noted (except trusses in accordance with manu. Design Spec.). Framing to comply with AS 1684 in all respects. All exposed timbers to be dressed unless otherwise noted and paint primed where applicable prior to installation.

Protect timber from mortar stains and other damage, remove all debris from roof gutters and clean all face bricks on completion of works.

Roof to be build from timber framing and or truss.

All footings, concrete slabs, retaining walls and other load bearing elements to be designed by a Structural Engineers Design.



Construct a concrete apron upturn on both sides of the suspended concrete driveway as shown on the side elevations.

Development Calculations

House No. 4 - Lot 2316 - DP 753028

SITE AREA = 927.80 m ²	
Middle Level Living Area	117.94sqm
Lower Level Living Area	163.17sqm
Upper Level Bedrooms Area	148.14sqm
Main Dwelling Total Floor Area	429.25sqm
Main Dwelling D / Garage Area	35.40sqm
New Granny Flat Floor Area	60.00sqm
Home Office Studio Floor Area	33.10sqm
Main Dwelling Private Open Space	99.00sqm
Granny Flat Private Open Space	60.00sqm
Total Building Footprint Area	343.57sqm
Total Hard Surface Area	389.38sqm
Total Soft Landscape Area (53.24%)	494.01sqm
Main Dwelling Minimum Front Setback	7.0m
Main Dwelling Northern Side Setback	4.50m
Main Dwelling Southern Setback	4.5m / 2.5m
Granny Flat Side Setback	2.425m
Granny Flat Rear Setback	6.0m
Office Studio Side Setback	1.5m / 2.00m
Office Studio Rear Setback	7.74m

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PROJECT
Proposed Demolition of Existing Structures and Erecting a New Dwelling, Granny Flat and a Home Office Studio.

A	ISSUED FOR DA APPLICATION	OCT. 2020

ADDRESS
4 Southern Cress Way
Allambie Heights NSW

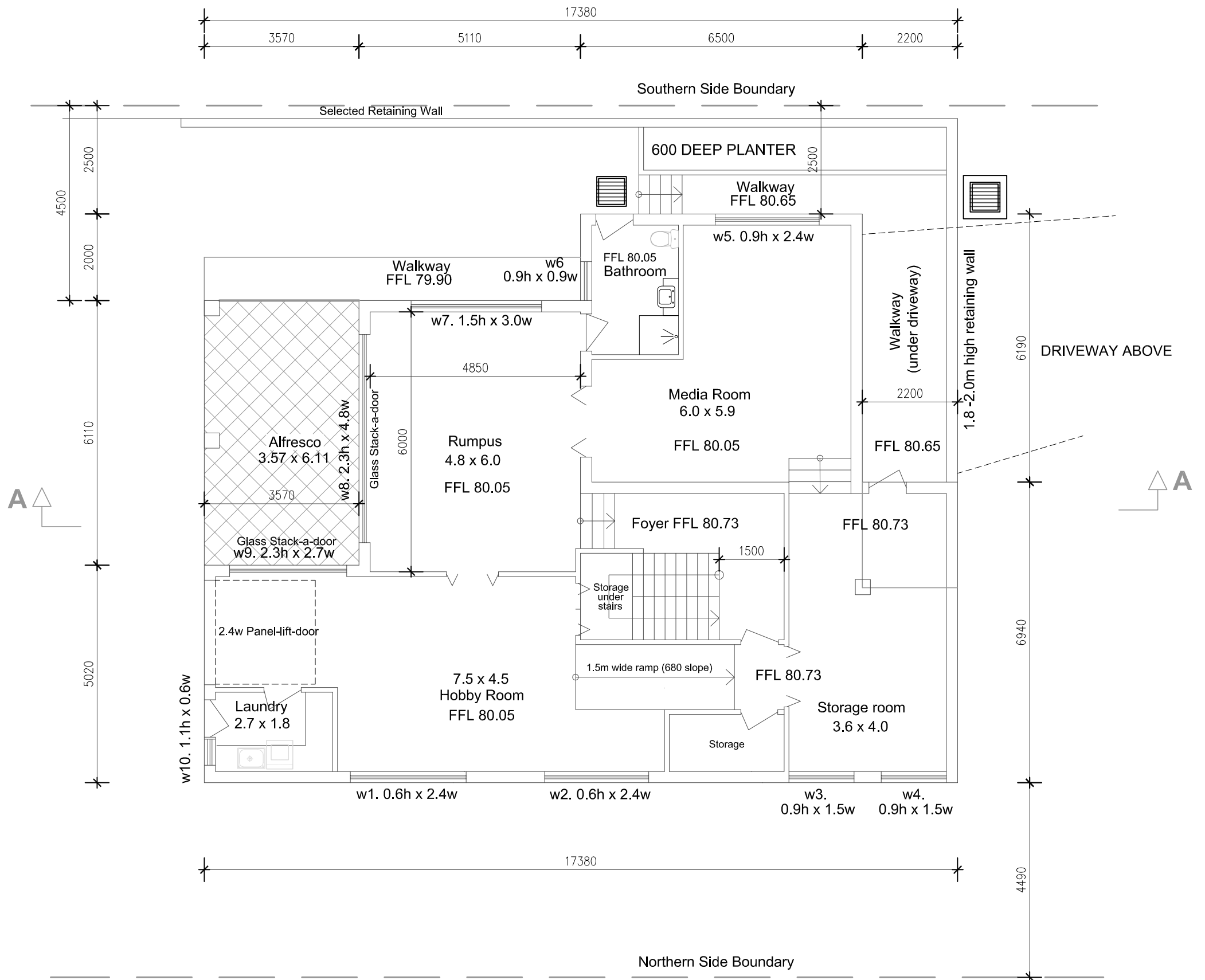
CLIENT
Mr. Chris Jaczac

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SABTON & SON
BUILDING DESIGNERS and
STRUCTURAL & HYDRO ENGINEERS

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MAIN DWELLING BOTTOM FLOOR PLAN

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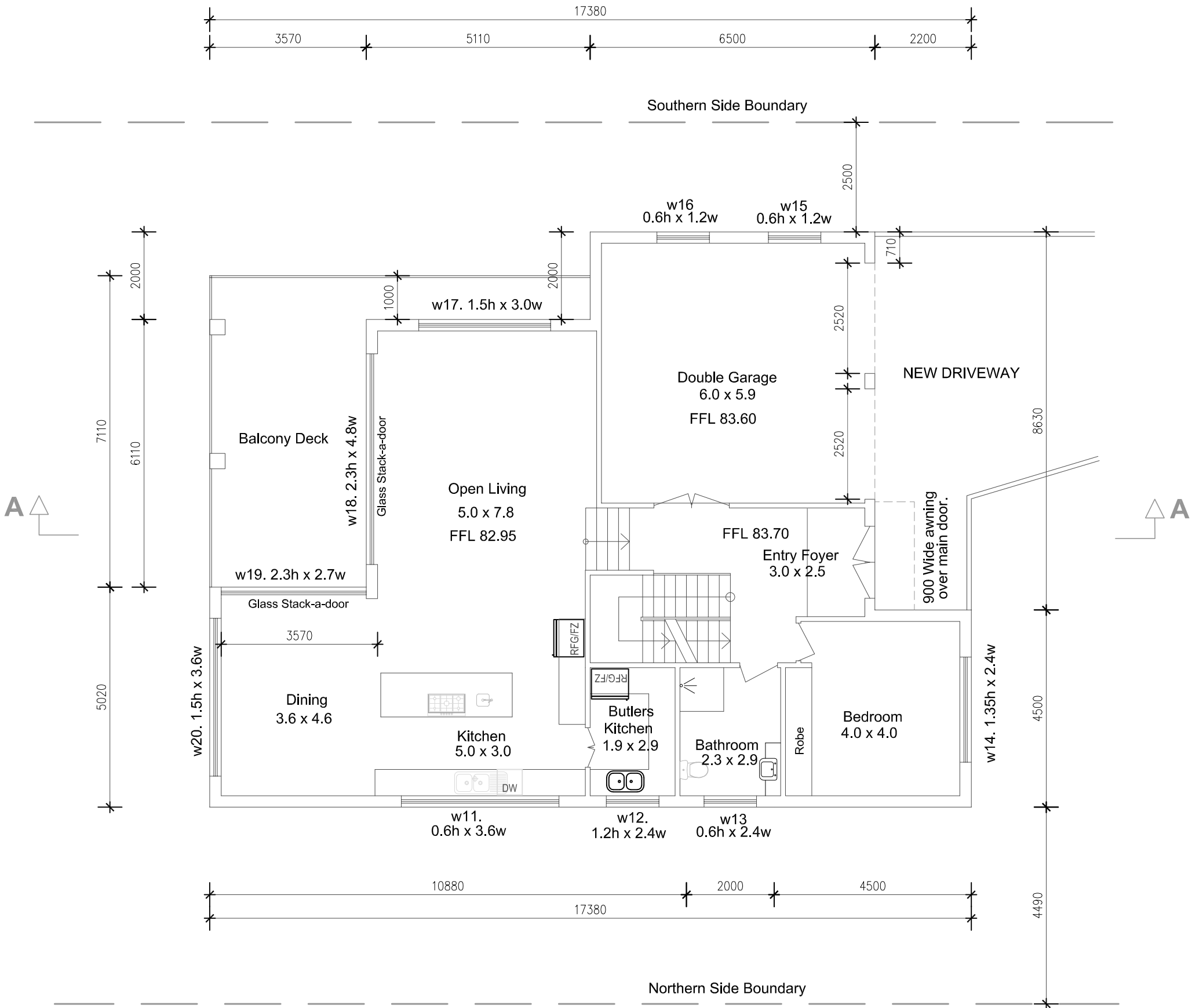
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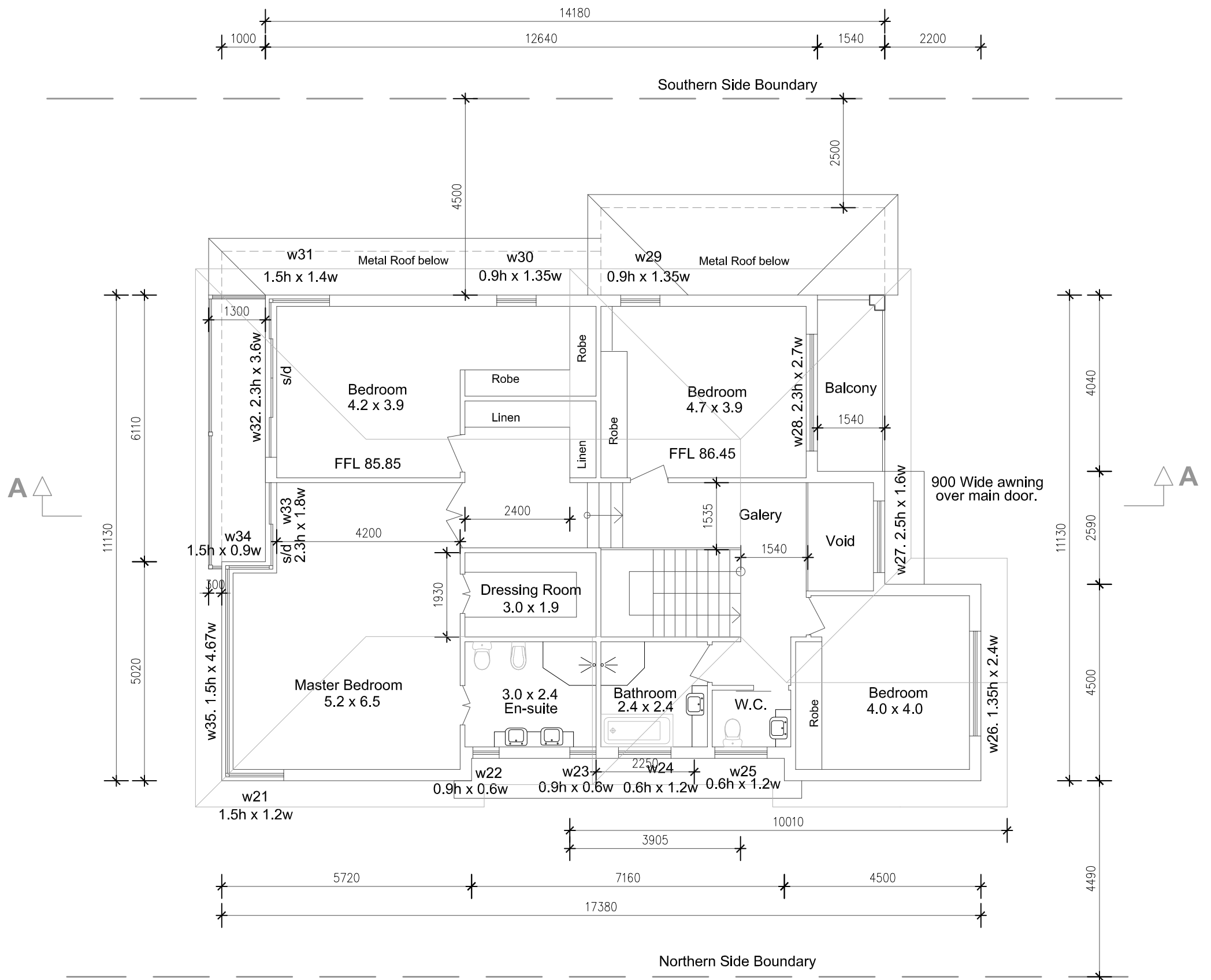
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MAIN DWELLING TOP FLOOR PLAN

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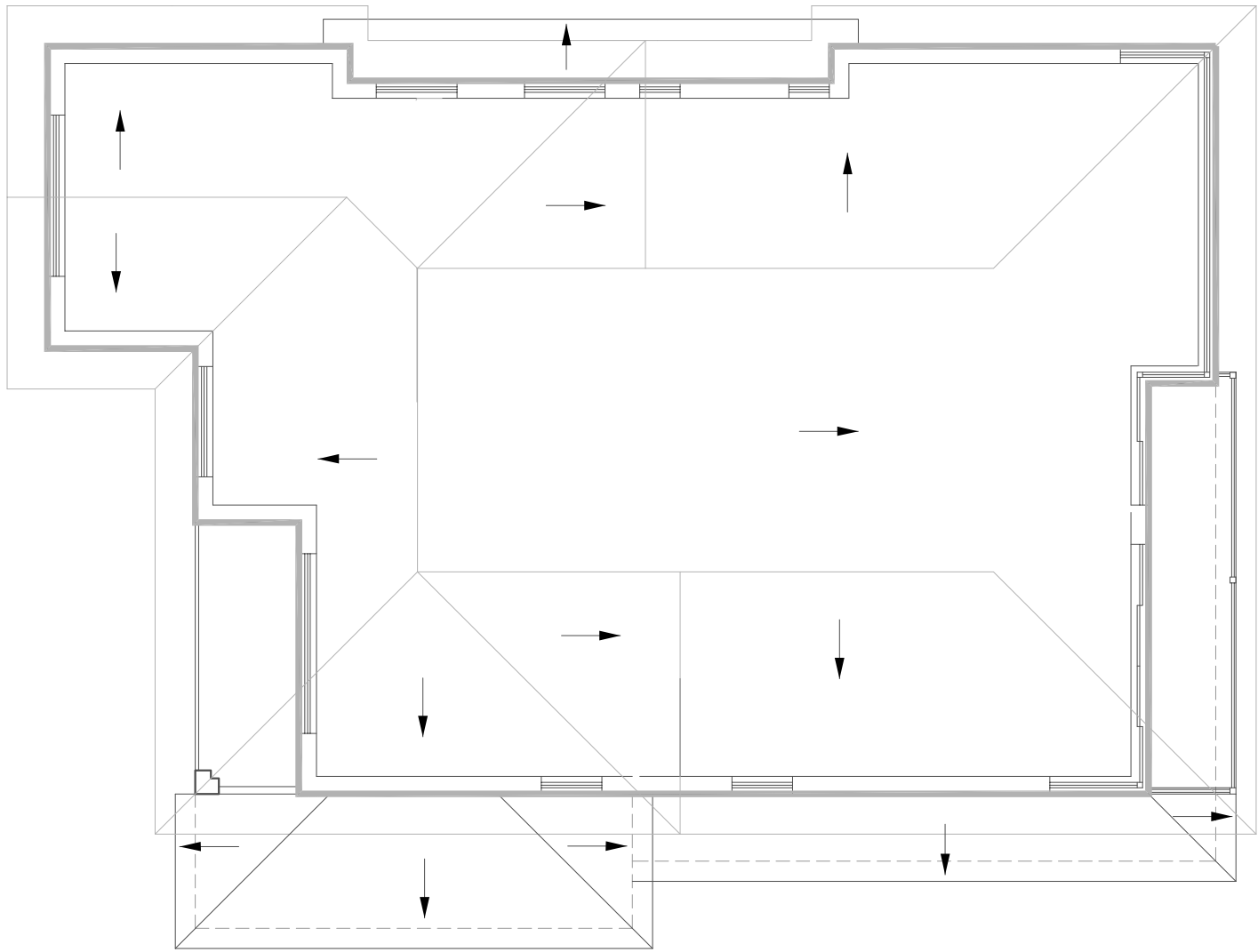
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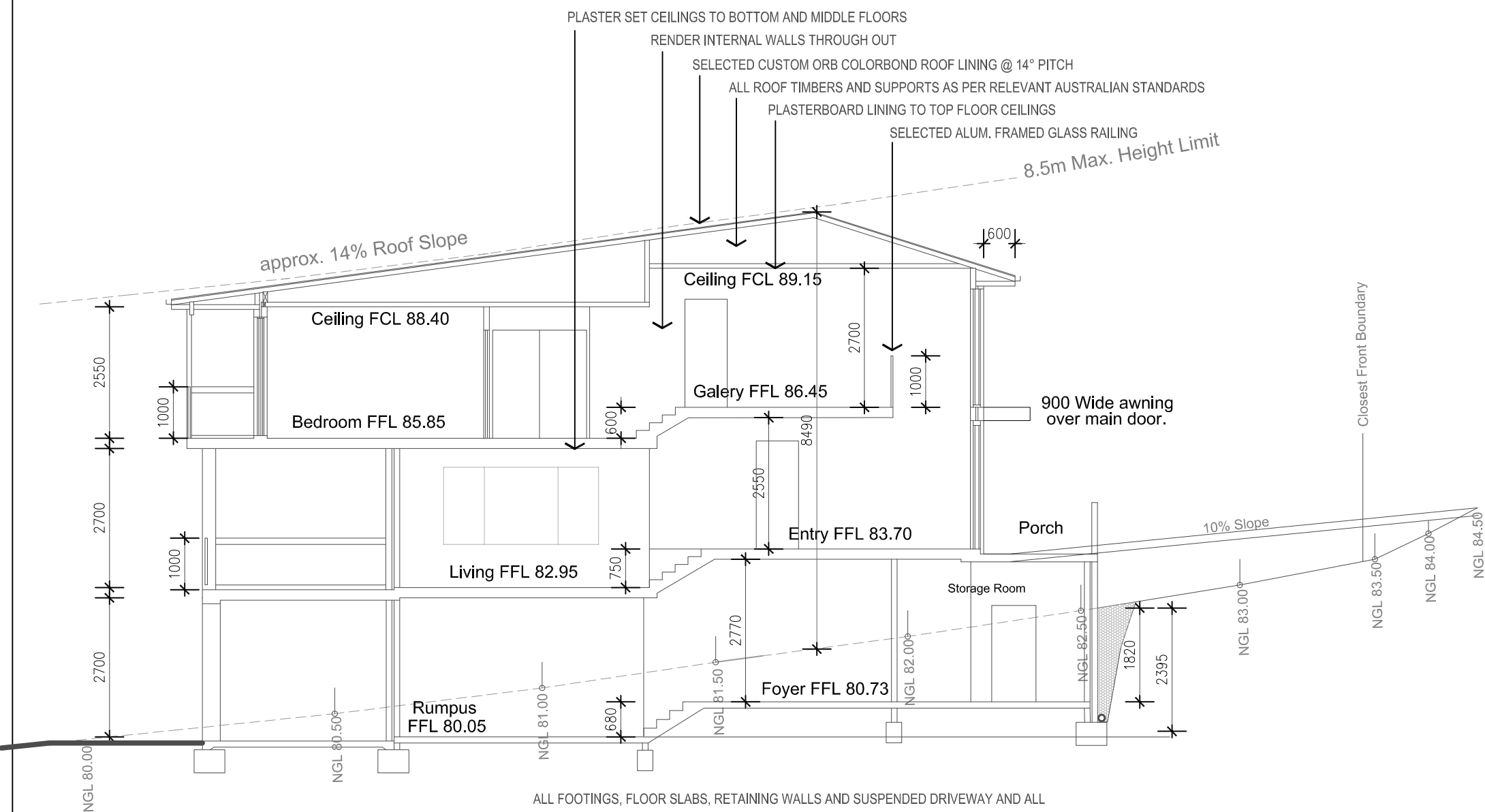
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MAIN DWELLING ROOF PLAN

DIRECTION OF ROOF FALL →



SECTION THROUGH A - A

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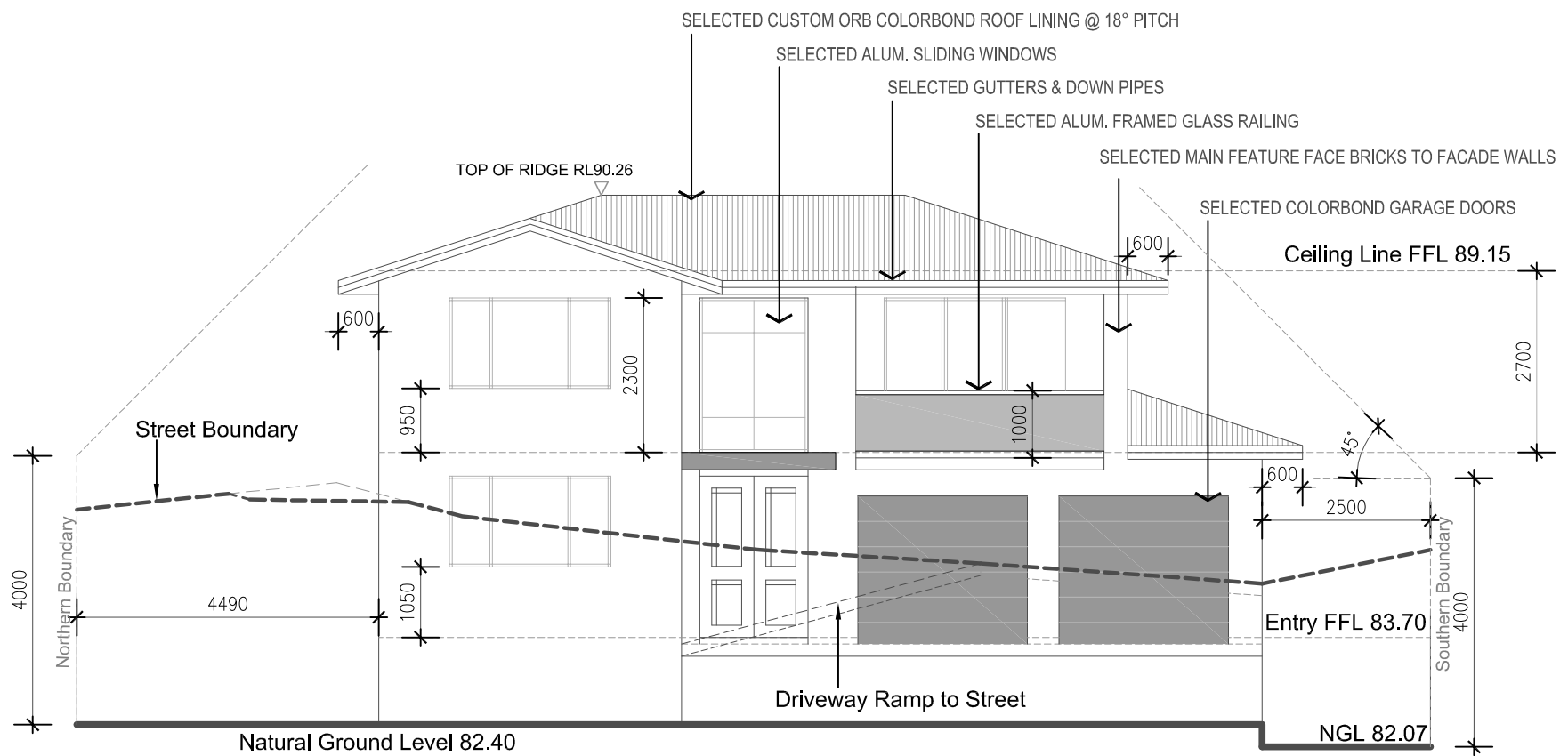
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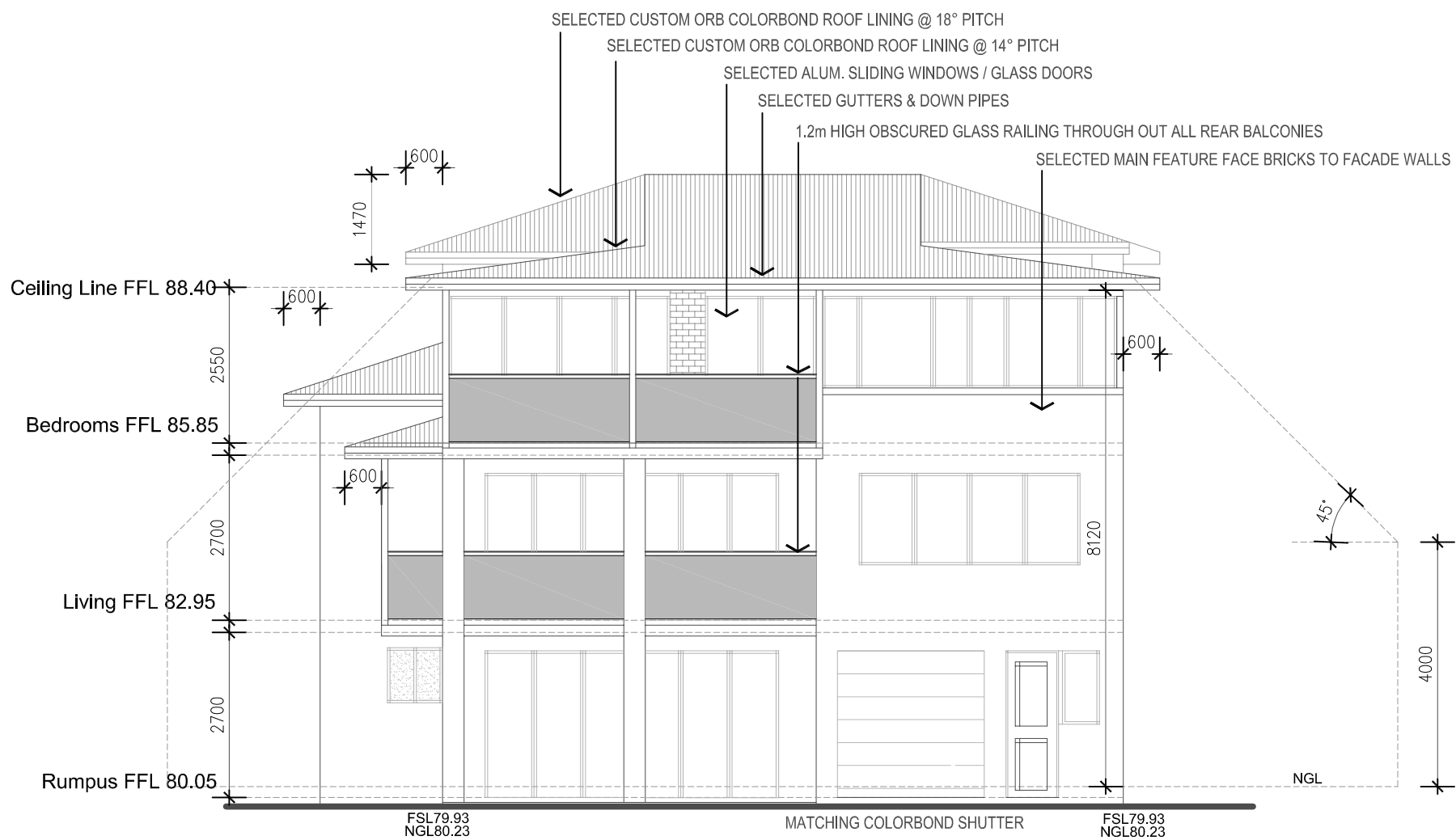
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FRONT (WESTERN) ELEVATION



REAR (EASTERN) ELEVATION

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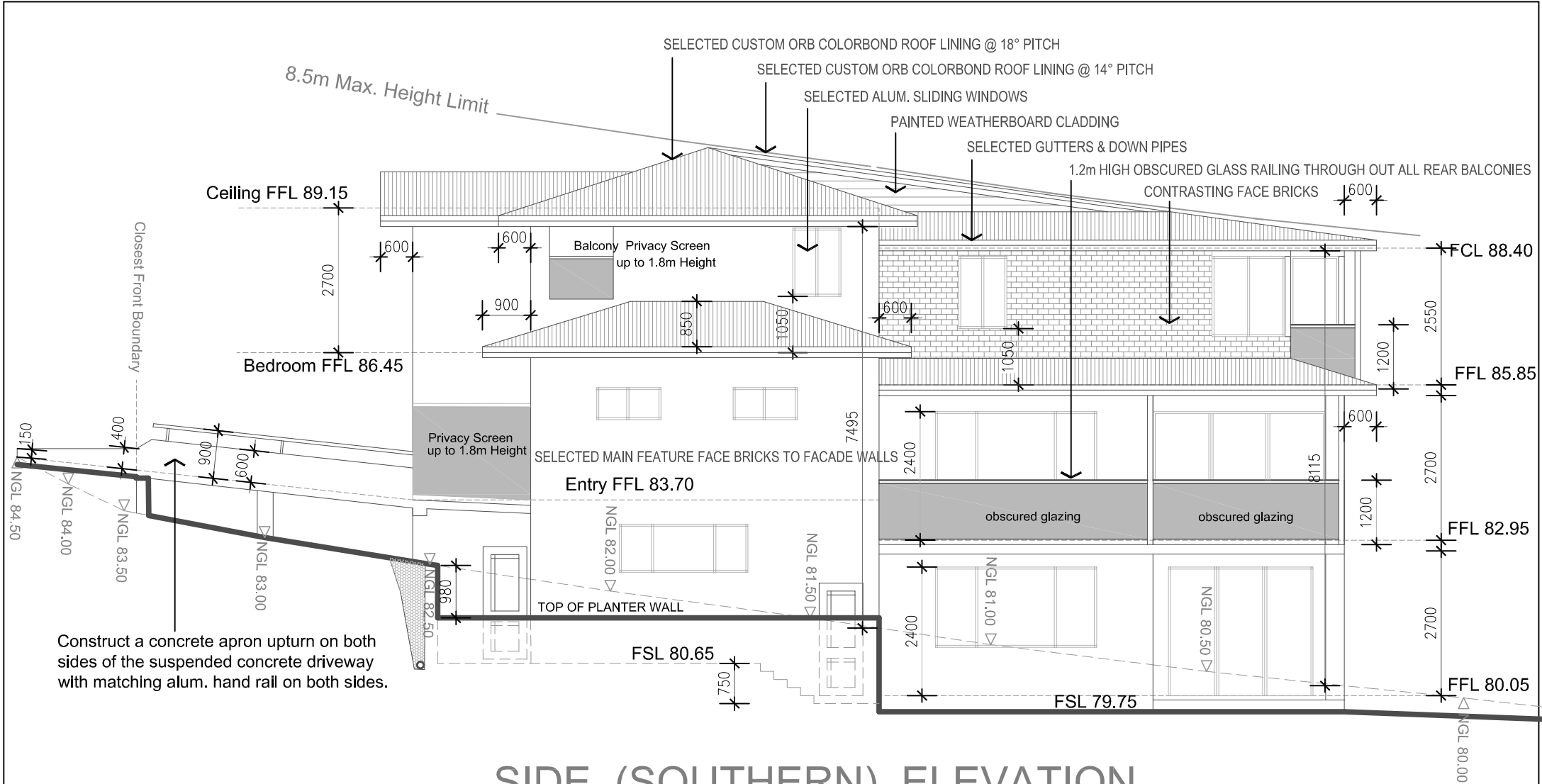
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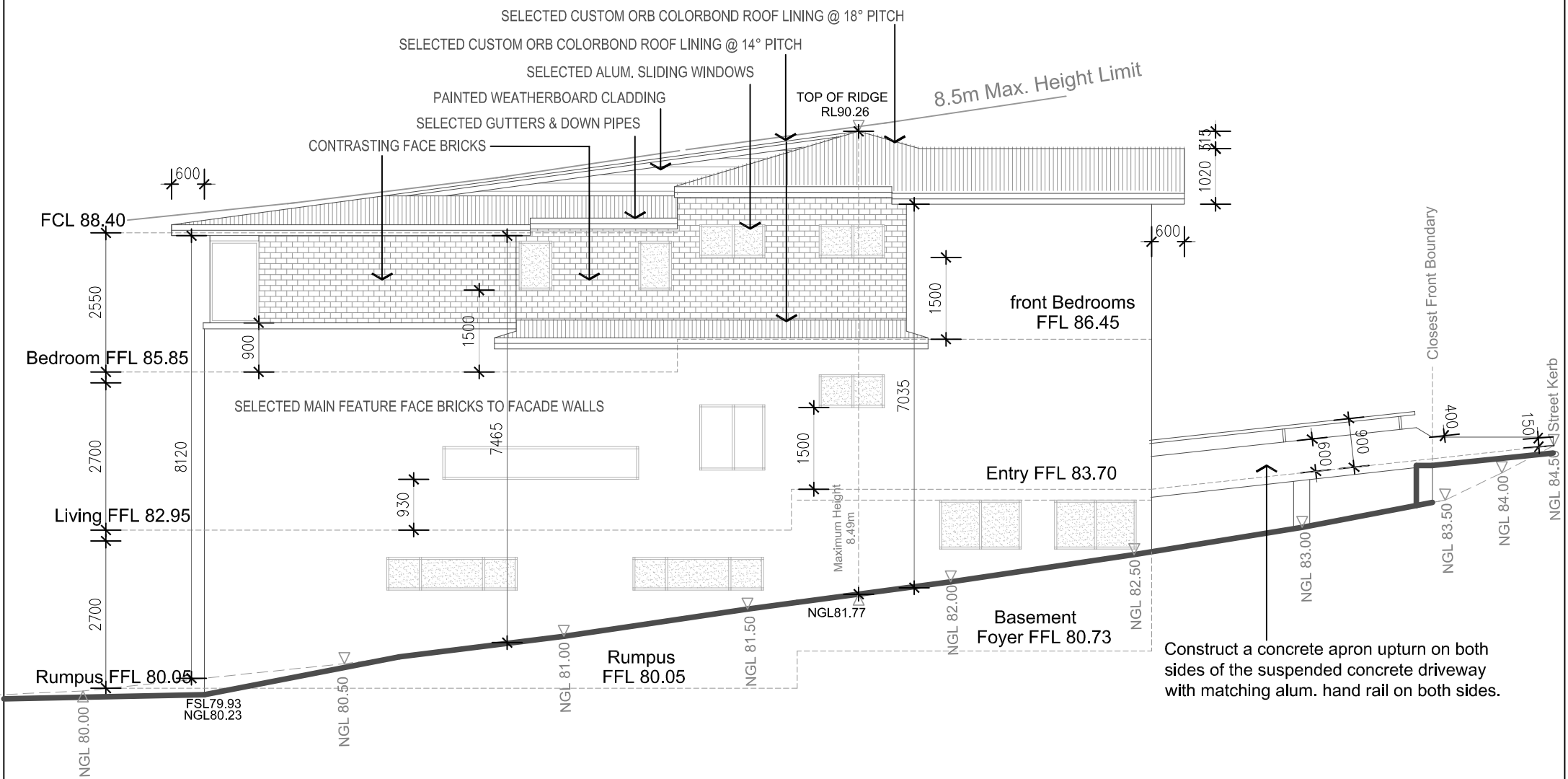
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SIDE (SOUTHERN) ELEVATION



SIDE (NORTHERN) ELEVATION

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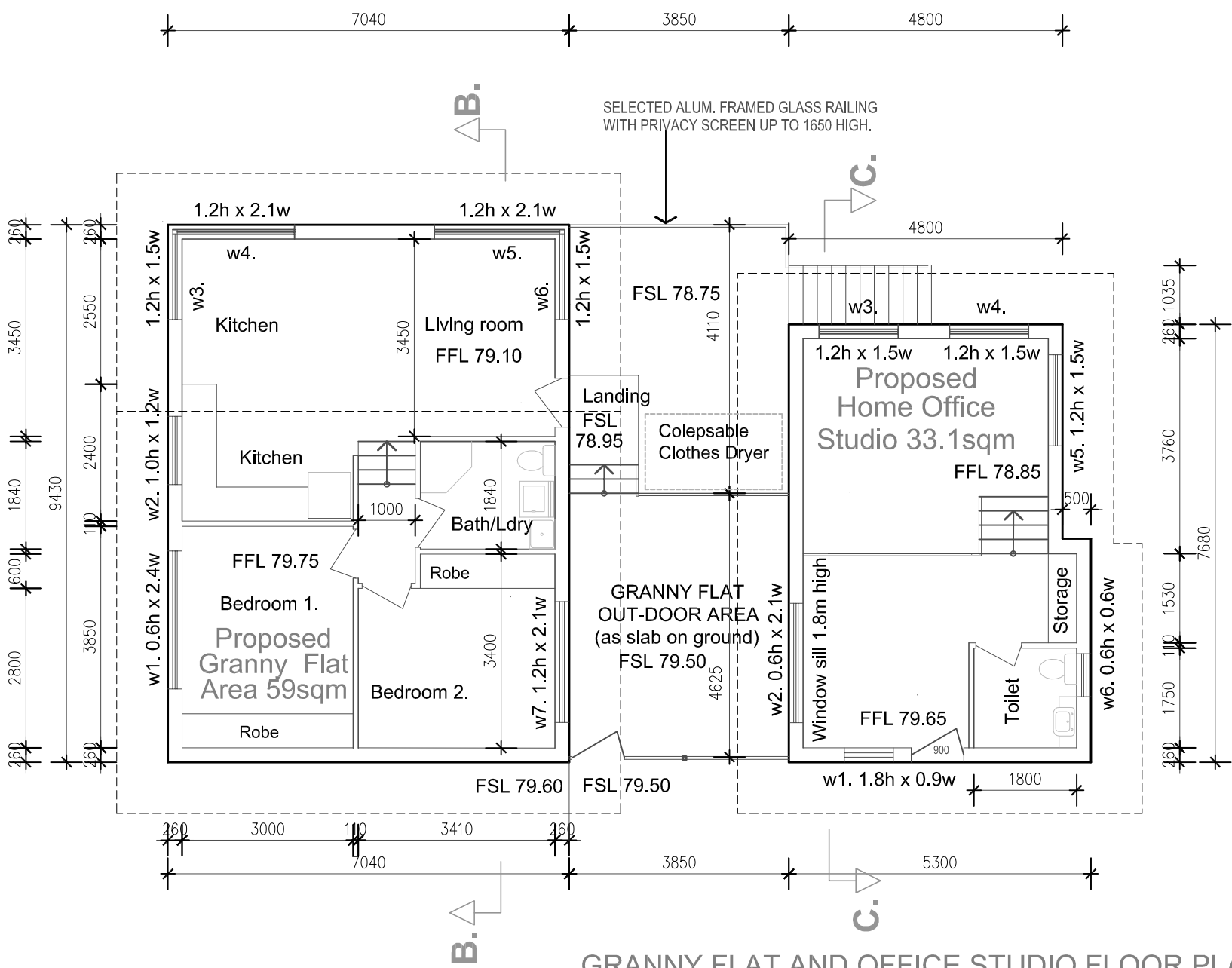
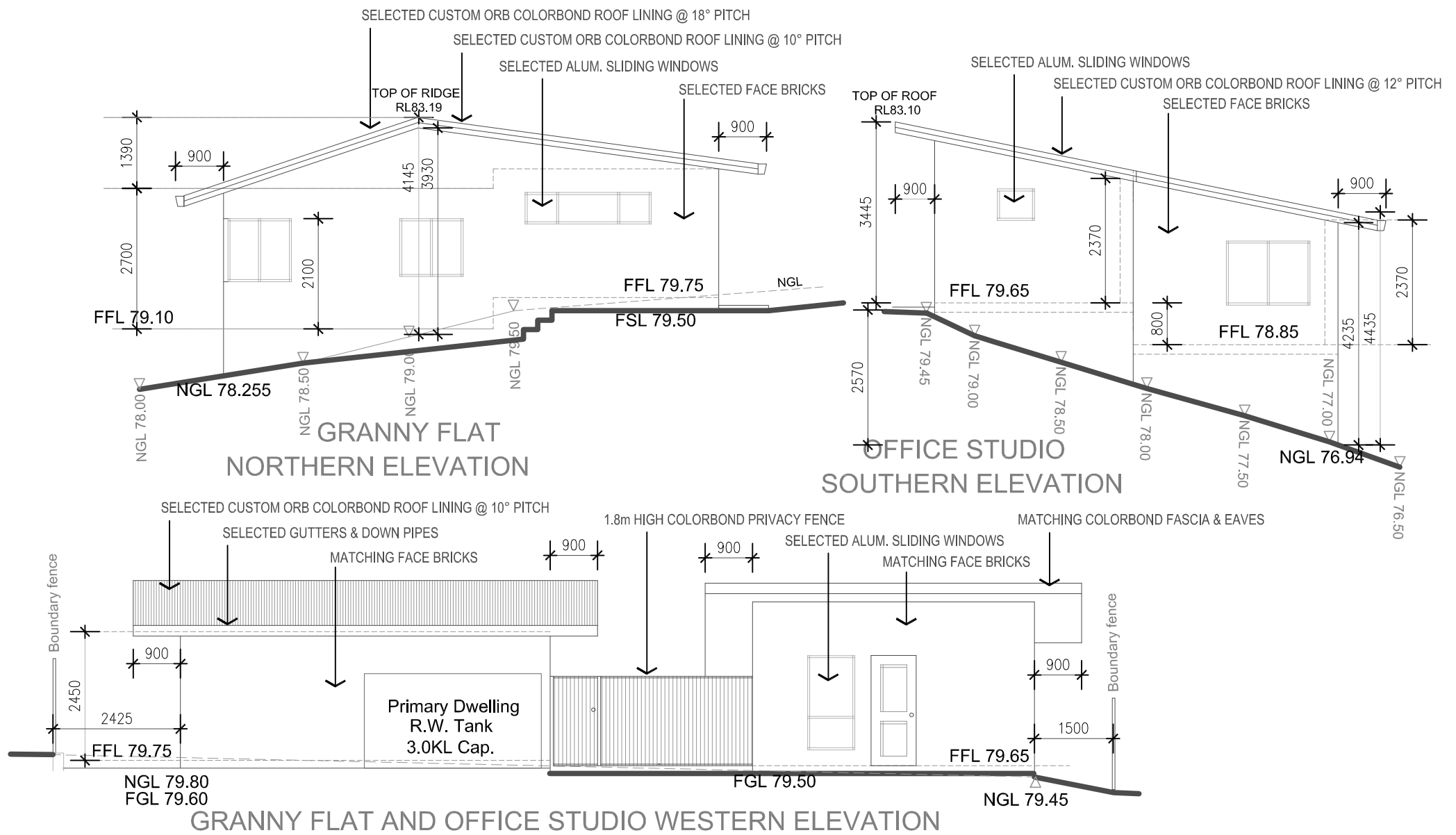
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GRANNY FLAT AND OFFICE STUDIO FLOOR PLAN

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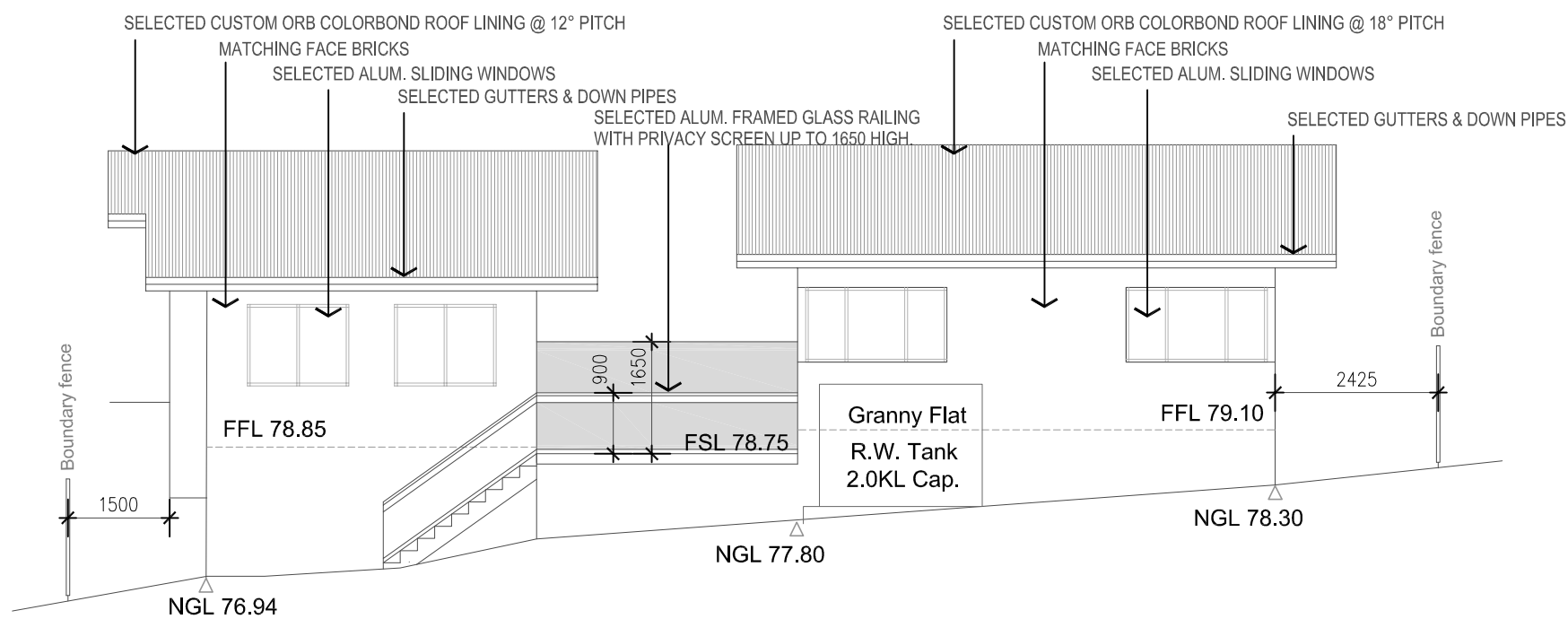
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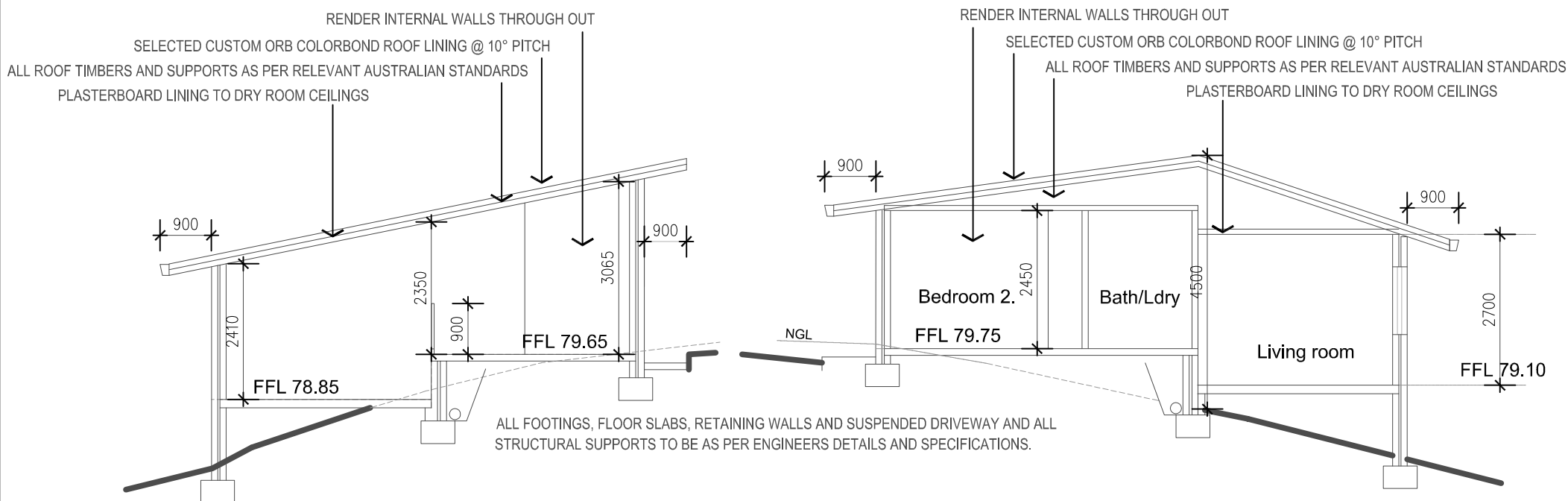
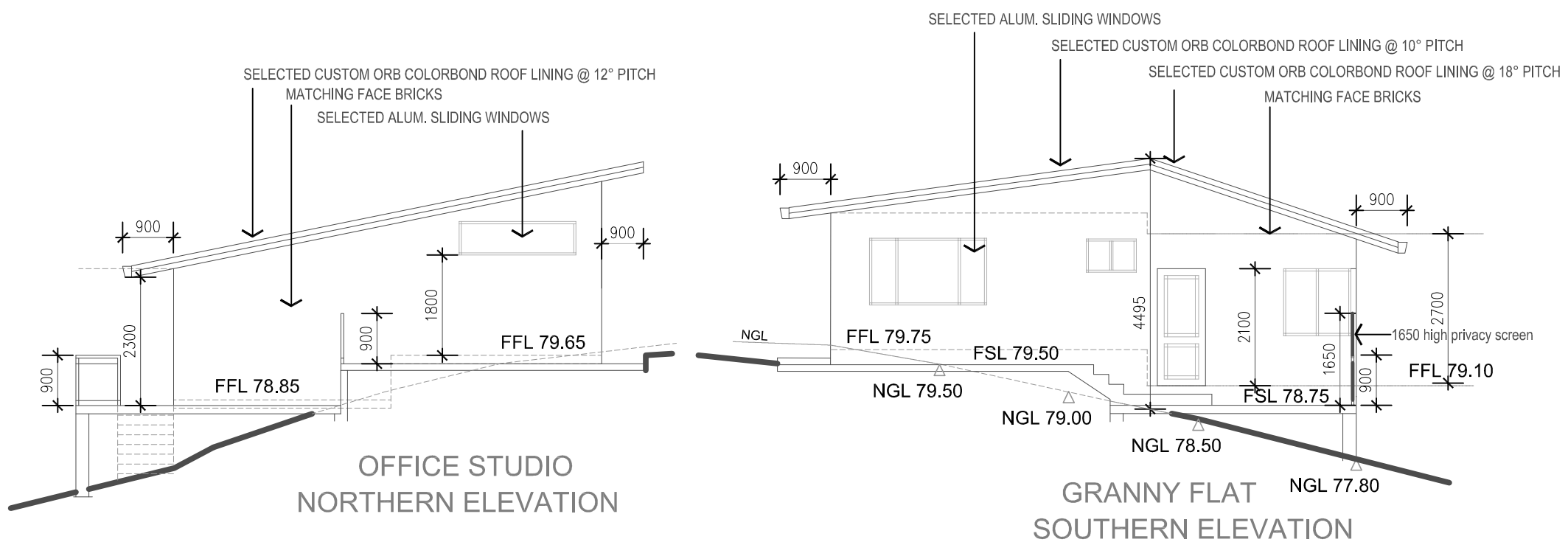
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OFFICE STUDIO AND GRANNY FLAT EASTERN ELEVATION



OFFICE STUDIO
SECTION C - C

GRANNY FLAT
SECTION B - B

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BASIX SCHEDULE - MAIN DWELLING

Fixtures.

Shower head	4 star minimum rating all showers.
Toilet flushing system	4 star rating in each toilet.
Taps	5 star minimum rating in the kitchen.
Basin Taps.	5 star minimum rating in each both room.

RETICULATED WATER

Collect from at least 120sqm of roof area in to a 3500 L Cap. Rain Water Tank/s.

Cnnect to at least one outdoor tap,Laundry and all toilets

ALTERNATIVE ENERGY

Photovoltaic System with 2KW output in peak.

HOT WATER

Gas Instantaneous Hot Water System with a performance of 5 Stars or better

COOLING SYSTEM

Air conditioning ducting only	Air-conditioning Ducting only
	In all bedrooms and all living rooms.

HEATING SYSTEM

Air conditioning ducting only	Air-conditioning Ducting only
	In all bedrooms and all living rooms.

VENTILATION

All Bath rooms/ WC	Individual fan/ducted to facade with man.swich
Kitchen	Individual fan/ducted to facade with man.swich
Laundry	Individual fan/ducted to facade with man.swich

NATURAL LIGHTING

Kitchen	Window for natural lighting.
All bathrooms / WC	Windows for natural lighting.

ARTIFICIAL LIGHTING

Kitchen, bathrooms, hallways, L'dry Bedrooms and Living Rooms	Install to all areas Fluorescent or Led light (dedicated position)
--	---

Other

Gas cooktop and elect. oven.	Well ventilated fridge space
Fixed Outdoor Clothes drying Line	

BASIX SCHEDULE - GRANNY FLAT DWELLING

Fixtures.

Shower head	4 star minimum rating all showers.
Toilet flushing system	4 star rating in each toilet.
Taps	5 star minimum rating in the kitchen.
Basin Taps.	5 star minimum rating in each both room.

RETICULATED WATER

Collect from at least 50sqm of roof area in to a 2000 L Cap. Rain Water Tank/s.

Cnnect to at least one outdoor tap,Laundry and all toilets

THERMAL REQUIREMENTS

Thermal comfort performance

According to specified Basix certificate.

HOT WATER

Gas Instantaneous Hot Water System with a performance of 5 Stars or better

COOLING SYSTEM

Air conditioning ducting only	Air-conditioning Ducting only
	In all bedrooms and all living rooms.

HEATING SYSTEM

Air conditioning ducting only	Air-conditioning Ducting only
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NatHERS Specs Summary:

- Floor slabs:
- Main dwelling:

- Concrete.
- Granny Flat:

- Concrete.
- Exterior walls:
- Main dwelling: cavity brick with “Kingspan Kooltherm K8 40mm” (R1.75), or similar in cavity. Or, wall system reaching a total R-value (R2.9).

- Granny Flat:- Cavity brick – with aircell insulation (R1.24). Or, masonry wall system of R1.60 rating.

- Modelled with default medium colour finishes

- “Exterior walls” = All unit walls that are not party walls to other units.
- Glazing:
- Single clear glass, with aluminium framing:

-Modelled to main house garage, baths, WC, laundry & ensuites.

- Modelled to granny flat.

– Type A (U-Value: 6.7, SHGC: 0.57).

– Type B (U-Value: 6.7, SHGC: 0.70).
- High solar gain Low-E glass, with aluminium framing:

- Modelled toremaining.

– Type A (U-Value: 5.4, SHGC: 0.49).

– Type B (U-Value: 5.4, SHGC: 0.58).
- U-Value & SHGC are combined glass and frame figures.
- Ceiling/Roof:
- Main dwelling:

- R4.5 ceiling insulation to all ceilings to roof.

- Assessed with sealed downlights & wet area exhaust fans.

- Metal roof with “Anticon 90” glasswool/foil under (or similar R2.0 rated product), modelled with default medium colour finishes, and as unventilated.

Granny Flat:

- R3.5 ceiling insulation to all ceilings to roof.

- Assessed with sealed downlights & wet area exhaust fans.

- Metal roof (with foil under) modelled with default medium colour finishes, and as unventilated.

Please refer to NatHERS individual certificates for further details.

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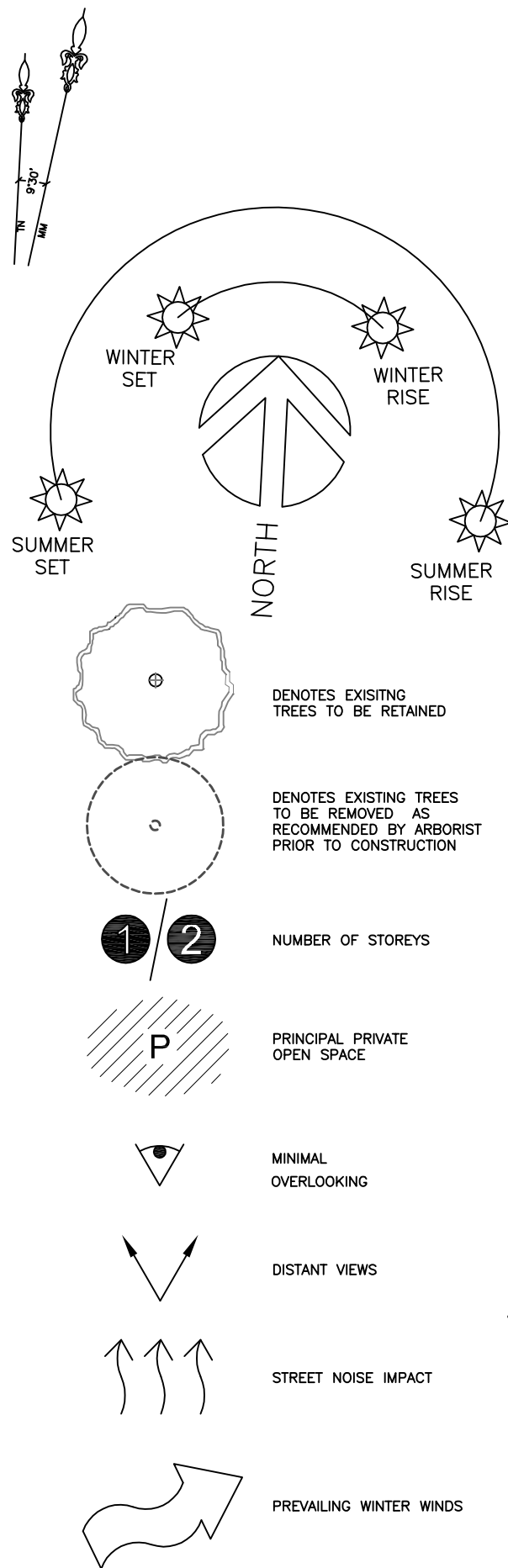
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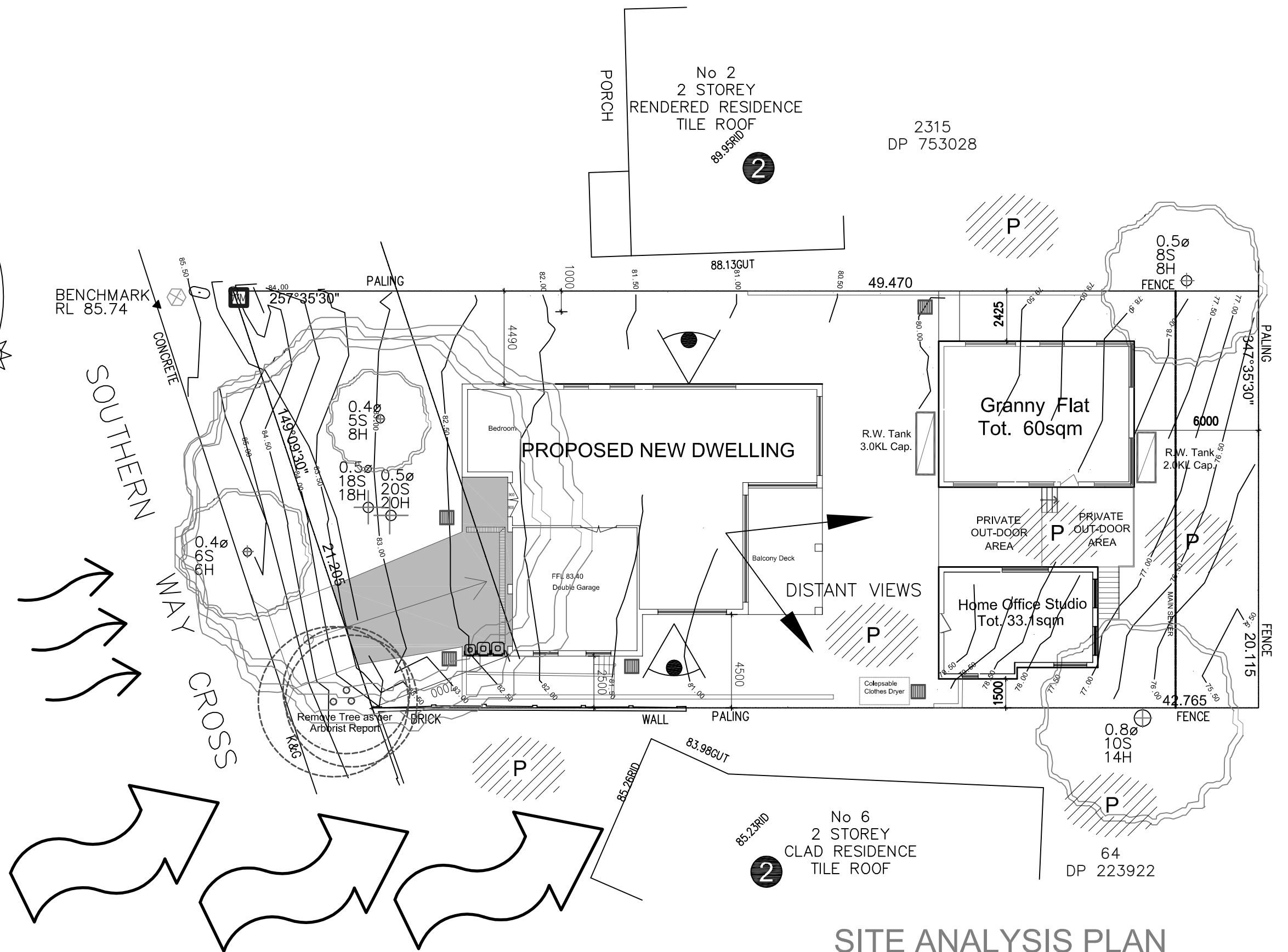
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SITE ANALYSIS PLAN



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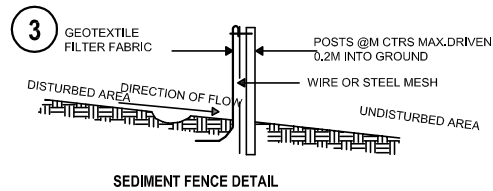
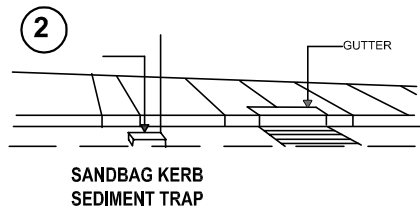
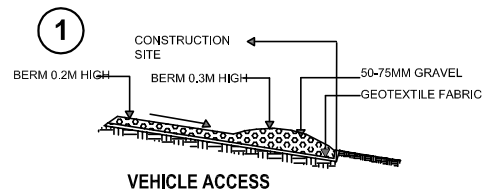
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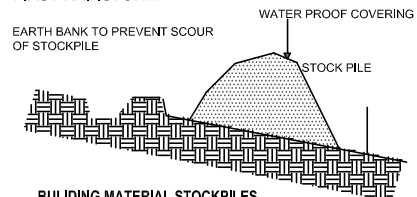
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EROSION AND SEDIMENT CONTROL DETAIL (NOT TO SCALE)

4 ALL STOCK PILES OF BUILDING MATERIALS SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.

THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



5 THE SITE IS TO BE SECURED WITH 1.8M HIGH CYCLON WIRE MESH WITH LOCKABLE GATES.

PRIOR TO COMMENCEMENT:
Staff amenities will be established.
Any special Council requirements will be addressed.
The owner will arrange disconnection of services, but will leave water supply connected at the meter. Temporary Electricity pole will be erected and connected for use.

WORK METHOD STATEMENT:

THE SINGLE STOREY FIBRO AND METAL ROOF COTTAGE AND OTHER EXISTING STRUCTURES WILL BE DEMOLISHED MANUALLY AND REMOVED FROM THE SITE BY LICENCED PROFFESIONALS WHO WILLTRY TO MAXIMIZE SORTING AND RECYCLING ALL THE MATERIALS OF THE SITE. FOR MORE DETAILS SEE THE WASTE MANAGEMENT PLAN.

PROCEDURE OF DEMOLITION

The existing dwelling and all other existing structures will be demolished and removed from the site in accordance with the Council's Demolition Code and with AS 2601 - 2001

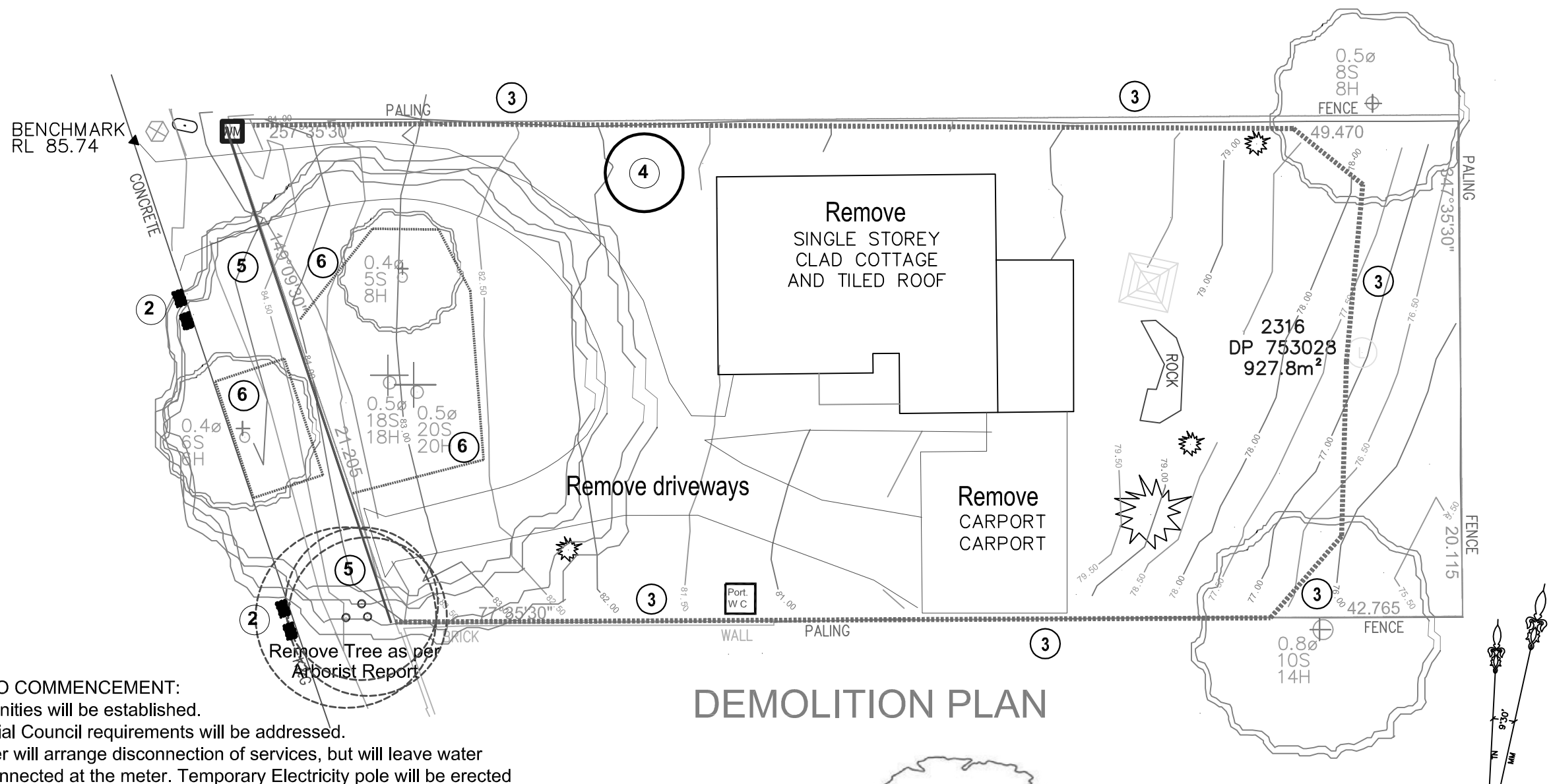
All the quantity of asbestos found on the site wil be removed manually by wet method, as required under the Worker and Safety Regulations to Australian Standards2601-2001& EPA wrapped with thick plastickand placed in a dedicated bin. The bin will be securely sealed and tipped. The employees are required to wear protective garments and masks for hazardous materials.

Employees shall be permitted to work only from a safe and serviceable platform.

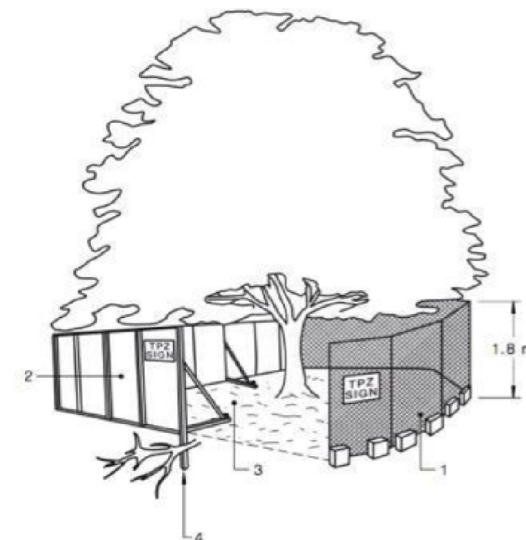
The roof will be removed manually and action will be taken to prevent materials from falling from above.

Demolished materials will be removed progressively and shall not be allowed to accumulate and present a hazard to the public or the workers on the site.

The brick base will be loosened by a small 12 ton excavator and cleaned manually for reuse in the new development.



DEMOLITION PLAN



TREE PROTECTION LEGEND:
1. CHAIN WIRE MESH HELD IN PLACE WITH CONCRETE FEET
2. ALTERNATIVE PLYWOOD PANELS CAN BE USED WITHIN THE TPZ
3. NO EXCAVATION, NO GRADE CHANGE OR STORAGE OF ANY KIND OF MATERIALS WITHIN THE TPZ.
4. BRACING IS PERMITTED WITHIN THE TPZ BUT SHOULD AVOID ANY ROOTS DAMAGE

Environmental Effects and Requirements;

All the work shall be supervised by a competent person.

Operation hours on weekdays 7.30am till 3.30pm

Saturdays 8.00am till 1.00 pm.

Safety fence with lockable gates and safety signs will be erected around the premises.

Dust will be minimized by the use of water spraying where and when necessary.

Noise will be minimized paricularly in the morning hours.

nose from the construction/ demolition associated with the development shall comply to the NSW Environmental operations act 1997.

Neighbours will be protected from any works associated with the demolition and or construction of the development.

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PROJECT
Proposed Demolition of Existing Structures and Erecting a New Dwelling, Granny Flat and a Home Office Studio.

A	ISSUED FOR DA APPLICATION	OCT. 2020

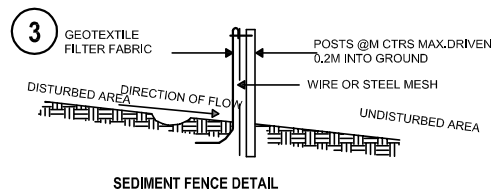
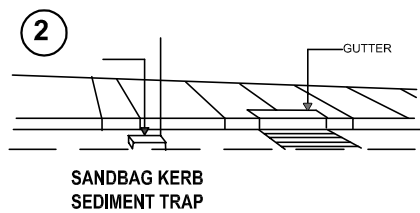
ADDRESS
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Allambie Heights NSW

CLIENT
Mr. Chris....

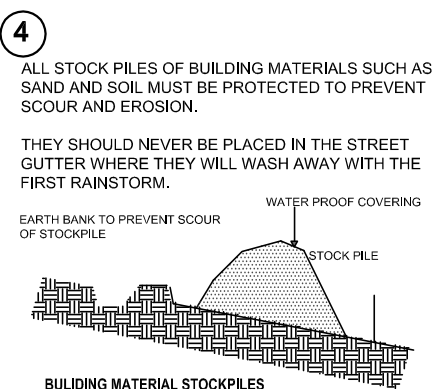
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AJ	1:200	20201010

DRAWING No:	ISSUE
PR020.03, Page 1b	A

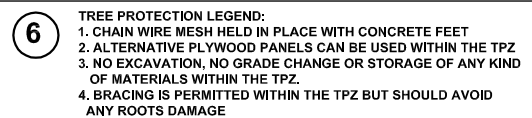
SABTON & SON
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sabtonandson@gmail.com
sabton@optusnet.com.au
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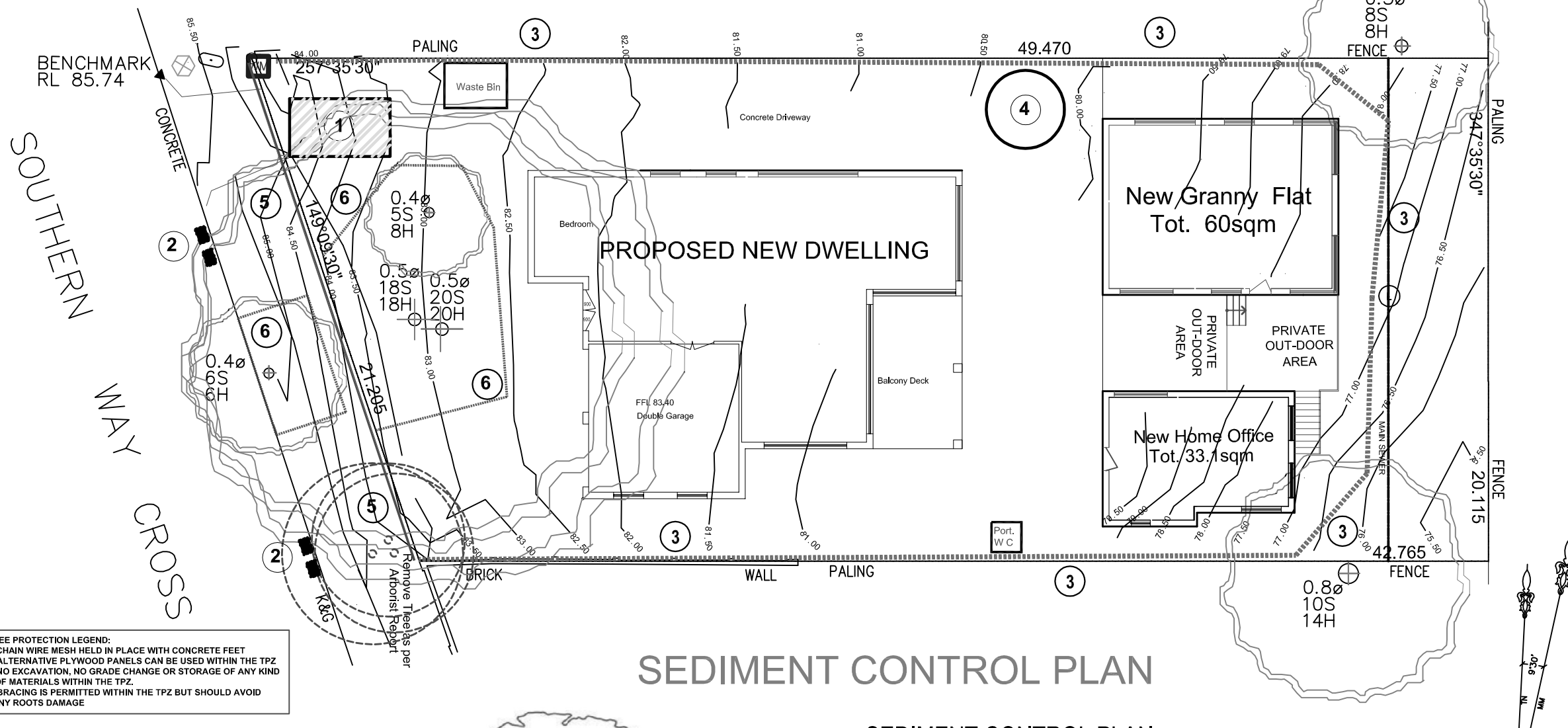
EROSION AND SEDIMENT CONTROL DETAIL (NOT TO SCALE)



- 5 THE SITE IS TO BE SECURED WITH 1.8M HIGH CYCLON WIRE MESH WITH LOCKABLE GATES.

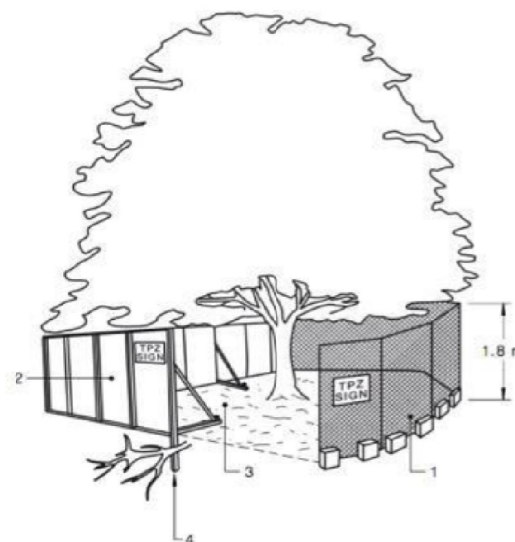


1. Retain all existing grass cover wherever possible.
2. It is the responsibility of the contractor to ensure that all measures are taken during the course of construction to prevent sediment erosion and pollution of the downstream system. Supervising engineer should be contacted if in doubt
3. Stockpiles of loose materials such as sand, soil, gravel must be covered with geotextile silt fence material. Plastic sheeting or membrane must not be used. Safety barricading should be used to isolate stockpiles of solid material such as steel, reinforcing, framework, scaffolding
4. All sediment deposited on the public way, including footpath reserve and road surface, is to be removed immediately
5. Waste material are to be stockpiled or loaded into skip bins located as shown on plan
6. Provide barriers around all construction works within the footpath to provide safe access for pedestrians /where applicable/
7. Delivery vehicles must not stand within the public roadway for more than 20 minutes at the time
8. Any excavation work adjacent to adjoining properties or the public roadway is not to be commenced until the structural engineer is consulted and specific instructions received from the engineer.
9. Toilet facility must be a flushing or approved portable chemical closet. Chemical closets are to be maintained and serviced on a regular basis so that offensive odour is not emitted.



SEDIMENT CONTROL PLAN

1. The builder is at all times required to control erosion sediment and stormwater flows to the satisfaction of Local Shire Council & in accordance with council's soil and water management policy.
2. All erosion and sediment control measures are to be inspected & maintained daily by site manager especially cleaning debris / sediment off filter fence and sediment trap to soakage pit.
3. Minimise disturbed areas where possible.
4. All stockpiles to be clear of drains, gutters and footpaths.
5. Drainage is to be connected to stormwater system as soon as possible
6. Discharge of water from the site is to be in accordance with the council requirement



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PROJECT
Proposed Demolition of Existing Structures
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and a Home Office Studio.

A	ISSUED FOR DA APPLICATION	OCT. 2022

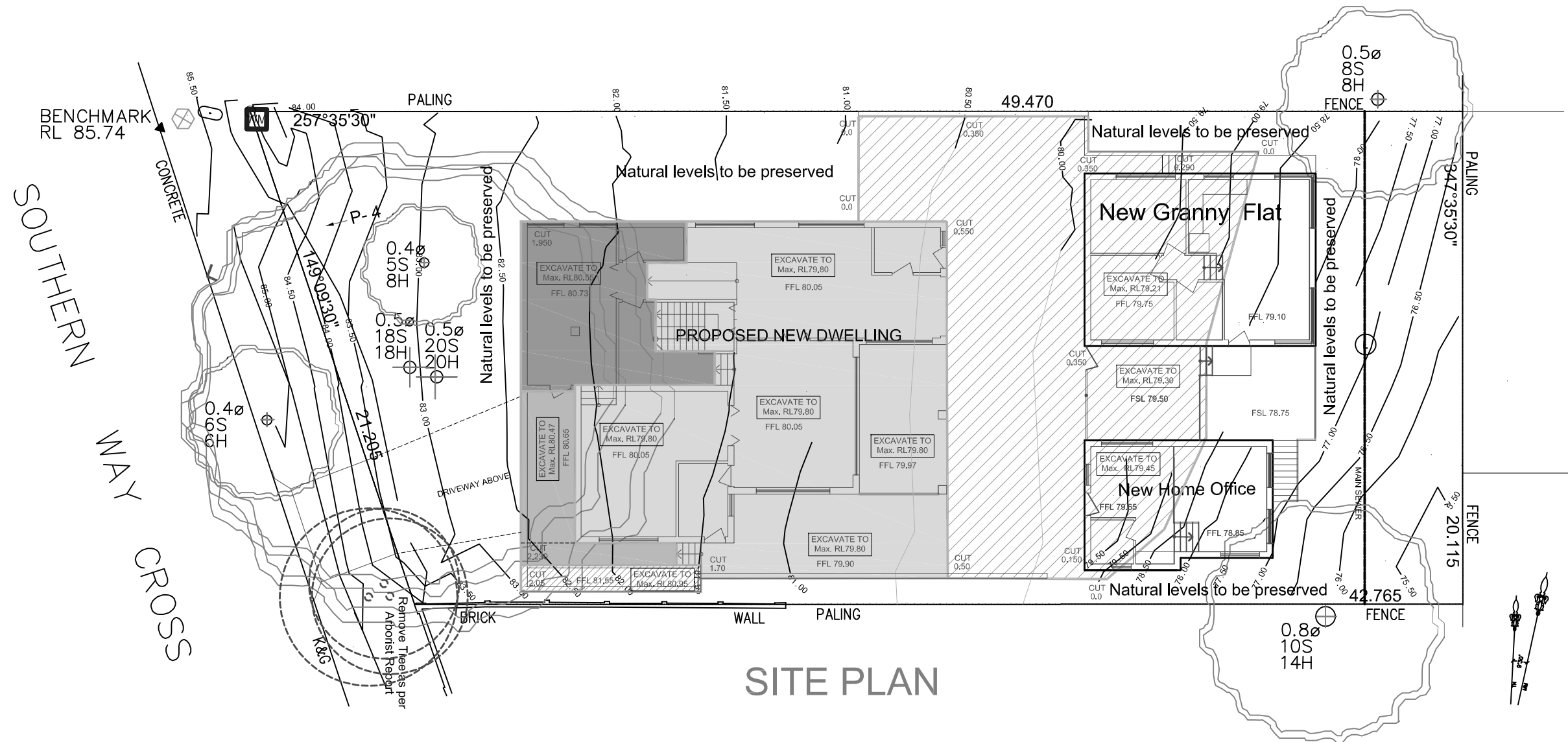
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Allambie Heights NSW

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Mr. Chris....

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DRAWING No: PR020.03, Page 1c		ISSUED BY A



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EXCAVATION AND FILL PLAN

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PROJECT
Proposed Demolition of Existing Structures and Erecting a New Dwelling, Granny Flat and a Home Office Studio.

A	Stormwater Concept Plan
	Oct. 20

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4 Southern Cress Way
Allambie Heights NSW

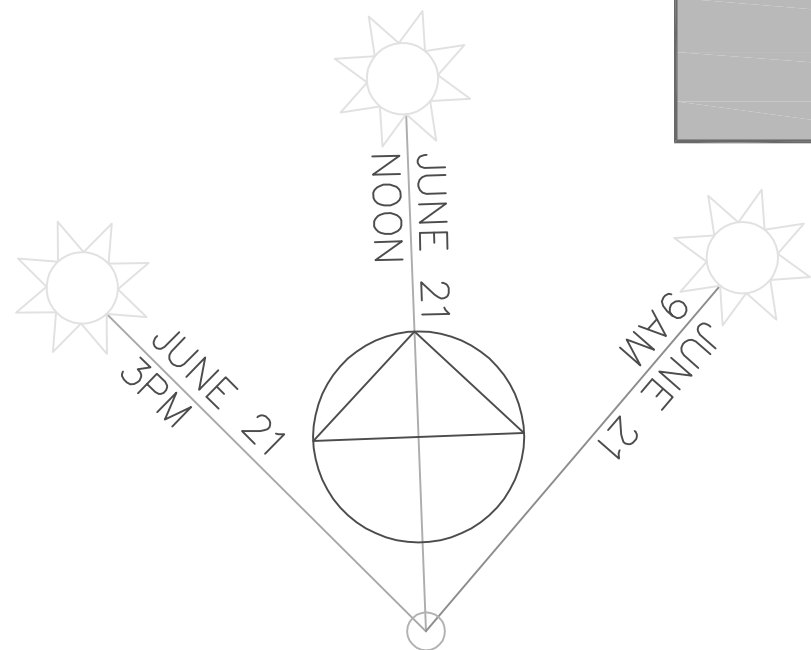
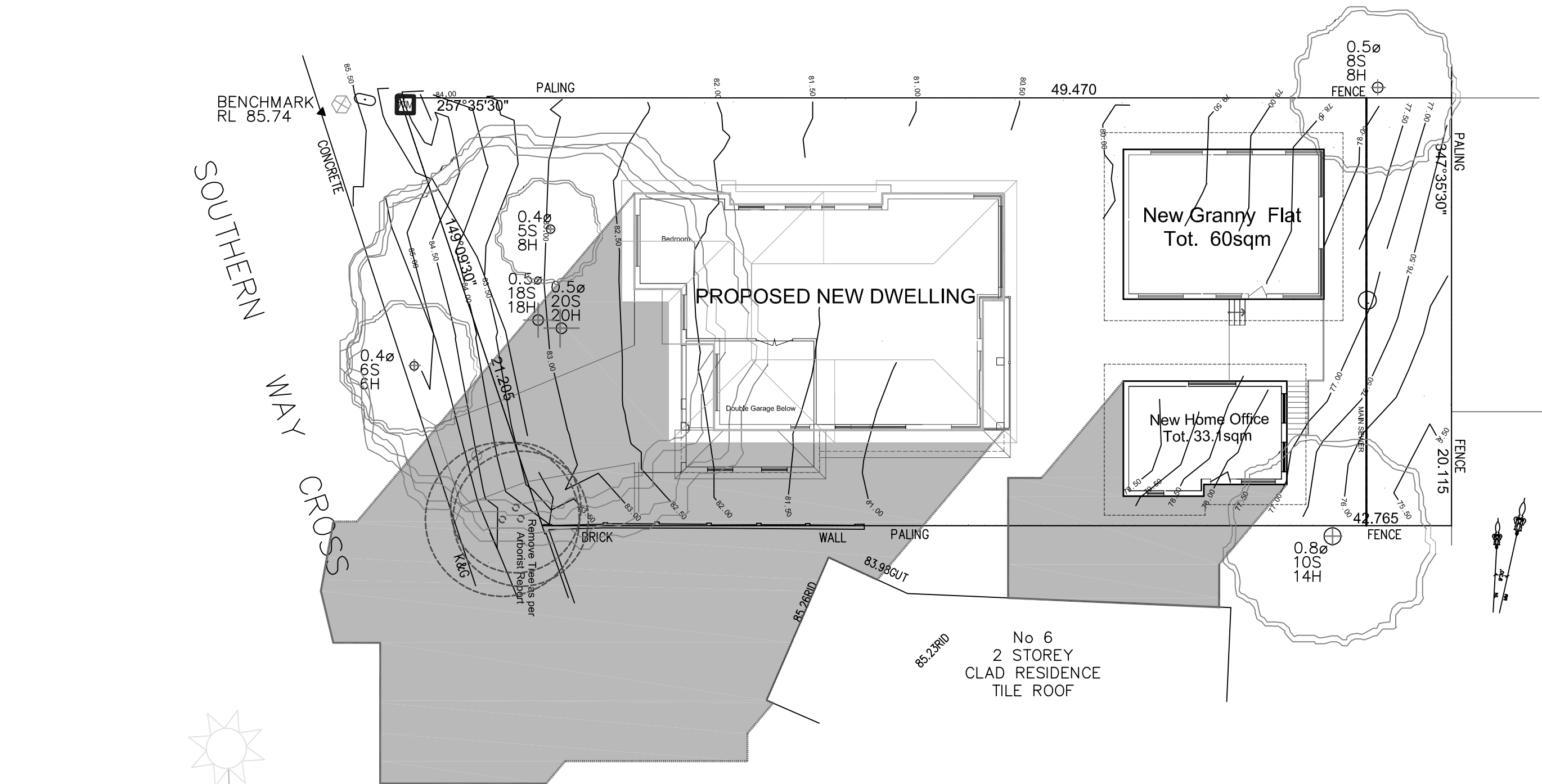
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Mr. Chris Jaczak

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**9AM SHADOW DIAGRAM
WINTER - JUNE 21**

**CERTIFIED SHADOW DIAGRAM
FOR WINTER - JUNE 21**

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PROJECT
Proposed Demolition of Existing Structures and Erecting a New Dwelling, Granny Flat and a Home Office Studio.

B	AS PER COUNCIL'S LETTER -19 APRIL 21	APR. 2021
A	ISSUED FOR DA APPLICATION	OCT. 2020

Certified by:
Mrs. Sabina James
B.D.A. Membership Number 0712 - 02
DATE 27 04 2021



ADDRESS
4 Southern Cross Way
Allambie Heights NSW

CLIENT
Mr. Chris Jaczak

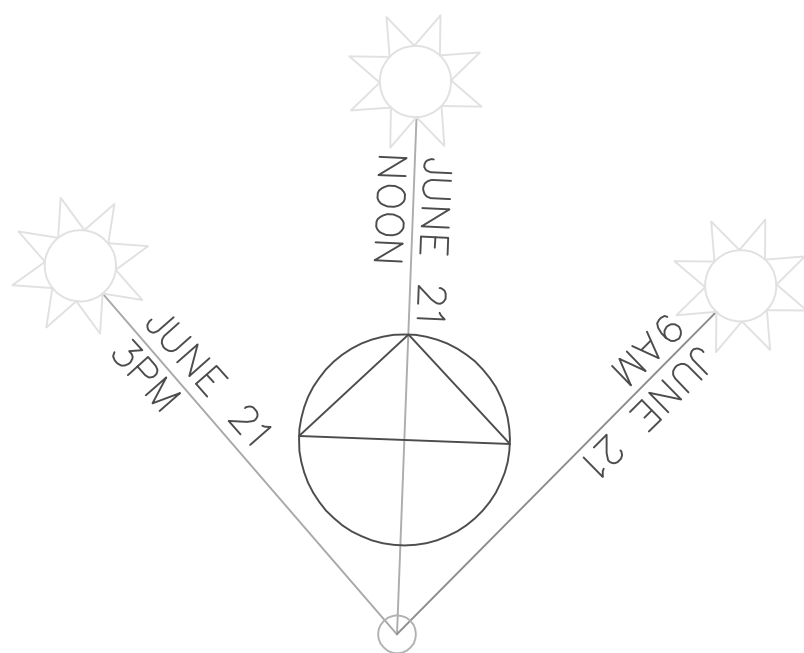
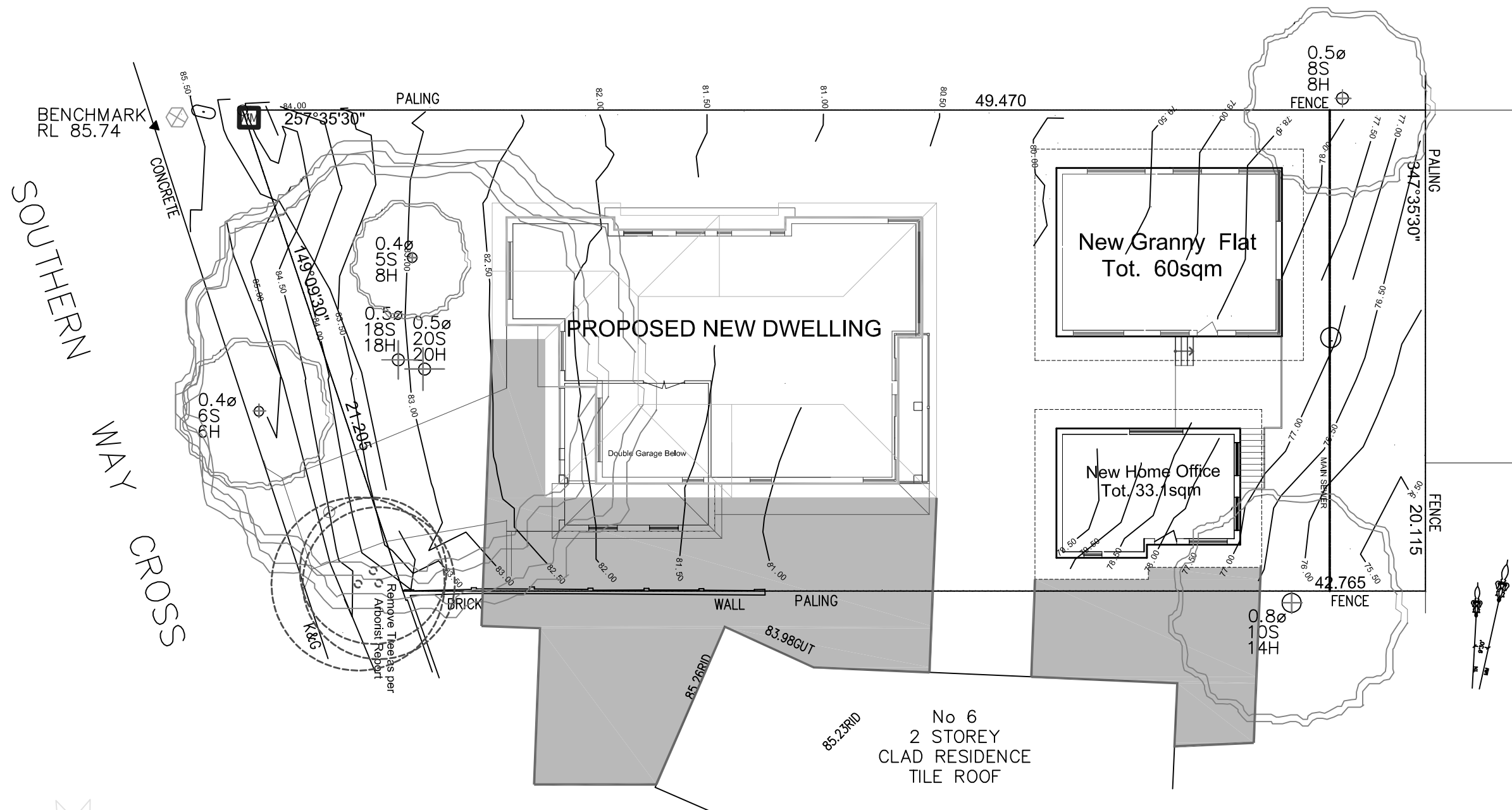
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AJ	1:200	2021 04 27

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PR020.03, Page 1e.i	B



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Mob: 0408 663 223
Tel: (612) 4567 2002



**NOON SHADOW DIAGRAM
WINTER - JUNE 21**

**CERTIFIED SHADOW DIAGRAM
FOR WINTER - JUNE 21**

Certified by:
Mrs. Sabina James
B.D.A. Membership Number 0712 - 02
DATE 27 04 2021



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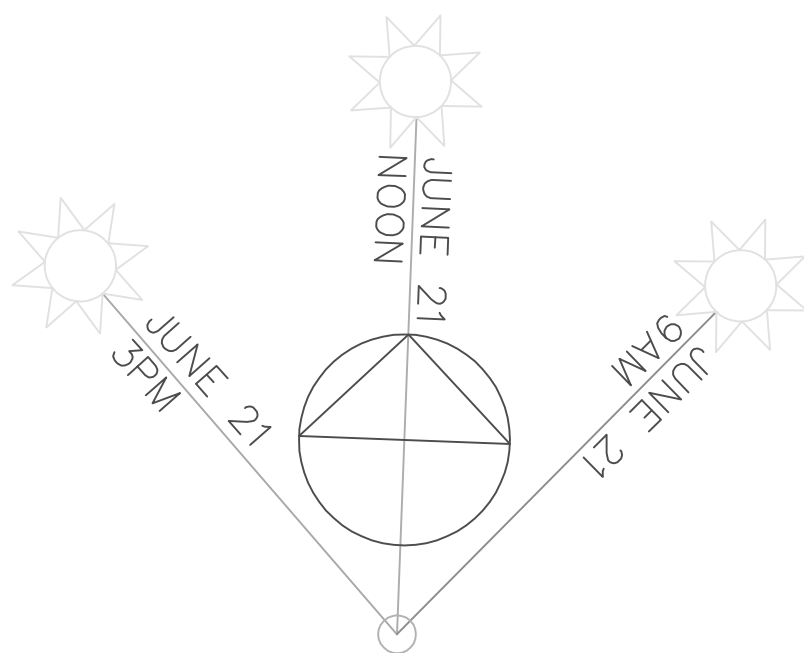
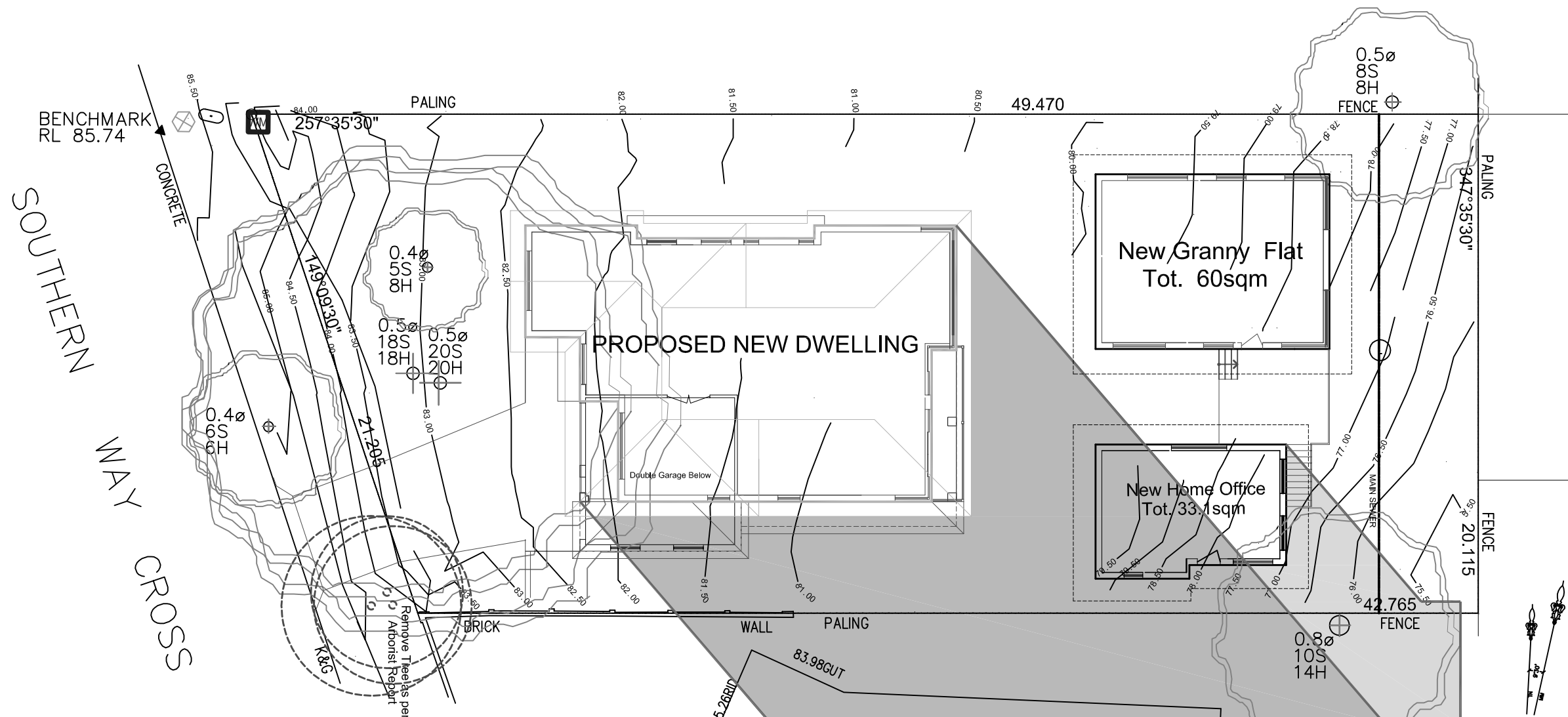
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**3PM SHADOW DIAGRAM
WINTER - JUNE 21**

**CERTIFIED SHADOW DIAGRAM
FOR WINTER - JUNE 21**

Certified by:
Mrs. Sabina James
B.D.A. Membership Number 0712 - 02
DATE 27 04 2021



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ADDRESS
4 Southern Cress Way
Allambie Heights NSW

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Mr. Chris Jaczak

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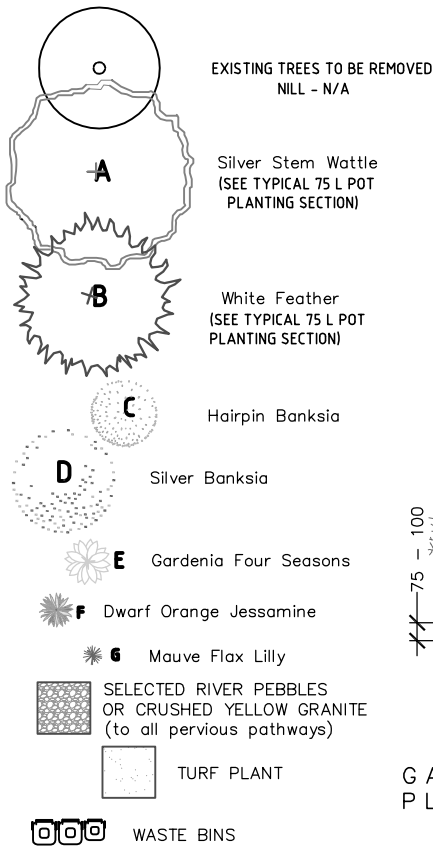
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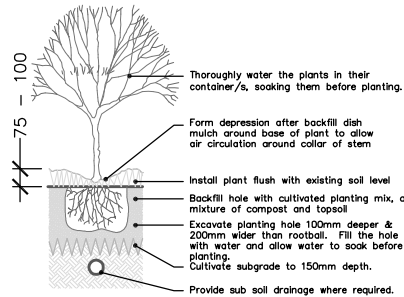
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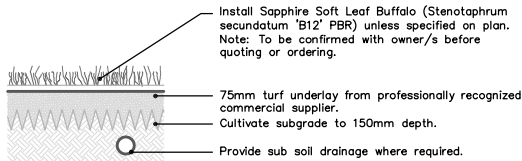
PLANTING LEGEND



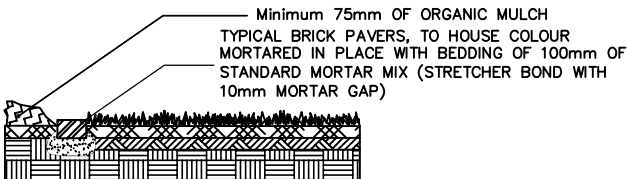
GARDEN BED PLANTING DETAIL



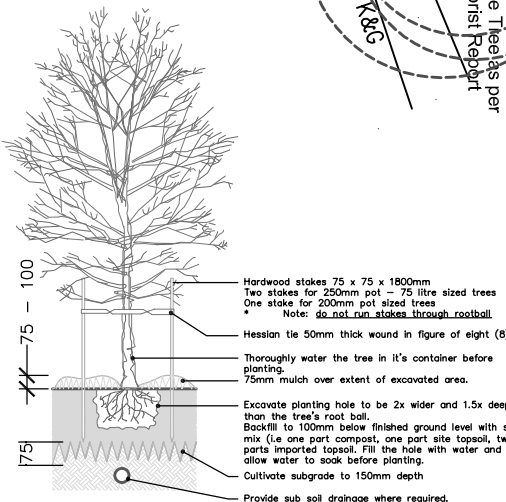
TURF LAYING DETAIL



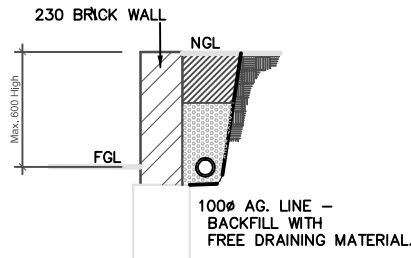
BRICK EDGING DETAIL



TREE PLANTING DETAIL



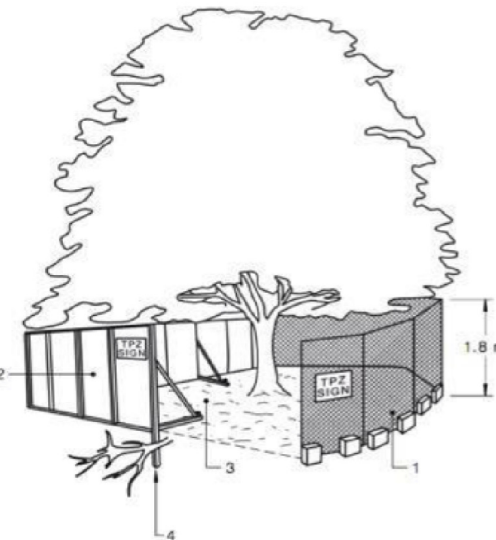
RETAINING WALL DETAIL (WHERE REQUIRED)



LANDSCAPE CONCEPT PLAN

TOT. BUILDING FOOTPRINT AREA 299.26sqm
TOTAL LANDSCAPED AREA 494.01sqm
TOTAL HARD SURFACE AREA 389.38sqm

TREE PROTECTION LEGEND:
1. CHAIN WIRE MESH HELD IN PLACE WITH CONCRETE FEET
2. ALTERNATIVE PLYWOOD PANELS CAN BE USED WITHIN THE TPZ
3. NO EXCAVATION, NO GRADE CHANGE OR STORAGE OF ANY KIND OF MATERIALS WITHIN THE TPZ.
4. BRACING IS PERMITTED WITHIN THE TPZ BUT SHOULD AVOID ANY ROOTS DAMAGE



PROTECTION OF ROCKY OUTCROPS

The existing Rocky outcrops as shown approximate position on this landscape plan are to be preserved in their natural state as part of the natural environmental features of the site. If any issues arise during the construction of the development the builder is to contact the designer's office for advice before continuing any further.

EXISTING TREE PROTECTION

To preserve the existing tree/s, no work shall commence until the trunks are protected by the placement of 2.0 metre long of 50 x 100mm hardwood timbers stakes spaced at 1500mm centres and secured by 2mm wire at 300mm spacings. The barrier will be install to the trees drip line or a minimum of 2m from the base of the trunk (which ever is greater) of the tree completely surround the trunks. The trunk protection shall be maintained intact until the completion of all building work on site. Any damage to the tree/s shall be treated immediately by an experienced Arborist, with minimum qualification of Tree Surgery Certificate and a report detailing the works carried out shall be submitted to the Principal Certifying Authority.

Do not remove topsoil from areas within the drip line of trees to be retained. Do not cut roots exceeding 50mm diameter unless instructed by the qualified Arborist. Prevent compaction around the up to the drip line of the tree. No materials are to be stored or stockpiled, and spillage of harmful substances prohibited within the fenced area. In addition prevent windblown materials from harming. Trees should be assessed prior to occupation by an experienced Arborist. to access any safety issues.

MAINTENANCE ESTABLISHMENT

CARRY OUT THE FOLLOWING TASKS FOR A TWELVE-MONTH PERIOD FROM THE DATE OF PRACTICAL COMPLETION:

- * WATERING OF ALL LAWN AND PLANTED AREAS
- * MOWING OF ALL TURFED AREAS
- * WEEDING OF ALL LAWNS AND GARDEN AREAS
- * RUBBISH REMOVAL
- * FERTILISING TO ACHIEVE OPTIMAL GROWTH

- * PEST AND DISEASE CONTROL
- * RETURNING TO FAILED LAWN AREAS
- * ADJUSTMENT OF STAKES AND TIES
- * REPLACE FAILED PLANTING
- * PRUNING AND HEDGE CLIPPING OF PLANTS
- * AERATING OF TURF
- * REINSTATEMENT OF MULCH
- * TOP DRESSING OF TURF AREAS AS REQUIRED

PLANT SCHEDULE

PLANT TYPE	SYMBOL ON PLAN	QUANTITY REQUIRED	BOTANICAL NAME	COMMON NAME	NATIVE (N)	POT TYPE/ SIZE (Standard Term)	MATURE HEIGHT	VOLUME OF POT (Litres)	Spacing in M
MED./SMALL TREES	A	1	Acacia Parvippinula	Silver Stem Wattle	LN	Plant Bag 75	4.0-6.0	30	N/A
	B	1	Malealeuca Decora	White Feather	LN	Plant Bag 75	5.0-10.0	30	N/A
MED./SMALL SHRUBS	C	42	Banksia Spinulosa	Hairpin Banksia	LN	Plant Pot 200	1.5-2.0	10	2.0
	D	11	Banksia Marginata	Silver Banksia	LN	Plant Pot 200	3.0-4.0	10	2.0
GROUND COVERS	E	18	Gardenia Four Seasons	Four Seasons Gardenia	LN	Plant Pot 200	0.6-1.0	5	1.5
	F	27	Murraya Paniculata	Dwarf Orange Jessamine	LN	Plant Pot 200	1.0-1.0	5	1.5
	G	67	Dianella Revoluta	Mauve Flax Lilly	LN	Plant Pot 200	0.3-0.5	5	0.9
		AREA m ²	BOTANICAL NAME	COMMON NAME					
TURF PLANT	TURF	113.40	Wahlenbergia Communis	Bluebell Grass	Max. Plant height 200mm				

NOTE: UNLESS STATED OTHERWISE ON THE PLAN THE PLANT SPACING WILL BE AS SHOWN ON THE SCHEDULE. SPACING MARKED "N/A" MEANS TO SCALE OF PLAN

PLANTING PROCEDURE

IN GROUND PLANTING PROCEDURE
1) REMOVE EXISTING GRASS PRIOR TO ANY WORKS.
2) LOOSELY BREAK-UP SOIL SURFACE WITH A ROTARY HOE.
3) APPLY 50mm OF DECOMPOSED COW MANURE OVER ALL PLANTER BEDS AND LOOSELY DIG IN TO SITE SOIL.
4) REST SOIL FOR AT LEAST 3 TO 4 WEEKS PRIOR TO PLANTING.
5) PLANTS SHOULD BE REMOVED FROM THEIR POTS AND PLANTED INTO PRE-DUG HOLE TWO TIMES THE SIZE OF THE POT, THE SOIL SURFACE SHOULD BE LEVEL WITH THE POTTING MIX SURFACE LEVEL. NO FERTILIZER OR OTHER MATERIAL SHOULD BE INCLUDED PRIOR TO BACK FILLING. BACK FILL WITH SITE SOIL AND LIGHTLY COMPACT AROUND PLANT.
6) APPLY 100mm OF PINE FLAKE MULCH
7) APPLY UREA AT A RATE OF SKG PER 100M² TO ALL BEDS.
8) SOIL MOISTURE SHOULD BE MAINTAIN AROUND TREES DURING THE ESTABLISHMENT PERIOD (FIRST 12 MONTHS). AFTER THAT PERIOD, TREES SHOULD BE ALLOWED TO HARDEN OFF. THE SOIL MOISTURE AROUND TREES AND SHRUBS WILL TO BE MAINTAINED DURING DRY PERIODS FOR THE CONTINUING HEALTH VIGOUR OF ALL PLANTS

Proposed Demolition of Existing Structures and Erecting a New Dwelling, Granny Flat and a Home Office Studio.

Address: 4 Southern Cress Way Allambie Heights NSW

Client: Mr. Chris Jaczak

1	DA APPLICATION	2020 9 11
Issue:	DESCRIPTION	DATE

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DRAWN S.J.	DATE 2020 10 14
SCALE 1:100	
DRAWING No: L/D2020-11, Sheet 1	ISSUE 1

DAYSPRING LANDSCAPING

Designers and providers of indigenous & exotic plants
7 SKYLINE RD. MOB: 0408 663 223
Mt. TOMAH NSW 2758 TEL: (612)4567 2002
Email. mounttomah@gmail.com

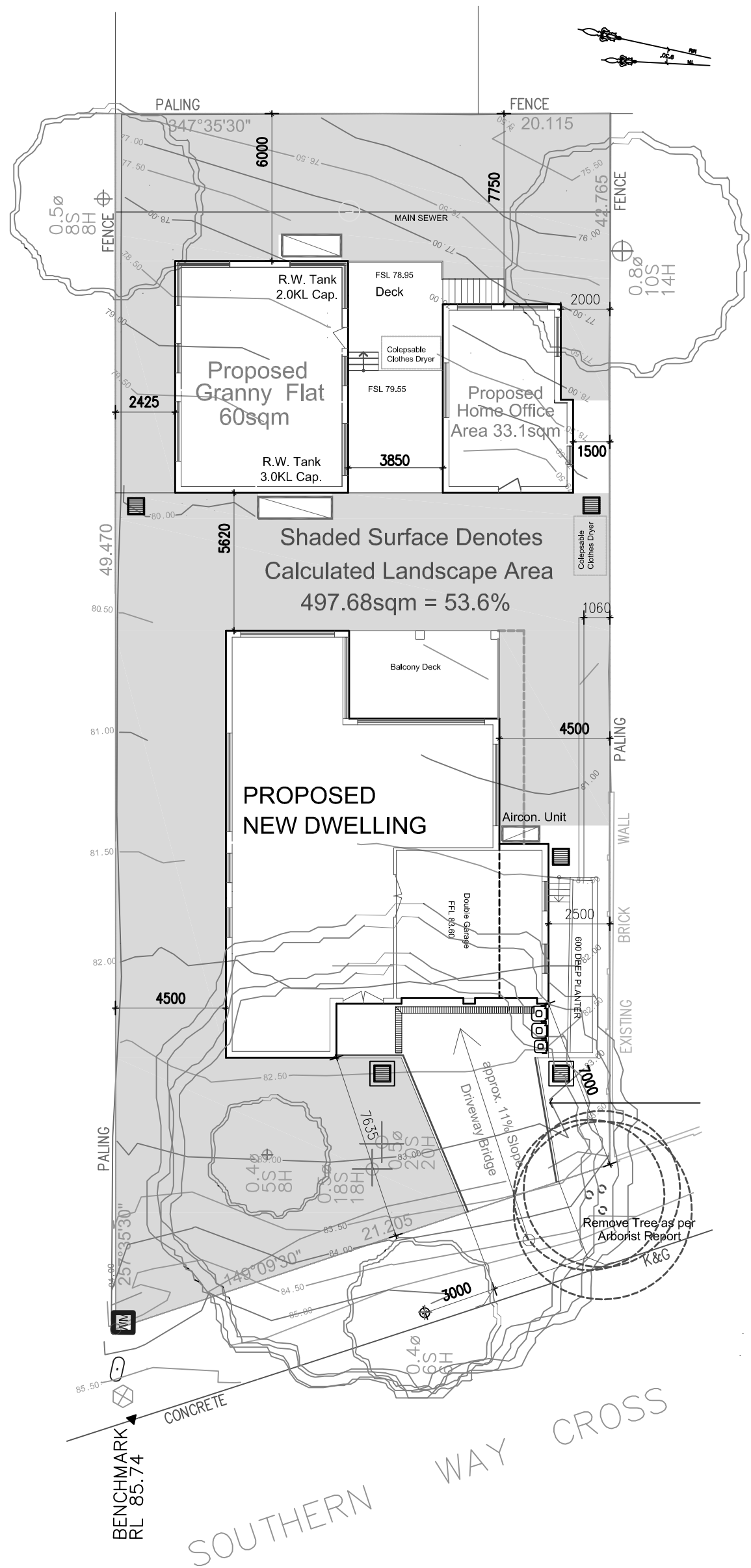
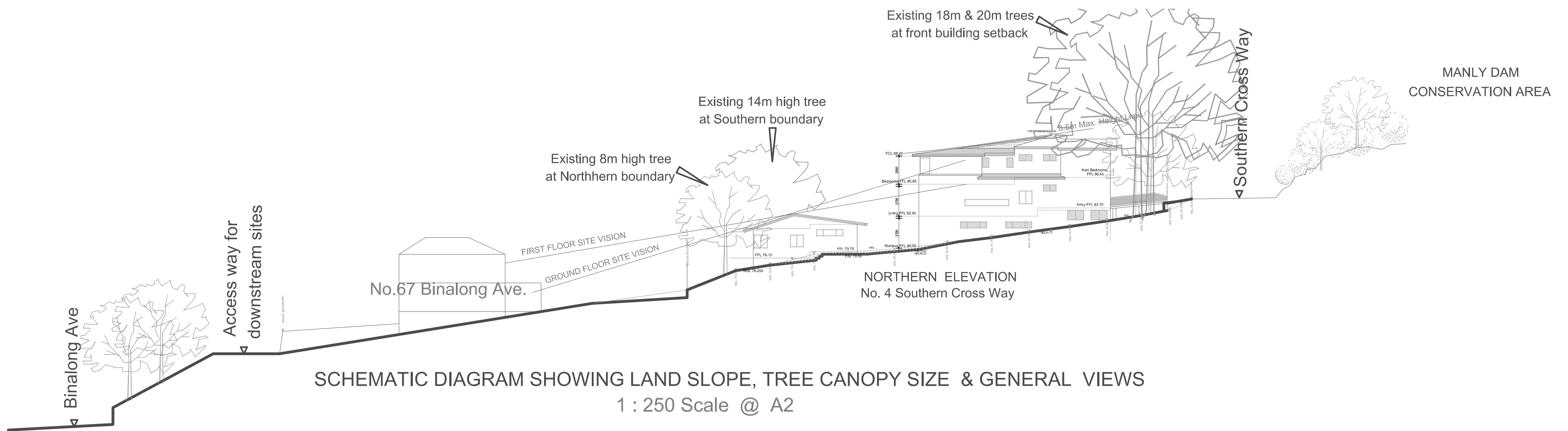


DIAGRAM SHOWING LANDSCAPED AREA
Scale 1 : 200 @ A3



AERIAL VIEW MONTAGE
1:250 Scale @ A3



SCHEDULE OF FINISHES

Main Dwelling, Granny Flat & Studio

For: 4 Southern Cross Way Allambie Heights NSW

External Walls

Austral – Orpheus (or similar)



Windows and Sliding Doors

Aluminium frame- Mid Grey

Garage doors

Garage Doors- Surf Mist



Guttering & Down Pipes

Colorbond – Mid Grey

Driveway area

Stencil Crete - Dark Grey or Charcoal

Metal Roof

Custom Orb – Bushland Grey or Mid Grey



These materials and colours are to be constructed as specified or similar chosen by the client