

## Drawing Register

Issue Date

day 8

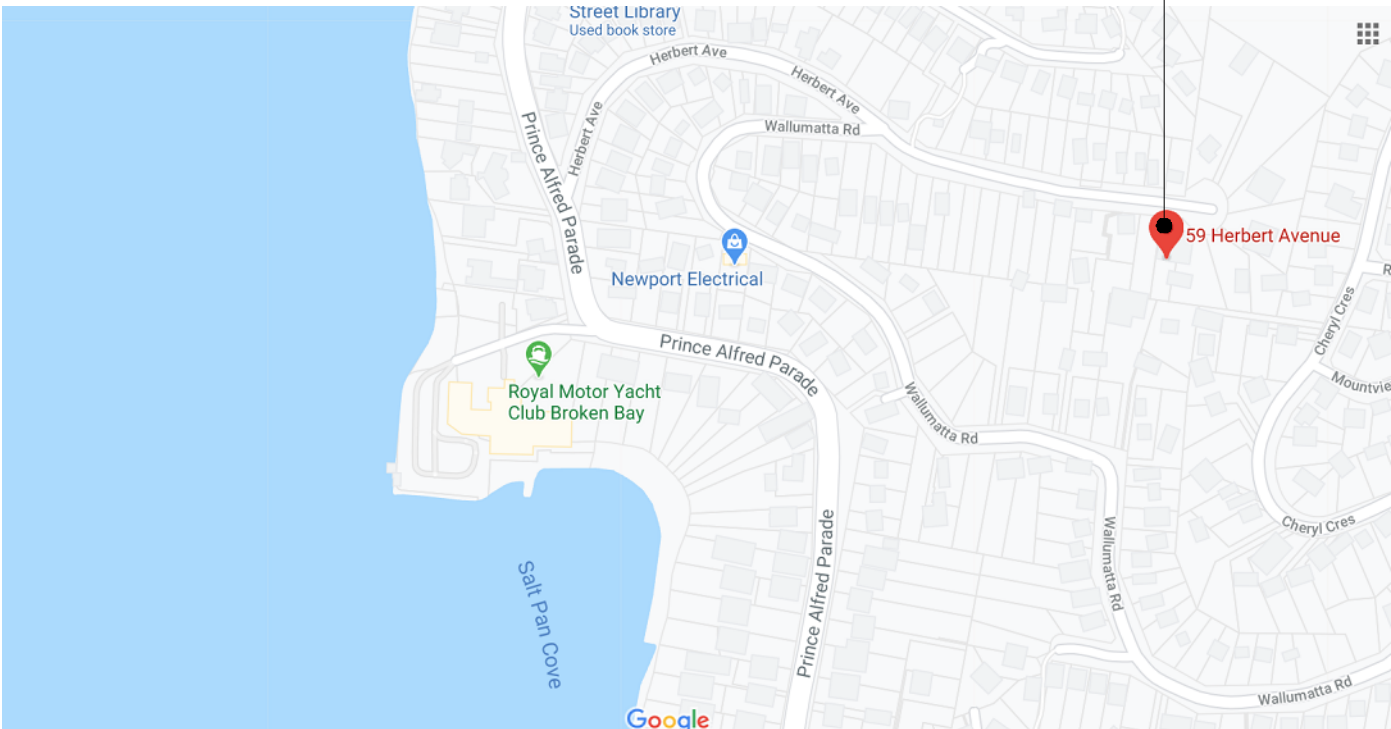
month 7

year 21

Drawing Number	Drawing Title	Revision
DA00	Drawing Register & Location Plan	D
DA01	Site Analysis/ Site Plan 1:100	D
DA02	Existing Ground Floor Plan 1:100	D
DA03	Existing Roof Plan 1:100	D
DA04	New Ground Floor Plan 1:100	D
DA05	New First Floor Plan 1:100	D
DA06	New Roof Plan 1:100	D
DA07	Elevations 1:100	D
DA08	Elevation 1:100	D
DA09	Elevation 1:100	D
DA10	Section 1:100	D
DA11	Carport Elevation 1:100	D
DA12	Window Schedule	D
DA13	Basix	D
DA14	External Materials & Finishes	D
DA15	Stormwater Concept Plan	D
DA16	Erosion & Sediment Control Plan	D
DA17	Shadow diagram 1:200	D
DA18	Shadow diagram 1:200	D
DA19	Shadow diagram 1:200	D
DA20	3D Images	D

Document Distribution:		DA
Client		1
Structural Engineer		
Hydraulic Engineer		
Landsc. Consultant		
Approval Authority		1

**59 Herbert Avenue New Port NSW 2106**



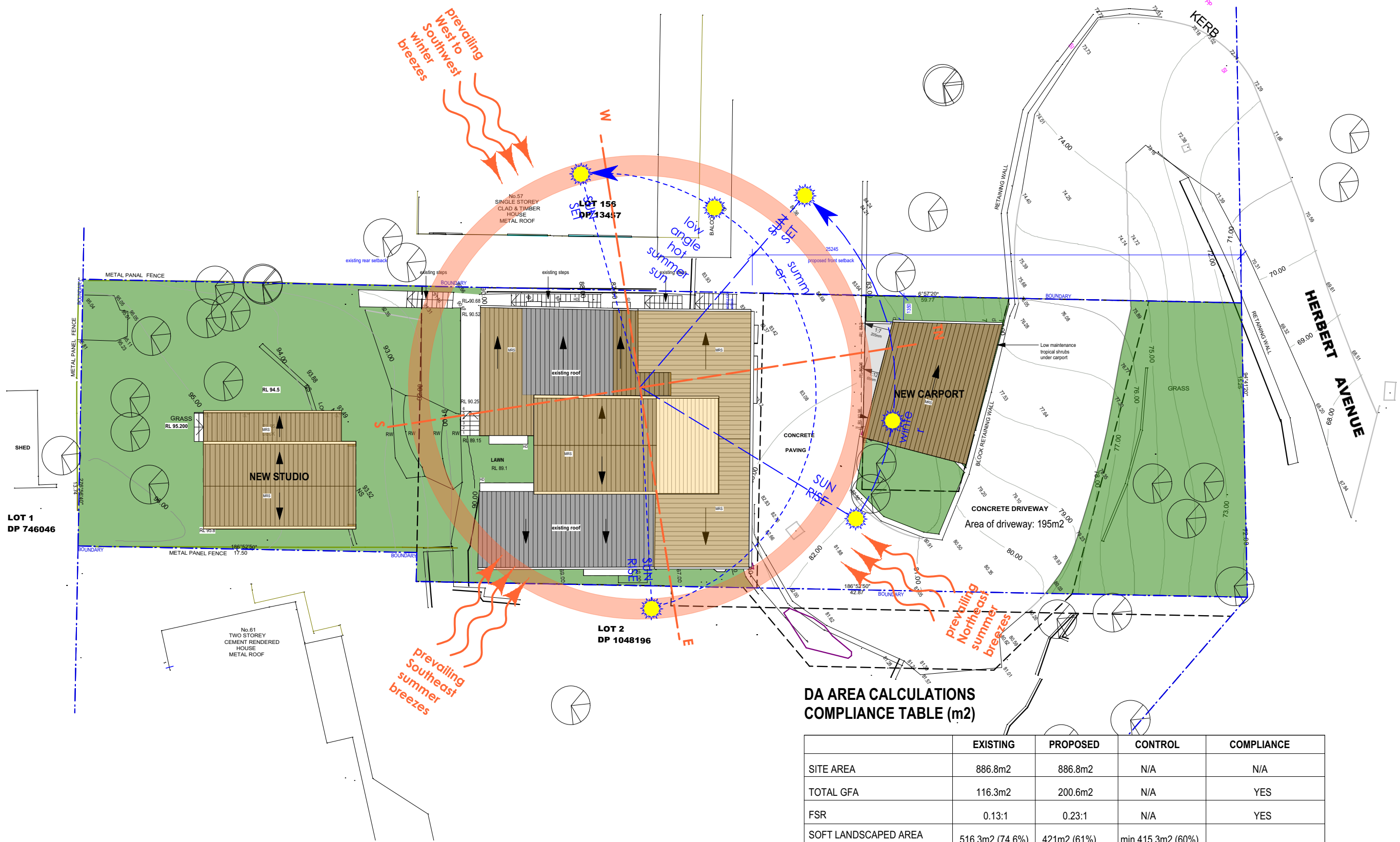
## LOCATION PLAN (NTS)

(Source Google maps)

## GENERAL BUILDING SPECIFICATION

- All general construction to conform to the current BCA and Local Govt conditions of Development Consent.
- Demolition works to be carried out in accordance with AS 2601.
- All masonry work in accordance with AS 3700.
- Termite protection to be installed in accordance with AS 3660.1 and the current BCA.
- All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.
- All carpentry work to conform to AS1684 for Light Timber Framing.
- All sewer waste to be connected to the existing mains service in accordance with AS 3500.
- All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.
- All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.
- Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.
- All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.
- All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Jane Edwards Architecture before proceeding.
- All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insul'n), AS1904 (foil insul'n) and associated standards and codes.
- Proposed RL's shown on drawings are to be FINISHED LEVELS. Builder to provide set down's and allowances to accommodate finished levels.

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	Rev	Date	Revision notes	AD AW BAL CC CCH CL CPT EB F FC FFL GD HD LV MRS	ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE COLORBOND CLADDING COLORBOND CLADDING HOOD COLUMN CARPET EXTERNAL ALUMINIUM BLIND FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL HOOD GLASS LOUVRE METAL ROOF SHEETING	PS PT RH RF SNK SK SPR ST STD TB TC TF	ADJUSTABLE PRIVACY SCREEN PAINT FINISH RAINWATER HEAD ROOF TIMBER FASCIA KITCHEN SINK SKYLIGHT NEW SPREADER NEW TIMBER STEPS NEW SANDSTONE STEP TIMBER BATTENS NEW TIMBER CLADDING TIMBER FLOOR	<div><div></div></div> EXISTING WALL	<div><div></div></div> WALL TO BE DEMOLISHED	<div><div></div></div> NEW WALL	ALTERATIONS & ADDITIONS		Plot date					
	A	9/8/20	Client review										dwg. title DRAWING REGISTER & LOCATION PLAN		dwg status COMPLYING DEVELOPMENT			
	B	15/9/20	Client review										Client Brad Boersma		Job number 2020		dwg no./ rev DA_00 D	
	C	29/12/20	Issue to consultants															
	D	08/07/21	DA Submission															



1 SITE ANALYSIS / SITE PLAN  
SCALE 1:200 @ A3

DA AREA CALCULATIONS  
COMPLIANCE TABLE (m2)

	EXISTING	PROPOSED	CONTROL	COMPLIANCE
SITE AREA	886.8m2	886.8m2	N/A	N/A
TOTAL GFA	116.3m2	200.6m2	N/A	YES
FSR	0.13:1	0.23:1	N/A	YES
SOFT LANDSCAPED AREA (total-with driveway area excluded)	516.3m2 (74.6%)	421m2 (61%)	min 415.3m2 (60%)	YES
SOFT LANDSCAPED AREA (front- with driveway area excluded)	180m2 (91.6%)	162m2 (82%)	min 115m2 (60%)	YES
IMPERVIOUS AREA	370.5 m2	465.8m2	OSD required if additional impervious area more than 50m2	YES OSD provided

NOTE

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REVISION SCHEDULE

Rev	Date	Revision notes
A	9/8/20	Client review
B	15/9/20	Client review
C	29/12/20	Issue to consultants
D	08/07/21	DA Submission

LEGEND / KEY

AD	ALUMINIUM DOOR	PS	ADJUSTABLE PRIVACY SCREEN
AW	ALUMINIUM WINDOW/ DOOR	PT	PAINT FINISH
BAL	NEW BALUSTRADE	RH	RAINWATER HEAD
CC	COLORBOND CLADDING	RF	ROOF TIMBER FASCIA
CCH	COLORBOND CLADDING HOOD	SNK	KITCHEN SINK
CL	COLUMN	SK	SKYLIGHT
CPT	CARPET	SPR	NEW SPREADER
EB	EXTERNAL ALUMINIUM BLIND	ST	NEW TIMBER STEPS
F	FRIDGE	STD	NEW SANDSTONE STEP
FC	FIBRE CEMENT	TB	TIMBER BATTENS
FFL	FINISHED FLOOR LEVEL	TC	NEW TIMBER CLADDING
GD	NEW GRATED DRAIN	TF	TIMBER FLOOR
HD	METAL HOOD		
LV	GLASS LOUVRE		
MRS	METAL ROOF SHEETING		

WALL LEGEND

	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW WALL

JANE EDWARDS  
ARCHITECTURE

NSW REGISTERED 7050

Project  
59 Herbert Ave, New Port NSW 2106

ALTERATIONS & ADDITIONS

dwg. title  
SITE PLAN / SITE ANALYSIS

Client  
Brad Boersma

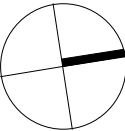
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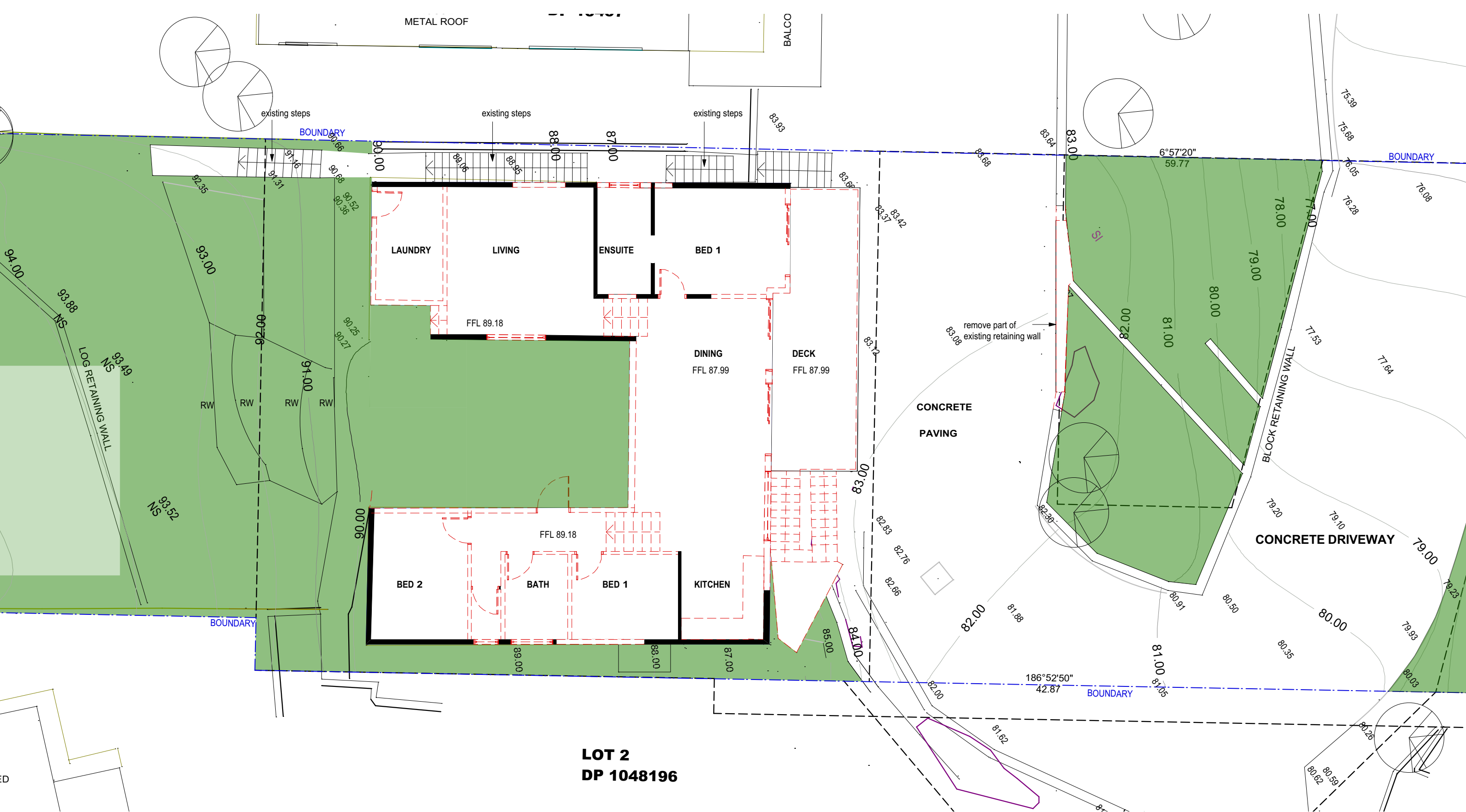
Plot date

dwg status  
COMPLYING DEVELOPMENT


Job number  
2020

dwg no./ rev  
DA\_01 D

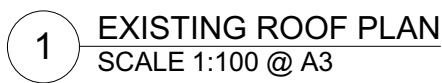




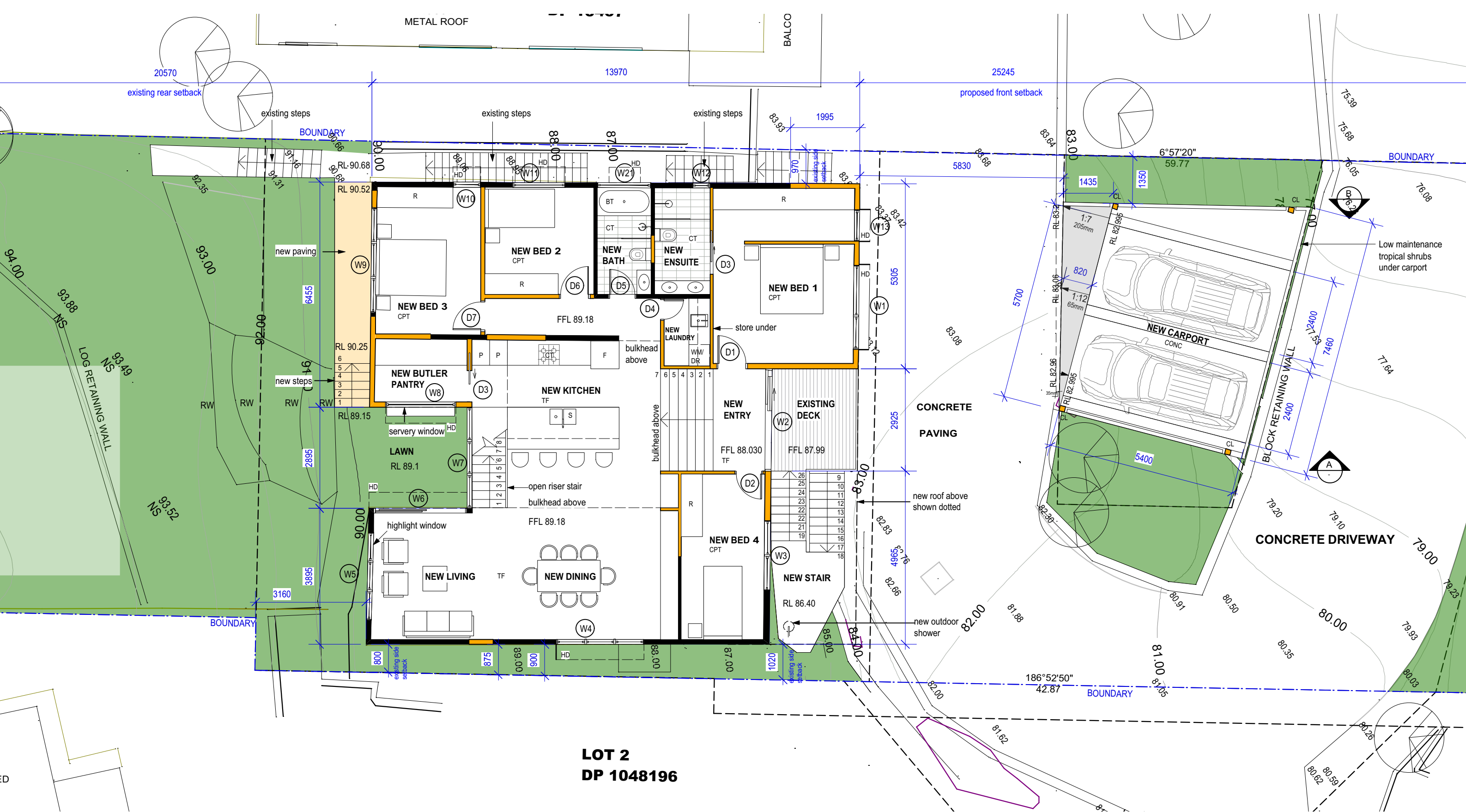
1 EXISTING GROUND FLOOR PLAN  
SCALE 1:100 @ A3

<div>NOTE</div> <div>THIS DRAWING IS PART OF, AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.</div> <div>DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."</div>	REVISION SCHEDULE			LEGEND / KEY				WALL LEGEND		<div>JANE EDWARDS ARCHITECTURE</div> <div>NSW REGISTERED 7050</div>	Project 59 Herbert Ave, New Port NSW 2106		Scale 1:100 @ A3			
											ALTERATIONS & ADDITIONS		Plot date			
											dwg. title EXISTING GROUND FLOOR PLAN		dwg status COMPLYING DEVELOPMENT			
											Client Brad Boersma		Job number 2020		dwg no./ rev DA_02 D	





1 EXISTING ROOF PLAN  
SCALE 1:100 @ A3



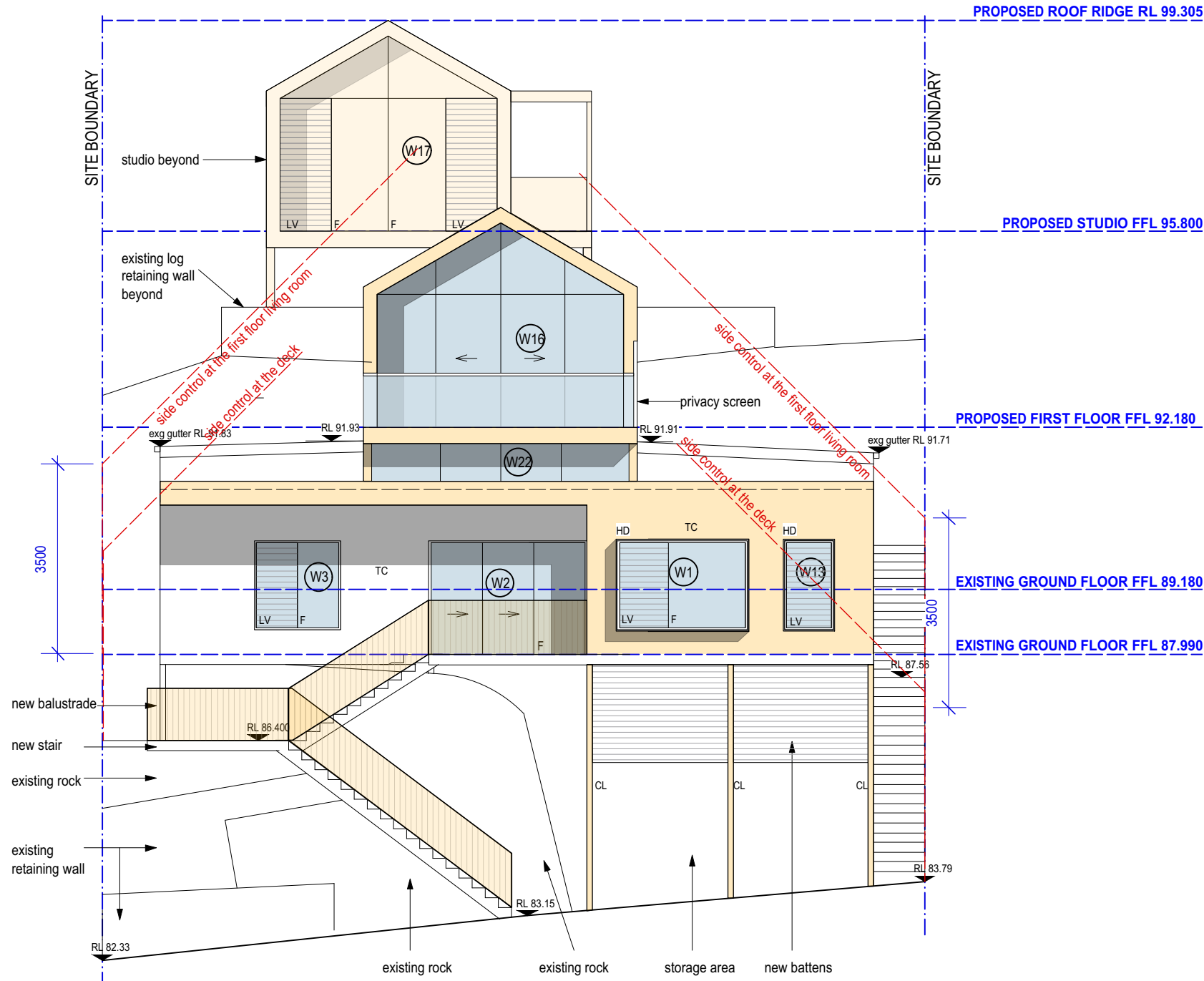
1 PROPOSED GROUND FLOOR PLAN  
SCALE 1:100 @ A3

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											ALTERATIONS & ADDITIONS		Plot date			
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											Client Brad Boersma		Job number 2020		dwg no./ rev DA_04 D	

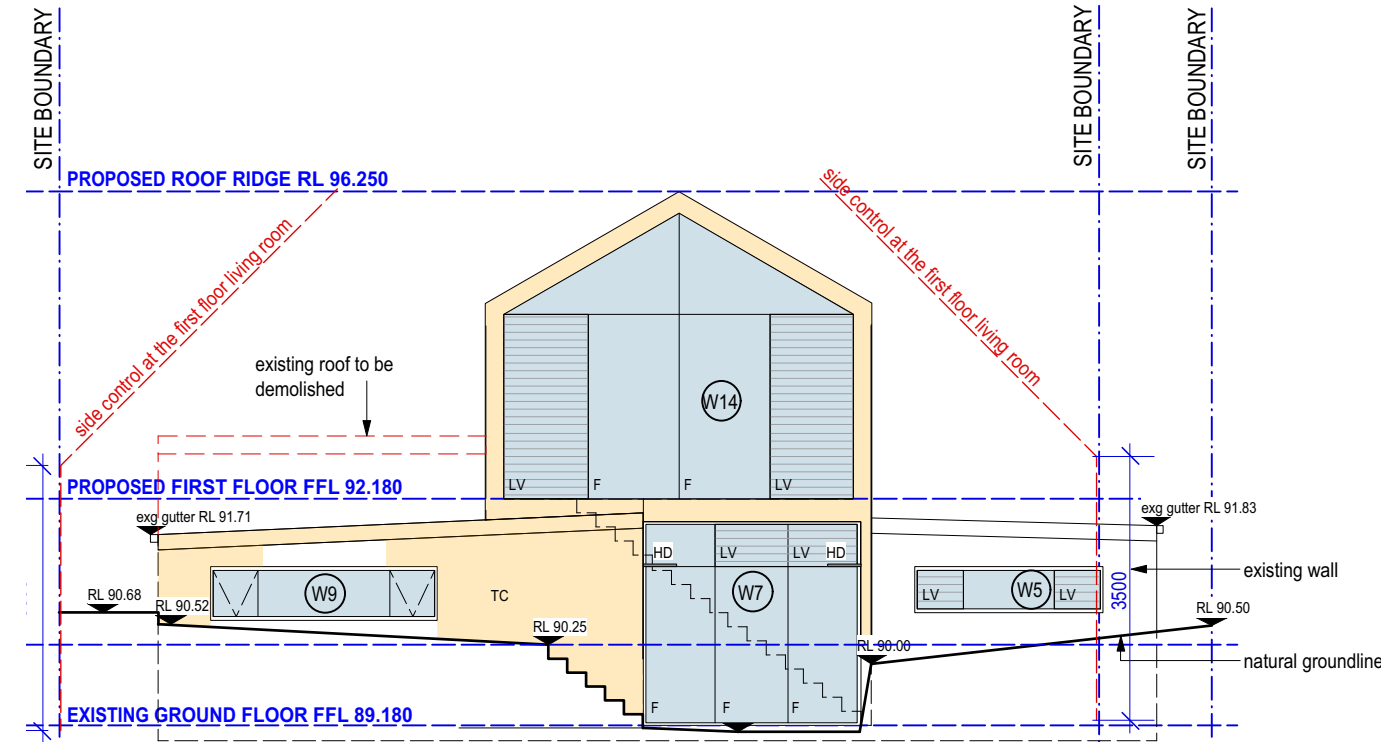




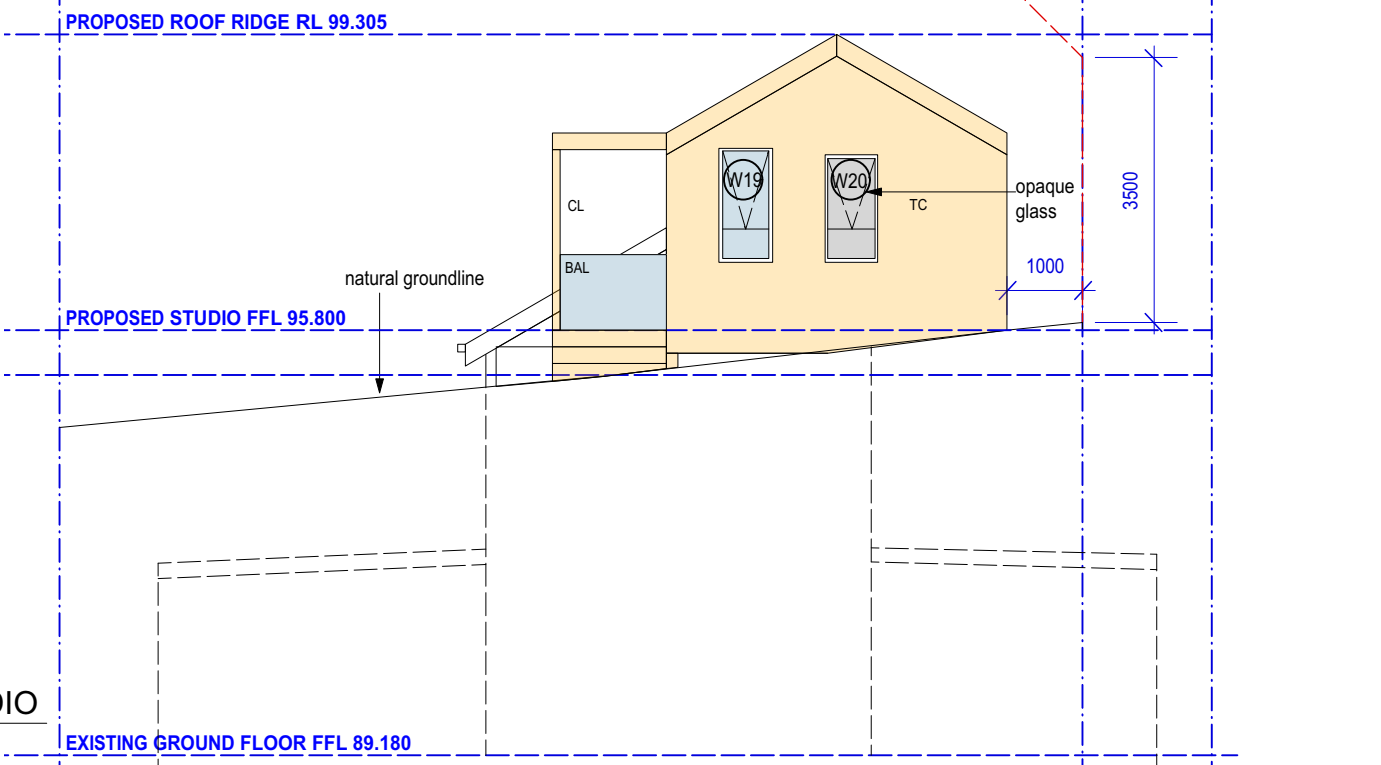




1 NORTH ELEVATION  
SCALE 1:100 @ A3



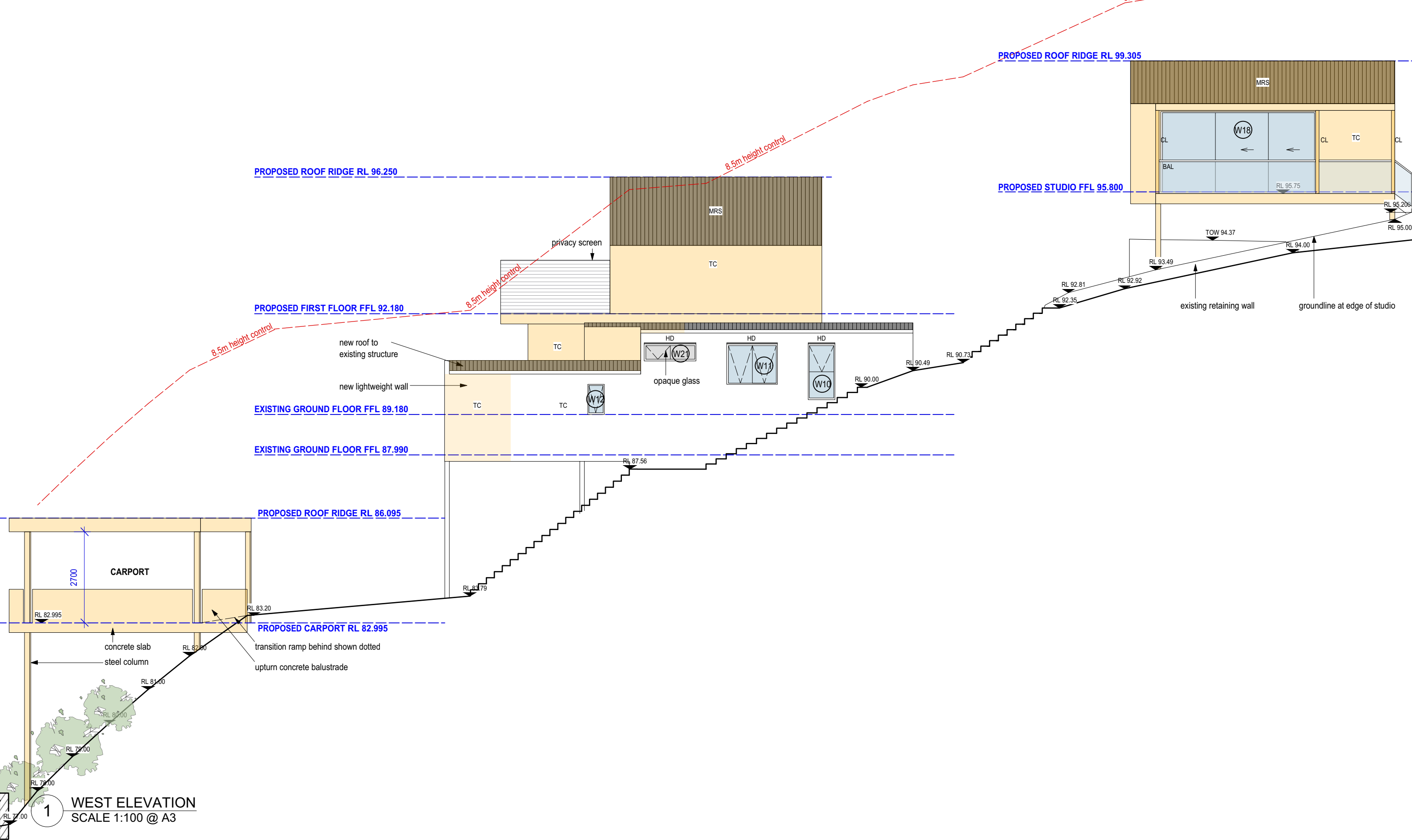
2 SOUTH ELEVATION  
SCALE 1:100 @ A3





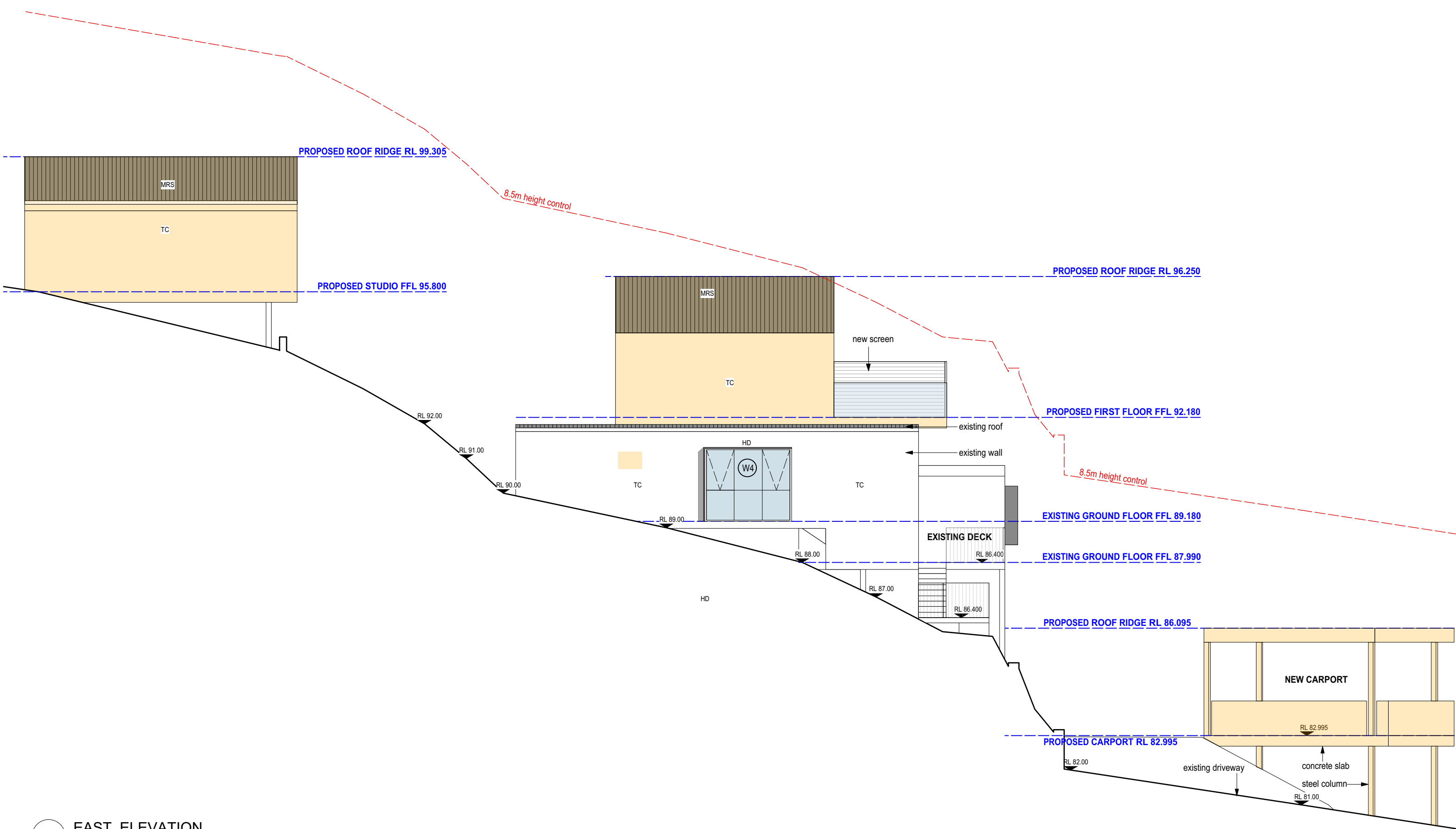
3 SOUTH ELEVATION - STUDIO  
SCALE 1:100 @ A3

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	C	29/12/20	Issue to consultants	CC	COLORBOND CLADDING	RF	ROOF TIMBER FASCIA							
	D	08/07/21	DA Submission	CCH	COLORBOND CLADDING HOOD	SNK	KITCHEN SINK				Client Brad Boersma	Job number 2020	dwg no./ rev DA_07 D	
				CL	COLUMN	SK	SKYLIGHT							
				CPT	CARPET	SPR	NEW SPREADER							
				EB	EXTERNAL ALUMINIUM BLIND	ST	NEW TIMBER STEPS							
				F	FRIDGE	STD	NEW SANDSTONE STEP							
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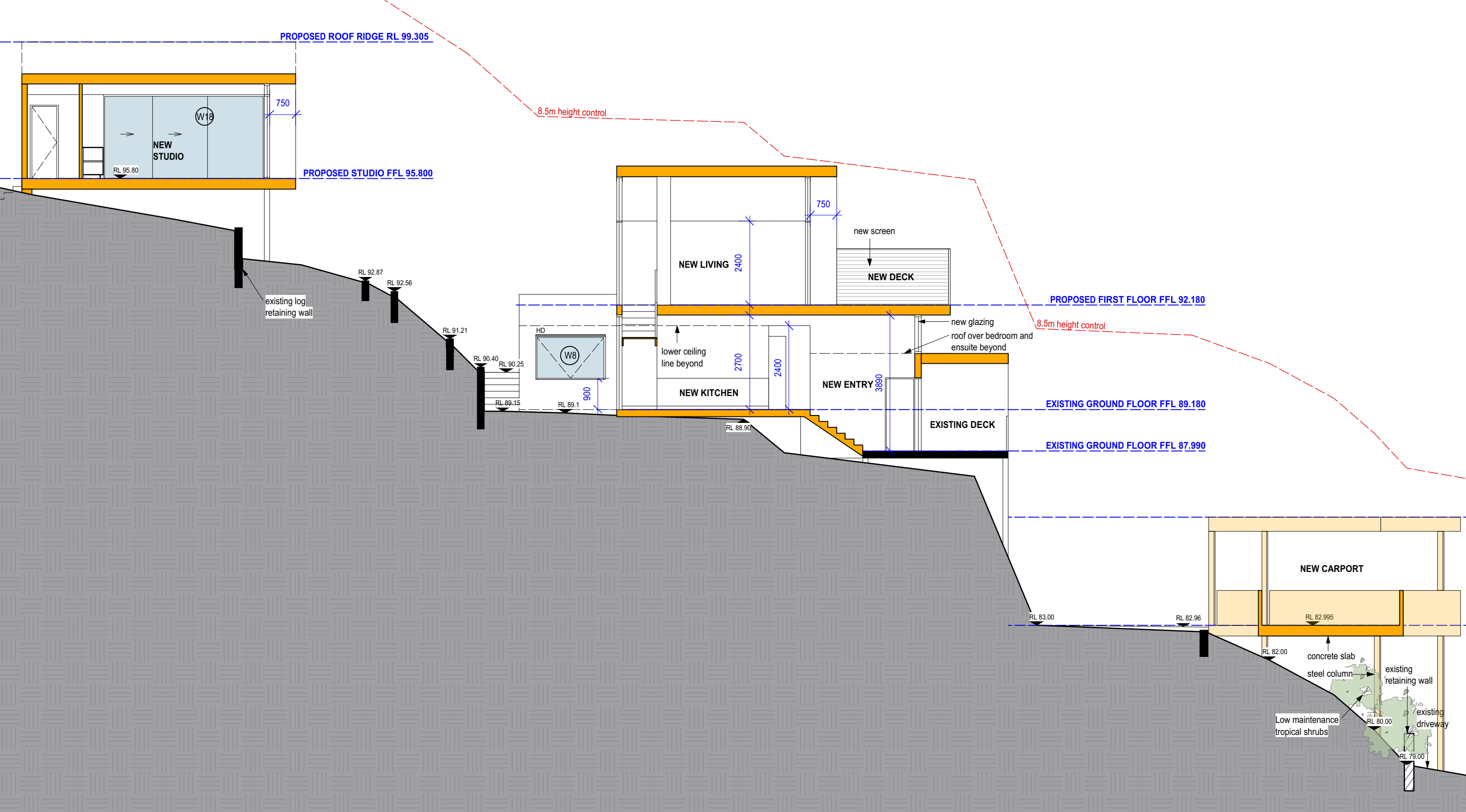


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	D	08/07/21	DA Submission	CCH	COLORBOND CLADDING HOOD	SK	SKYLIGHT	SPR	NEW SPREADER					
				CL	COLUMN	ST	NEW TIMBER STEPS	STD	NEW SANDSTONE STEP		Client		Job number	
			CPT	CARPET	TB	TIMBER BATTENS	TC	NEW TIMBER CLADDING	Brad Boersma					
			EB	EXTERNAL ALUMINIUM BLIND	TF	TIMBER FLOOR					dwg no./ rev		DA_08 D	
			F	FRIDGE										
			FC	FIBRE CEMENT										
			FFL	FINISHED FLOOR LEVEL										
			GD	NEW GRATED DRAIN										
			HD	METAL HOOD										
			LV	GLASS LOUVRE										
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1 EAST ELEVATION  
SCALE 1:100 @ A3

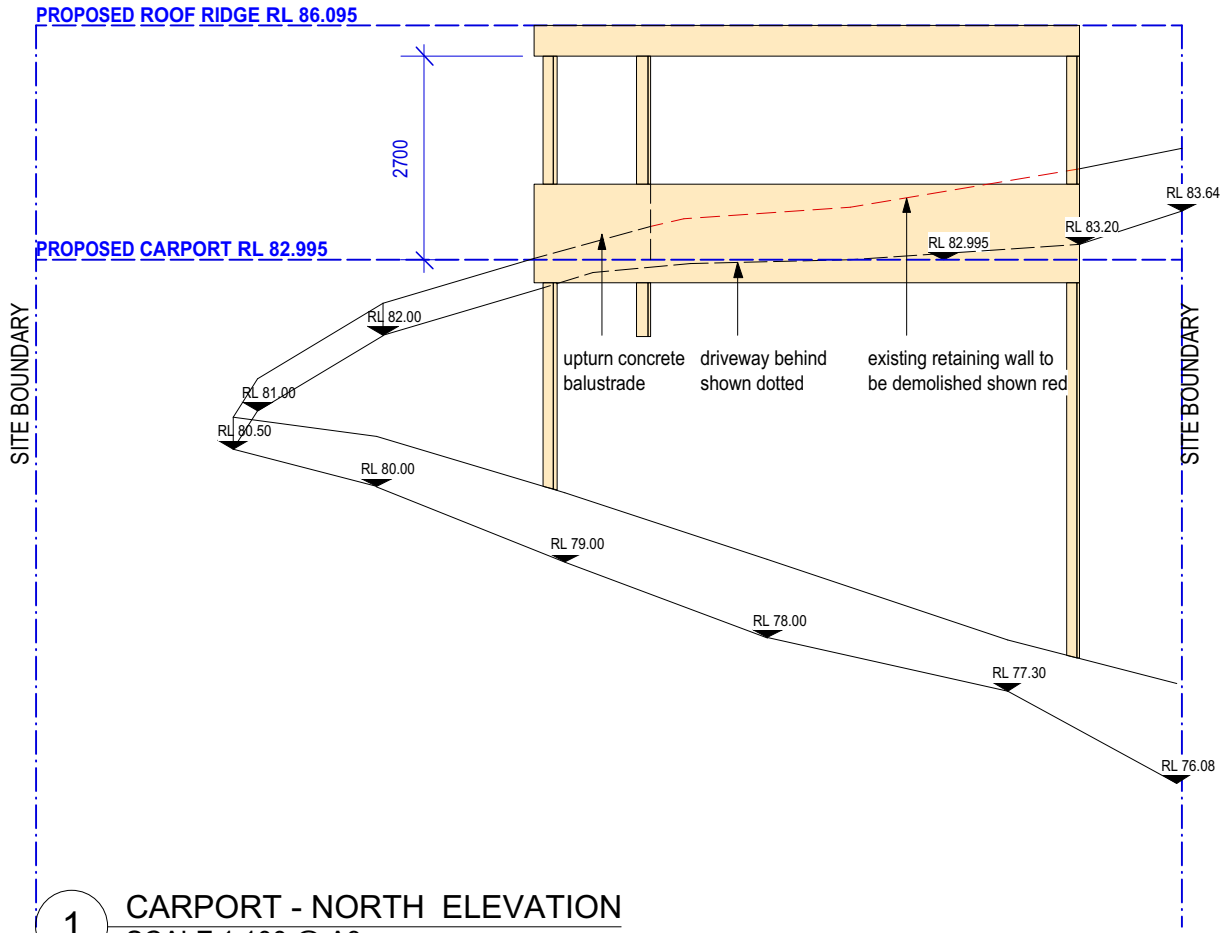
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	Rev	Date	Revision notes	AD ALUMINIUM DOOR AW ALUMINIUM WINDOW/ DOOR BAL NEW BALUSTRADE CC COLORBOND CLADDING CCH COLORBOND CLADDING HOOD CL COLUMN CPT CARPET EB EXTERNAL ALUMINIUM BLIND F FRIDGE FC FIBRE CEMENT FFL FINISHED FLOOR LEVEL GD NEW GRATED DRAIN HD METAL HOOD LV GLASS LOUVRE MRS METAL ROOF SHEETING	PS ADJUSTABLE PRIVACY SCREEN PT PAINT FINISH RH RAINWATER HEAD RF ROOF TIMBER FASCIA SNK KITCHEN SINK SK SKYLIGHT SPR NEW SPREADER ST NEW TIMBER STEPS STD NEW SANDSTONE STEP TB TIMBER BATTENS TC NEW TIMBER CLADDING TF TIMBER FLOOR	<div><div></div></div> EXISTING WALL	<div><div></div></div> WALL TO BE DEMOLISHED	<div><div></div></div> NEW WALL	ALTERATIONS & ADDITIONS		Plot date				
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	C	29/12/20	Issue to consultants												
	D	08/07/21	DA Submission												



1 SECTION A  
SCALE 1:100 @ A3

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			CL COLUMN	SK SKYLIGHT					dwg. title ELEVATIONS / SECTIONS	dwg status COMPLYING DEVELOPMENT					
			CPT CARPET	SPR NEW SPREADER				Client Brad Boersma	Job number 2020	dwg no./ rev DA_10 D					
			EB EXTERNAL ALUMINIUM BLIND	ST NEW TIMBER STEPS											
			F FRIDGE	STD NEW SANDSTONE STEP											
			FC FIBRE CEMENT	TB TIMBER BATTENS											
			FFL FINISHED FLOOR LEVEL	TC NEW TIMBER CLADDING											
			GD NEW GRATED DRAIN	TF TIMBER FLOOR											
			HD METAL HOOD												
			LV GLASS LOUVRE												
			MRS METAL ROOF SHEETING												





1 CARPORT - NORTH ELEVATION  
SCALE 1:100 @ A3

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LV	GLASS LOUVRE		
MRS	METAL ROOF SHEETING		

WALL LEGEND

	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW WALL

JANE EDWARDS  
ARCHITECTURE

NSW REGISTERED 7050

Project  
59 Herbert Ave, New Port NSW 2106

ALTERATIONS & ADDITIONS

dwg. title  
CARPORT ELEVATION

Client  
Brad Boersma

Scale  
1:100 @ A3

Plot date

dwg status  
COMPLYING DEVELOPMENT

Job number  
2020

dwg no./ rev  
DA\_11 D



Alterations and Additions

Certificate number: A418589

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Thursday, 08, July 2021  
To be valid, this certificate must be lodged within 3 months of the date of issue.

Description of project

Project address	
Project name	59 Herbert Avenue
Street address	59 Herbert Avenue Newport 2106
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 1048196
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

BASIX Certificate number: A418589

page 2 / 7

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)		
floor above existing dwelling or building.	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	
flat ceiling, flat roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

BASIX Certificate number: A418589

page 4 / 7

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
W1	N	4	0	0	eave/verandah/pergola/balcony ≥450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W2	N	6.1	0	0	eave/verandah/pergola/balcony ≥900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W3	N	3.3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W4	E	5.3	1.5	0.9	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W5	S	1.5	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W6	W	5.6	3.3	2.9	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W7	S	7.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W8	E	2.4	3.3	2.9	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W9	S	2.1	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W10	S	1.32	5	3.9	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W11	W	1.8	5	3.9	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W12	W	0.45	5	3.9	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W13	N	1.5	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W14	S	14.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W16	N	14.8	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Planning, Industry & Environment

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W17	N	12.7	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W18	W	11	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W19	S	1.35	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W20	S	1.35	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W21	W	0.7	5	3.9	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

NOTE

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REVISION SCHEDULE

Rev	Date	Revision notes
A	9/8/20	Client review
B	15/9/20	Client review
C	29/12/20	Issue to consultants
D	08/07/21	DA Submission

LEGEND / KEY

AD	ALUMINIUM DOOR	PS	ADJUSTABLE PRIVACY SCREEN
AW	ALUMINIUM WINDOW/ DOOR	PT	PAINT FINISH
BAL	NEW BALUSTRADE	RH	RAINWATER HEAD
CC	COLORBOND CLADDING	RF	ROOF TIMBER FASCIA
CCH	COLORBOND CLADDING HOOD	SNK	KITCHEN SINK
CL	COLUMN	SK	SKYLIGHT
CPT	CARPET	SPR	NEW SPREADER
EB	EXTERNAL ALUMINIUM BLIND	ST	NEW TIMBER STEPS
F	FRIDGE	STD	NEW SANDSTONE STEP
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GD	NEW GRATED DRAIN	TF	TIMBER FLOOR
HD	METAL HOOD		
LV	GLASS LOUVRE		
MRS	METAL ROOF SHEETING		

WALL LEGEND

	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW WALL

JANE EDWARDS  
ARCHITECTURE

NSW REGISTERED 7050

Project  
59 Herbert Ave, New Port NSW 2106

ALTERATIONS & ADDITIONS

dwg. title

BASIX

Client

Brad Boersma

Scale

NTS

Plot date

dwg status

COMPLYING DEVELOPMENT

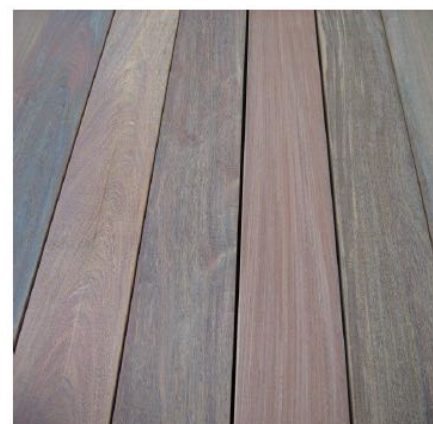
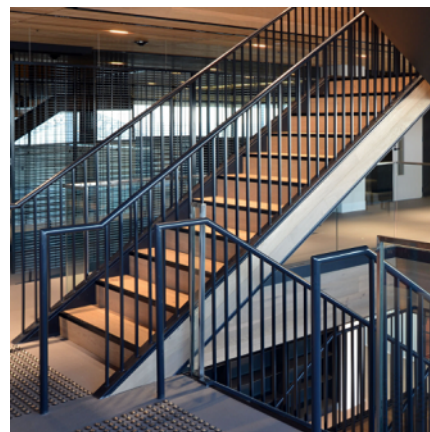
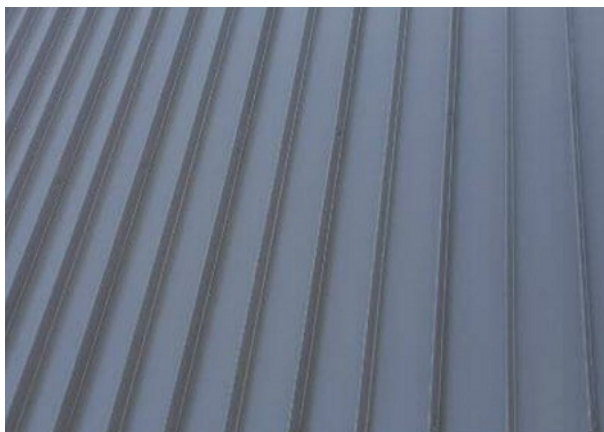
Job number

2020

dwg no./ rev

DA\_13





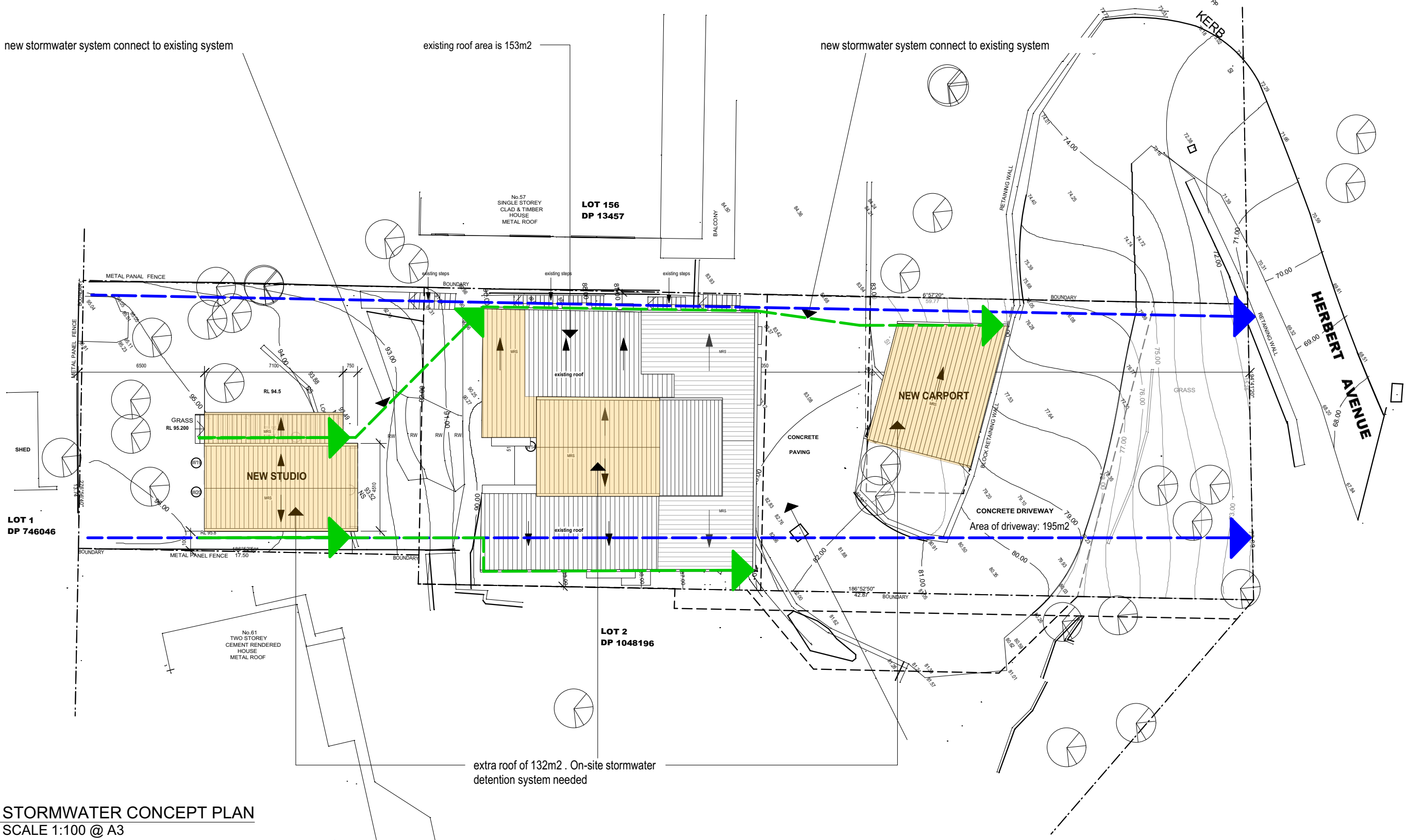
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	Rev	Date	Revision notes	AD AW BAL CC CCH CL CPT EB F FC FFL GD HD LV MRS	PS PT RH RF SNK SK SPR ST STD TB TC TF	ADJUSTABLE PRIVACY SCREEN PAINT FINISH RAINWATER HEAD ROOF TIMBER FASCIA KITCHEN SINK SKYLIGHT NEW SPREADER NEW TIMBER STEPS NEW SANDSTONE STEP TIMBER BATTENS NEW TIMBER CLADDING TIMBER FLOOR	<div><div></div></div> EXISTING WALL	<div><div></div></div> WALL TO BE DEMOLISHED	<div><div></div></div> NEW WALL		59 Herbert Ave, New Port NSW 2106		NTS			
	A	9/8/20	Client review								ALTERATIONS & ADDITIONS		Plot date			
	B	15/9/20	Client review									dwg. title		dwg status		
	C	29/12/20	Issue to consultants									EXTERNAL MATERIALS & FINISHES		COMPLYING DEVELOPMENT		
	D	08/07/21	DA Submission									Client		Job number		dwg no./ rev
											Brad Boersma		2020		DA_14	



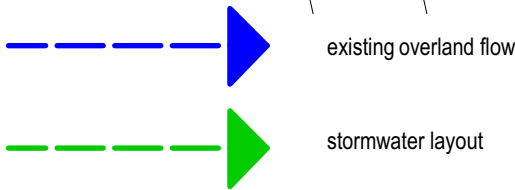
new stormwater system connect to existing system

existing roof area is 153m2

new stormwater system connect to existing system



1 STORMWATER CONCEPT PLAN  
SCALE 1:100 @ A3



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LV	GLASS LOUVRE		
MRS	METAL ROOF SHEETING		

WALL LEGEND

	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW WALL

JANE EDWARDS  
ARCHITECTURE

NSW REGISTERED 7050

Project  
59 Herbert Ave, New Port NSW 2106

ALTERATIONS & ADDITIONS

dwg. title  
STORMWATER CONCEPT PLAN

Client  
Brad Boersma

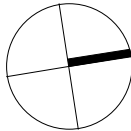
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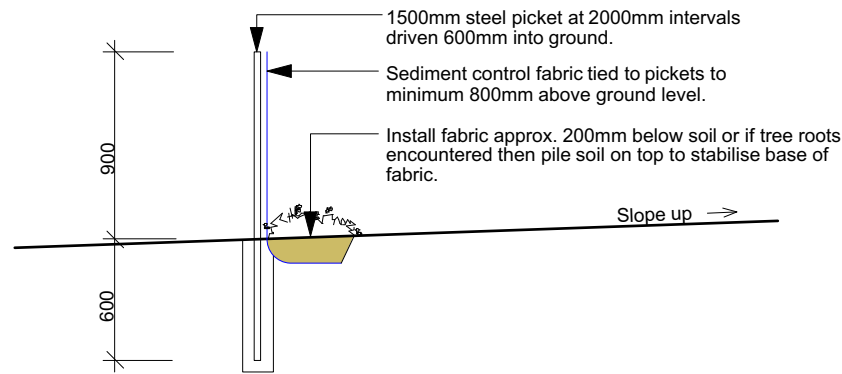
Plot date

dwg status  
COMPLYING DEVELOPMENT

Job number  
2020

dwg no./ rev  
DA\_15





2 SEDIMENT CONTROL FENCE  
Section NTS



1 EROSION & SEDIMENT CONTROL PLAN  
SCALE 1:200 @ A3

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WALL LEGEND

	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW WALL

JANE EDWARDS  
ARCHITECTURE

NSW REGISTERED 7050

Project  
59 Herbert Ave, New Port NSW 2106

ALTERATIONS & ADDITIONS

dwg. title  
EROSION & SEDIMENT CONTROL PLAN

Client  
Brad Boersma

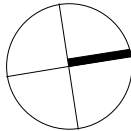
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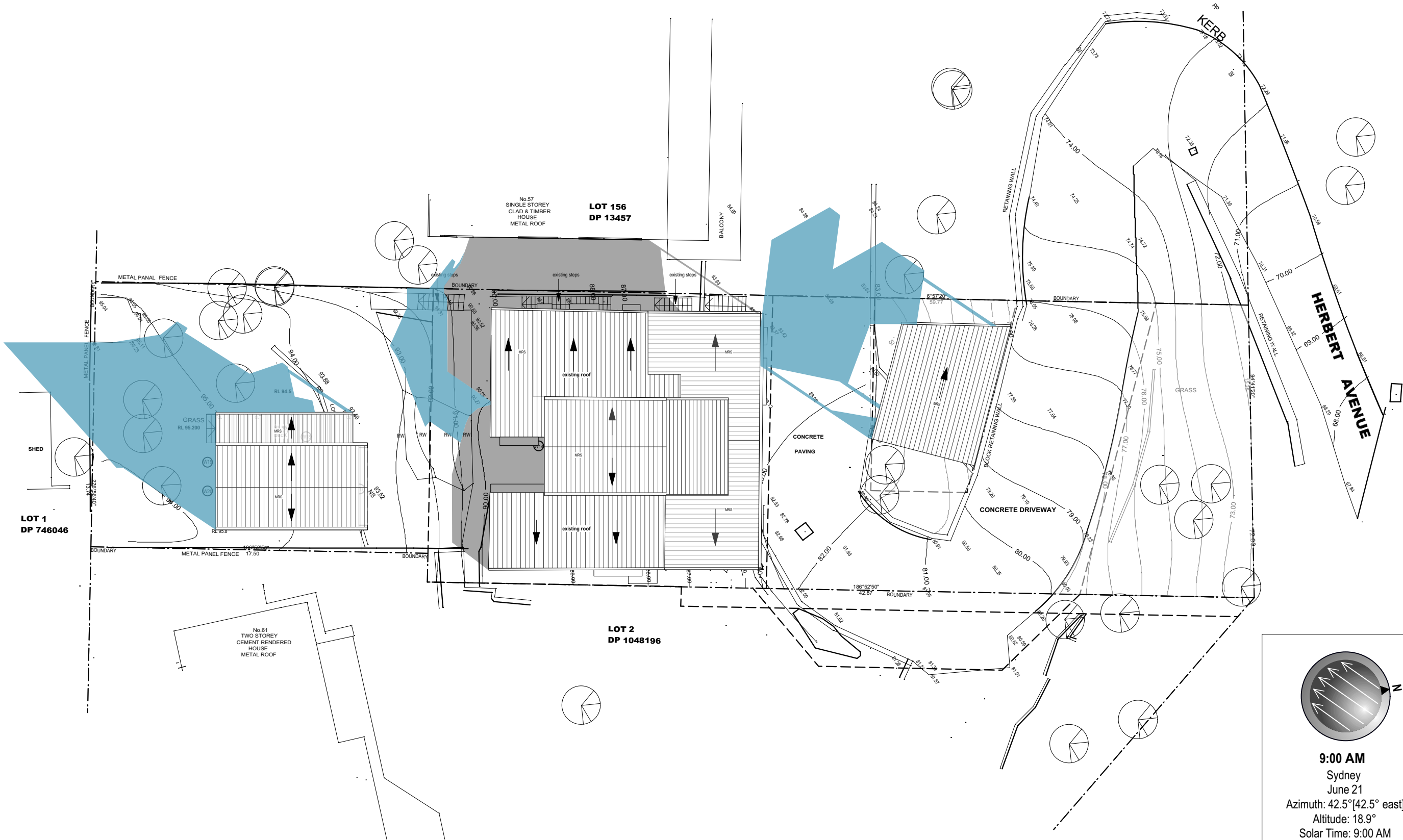
dwg status  
COMPLYING DEVELOPMENT

Job number  
2020

dwg no./ rev  
DA\_16







**9:00 AM**  
Sydney  
June 21  
Azimuth: 42.5°[42.5° east]  
Altitude: 18.9°  
Solar Time: 9:00 AM

- SHADOW BY EXISTING BUILDING
- SHADOW BY PROPOSED BUILDING

1 SITE SHADOW - 21 JUNE @ 9AM  
SCALE 1:200 @ A3

**NOTE**

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HD	METAL HOOD		
LV	GLASS LOUVRE		
MRS	METAL ROOF SHEETING		

WALL LEGEND	
	EXISTING WALL
	WALL TO BE DEMOLISHED
	NEW WALL

JANE EDWARDS  
ARCHITECTURE

NSW REGISTERED 7050

Project  
59 Herbert Ave, New Port NSW 2106

ALTERATIONS & ADDITIONS

dwg. title  
SHADOW DIAGRAM

Client  
Brad Boersma

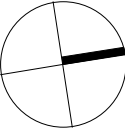
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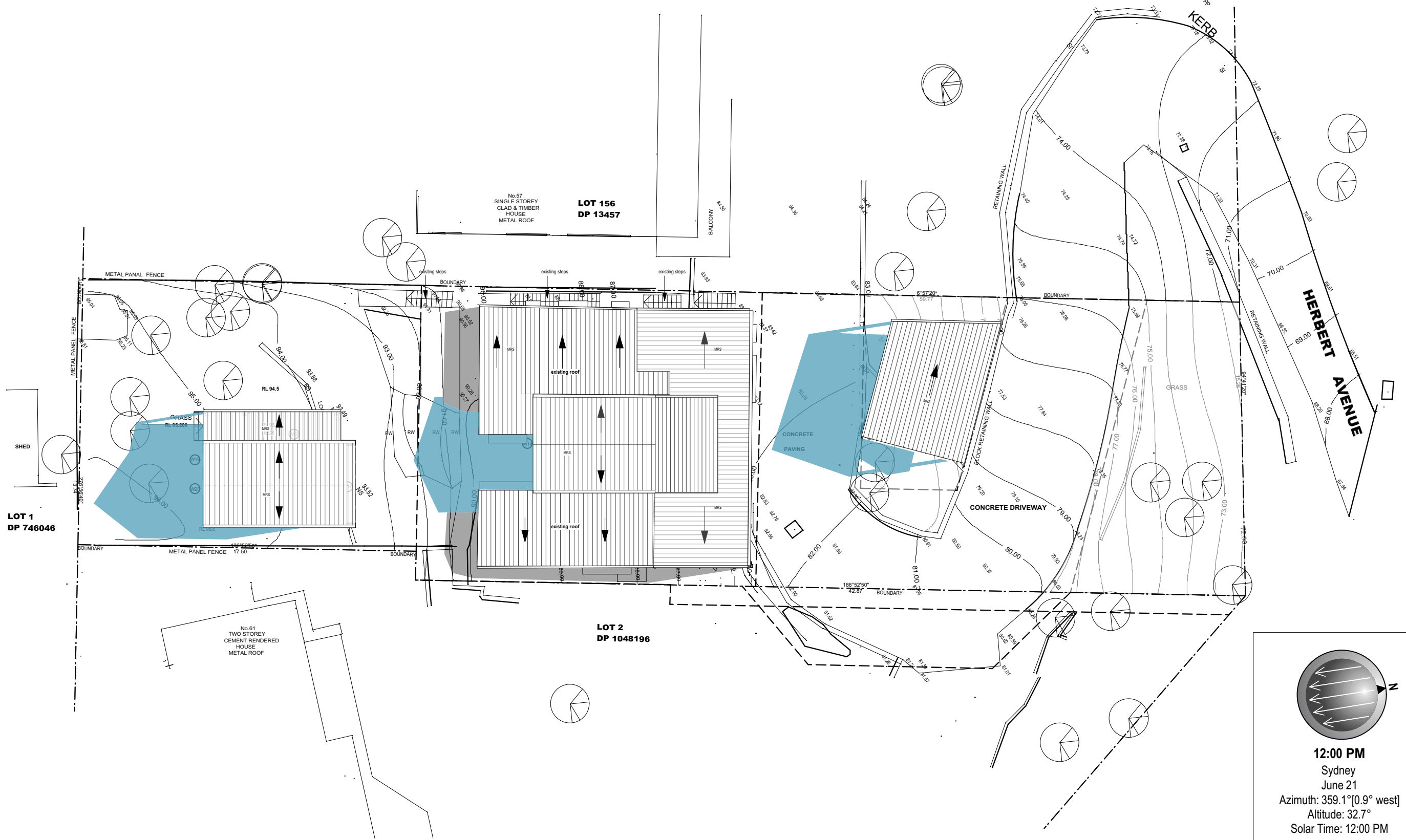
Plot date

dwg status  
COMPLYING DEVELOPMENT

Job number  
2020

dwg no./ rev  
DA\_17 D






**12:00 PM**  
Sydney  
June 21  
Azimuth: 359.1°[0.9° west]  
Altitude: 32.7°  
Solar Time: 12:00 PM

- 
- SHADOW BY EXISTING BUILDING
- 
- SHADOW BY PROPOSED BUILDING

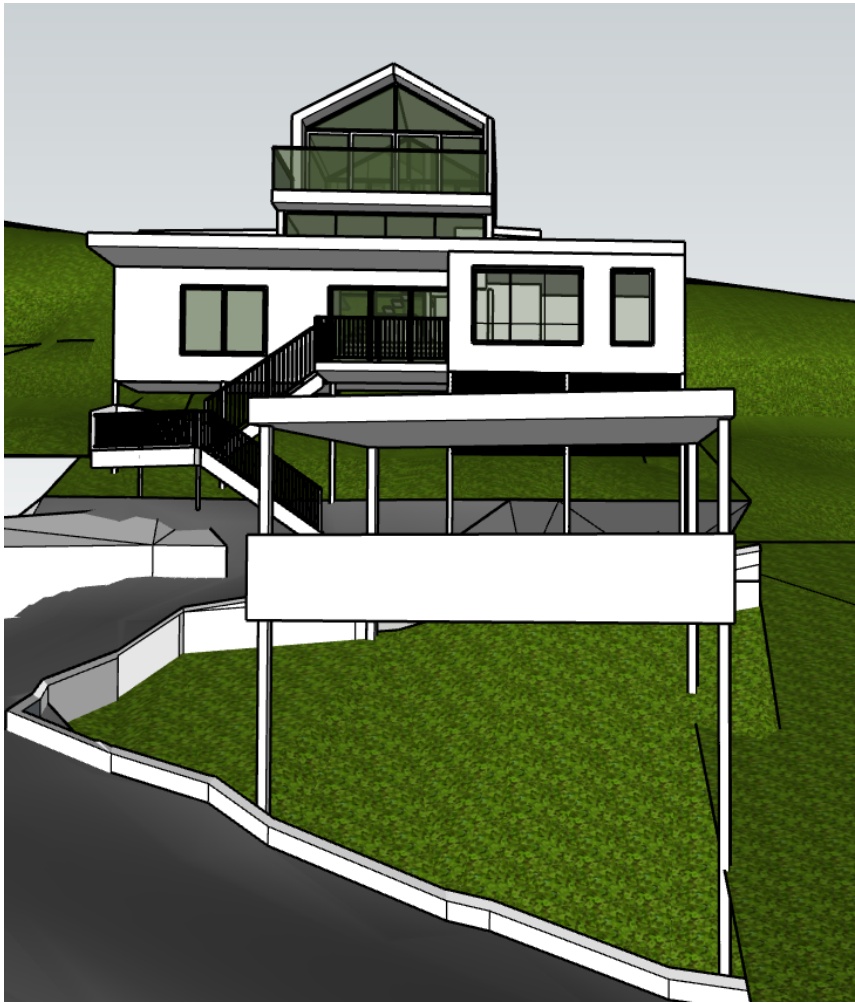
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**SITE SHADOW - 21 JUNE @ 12PM**  
SCALE 1:200 @ A3

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	Rev	Date	Revision notes	AD AL BAL CC CCH CL CPT EB F FC FFL GD HD LV MRS	ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE COLORBOND CLADDING COLORBOND CLADDING HOOD COLUMN CARPET EXTERNAL ALUMINIUM BLIND FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL HOOD GLASS LOUVRE METAL ROOF SHEETING	PS PT RH RF SNK SK SPR ST STD TB TC TF	ADJUSTABLE PRIVACY SCREEN PAINT FINISH RAINWATER HEAD ROOF TIMBER FASCIA KITCHEN SINK SKYLIGHT NEW SPREADER NEW TIMBER STEPS NEW SANDSTONE STEP TIMBER BATTENS NEW TIMBER CLADDING TIMBER FLOOR	<div><div></div> EXISTING WALL</div> <div><div></div> WALL TO BE DEMOLISHED</div> <div><div></div> NEW WALL</div>	ALTERATIONS & ADDITIONS		Plot date				
	A	9/8/20	Client review												
	B	15/9/20	Client review												
	C	29/12/20	Issue to consultants												
	D	08/07/21	DA Submission												
									dwg. title SHADOW DIAGRAM		dwg status COMPLYING DEVELOPMENT				
										Client Brad Boersma		Job number 2020		dwg no./ rev DA_18 D	



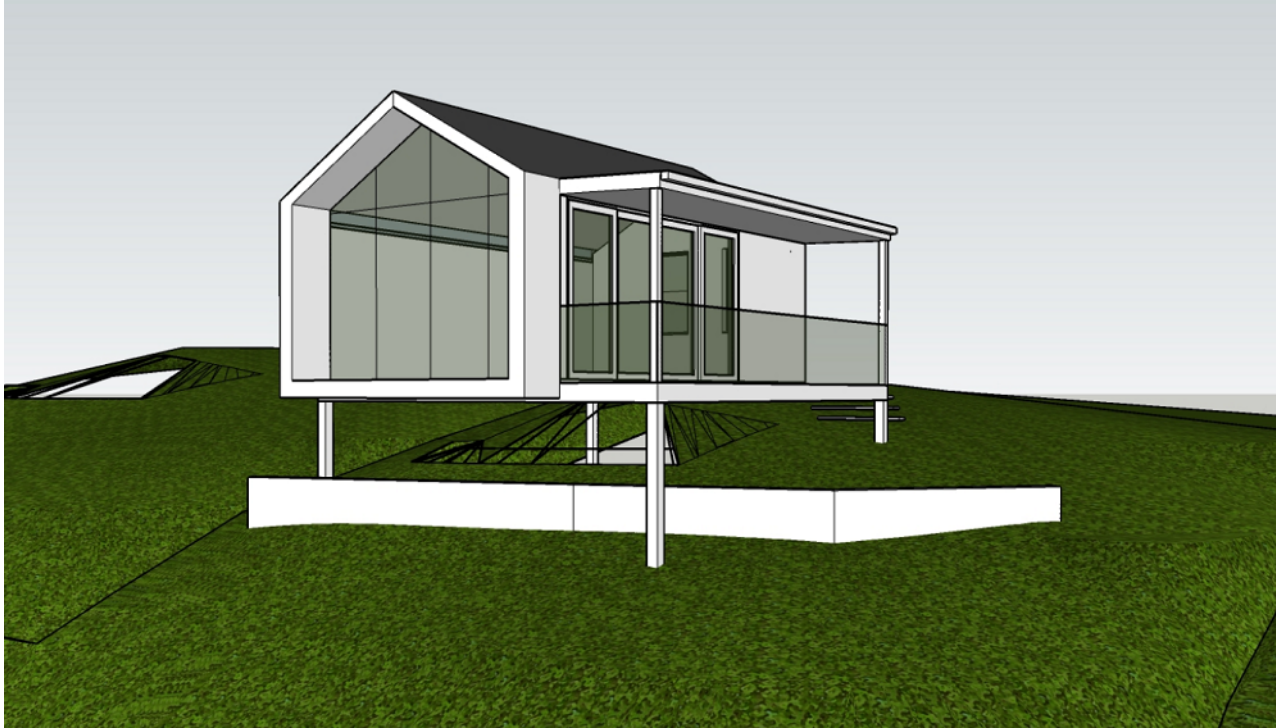




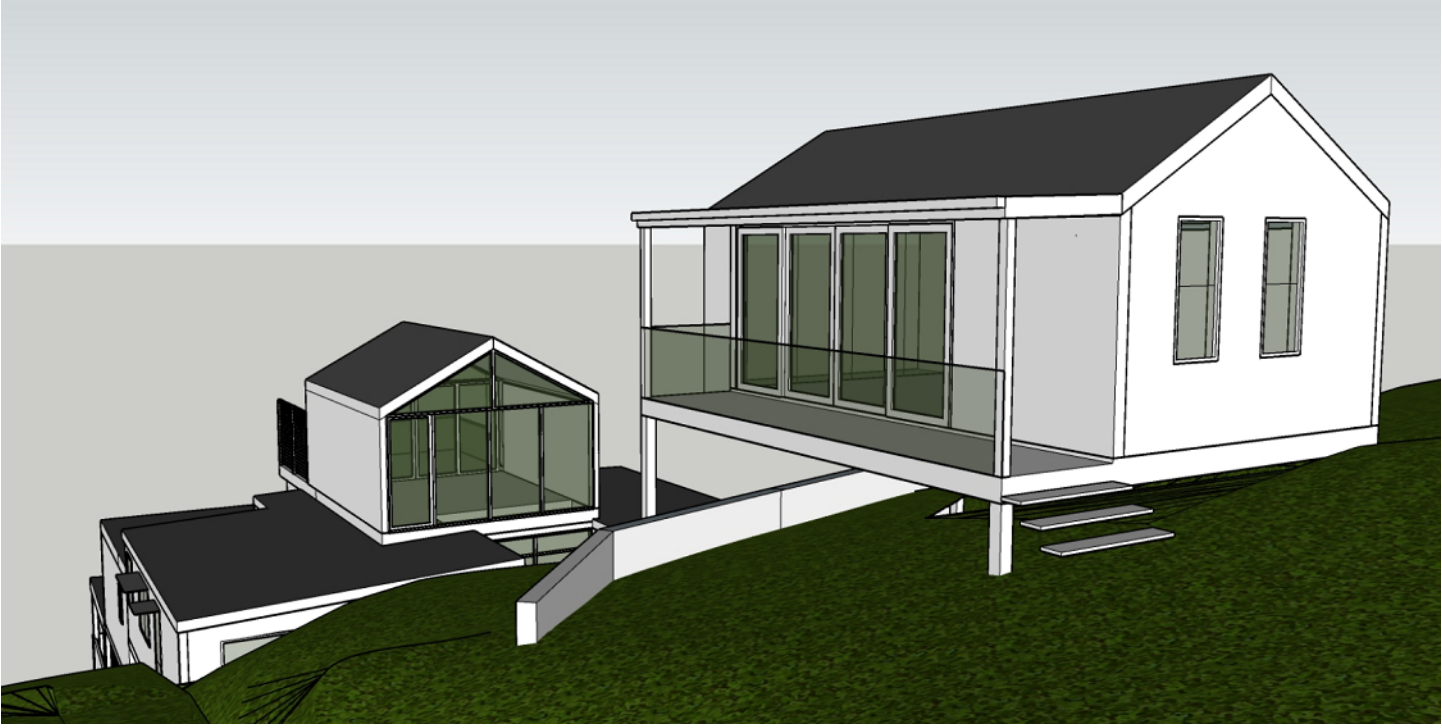
VIEW TO NEW CARPORT AND HOUSE FROM EXISTING DRIVEWAY



FRONT ELEVATION OF HOUSE



VIEW TO NEW STUDIO



VIEW TO STUDIO AND BACK OF HOUSE

<div>NOTE</div> <div>THIS DRAWING IS PART OF, AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.</div> <div>DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."</div>	REVISION SCHEDULE			LEGEND / KEY			WALL LEGEND			<div>JANE EDWARDS ARCHITECTURE</div> <div>NSW REGISTERED 7050</div>	Project 59 Herbert Ave, New Port NSW 2106		Scale NTS			
	Rev	Date	Revision notes	AD AW BAL CC CCH CL CPT EB F FC FFL GD HD LV MRS	ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE COLORBOND CLADDING COLORBOND CLADDING HOOD COLUMN CARPET EXTERNAL ALUMINIUM BLIND FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL HOOD GLASS LOUVRE METAL ROOF SHEETING	PS PT RH RF SNK SK SPR ST STD TB TC TF	ADJUSTABLE PRIVACY SCREEN PAINT FINISH RAINWATER HEAD ROOF TIMBER FASCIA KITCHEN SINK SKYLIGHT NEW SPREADER NEW TIMBER STEPS NEW SANDSTONE STEP TIMBER BATTENS NEW TIMBER CLADDING TIMBER FLOOR	<div> EXISTING WALL</div> <div> WALL TO BE DEMOLISHED</div> <div> NEW WALL</div>	ALTERATIONS & ADDITIONS		Plot date					
	A	9/8/20	Client review								dwg. title 3D IMAGES		dwg status COMPLYING DEVELOPMENT			
	B	15/9/20	Client review								Client Brad Boersma		Job number 2020		dwg no./ rev DA_20 D	
	C	29/12/20	Issue to consultants													
D	08/07/21	DA Submission														