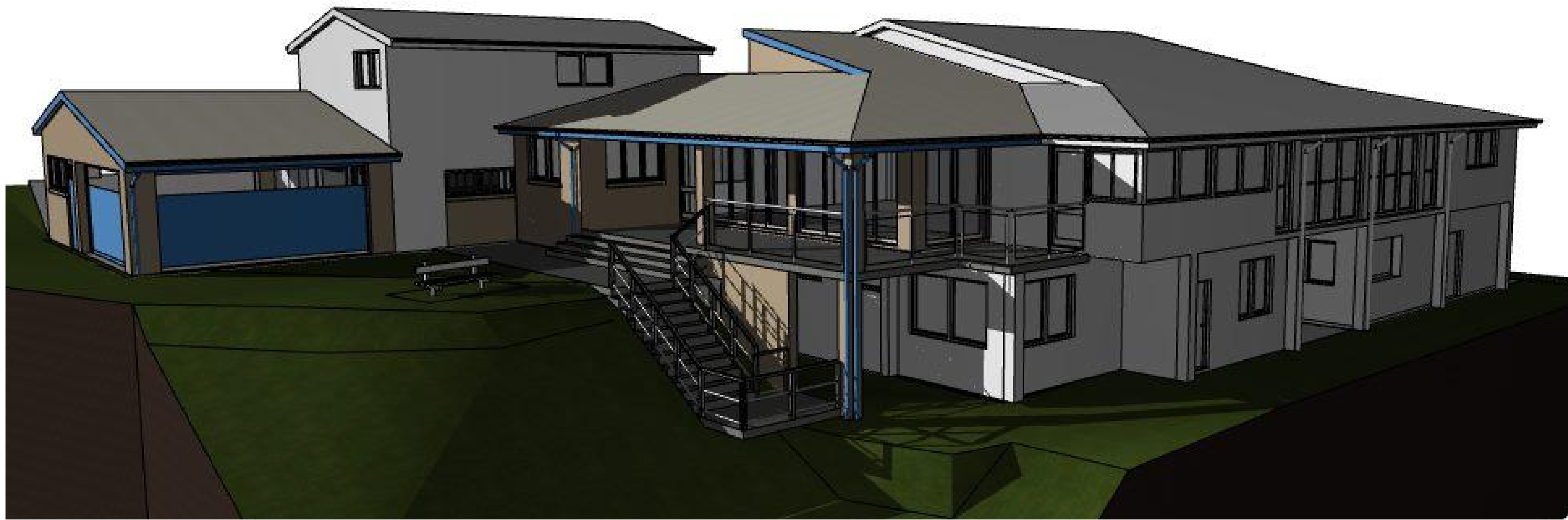


# NORTH CURL CURL SURF LIFE SAVING CLUB INC.

location:

HUSTON PARADE,  
NTH. CURL CURL. N.S.W. 2099  
Lot 7356 D.P.1167221

building alterations section 96(2) application



○ SOUTH WESTERN VIEW



LOCALITY PLAN

NORTH CURL CURL  
SURF LIFE SAVING CLUB

### DRAWING SCHEDULE:

- DA 01: COVER SHEET, LOCALITY PLAN & DRAWING SCHEDULE
- DA 02: SITE, SITE ANALYSIS & LANDSCAPE PLAN
- DA 03: LOWER LEVEL & CARETAKERS FLOOR PLANS & NOTES & MATERIALS LIST
- DA 04: UPPER LEVEL FLOOR PLAN
- DA 05: NORTH, SOUTH, EAST AND WEST ELEVATIONS
- DA 06: SECTIONAL VIEWS
- DA 07: ROOF PLAN
- DA 08: DOOR & WINDOW SCHEDULES, GENERAL NOTES, SAFETY NOTES, MATERIALS SPECIFICATION & COMPLIANCE WITH STANDARDS

"SECTION 96 APPLICATION"  
MODIFICATION OF CONSENT.

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**bda** CHARTERED MEMBER  
BUILDING  
DESIGNERS  
AUSTRALIA



DATE	REV.	AMENDMENT

22-08-15	C	REV. C: SECTION 96(2) MODIFICATION OF CONSENT APPLICATION ISSUE
30-05-14	B	REV. B: SECTION 96(2) MODIFICATION OF CONSENT APPLICATION ISSUE
14-03-13	A	DEVELOPMENT APPLICATION ISSUE

**LKS** DESIGN & DRAFTING  
ABN 62243830351  
P.O. Box 4101, North Curl Curl, N.S.W. 2099  
Ph: (02) 9905 6261 Fax: (02) 9905 6447  
Mobile: 0418 862 771  
Email: [ks1@bigpond.net.au](mailto:ks1@bigpond.net.au)

**PROJECT:**  
PROPOSED ALTERATIONS  
NORTH CURL CURL SLSC  
HUSTON PARADE,  
NORTH CURL CURL, N.S.W. 2099  
LOT. 7356 D.P.1167221

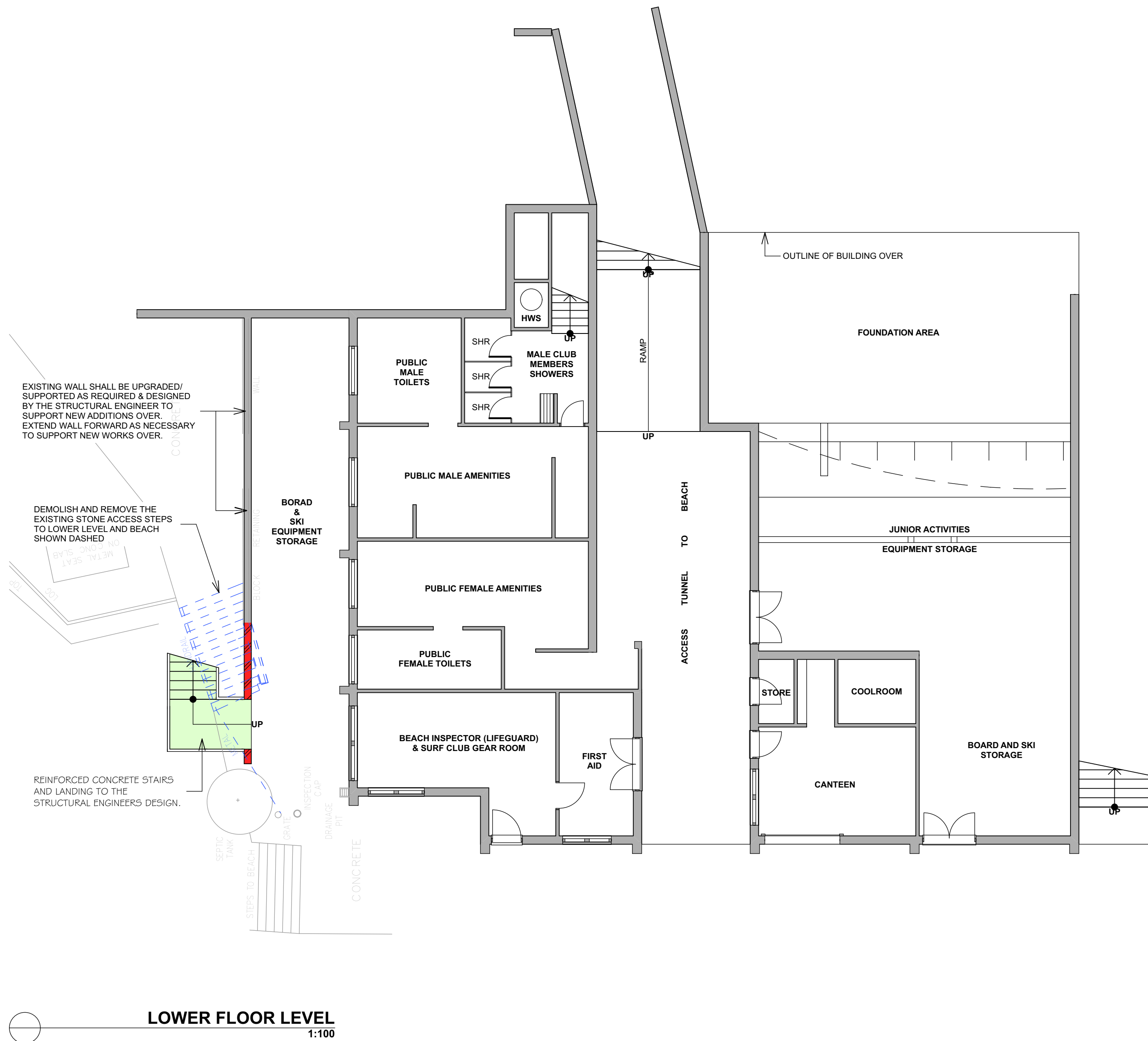
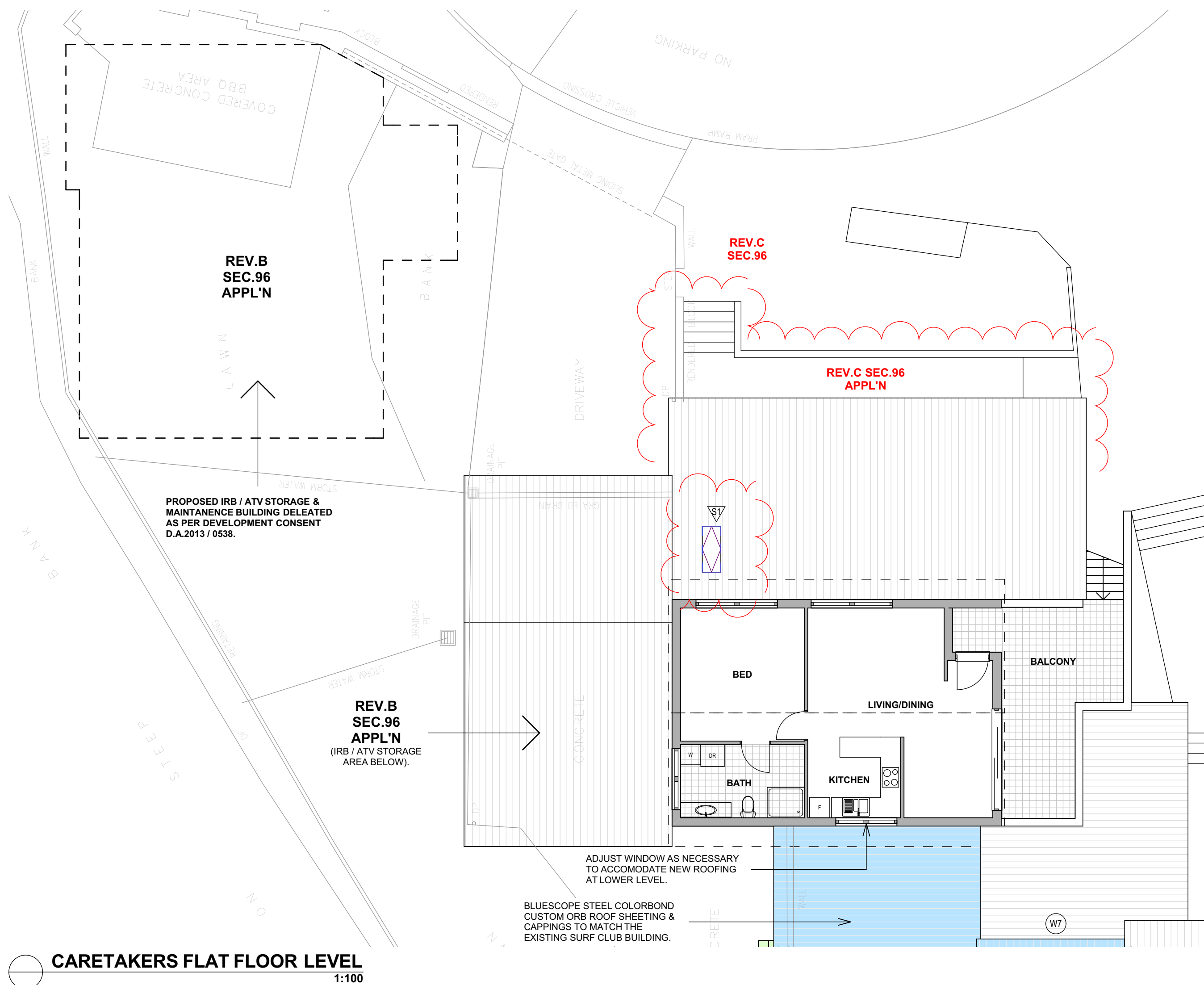
### SECTION 96(2) APPLICATION ISSUE

**CLIENT:**  
NORTH CURL CURL  
SURF LIFESAVING CLUB INC.  
COVER SHEET, LOCALITY AND  
DRAWING SCHEDULE

**DATE:** 14th March, 2013  
**SCALE:** 1:100 @ A1  
**DRAWN:** L.K.S.  
**DRG No.:** 1121DA **DA 01** Rev. C







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**bd&d**  
CHARTERED MEMBER  
BUILDING  
DESIGNERS  
AUSTRALIA



DATE	REV.	AMENDMENT

22-08-15	C	REV. C. SECTION 96(2) MODIFICATION OF CONSENT APPLICATION ISSUE
30-05-14	B	REV. B. SECTION 96(2) MODIFICATION OF CONSENT APPLICATION ISSUE
14-03-13	A	DEVELOPMENT APPLICATION ISSUE
	DATE	REV.

**LKS** DESIGN & DRAFTING  
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Ph: (02) 9905 6261 Fax: (02) 9905 6447  
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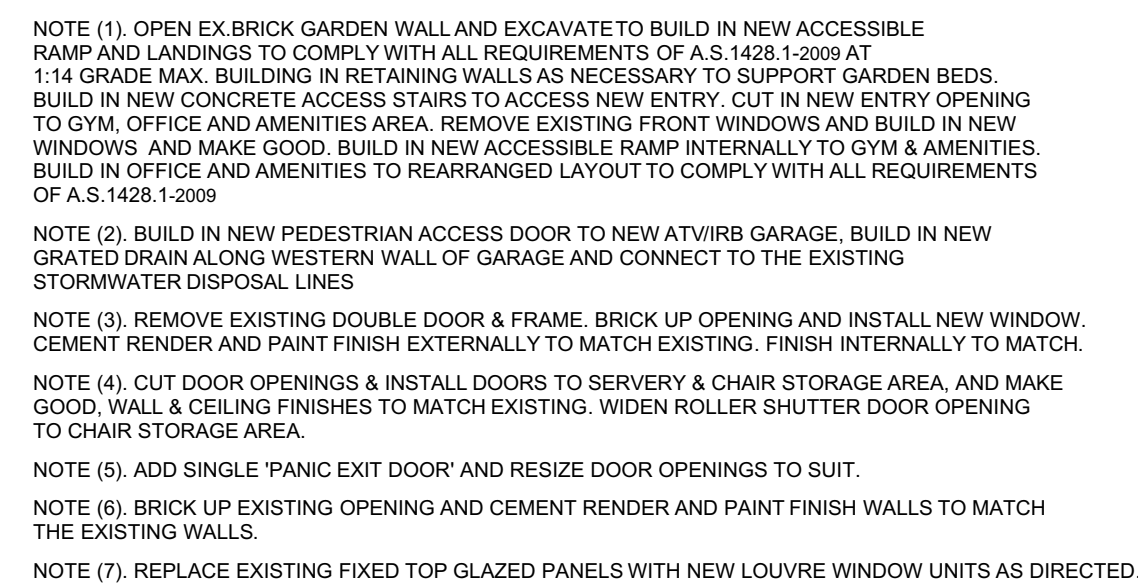
**PROJECT:**  
PROPOSED ALTERATIONS  
NORTH CURL CURL SLSC  
HUSTON PARADE,  
NORTH CURL CURL, N.S.W. 2099  
LOT. 7356 D.P.1167221

SECTION 96(2) APPLICATION ISSUE

**CLIENT:**  
NORTH CURL CURL  
SURF LIFESAVING CLUB INC.  
LOWER LEVEL & CARETAKERS  
FLAT FLOOR PLANS

**DATE:** 14th March, 2013  
**SCALE:** 1:100 @ A1  
**DRAWN:** L.K.S.  
**DRG No.:** 1121DA **DA 03** Rev. C





☐ E EXIST SIGN OVER OPENING

☐ FHR FIRE HOSE REEL

☐ FB FIRE BLANKET IN KITCHEN

☐ EL EMERGENCY LIGHTING

☐ FX FIRE EXTINGUISHER

- 1) NO BOUNDARIES HAVE BEEN SURVEYED
- 2) ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM S.S.M. 821 R.L. 34.267 A.H.D.
- 3) NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN UNDERTAKEN
- 4) SPOT LEVELS ARE ACCURATE
- 5) BEARINGS SHOWN ARE ON M.G.A.(MAP GRID of AUSTRALIA)

**UPPER FLOOR LEVEL**  
1:100

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			23-06-15	C	REV. C. SECTION 9(2) MODIFICATION OF CONSENT APPLICATION ISSUE
			30-05-14	B	REV. B. SECTION 9(2) MODIFICATION OF CONSENT APPLICATION ISSUE
			14-03-13	A	DEVELOPMENT APPLICATION ISSUE
DATE	REV.	AMENDMENT	DATE	REV.	AMENDMENT

**LKS** DESIGN & DRAFTING  
ABN 6234330351  
ACCREDITED BUILDING DESIGNER

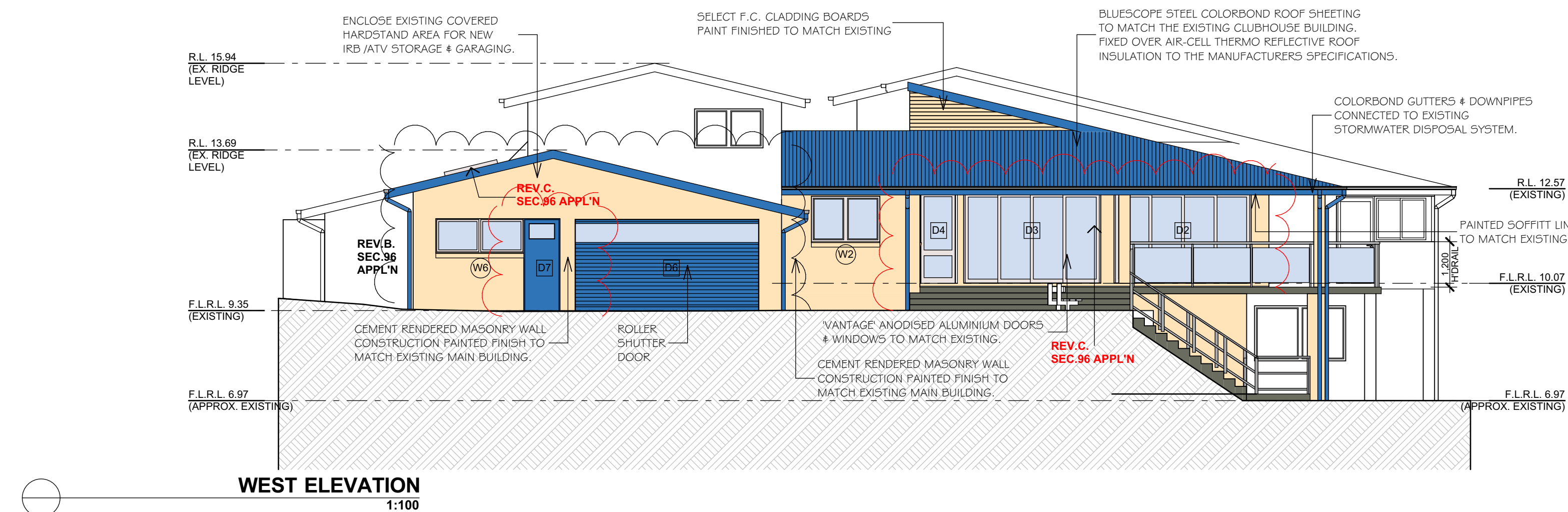
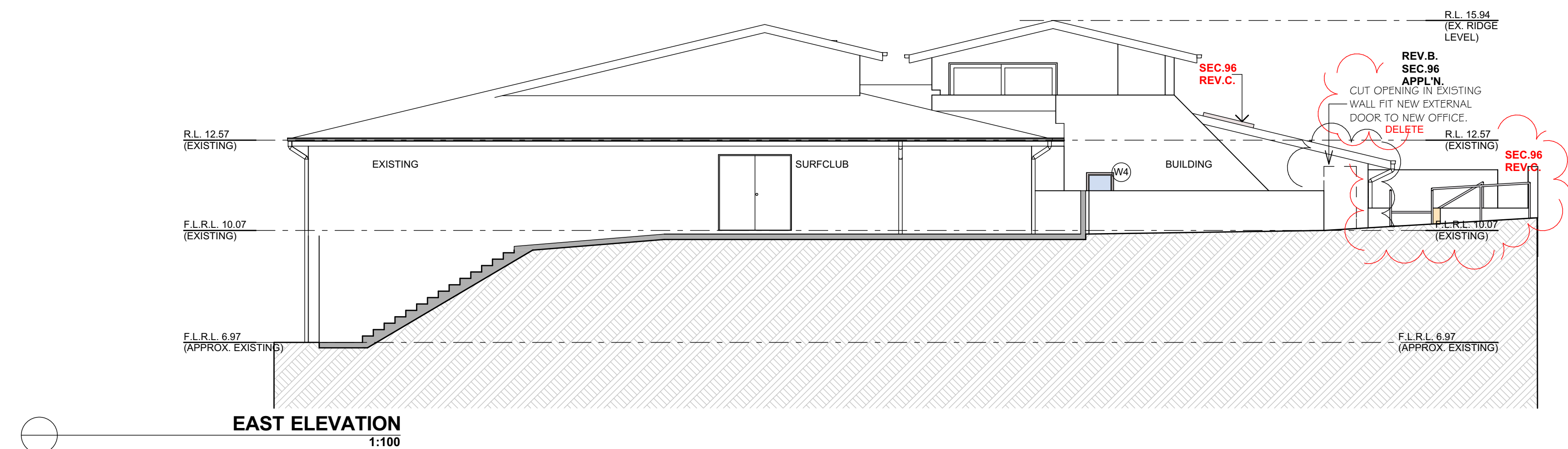
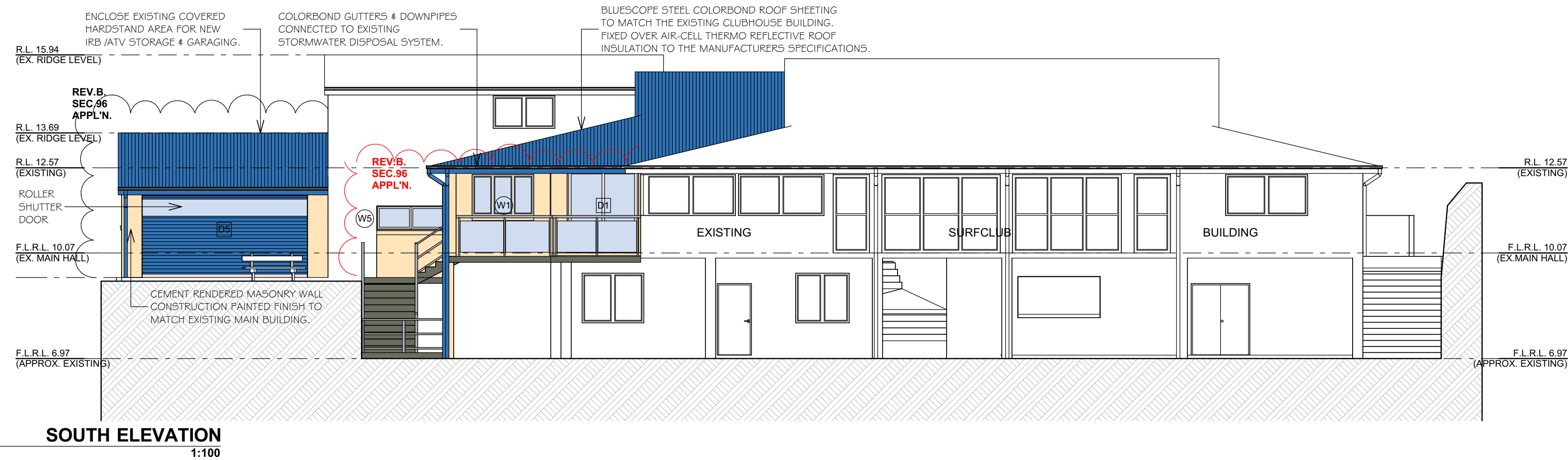
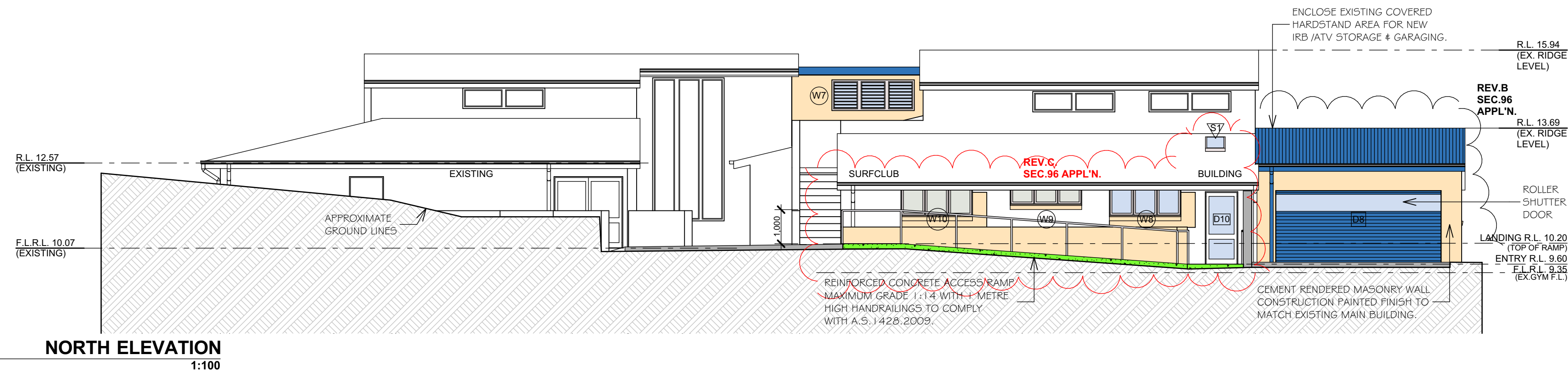
P.O. Box 4101, North Curl Curl, N.S.W. 2099  
Ph: (02) 9905 6261 Fax: (02) 9905 6447  
Mobile: 0418 662 771  
Email: lks1@bigpond.net.au

**PROJECT:**  
PROPOSED ALTERATIONS  
NORTH CURL CURL SLSC  
HUSTON PARADE,  
NORTH CURL CURL, N.S.W. 2099  
LOT. 7356 D.P.1167221

**CLIENT:**  
NORTH CURL CURL  
SURF LIFESAVING CLUB INC.  
UPPER LEVEL FLOOR PLAN

<b>DATE:</b>	14th March, 2013
<b>SCALE:</b>	1:100 @ A1
<b>DRAWN:</b>	L.K.S.
<b>DRG No.:</b>	1121DA DA 04 Rev. C





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**bda**  
CHARTERED MEMBER  
BUILDING  
DESIGNERS  
AUSTRALIA



DATE	REV.	AMENDMENT

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30-05-14	B	REV. B. SECTION 96(2) MODIFICATION OF CONSENT APPLICATION ISSUE
14-03-13	A	DEVELOPMENT APPLICATION ISSUE

**LKS** DESIGN & DRAFTING  
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Ph: (02) 9905 6261 Fax: (02) 9905 6447  
Mobile: 0418 862 7171 Email: lks@sigmond.net.au

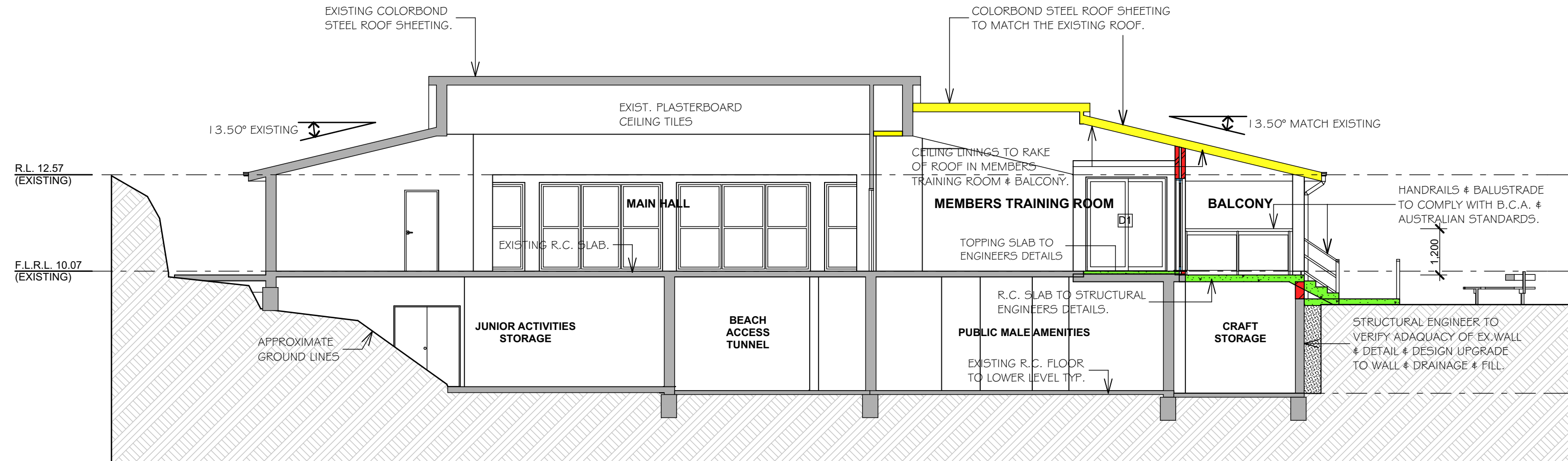
**PROJECT:**  
PROPOSED ALTERATIONS  
NORTH CURL CURL SLSC  
HUSTON PARADE,  
NORTH CURL CURL, N.S.W. 2099  
LOT. 7356 D.P.1167221

**SECTION 96(2) APPLICATION ISSUE**

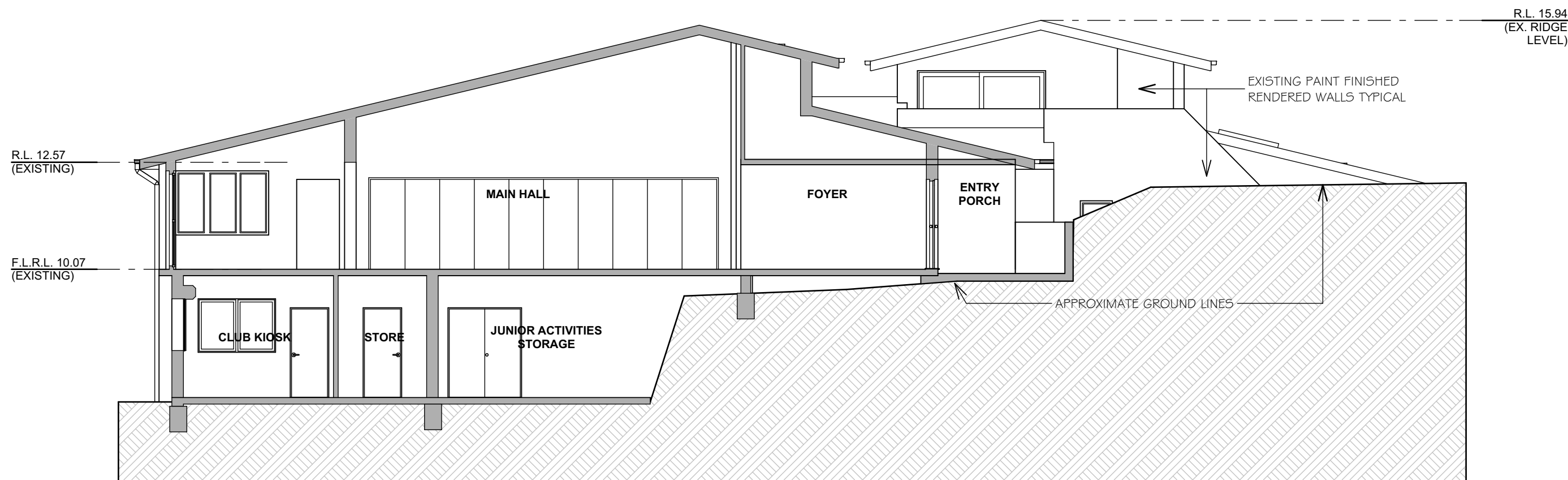
**CLIENT:**  
NORTH CURL CURL  
SURF LIFESAVING CLUB INC.  
NORTH, SOUTH, EAST & WEST  
ELEVATIONS

**DATE:** 14th March, 2013  
**SCALE:** 1:100 @ A1  
**DRAWN:** L.K.S.  
**DRG No.:** 1121DA **DA 05** Rev. C

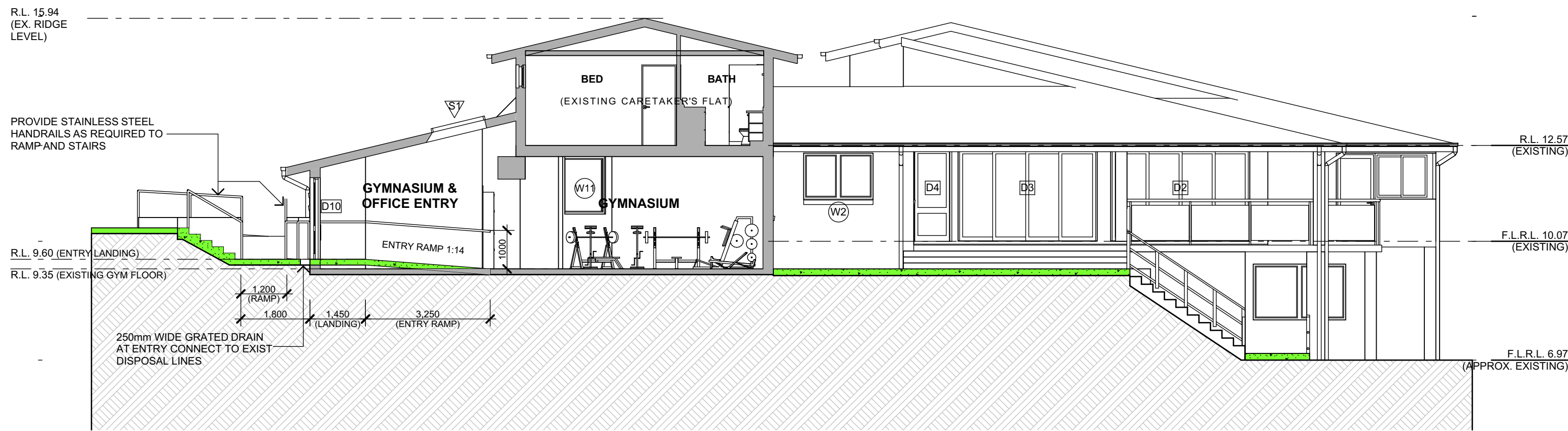




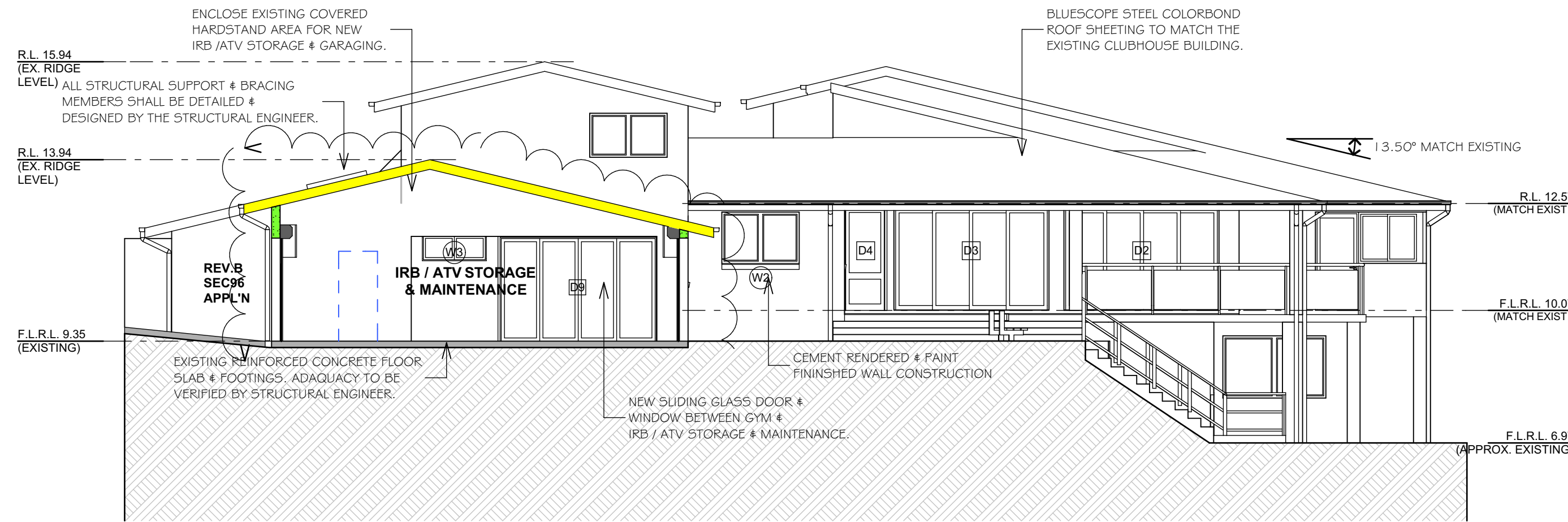
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SECTION Y1-Y1  
1:100



SECTION Y3-Y3  
1:100



SECTION Y2-2  
1:100

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CHARTERED MEMBER  
BUILDING  
DESIGNERS  
AUSTRALIA



DATE	REV.	AMENDMENT

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14-03-13	A	DEVELOPMENT APPLICATION ISSUE

**LKS** DESIGN & DRAFTING  
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Mobile: 0418 862 771  
Email: lks1@bigpond.net.au

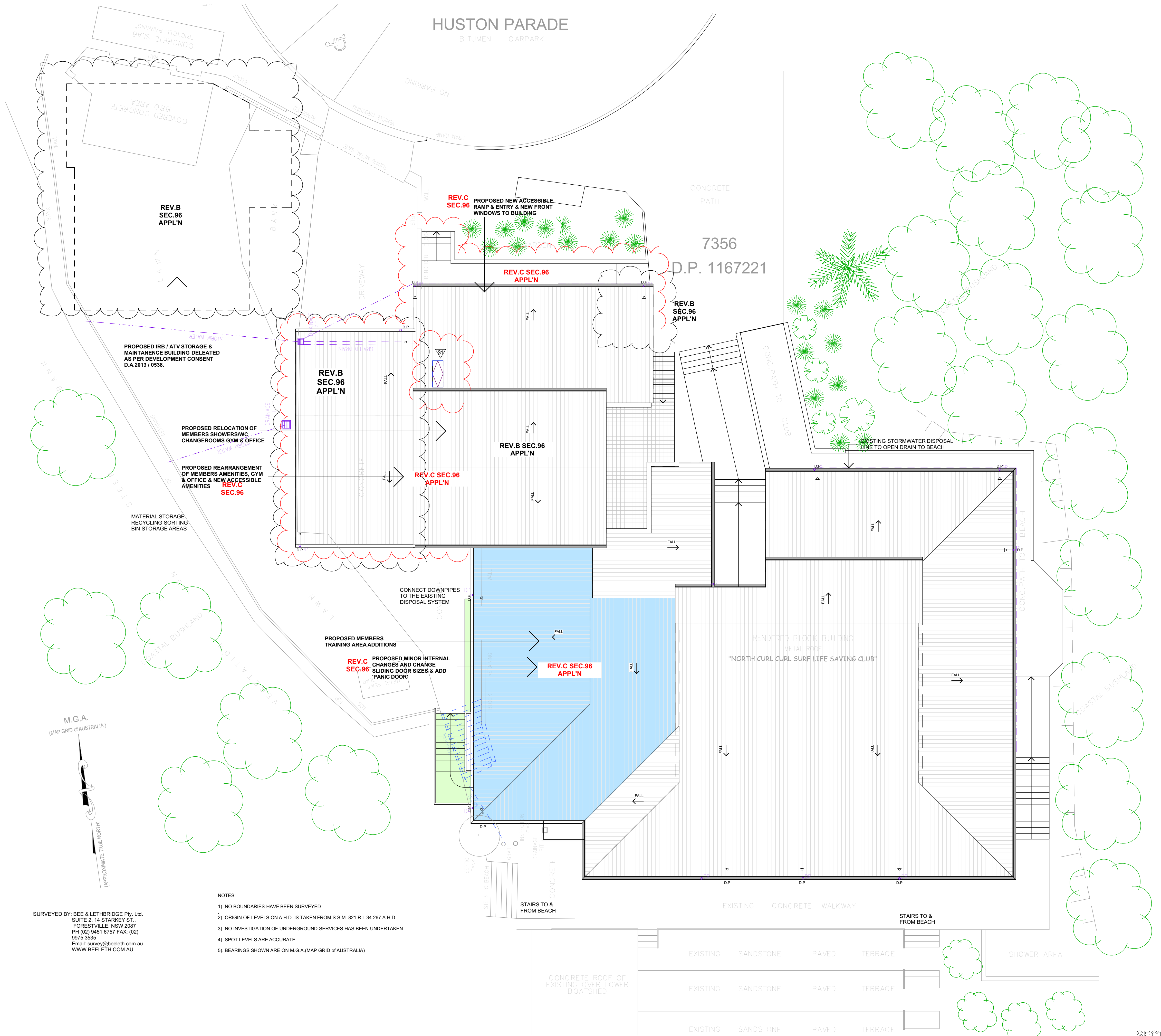
**PROJECT:**  
PROPOSED ALTERATIONS  
NORTH CURL CURL SLSC  
HUSTON PARADE,  
NORTH CURL CURL, N.S.W. 2099  
LOT. 7356 D.P.1167221

SECTION 96(2) APPLICATION ISSUE

**CLIENT:**  
NORTH CURL CURL  
SURF LIFESAVING CLUB INC.  
SECTIONAL VIEWS

**DATE:** 14th March, 2013  
**SCALE:** 1:100 @ A1  
**DRAWN:** L.K.S.  
**DRG No.:** 1121DA **DA 06** Rev. C





SURVEYED BY: BEE & LETHBRIDGE Pty. Ltd.  
SUITE 2-14 STARKEY ST.  
FORESTVILLE, NSW 2087  
PH (02) 9451 6757 FAX: (02) 9975 3355  
Email: survey@belleth.com.au  
WWW.BELLETH.COM.AU

- NOTES:
- 1) NO BOUNDARIES HAVE BEEN SURVEYED
  - 2) ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM S.S.M. 821 R.L.34.267 A.H.D.
  - 3) NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN UNDERTAKEN
  - 4) SPOT LEVELS ARE ACCURATE
  - 5) BEARINGS SHOWN ARE ON M.G.A. (MAP GRID OF AUSTRALIA)

ROOF PLAN  
1:100

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DESIGNERS  
AUSTRALIA



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14-03-13	A	DEVELOPMENT APPLICATION ISSUE

**LKS** DESIGN & DRAFTING  
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Ph: (02) 9905 6261 Fax: (02) 9905 6447  
Mobile: 0418 962 771  
Email: kst@sigmond.net.au

**PROJECT:**  
PROPOSED ALTERATIONS  
NORTH CURL CURL SLSC  
HUSTON PARADE,  
NORTH CURL CURL, N.S.W. 2099  
LOT, 7356 D.P.1167221

SECTION 96(2) APPLICATION ISSUE

**CLIENT:**  
NORTH CURL CURL  
SURF LIFESAVING CLUB INC.  
ROOF PLAN

**DATE:** 14th March, 2013  
**SCALE:** 1:100 @ A1  
**DRAWN:** L.K.S.  
**DRG No.:** 1121DA **DA 07** Rev. C



DOOR SCHEDULE					
NO.	SIZE (W x H)	LOCATION	TYPE	FRAME	View from Opening Side
D1	2,020x2,400	MEMBERS TRAINING ROOM	SLIDING	ALUMINIUM	
D2	3,627x2,400	MEMBERS TRAINING ROOM	SLIDING STACKING	ALUMINIUM	
D3	3,627x2,400	MEMBERS TRAINING ROOM	SLIDING STACKING	ALUMINIUM	
D4	900x2,400	MEMBERS TRAINING ROOM	HINGED 'PANIC' DOOR GLAZED	ALUMINIUM	
D5	4,840x2,400	ATV/IRB GARAGE	SELECT AUSTRAL ROLLER SHUTTER WITH SLOTTED LIGHT PANELS	COLOURBOND STEEL	
D6	4,840x2,400	ATV/IRB GARAGE	SELECT AUSTRAL ROLLER SHUTTER WITH SLOTTED LIGHT PANELS	COLOURBOND STEEL	
D7	900x2,400	ATV/IRB GARAGE	SELECT TIMBER EXTERNAL GLAZED	TIMBER	
D8	4,840x2,400	ATV/IRB GARAGE	SELECT AUSTRAL ROLLER SHUTTER WITH SLOTTED LIGHT PANELS	COLOURBOND STEEL	
D9	3,600x2,400	GYMNASIUM	ALUMINIUM SLIDING	ALUMINIUM	
D10	900x2,100	OFFICE/GYM ACCESSIBLE ENTRY	HINGED ALUMINIUM GLAZED	ALUMINIUM	
D11	900x2,100	OFFICE	SELECT TIMBER GLAZED	ALUMINIUM	
D12	900x2,100	MALE AMENITIES	SELECT TIMBER	ALUMINIUM	
D13	900x2,100	FEMALE AMENITIES	SELECT TIMBER	ALUMINIUM	
D14	900x2,100	UNISEX ACCESSIBLE AMENITIES	SELECT TIMBER	ALUMINIUM	
D15	820x2,100	STORE / HWS	SELECT TIMBER	ALUMINIUM	
D16	2,580x2,100	CHAIR STORE	AUSTRAL ROLLER SHUTTER	COLOURBOND STEEL	
D17	820x2,100	CHAIR STORE	SELECT TIMBER	TIMBER	
D18	820x2,100	KITCHEN / SERVERY	SELECT TIMBER	TIMBER	
D19	8,100x2,100	HALL/MEMBERS TRAINING ROOM	SELECT 'HUFCOR' SLIDING PANEL FOLDING	ALUMINIUM	

WINDOW SCHEDULE					
NO.	SIZE (W x H)	LOCATION	TYPE	FRAME	ELEVATION VIEW
W1	1,810x1,200	KITCHEN	STACKING SLIDING	ALUMINIUM	
W2	1,810x1,200	KITCHEN	SLIDING	ALUMINIUM	
W3	1,500x600	IRB/ATV/GYM	SLIDING	ALUMINIUM	
W4	750x1,500	HALL AMENITIES AREA	FIXED	ALUMINIUM	
W5	2,020x700	GYM SOUTH WALL	AWNING	ALUMINIUM	
W6	2,327x900	IRB/ATV	SLIDING	ALUMINIUM	
W7	2,420x900	MEMBERS TRAINING ROOM HI-LIGHT	LOUVRES	ALUMINIUM	
W8	2,100x900	CLUB OFFICE	AWNING	ALUMINIUM	
W9	2,100x570	MALE AMENITIES	AWNING OBSCURE GLASS	ALUMINIUM	
W10	2,100x900	FEMALE AMENITIES	AWNING OBSCURE GLASS	ALUMINIUM	
W11	1,500x1,500	GYM INTERNAL	FIXED	ALUMINIUM	

COMPLIANCE WITH AUSTRALIAN STANDARDS

DA 2013/0538 - LOT 7356 D.P.1167221, HUSTON PARADE, NORTH CURL CURL. NSW. - (North Curl Curl Surf Life Saving Club Inc.)

AS 2601.2001 - Demolition of Structures  
- Builders/Demolishers shall comply with standard with all necessary demolition on site

AS 4361.2 - Guide to lead paint management - Residential and commercial buildings  
- Builder shall comply with all requirements of the Standard.

AS 4282:1997 Control of the Obtrusive Effects of Outdoor Lighting  
- Owners/Clients shall choose appropriate external lighting on advice from Electrician. Electrician shall install lighting as selected by Owners/Clients to Standard.

AS 4373 - 2007 'Pruning of Amenity Trees' (Note: if approval granted).  
- Not Applicable to this application, no approval granted.

AS 4970 - 2009 'Protection of trees on development sites'  
- The Builder shall protect all Trees on site adjacent to all new works as required by the Standard.

AS/NZS 2890.1:2004 Parking facilities - Off-street car parking  
- Not Applicable to this application

AS 2890.2 - 2002 Parking facilities - Off-street commercial vehicle facilities  
- Not Applicable to this application

AS 2890.3 - 1993 Parking Facilities - Bicycle parking facilities  
- Not Applicable to this application

AS 2890.5 - 1993 Parking Facilities - On-street parking  
- Not Applicable to this application

AS/NZS 2890.6 - 2009 Parking facilities - Off-street parking for people with disabilities  
- Not Applicable to this application, disability parking spaces provided in existing carpark

AS 1742 Set - Manual of Uniform Traffic Control Devices Set  
- Not Applicable to this application

AS 1428.1 - 2009\* Design for access and mobility - General requirements for access - New building work  
- Builder to address accessibility to all new works as required by the Standard

AS 1428.2 - 1992\* Design for access & mobility - Enhanced & additional requirements - Buildings & facilities  
- Builder to address accessibility to all new works as required by the Standard

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION  
Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE  
For houses or other low-rise buildings where scaffolding is appropriate:  
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.  
For buildings where scaffold, ladders, trestles are not appropriate:  
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

ANCHORAGE POINTS  
Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified  
If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner  
If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.  
STEPS, LOOSE OBJECTS AND UNEVEN SURFACES  
Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

GENERAL NOTES

THE PROPOSED ALTERATIONS & ADDITIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH:-

- (1) THE BUILDING CODE OF AUSTRALIA AND ALL LEGALLY CONSTITUTED AUTHORITIES FOR LOCAL, GOVERNMENT AND SERVICES.
  - (2) ALL RELEVANT AUSTRALIAN STANDARDS AND IN A COMPETANT AND TRADESMANLIKE MANNER
  - (3) ALL MATERIALS AND SYSTEMS USED SHALL COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS.
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING OFF DRAWINGS. ALL DIMENSIONS SHALL BE SITE CHECKED PRIOR TO ORDERING OF MATERIALS AND COMMENCEMENT OF WORKS.
  - DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
  - FLASHINGS AND DAMPROOF COURSES ARE TO BE PLACED IN ACCORDANCE WITH GOOD BUILDING PRINCIPLES, WHETHER OR NOT SHOWN ON THE DRAWINGS.
  - PROVIDE ELECTRICAL OUTLETS AND SERVICES AS DIRECTED BY THE OWNERS TO THE REGULATING AUTHORITIES STANDARDS AND REQUIREMENTS.
  - MATERIALS ARE TO BE NEW UNLESS OTHERWISE NOTED ON THE DRAWINGS.
  - CARRY OUT ALL DRAINAGE WORKS AS REQUIRED AND CONNECT TO THE EXISTING DISPOSAL SYSTEMS ONSITE.
  - CARRY OUT DEMOLITION WORKS AS REQUIRED, AND REMOVE DEMOLISHED MATERIALS FROM THE SITE UNLESS OTHERWISE INSTRUCTED.
  - ON COMPLETION OF WORKS, THE SITE SHALL BE CLEAN OF ALL SURPLUS MATERIALS AND RUBBISH, AND READY FOR HABITATION.
  - LEVELS QUOTED ARE TO AHD AS PROVIDED BY BEE & LETHBRIDGE PTY.LTD.
  - QUALITY SURVEYING AND DEVELOPMENT SOLUTIONS SUITE 2, 14 STARKEY STREET, FORESTVILLE. NSW 2087 PH (02) 9451 6757, FAX (02) 9975 3535
  - ALL WINDOWS & DOORS SHALL BE FRAMED & GLAZED AS PER THE WINDOW, DOOR SCHEDULE AND ALL REQUIREMENTS OF THE 'BASIX' SUSTAINABILITY REPORT.
  - THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ATTACHED SPECIFICATION AND ALL OTHER CONSULTANTS DETAILS & DESIGNS.

MATERIALS SPECIFICATION - SCHEDULE OF FINISHES

- ROOF COVERING : SELECT COLOURBOND STEEL ROOF SHEETING, RIDGE, HIP & BARGE CAPPINGS FIXED TO MANUFACTURERS SPECIFICATIONS.
- ROOF INSULATION: 'AIR-CELL' GLARESHIELD-THERMO REFLECTIVE ANTIGLARE INSULATION UNDER ROOF SHEETING, INSTALL TO MANUFACTURERS SPECIFICATIONS. SELECT FACE BRICK WALLS TO MATCH EXISTING BUILDING
- WALLS EXTERNAL: KINGSPAN 'AIR-CELL' GLARESHIELD THERMO REFLECTIVE ANTIGLARE INSULATION TO WALL CAVITY TO THE MANUFACTURERS SPECIFICATIONS.
- WALLS INTERNAL: GYPSUM PLASTERBOARD LINED AND PAINT FINISHED THROUGHOUT. RELINE EXISTING AS REQUIRED & DIRECTED BY OWNERS.
- ROOF GUTTERS: COLOURBOND STEEL AS SELECTED BY THE OWNERS. CONNECT TO DOWNPIPES. COLOUR TO MATCH EXISTING GUTTERING.
- RAINWATER PIPES: COLOURBOND STEEL TO MATCH NEW GUTTERS. CONNECT TO 100DIA UPVC PIPES TO EXISTING STORMWATER DISPOSAL SYSTEM.
- SOFFITT LININGS: F.O SHEET LININGS.
- INTERNAL FLOORING: REINFORCED CONCRETE SLABS TO STRUCTURAL ENGINEERS DESIGN.
- CEILING LININGS: GYPSUM PLASTERBOARD THROUGHOUT.
- CORNICE: GYPSUM PLASTERBOARD MATCH EXISTING OR AS SELECTED BY THE OWNERS
- SKIRTING & ARCHITRAVES: TIMBER PANNELLED TO MATCH THE EXISTING.
- INTERNAL DOORS: NEW ALUMINIUM FRAMED WINDOWS BY 'ARCHITECTURAL WINDOW SYSTEMS PTY.LTD. (AWS)' WINDOWS SHALL HAVE WEATHER STRIPPING ALL ROUND, & SHALL COMPLY WITH SECTION J REQUIREMENTS OF NATIONAL CONSTRUCTION CODE.
- WINDOWS: NEW ALUMINIUM FRAMED DOORS BY 'ARCHITECTURAL WINDOW SYSTEMS PTY.LTD. (AWS)' DOORS SHALL HAVE WEATHER STRIPPING ALL ROUND, & SHALL COMPLY WITH SECTION J REQUIREMENTS OF NATIONAL CONSTRUCTION CODE.
- EXTERNAL DOORS:

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:  
Parking of vehicles or loading/unloading of vehicles on the roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.  
For building where on-site loading/unloading is restricted:  
Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.  
For all buildings:  
Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.  
Locations with underground power:  
Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.  
Locations with overhead power lines:  
Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective banner provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.  
All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.  
Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag.  
All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:  
If this existing building was constructed prior to 1990 - it therefore may contain asbestos  
1990 - it therefore is likely to contain asbestos  
either in cladding material or in the relevant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray paints, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibres which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:  
Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted to small spaces.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:  
Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted to small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

For non-residential buildings where the end-use has not been identified:  
This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

For non-residential buildings where the end-use is known:  
This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.  
All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.  
All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

'SECTION 96 APPLICATION'

MODIFICATION OF CONSENT.

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CHARTERED MEMBER  
BUILDING  
DESIGNERS  
AUSTRALIA



DATE	REV.	AMENDMENT
23-06-10	B	REV A SECTION 96(2) MODIFICATION OF CONSENT APPLICATION ISSUE
03-06-10	A	REV A CONSTRUCTION CERTIFICATE ISSUE

DATE	REV.	AMENDMENT
23-06-10	B	REV A SECTION 96(2) MODIFICATION OF CONSENT APPLICATION ISSUE
03-06-10	A	REV A CONSTRUCTION CERTIFICATE ISSUE

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PROJECT:  
PROPOSED ALTERATIONS  
NORTH CURL CURL SLSC  
HUSTON PARADE,  
NORTH CURL CURL, N.S.W. 2099  
LOT, 7356 D.P.1167221

CLIENT:  
NORTH CURL CURL  
SURF LIFESAVING CLUB INC.  
DOOR & WINDOW SCHEDULES,  
GENERAL NOTES, SAFETY NOTES,  
MATERIALS SPECIFICATION &  
COMPLIANCE WITH STANDARDS

DATE: 14th March, 2013  
SCALE: 1:100 @ A1  
DRAWN: L.K.S.  
DRG No.: 1121DA DA 08 Rev. B

SECTION 96(2) APPLICATION ISSUE