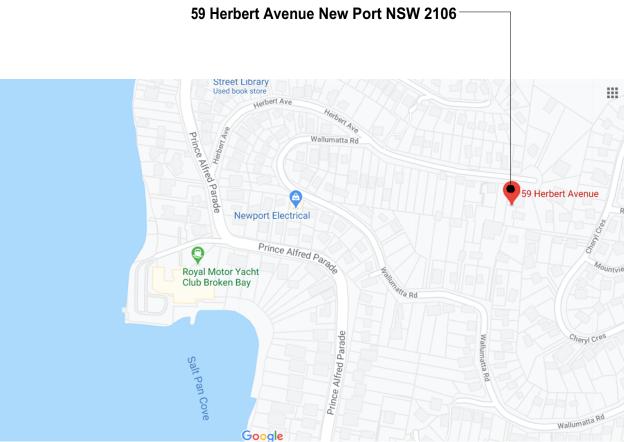
Prawing Register			Issue Date
		day	8
		month	7
		year	21
Drawing Number	Drawing Title		Revision
DA00	Drawing Register & Location Plan		D
DA01	Site Analysis/ Site Plan 1:100		D
DA02	Existing Ground Floor Plan 1:100		D
DA03	Existing Roof Plan 1:100		D
DA04	New Ground Floor Plan 1:100		D
DA05	New First Floor Plan 1:100		D
DA06	New Roof Plan 1:100		D
DA07	Elevations 1:100		D
DA08	Elevation 1:100		D
DA09	Elevation 1:100		D
DA10	Section 1:100		D
DA11	Carport Elevation 1:100		D
DA12	Window Schedule		D
DA13	Basix		D
DA14	External Materials & Finishes		D
DA15	Stormwater Concept Plan		D
DA16	Erosion & Sediment Control Plan		D
DA17	Shadow diagram 1:200		D
DA18	Shadow diagram 1:200		D
DA19	Shadow diagram 1:200		D
DA20	3D Images		D

Drawina Register

Document Distribution:
Client
Structural Engineer
Hydraulic Engineer
Landsc. Consultant
Approval Authority



LOCATION PLAN (NTS) (Source Google maps)

GENERAL BUILDING SPECIFICATION

- All general construction to conform to the current BCA and Local Govt conditions of Development Consent.
- Demolition works to be carried out in accordance with AS 2601.
- All masonry work in accordance with AS 3700.
- Termite protection to be installed in accordance with AS 3660.1 and the current BCA.
- All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.
- All carpentry work to conform to AS1684 for Light Timber Framing.
- All sewer waste to be connected to the existing mains service in accordance with AS 3500.
- All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.
- Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.
- with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.
- All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Jane Edwards Architecture before proceeding.
- Proposed RL's shown on drawings are to be FINISHED LEVELS. Builder to provide set down's and allowances to accommodate finished levels.

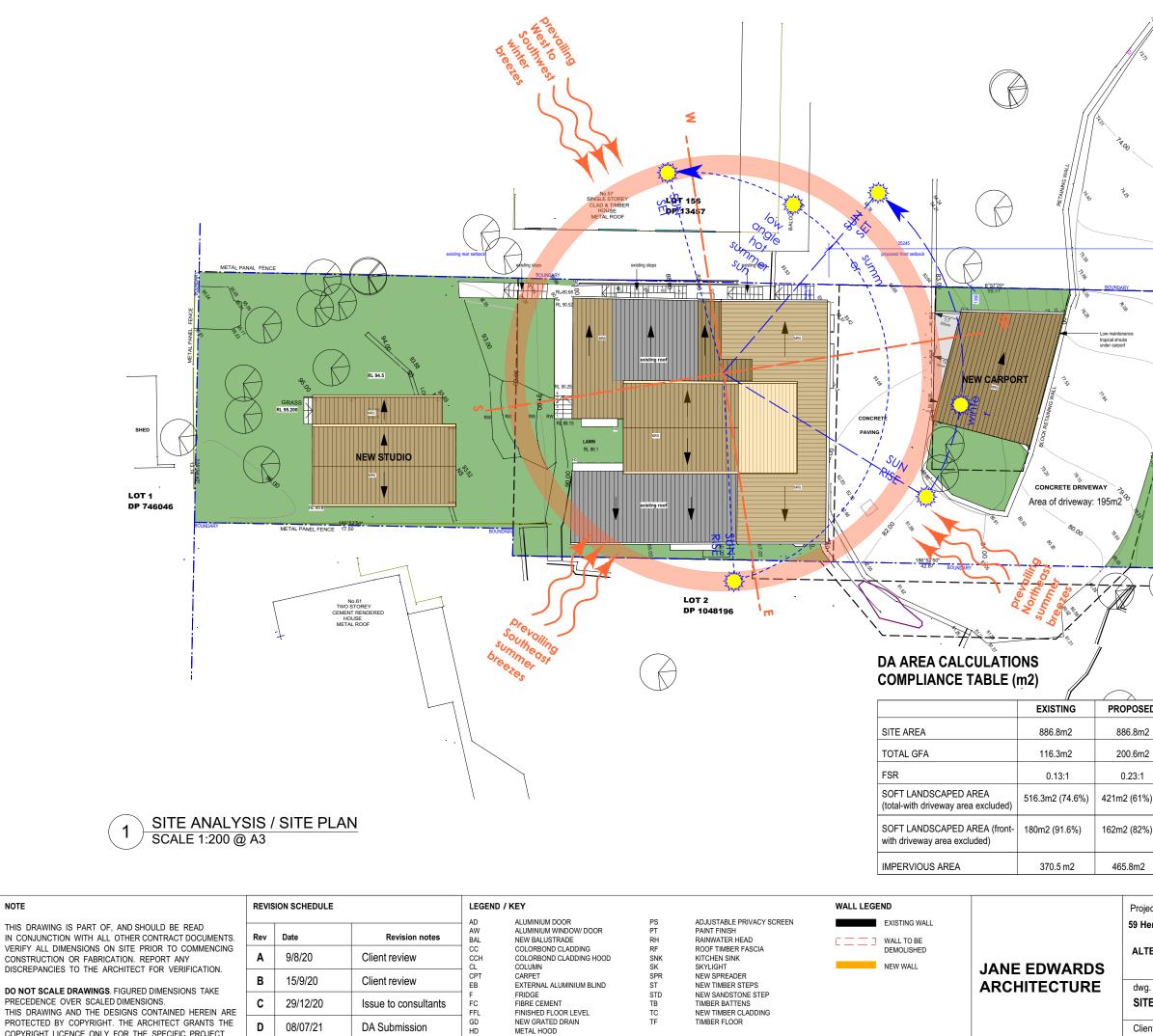
NOTE	REVIS	SION SCHEDULE		LEGENE) / KEY			WALL LEGEND		Project
THIS DRAWING IS PART OF, AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.	Rev	Date	Revision notes	AD AW BAL	ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE	PS PT RH	ADJUSTABLE PRIVACY SCREEN PAINT FINISH RAINWATER HEAD	EXISTING WALL		59 Herb
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DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.	В	15/9/20	Client review	CPT EB	CARPET EXTERNAL ALUMINIUM BLIND	SPR ST	NEW SPREADER NEW TIMBER STEPS		ARCHITECTURE	dwg. tit
PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE	С	29/12/20	Issue to consultants	F FC FFL	FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL	STD TB TC	NEW SANDSTONE STEP TIMBER BATTENS NEW TIMBER CLADDING			DRAV
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AND FOR THE PURPOSE SHOWN AT "STATUS."				LV MRS	GLASS LOUVRE METAL ROOF SHEETING				NSW REGISTERED 7050	Brad

- All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.

- All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance

- All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insul'n), AS1904 (foil insul'n) and associated standards and codes.

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erbert Ave, New Port NSW 2106	NTS	
ERATIONS & ADDITIONS	Plot date	
title	dwg status	
AWING REGISTER & LOCATION PLAN	COMPLYING DEVELO	PMENT
nt	Job number	dwg no./ rev
d Boersma	2020	DA_00 D



NSW REGISTERED 7050

GD HD LV MRS

NOTE

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AND FOR THE PURPOSE SHOWN AT "STATUS."

GLASS LOUVRE METAL ROOF SHEETING

	11-1- 11-1- 11-1- 15-00 GRASS 00-		HERBER 99 00 Mars	AT AVENUE	
ED	CONTROL	COMPLIANCE			
2	N/A	N/A			
2	N/A	YES			
	N/A	YES			
%)	min 415.3m2 (60%)	YES			
%)	min 115m2 (60%)	YES			
	OSD required if additional impervious area more than 50m2	YES OSD provided			
iect			Scale		

Project 59 Herbert Ave, New Port NSW 2106 ALTERATIONS & ADDITIONS	1:200 @ A3 Plot date		
dwg. title	dwg status		
SITE PLAN / SITE ANALYSIS	COMPLYING DEVELOPMENT		
Client	Job number	dwg no./ rev	
Brad Boersma	2020	DA_01 D	



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	Α	9/8/20	Client review
	В	15/9/20	Client review
	С	29/12/20	Issue to consultants
-	D	08/07/21	DA Submission

EXTERNAL ALUMINIUM BLIND FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL HOOD GLASS LOUVRE METAL ROOF SHEETING

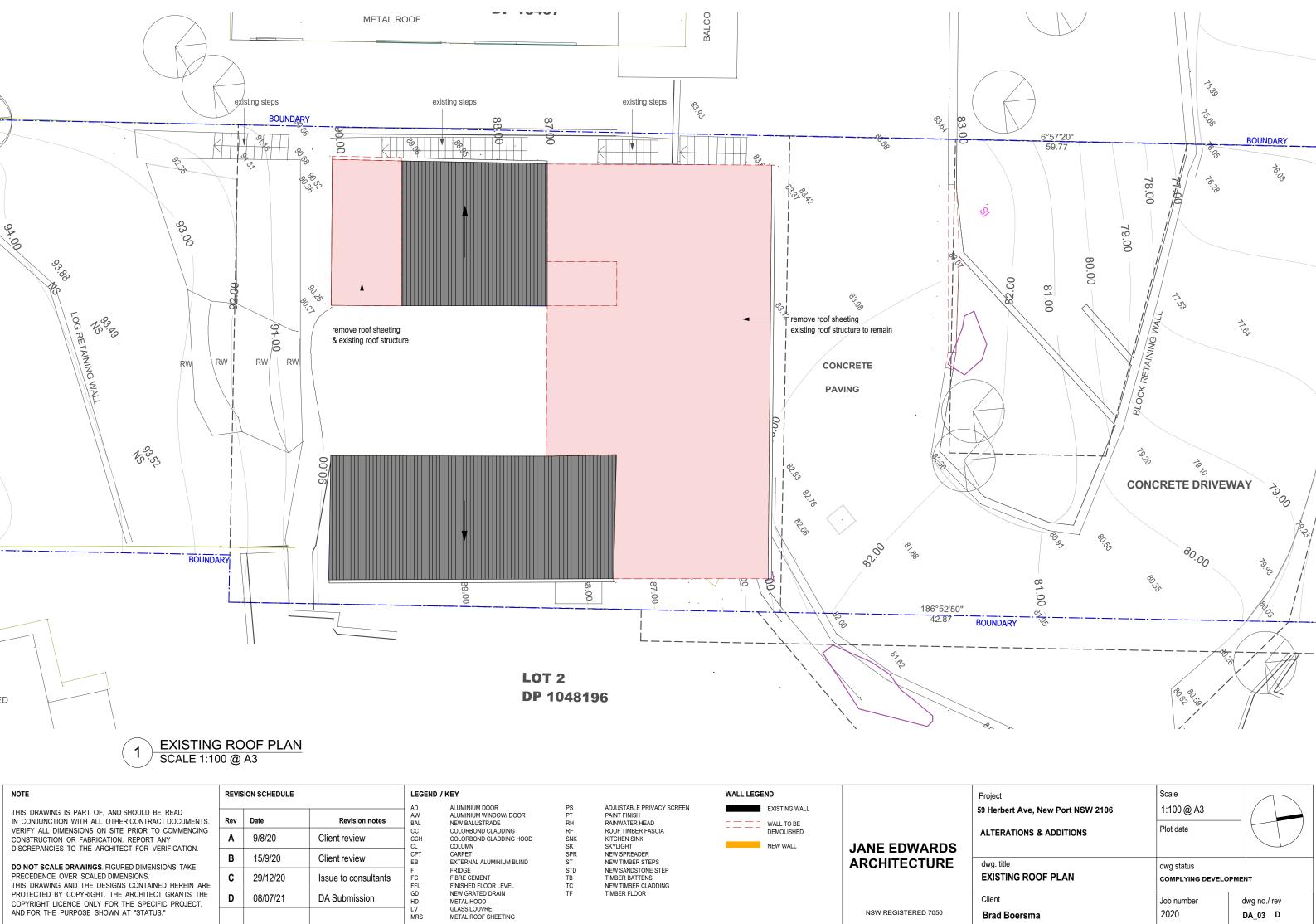
PAINT FINISH RAINWATER HEAD ROOF TIMBER FASCIA KITCHEN SINK SKYLIGHT NEW SPREADER NEW TIMBER STEPS NEW SANDSTONE STEP TIMBER BATTENS TIMBER BATTENS NEW TIMBER CLADDING TIMBER FLOOR

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g. title IISTING GROUND FLOOR PLAN	dwg status COMPLYING DEVELOPMENT		
ad Boersma	Job number 2020	dwg no./ rev DA_02 D	



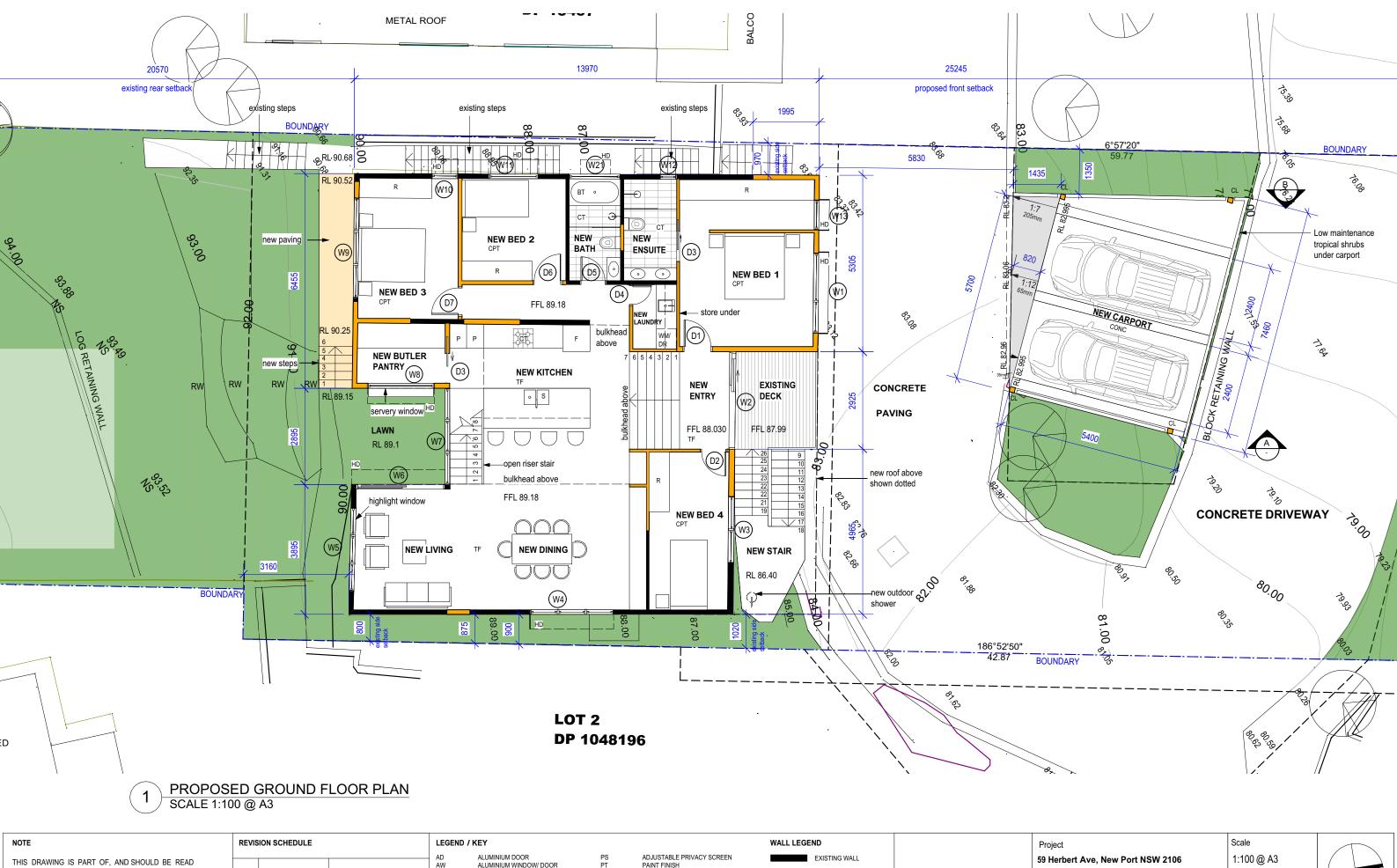
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FOR THE PURPOSE SHOWN AT "STATUS."	

	Revision notes
/20	Client review
9/20	Client review
12/20	Issue to consultants
07/21	DA Submission

GLASS LOUVRE METAL ROOF SHEETING

Project 59 Herbert Ave, New Port NSW 2106 ALTERATIONS & ADDITIONS	Scale 1:100 @ A3 Plot date	
dwg. title EXISTING ROOF PLAN	dwg status COMPLYING DEVELOPN	IENT
Client Brad Boersma	Job number 2020	dwg no./ rev DA_03 D

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В	15/9/20	Client review								
С	29/12/20	Issue to consultants								
D	08/07/21	DA Submission								

ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE COLORBOND CLADDING COLORBOND CLADDING HOOD COLUMN CARPET EXTERNAL ALUMINIUM BLIND FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL HOOD GLASS LOUVRE METAL ROOF SHEETING

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GD HD LV MRS ADJUSTABLE PRIVACY S PAINT FINISH RAINWATER HEAD ROOF TIMBER FASCIA KITCHEN SINK SKYLIGHT NEW SPREADER NEW TIMBER STEPS NEW SANDSTONE STEP TIMBER BATTENS NEW TIMBER CLADDING TIMBER FLOOR

RH RF

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STD

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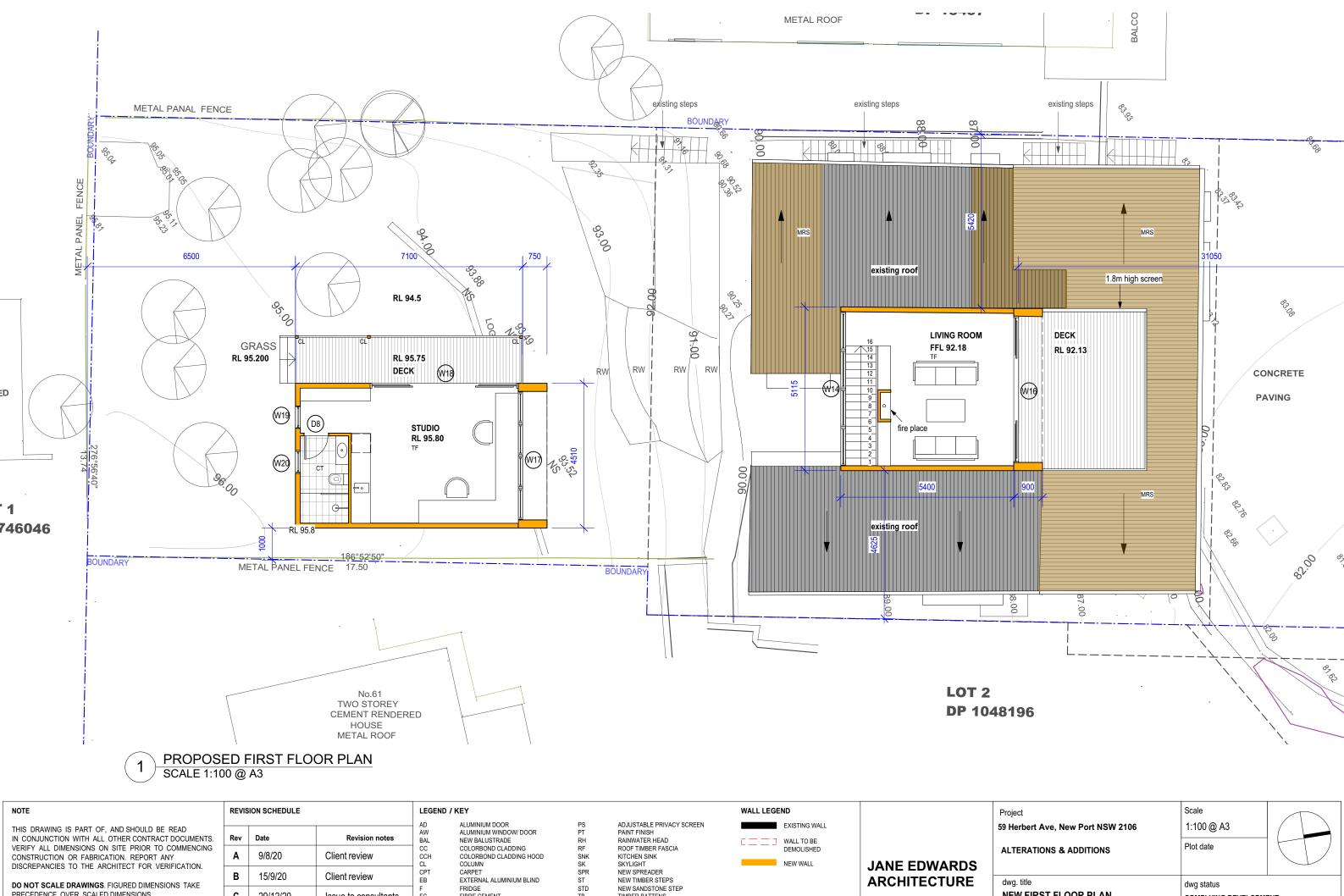
TC

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WALL LEGEND EXISTING WALL WALL TO BE DEMOLISHED NEW WALL

JANE EDWARDS ARCHITECTURE MWg. t NEW Client NSW REGISTERED 7050 Brad

ect lerbert Ave, New Port NSW 2106 TERATIONS & ADDITIONS	Scale 1:100 @ A3 Plot date			
g. title W GROUND FLOOR PLAN	dwg status COMPLYING DEVELOPMENT			
ad Boersma	Job number 2020	dwg no./ rev DA_04 D		



STD TB TC TF

TIMBER BATTENS NEW TIMBER CLADDING

TIMBER FLOOR

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Rev	Date	Revision notes			
Α	9/8/20	Client review			
В	15/9/20	Client review			
С	29/12/20	Issue to consultants			
D	08/07/21	DA Submission			

F FC FFL GD HD LV MRS

FIBRE CEMENT FINISHED FLOOR LEVEL

NEW GRATED DRAIN METAL HOOD

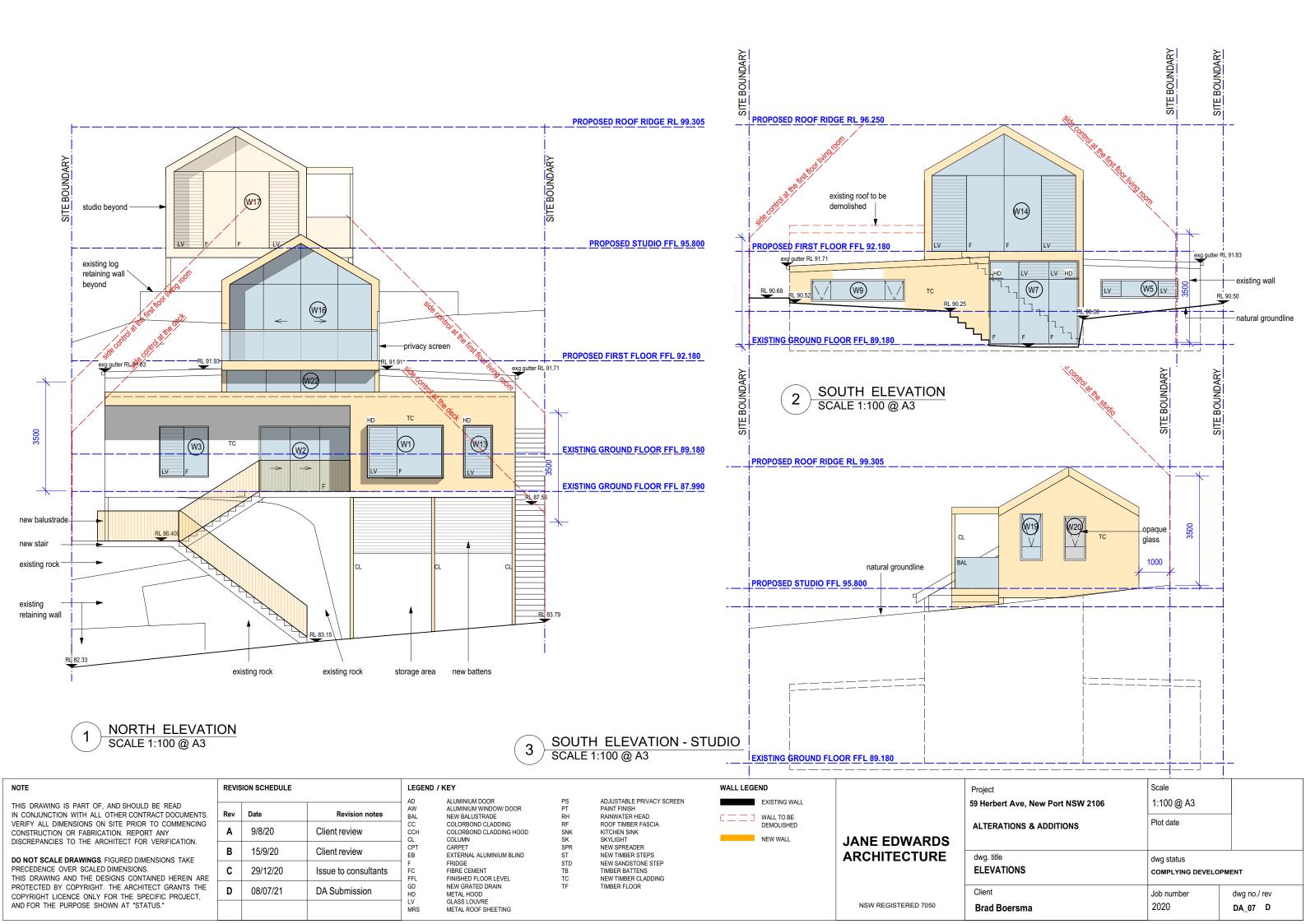
GLASS LOUVRE METAL ROOF SHEETING

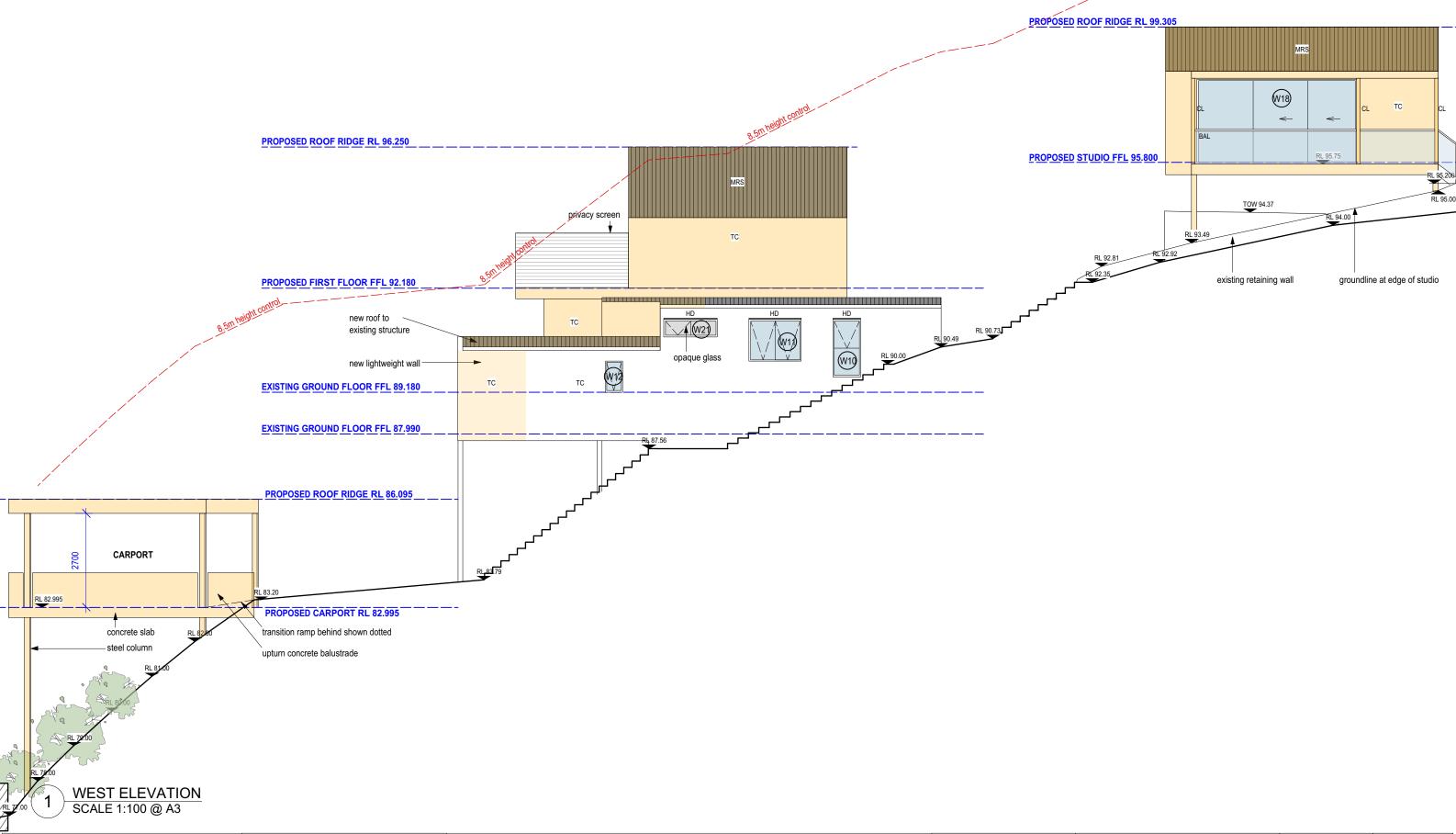
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59 Herbert Ave, New Port NSW 2106	1:100 @ A3			
ALTERATIONS & ADDITIONS	Plot date			
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Client				
Client	Job number	dwg no./ rev		

NSW REGISTERED 7050

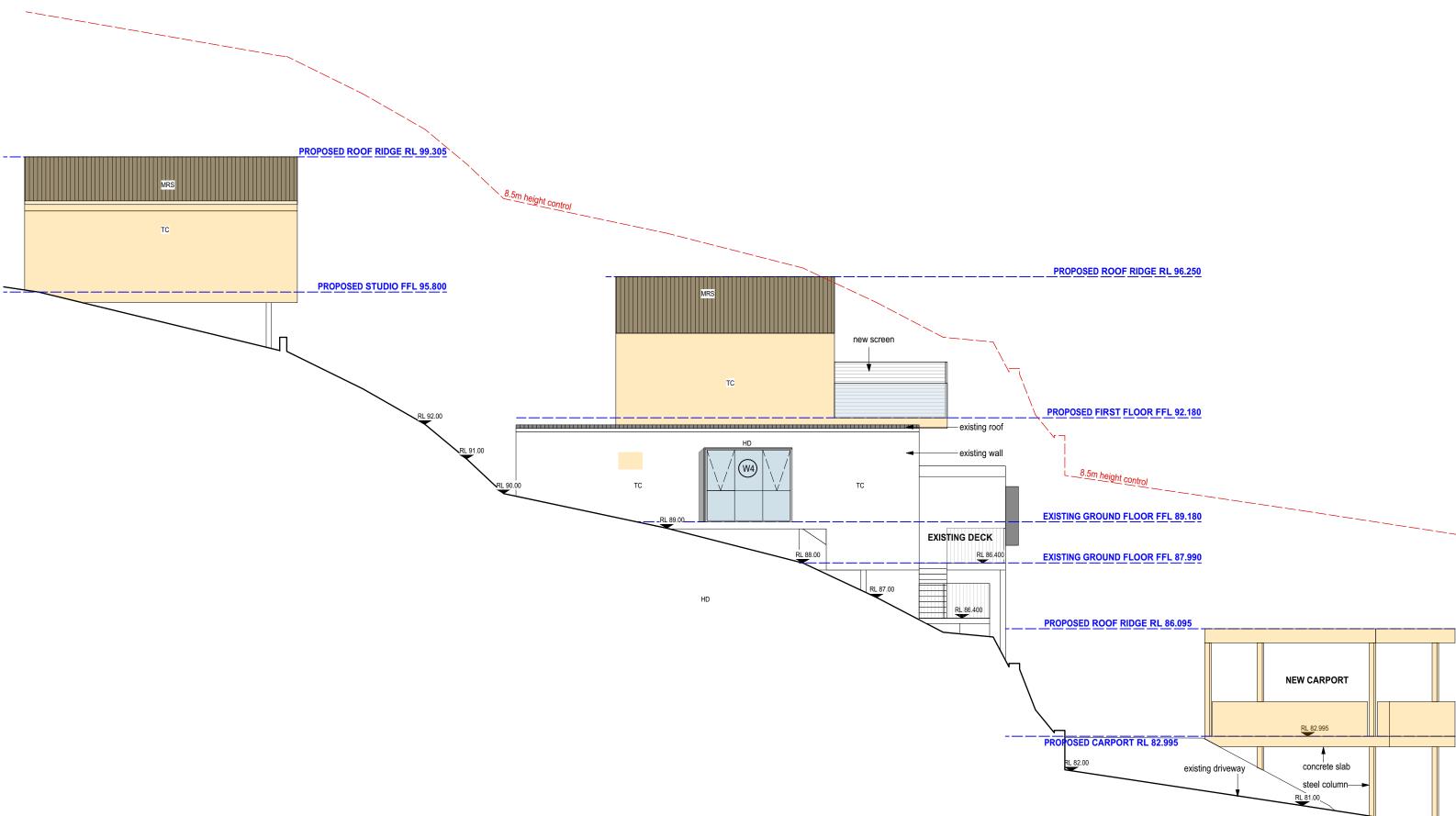


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g. title W ROOF PLAN	dwg status COMPLYING DEVELOPMENT			
ad Boersma	Job number 2020	dwg no./ rev DA_06 D		



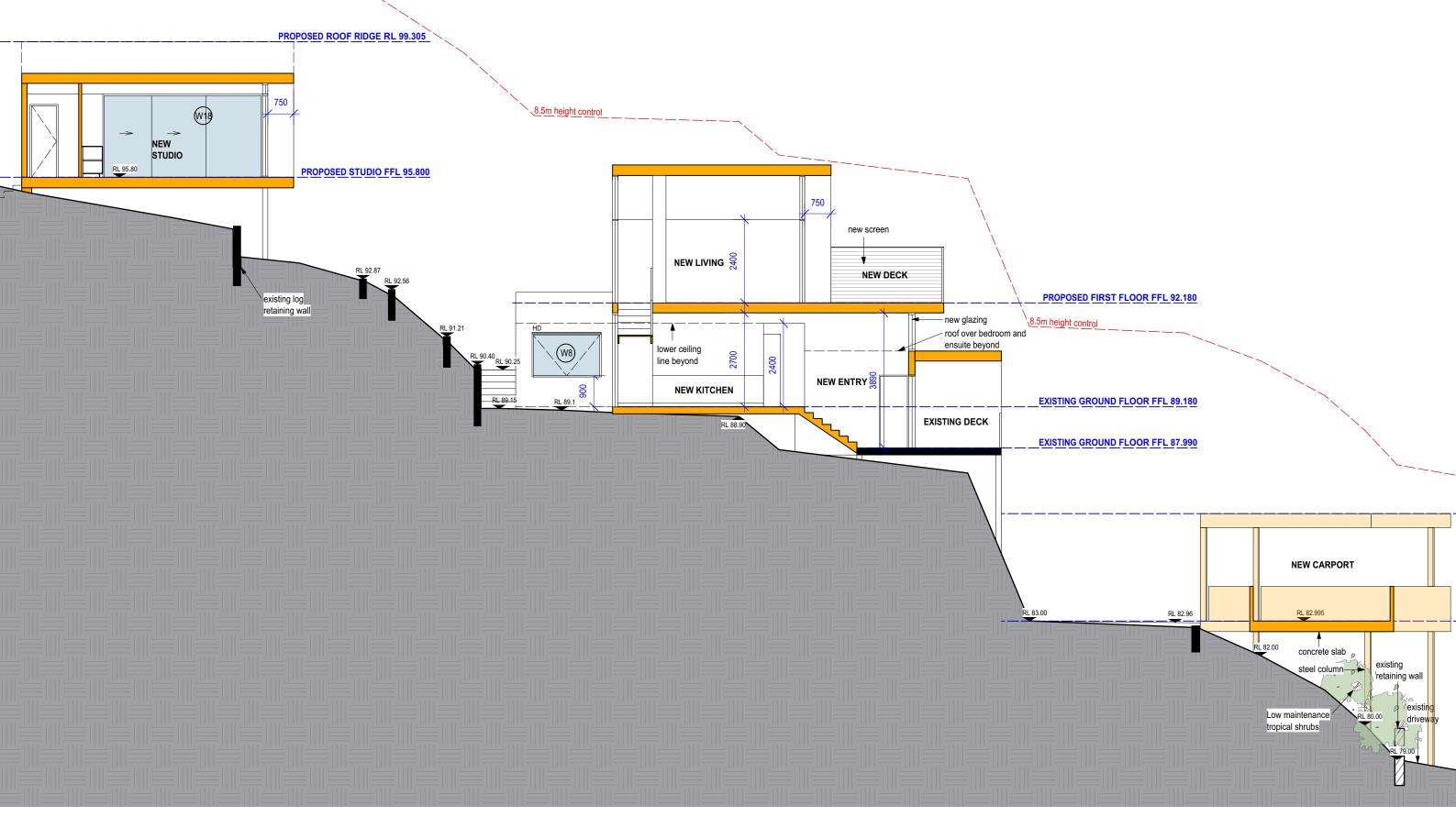


NOTE	REVIS	ION SCHEDULE		LEGEND /	KEY			WALL LEGEND		Project	Scale	
THIS DRAWING IS PART OF, AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.	Rev	Date	Revision notes	AD AW BAL	ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE	PS PT RH	ADJUSTABLE PRIVACY SCREEN PAINT FINISH RAINWATER HEAD	EXISTING WALL		59 Herbert Ave, New Port NSW 2106	1:100 @ A3	
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	в	15/9/20	Client review	CPT EB	CPT CARPET EB EXTERNAL ALUMINIUM BLIND F FRIDGE FC FIBRE CEMENT FFL FINISHED FLOOR LEVEL					dwg. title ELEVATIONS / SECTIONS	dwg status	
	С	29/12/20 Issue to consultants	Issue to consultants	F FC FFL							COMPLYING DEVELOR	PMENT
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AND FOR THE PURPOSE SHOWN AT "STATUS."				MRS	GLASS LOUVRE METAL ROOF SHEETING				NSW REGISTERED 7050	Brad Boersma	2020	DA_08 D

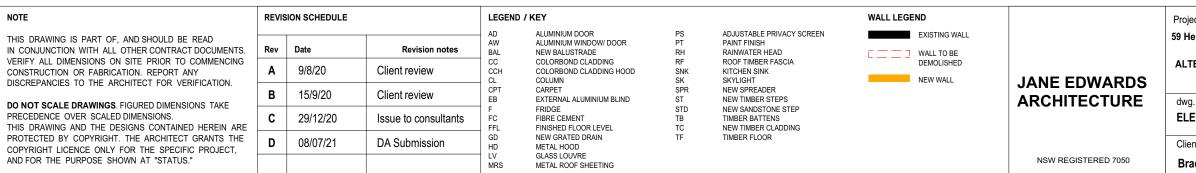




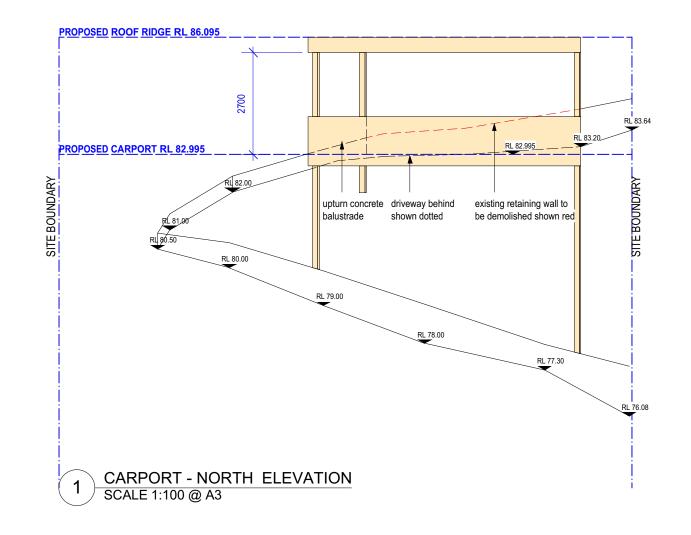
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IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.	Rev	Date	Revision notes	BAL	NEW BALUSTRADE	RH	RAINWATER HEAD	WALL TO BE			Plot date	
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	В	15/9/20	Client review	CPT EB	CARPET EXTERNAL ALUMINIUM BLIND	SPR ST	NEW TIMBER STEPS		ARCHITECTURE	dwg. title ELEVATIONS / SECTIONS	dwg status COMPLYING DEVELOPMENT	
	С	29/12/20	Issue to consultants	F FC FFL	FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL	STD TB TC						
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AND FOR THE PURPOSE SHOWN AT "STATUS."				LV MRS	GLASS LOUVRE METAL ROOF SHEETING				NSW REGISTERED 7050	Brad Boersma	2020	DA_09 D







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ERATIONS & ADDITIONS	Plot date				
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ect Ierbert Ave, New Port NSW 2106	Scale 1:100 @ A3				
TERATIONS & ADDITIONS	Plot date				
g. title RPORT ELEVATION	dwg status COMPLYING DEVELOPMENT				
ad Boersma	Job number 2020	dwg no./ rev DA_11 D			

WINDOW SCHEDULE

ID	Туре	Opening Height (mm)	Opening Width (mm)	Unit Area (m2)	Glazing Type	Head (nom.)	Comments	1. Al
W1	glazed fixed & louvre window	1650	2400	4	low-e	2100	New window to bedroom room 1	2. Al
W2	glazed sliding door	2100	2925	6.1	clear	2100	New window to entry	3. Di
W3	glazed fixed & louvre window	1650	2000	3.3	clear	2100	New window to bedroom 4	all d
W4	glazed awning window	2100	2500	5.25	clear	2100	New window to dining room	dime
W5	glazed highlight window	600	2500	1.5	clear	2100	New window to living room	4. R 5. In
N6	glazed sliding door	2100	2665	5.6	clear	2100	New door to living room	note
W7	glazed fixed & louvre window	2700	2890	7.8	clear	2700	New window to stair	6. F
W8	glazed gas strut window	1200	2000	2.4	clear	2100	New window to bedroom 4	
W9	glazed highlight window	700	3000	2.1	clear	2100	New window to bedroom 3	
N10	glazed awning window	1650	800	1.32	clear	2100	New window to bedroom 3	
W11	glazed awning window	1200	1500	1.8	clear	2100	New window to bedroom 2	
V12	glazed awning window	900	500	0.45	clear	2100	New window to ensuite	
W13	glazed louvre window	1650	900	1.5	low-e	2100	New window to ensuite	
W14	glazed fixed & louvre window	3775	4810	14.8	clear	3775	New window stair	
Vdele	tedized awning window	2400	deleted	2.16	clear	2400	Newdeleted to upstair living room	
W16	glazed sliding door	3775	4610	14.8	clear	3775	New window to upstair living room	
N17	glazed fixed & louvre window	3615	4010	12.7	clear	3615	New window to studio	
N18	glazed sliding door	2400	4600	11	clear	2400	New window to studio	
V19	glazed awning window	1500	900	1.35	clear	2400	New window to upstair living room	
V20	glazed awning window	1500	900	1.35	clear	2400	New window to upstair living room	
V21	glazed awning window	500	1540	0.77	opaque	2100	New window to bathroom	
N22	glazed highlight window	690	4765	3.3	clear	3890	New window to entry	
000	OR SCHEDULE							
D1	hinged door	2100	900	N/A	no glazing	2100	New door to bedroom	
02	hinged door	2100	900	N/A	no glazing	2100	New door to bedroom	
D3	sliding door	2100	900	N/A	no glazing	2100	New door to ensuite	
D4	hinged door	2100	800	N/A	no glazing	2100	New door to laundry	
)5	double hinged door	2100	800	N/A	no glazing	2100	New door to bathroom	
06	hinged door	2100	900	N/A	no glazing	2100	New door to bedroom	
D7	hinged door	2100	900	N/A	no glazing	2100	New door to bedroom	

NOTE	REVIS	ION SCHEDULE		LEGEND	/ KEY			WALL LEG	END		Project
THIS DRAWING IS PART OF, AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING	Rev	Date	Revision notes	AD AW BAL CC	ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE COLORBOND CLADDING	PS PT RH RF	ADJUSTABLE PRIVACY SCREEN PAINT FINISH RAINWATER HEAD ROOF TIMBER FASCIA		EXISTING WALL WALL TO BE DEMOLISHED		59 Herbert
CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.	A	9/8/20	Client review	CCH CL	COLORBOND CLADDING COLORBOND CLADDING HOOD COLUMN	SNK SK	KITCHEN SINK SKYLIGHT		NEW WALL	JANE EDWARDS	ALTERATI
DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE	В	15/9/20	Client review	CPT EB	CARPET EXTERNAL ALUMINIUM BLIND	SPR ST	NEW SPREADER NEW TIMBER STEPS			ARCHITECTURE	dwg. title
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AND FOR THE PURPOSE SHOWN AT "STATUS."				LV MRS	GLASS LOUVRE METAL ROOF SHEETING					NSW REGISTERED 7050	Brad Boe

NOTES:

- external glazing units to have painted aluminium frames as selected. Owner to give approval to external glazing units before ordering/ manufacture. glazing to comply with Part 3.6 of the current BCA.
- nensions given are nominal and to suit scheduled opening sizes Contractor to check nensions on site before ordering glazing units. Contact Jane Edwards Architecture if istions conflict.
- er to Elevations for fixed/ openable sashes.
- rnal door sizes generally as noted on plan, to be painted flush solid core doors unless otherwise.
- fer to current Basix certificate

dwg status			
COMPLYING DEVELOPMENT			
Job number	dwg no./ rev		
2020	DA_12		
	Job number		

page 1 / 7

BASIX Certificate number: A418589

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance wi Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door

Each window or glazed door with standard aluminium or timber frames and single clear or tor have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the ta must be calculated in accordance with National Fenestration Rating Council (NFRC) condition

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/c have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the ta must be calculated in accordance with National Fenestration Rating Council (NFRC) conditio only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coeffici

Pergolas with fixed battens must have battens parallel to the window or glazed door above w shades a perpendicular window. The spacing between battens must not be more than 50 mr

Overshadowing buildings or vegetation must be of the height and distance from the centre ar specified in the 'overshadowing' column in the table below.

Γ	Windows and glazed doors glazing requirements							
l				Overshadowing		Overshadowing		Shading device
	no.		glass inc. frame (m2)	Height (m)	Distance (m)			
	W1	N	4	0	0	eave/verandah/pergola/balcony >=450 mm		
	W2	N	6.1	0	0	eave/verandah/pergola/balcony >=900 mm		

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check	
Window / do no.	oor Orientation	Area of glass inc. frame (m2)	Oversha Height (m)	dowing Distance (m)	Shading device	Frame and glass type			
W3	N	3.3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W4	E	5.3	1.5	0.9	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W5	s	1.5	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W6	w	5.6	3.3	2.9	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W7	s	7.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W8	E	2.4	3.3	2.9	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W9	s	2.1	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W10	s	1.32	5	3.9	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W11	w	1.8	5	3.9	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W12	w	0.45	5	3.9	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W13	N	1.5	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W14	s	14.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W16	N	14.8	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Planning, Industry & Environment

Glazing requirements

Nindow I de adina device W17 12.7 eave/verandah/pergola/balco >=750 mm W18 eave/verandah/pergola/balcor >=900 mm W19 .35 one W20 1.35 W21 0.7 3.9 eave/verandah/pergola/balcon

WALL LEGEND Proje EXISTING WALL 59 He DEMOLISHED ALTE NEW WALL JANE EDWARDS ARCHITECTURE dwg. BAS Clier NSW REGISTERED 7050 Bra

BASIX[°]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A418589

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary Date of issue: Thursday, 08, July 2021 To be valid, this certificate must be lodged within 3 months of the date of issue.

BASIX	Certificate	number:	A418589
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page 2/7

ADJUSTABLE PRIVACY SCREEN

PAINT FINISH RAINWATER HEAD

KITCHEN SINK

NEW SPREADER NEW TIMBER STEPS NEW SANDSTONE STEP

TIMBER BATTENS NEW TIMBER CLADDING

TIMBER FLOOR

SKYLIGHT

ROOF TIMBER FASCIA

PS PT

RH RF

SNK

SPR

ST STD

TB

TC TF

SK

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		~	~
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		\checkmark	~
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		~	~
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		~	

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Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered the table below, except that a) additional insulat is not required for parts of altered construction v			~	~	~
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)				
floor above existing dwelling or building.	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			
flat ceiling, flat roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "v" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "v" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "v" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

NOTE	REVIS	SION SCHEDULE		LEGEND	/ KEY
THIS DRAWING IS PART OF, AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.	Rev	Date	Revision notes	AD AW BAL	ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE
VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION. DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT, AND FOR THE PURPOSE SHOWN AT "STATUS."		9/8/20	Client review	CCH COLORBOND CLADDING CL COLUMN CPT CARPET EB EXTERNAL ALUMINIUM E F FRIDGE FC FIBRE CEMENT FFL FINISHED FLOOR LEVEL GD NEW GRATED DRAIN HD METAL HOOD LV GLASS LOUVRE	COLORBOND CLADDING COLORBOND CLADDING HOOD COLUMN
		15/9/20	Client review		EXTERNAL ALUMINIUM BLIND
		29/12/20	Issue to consultants		
		08/07/21	DA Submission		NEW GRATED DRAIN METAL HOOD
					GLASS LOUVRE METAL ROOF SHEETING

Project name	59 Herbert Avenue			
Street address	59 Herbert Avenue Newport 2106			
Local Government Area	Northern Beaches Council			
Plan type and number	Deposited Plan 1048196			
Lot number	1			
Section number				
Project type				
Dwelling type	Separate dwelling house			
	My renovation work is valued at \$50,000 or more			

	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
ith the specifications listed in the table below.	~	\checkmark	\checkmark
or:		~	\checkmark
oned glass may either match the description, or, able below. Total system U-values and SHGCs ons.		~	~
clear glazing, or toned/air gap/clear glazing must able below. Total system U-values and SHGCs ons. The description is provided for information		~	~
balcony or awning must be no more than 500 mm	~	\checkmark	\checkmark
ient of less than 0.35.		\checkmark	\checkmark
which they are situated, unless the pergola also m.		\checkmark	\checkmark
nd the base of the window and glazed door, as	~	\checkmark	\checkmark
Frame and glass type			
y standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
y standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Building Sustainability Index www.basix.nsw.gov.au

		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
	Frame and glass type			
ony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
ony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
ony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

ect Ierbert Ave, New Port NSW 2106	Scale NTS	
TERATIONS & ADDITIONS	Plot date	
g. title SIX	dwg status COMPLYING DEVELOPN	ENT
ad Boersma	Job number 2020	dwg no./ rev DA_13



METAL SHEET ROOFING - Profile for min fall - Colour light to medium grey colour



Black metal balustrade to external stair



Fascia to new roof



Timber Screening on first floor



Steel column to carport

NOTE



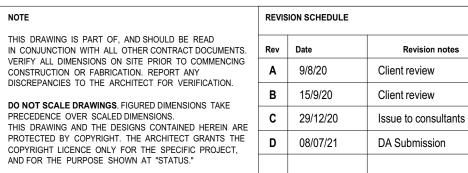
Timber Decking to outdoor area



Glass balustrade

Metal hood to front elevation







Wall cladding

LEGEND /	KEY
AD AW	ALUMINIUM DOOR
BAL	NEW BALUSTRADE
CC	COLORBOND CLADDING
CCH CI	COLORBOND CLADDING HOOD
CPT	CARPET
EB	EXTERNAL ALUMINIUM BLIND
F	FRIDGE
FC	FIBRE CEMENT
FFL	FINISHED FLOOR LEVEL
GD	NEW GRATED DRAIN
HD	METAL HOOD
LV	GLASS LOUVRE
MRS	METAL ROOF SHEETING

ADJUSTABLE PRIVACY SCREEN PAINT FINISH RAINWATER HEAD ROOF TIMBER FASCIA KITCHEN SINK SKYLIGHT NEW SPREADER NEW SANDSTONE STEP TIMBER BATTENS NEW TIMBER CLADDING TIMBER EI OOR TIMBER FLOOR

PS PT RH RF SNK SK SPR STD TB TC TF

WALL LEGE	ND	
	EXISTING WALL	
	WALL TO BE DEMOLISHED	
_	NEW WALL	JANE EDWA

	Project
	59 Herl
ANE EDWARDS	ALTE
RCHITECTURE	dwg. ti
	EXTE
	Client
NSW REGISTERED 7050	Brad



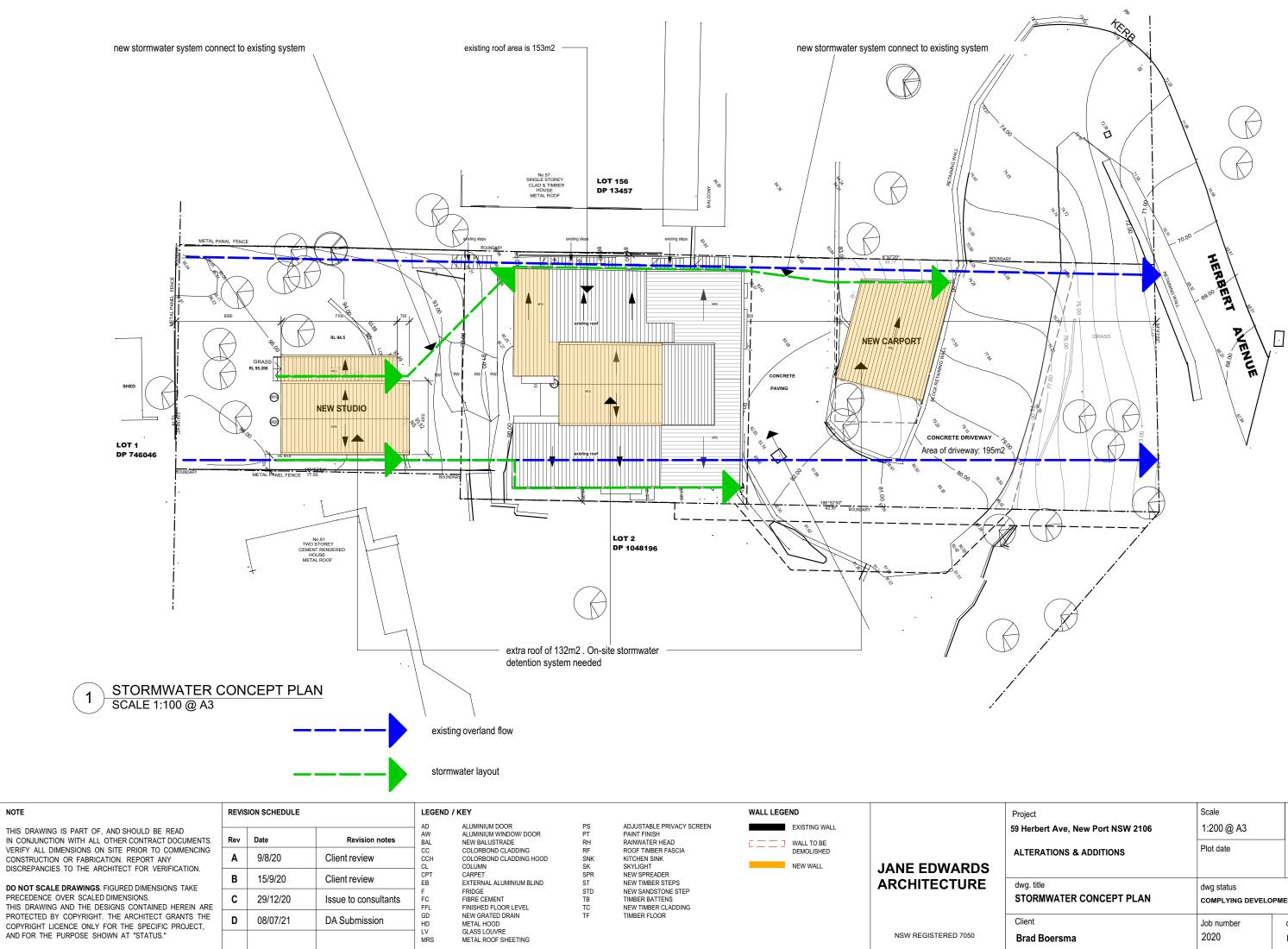


Black aluminium louvre window



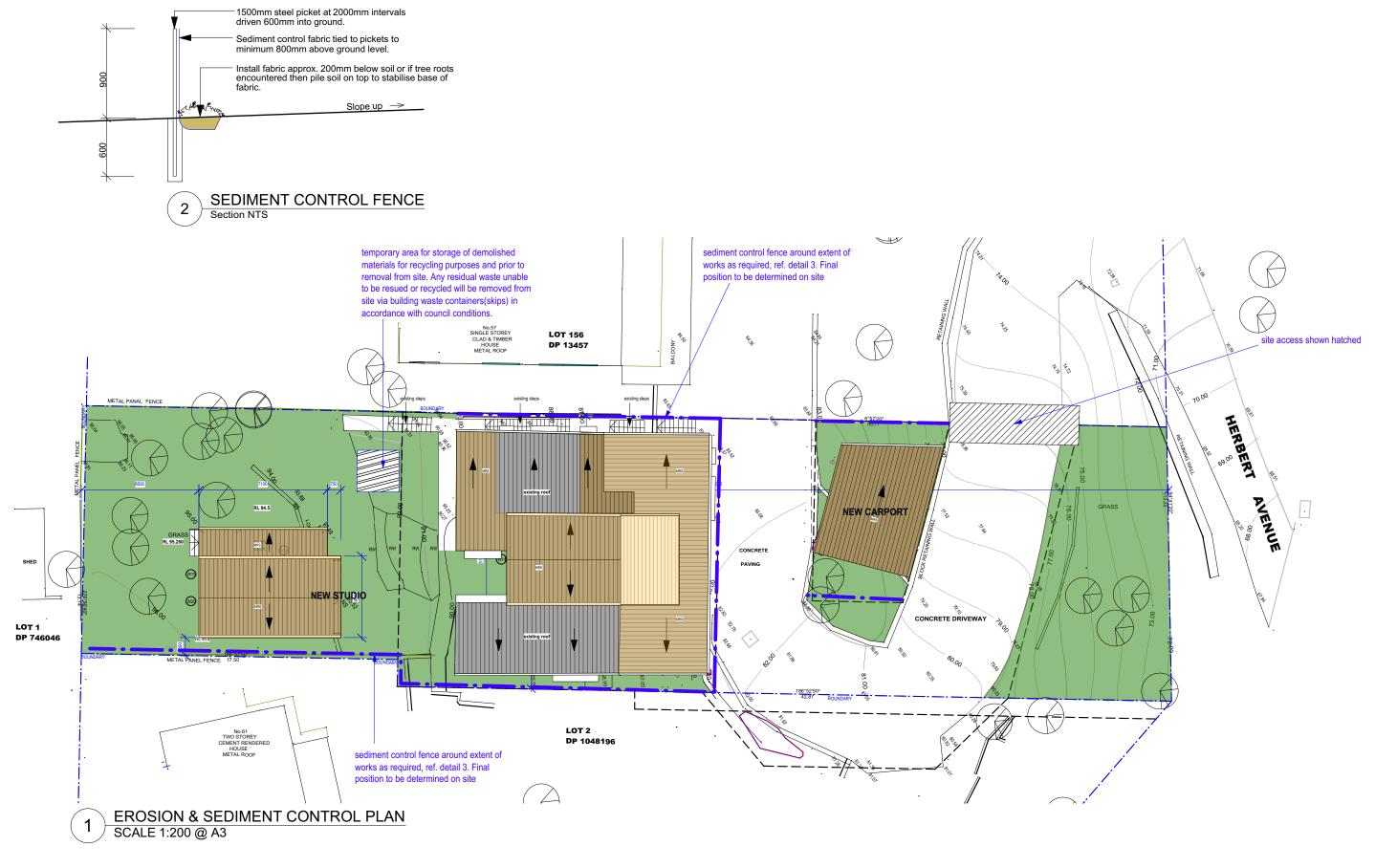
Black aluminium framed windows and doors

ect erbert Ave, New Port NSW 2106	Scale NTS	
ERATIONS & ADDITIONS	Plot date	
. title FERNAL MATERIALS & FINISHES	dwg status COMPLYING DEVELO	PMENT
^{nt} Id Boersma	Job number 2020	dwg no./ rev DA_14



NOTE

iect Ierbert Ave, New Port NSW 2106 TERATIONS & ADDITIONS	Scale 1:200 @ A3 Plot date	\square
g. title ORMWATER CONCEPT PLAN	dwg status COMPLYING DEVELOPM	ENT
ent rad Boersma	Job number 2020	dwg no./ rev DA_15



NOTE	

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Rev	Date	Revision notes
Α	9/8/20	Client review
В	15/9/20	Client review
С	29/12/20	Issue to consultants
D	08/07/21	DA Submission

REVISION SCHEDULE

LEGEND / KEY ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE COLORBOND CLADDING COLORBOND CLADDING HOOD COLUMN CARPET EXTERNAL ALUMINIUM BLIND FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL HOOD GLASS LOUVRE METAL ROOF SHEETING

AD AW

BAL

CC CCH

CL CPT

EB

F FC GD HD LV MRS

ADJUSTABLE PRIVACY SCREEN PAINT FINISH RAINWATER HEAD ROOF TIMBER FASCIA KITCHEN SINK SKYLIGHT NEW SPREADER NEW TIMBER STEPS NEW SANDSTONE STEP TIMBER BATTENS NEW TIMBER CLADDING TIMBER FLOOR

PS PT

RH RF

SNK SK SPR ST

STD TB

TC

TF

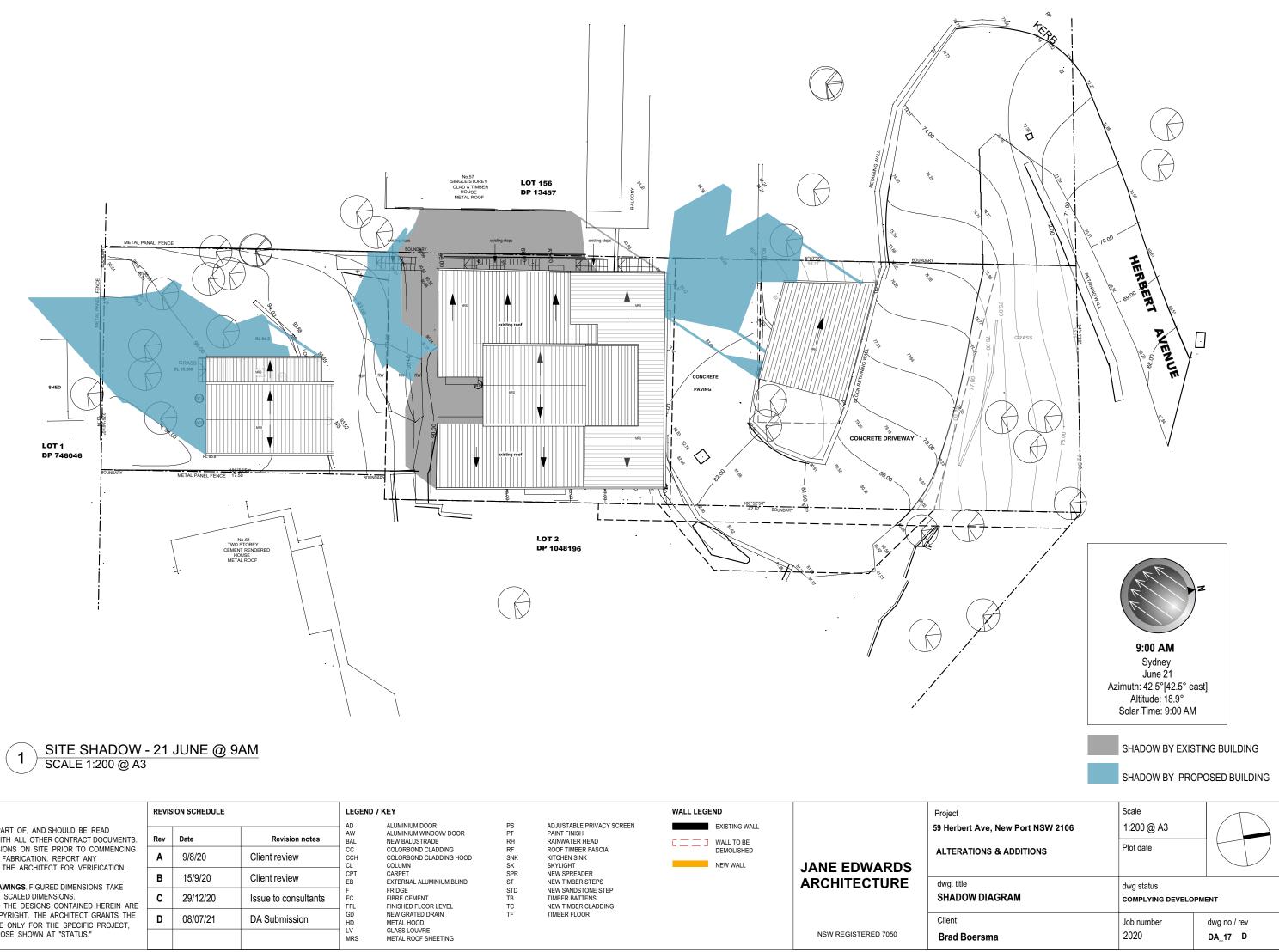
	EXISTING WALL
[]	WALL TO BE DEMOLISHED
	NEW WALL

JANE EDWARDS
ARCHITECTURE

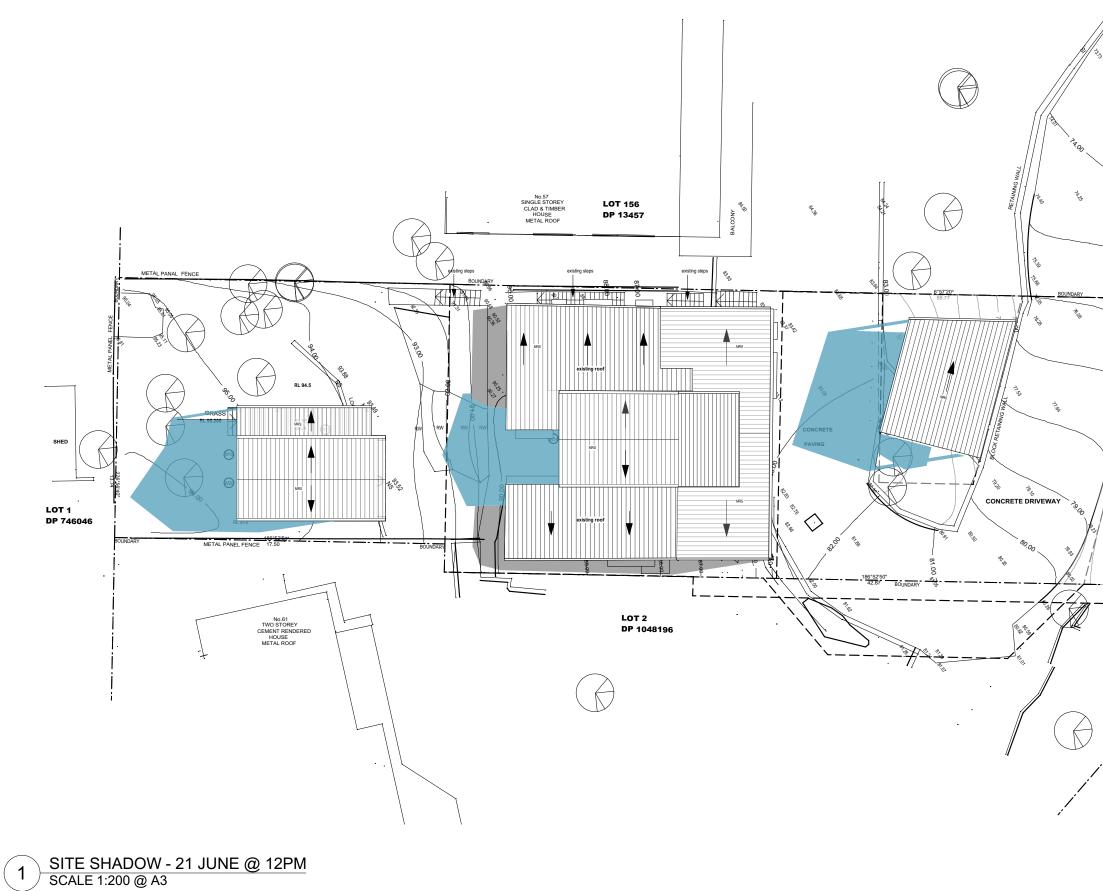
NSW REGISTERED 7050

ALTE dwg. ERC Clier Bra

Project 59 Herbert Ave, New Port NSW 2106 ALTERATIONS & ADDITIONS	Scale 1:200 @ A3 Plot date	
dwg. title EROSION & SEDIMENT CONTROL PLAN	dwg status COMPLYING DEVELOPM	ENT
Client Brad Boersma	Job number 2020	dwg no./ rev DA_16

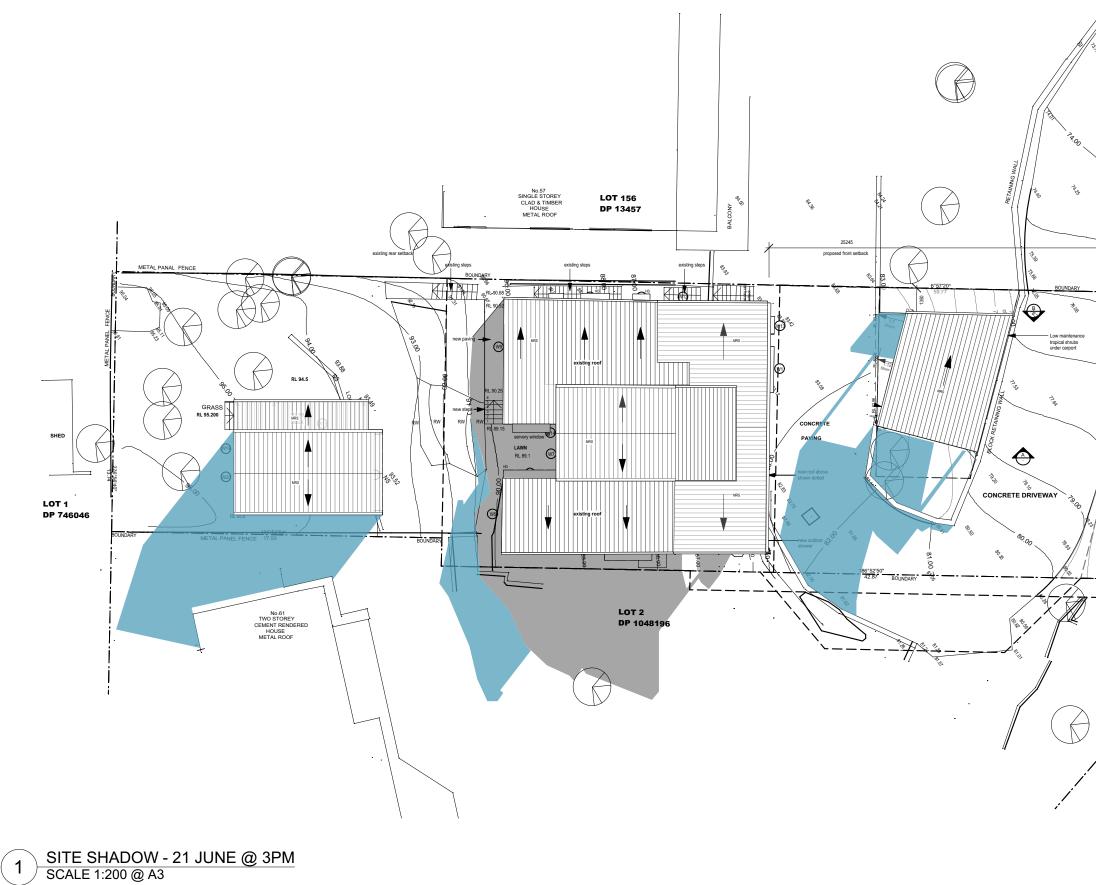


NOTE	REVIS	SION SCHEDULE		LEGEND) / KEY			WALL LEGEND		Project
THIS DRAWING IS PART OF, AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.	Rev	Date	Revision notes	AD AW BAL	ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE	PS PT RH	ADJUSTABLE PRIVACY SCREEN PAINT FINISH RAINWATER HEAD	EXISTING WALL		59 Herbe
VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION, REPORT ANY	Α	9/8/20	Client review	CC CCH	COLORBOND CLADDING COLORBOND CLADDING HOOD COLUMN	RF SNK SK	ROOF TIMBER FASCIA KITCHEN SINK SKYLIGHT	DEMOLISHED		ALTER
DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION. DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE	В	15/9/20	Client review	CPT EB	CARPET EXTERNAL ALUMINIUM BLIND	SPR ST	NEW SPREADER NEW TIMBER STEPS		JANE EDWARDS ARCHITECTURE	dwg. title
PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE	С	29/12/20	Issue to consultants	F FC FFL	FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL	STD TB TC	NEW SANDSTONE STEP TIMBER BATTENS NEW TIMBER CLADDING			SHADO
PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT,	D	08/07/21	DA Submission	GD HD	NEW GRATED DRAIN METAL HOOD	TF	TIMBER FLOOR			Client
AND FOR THE PURPOSE SHOWN AT "STATUS."				MRS	GLASS LOUVRE METAL ROOF SHEETING				NSW REGISTERED 7050	Brad E



NOTE	REVIS	SION SCHEDULE		LEGEND) / KEY			WALL LEGEND		Project	
THIS DRAWING IS PART OF, AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.	Rev	Date	Revision notes	AD AW BAL	ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE	PS PT RH	ADJUSTABLE PRIVACY SCREEN PAINT FINISH RAINWATER HEAD	EXISTING WALL		59 Herb	
VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY	Α	9/8/20	Client review	CC CCH	COLORBOND CLADDING COLORBOND CLADDING HOOD COLUMN	RF SNK SK	ROOF TIMBER FASCIA KITCHEN SINK SKYLIGHT	DEMOLISHED		ALTER/	
DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.	В	15/9/20	Client review	CPT EB	CARPET EXTERNAL ALUMINIUM BLIND	SPR ST	NEW SPREADER NEW TIMBER STEPS		JANE EDWARDS	dwg. titl	
PRECEDENCE OVER SCALED DIMENSIONS. THIS DRAWING AND THE DESIGNS CONTAINED HEREIN ARE	С	29/12/20	Issue to consultants	F FC FFL	FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL	STD TB TC	NEW SANDSTONE STEP TIMBER BATTENS NEW TIMBER CLADDING			SHAD	
PROTECTED BY COPYRIGHT. THE ARCHITECT GRANTS THE COPYRIGHT LICENCE ONLY FOR THE SPECIFIC PROJECT.	D	08/07/21	DA Submission	GD HD		NEW GRATED DRAIN METAL HOOD	TF	TIMBER FLOOR			Client
AND FOR THE PURPOSE SHOWN AT "STATUS."				LV MRS	GLASS LOUVRE METAL ROOF SHEETING				NSW REGISTERED 7050	Brad E	

	12:00 PM Sydney June 21 Azimuth: 359.1°[0.9° west] Altitude: 32.7° Solar Time: 12:00 PM	
	SHADOW BY EXISTING BUILDING SHADOW BY PROPOSED BUILDING	
ect erbert Ave, New Port NSW 2106 TERATIONS & ADDITIONS g. title	Scale 1:200 @ A3 Plot date	
ADOW DIAGRAM	dwg status COMPLYING DEVELOPMENT Job number dwg no./ rev 2020 DA_18	-



NOTE	REVISION	SCHEDULE		LEGEN) / KEY			WALL LEGE	ND		Project
THIS DRAWING IS PART OF, AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.	Rev Da	ate	Revision notes	AD AW BAL	ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE	PS PT RH	ADJUSTABLE PRIVACY SCREEN PAINT FINISH RAINWATER HEAD		EXISTING WALL WALL TO BE		59 Herbe
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	B 1	15/9/20	Client review		EXTERNAL ALUMINIUM BLIND	SPR ST	NEW SPREADER NEW TIMBER STEPS			dwg. titl	
	C 2	29/12/20	Issue to consultants		FC FIBRE CEMENT TB FFL FINSHED FLOOR LEVEL TC GD NEW GRATED DRAIN TF HD METAL HOOD LV GLASS LOUVRE TE	STD TB TC	TB TIMBER BATTENS TC NEW TIMBER CLADDING			SHAD	
	DC	08/07/21	DA Submission			TF				Client	
										NSW REGISTERED 7050	Brad E

	3:00 PM Sydney June 21 Azimuth: 316.2°[43.8° west] Altitude: 18° Solar Time: 3:00 PM
	SHADOW BY EXISTING BUILDING
	SHADOW BY PROPOSED BUILDING
ect erbert Ave, New Port NSW 2106	Scale 1:200 @ A3
ERATIONS & ADDITIONS	Plot date
9. title ADOW DIAGRAM	dwg status COMPLYING DEVELOPMENT
nt ad Boersma	Job number dwg no./ rev 2020 DA_19 D



VIEW TO NEW CARPORT AND HOUSE FROM EXISTING DRIVEWAY



FRONT ELEVATION OF HOUSE



VIEW TO NEW STUDIO

NOTE

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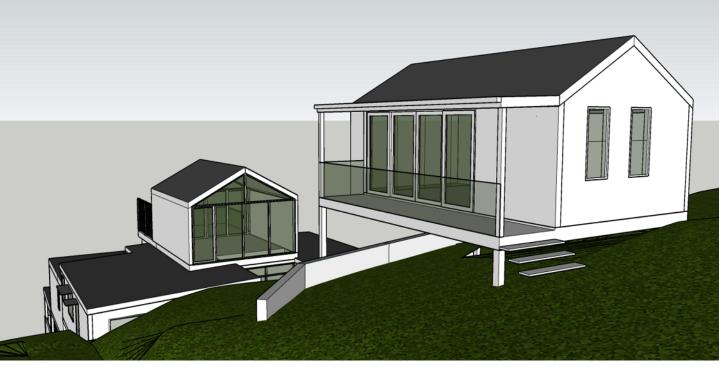
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В	15/9/20	Client review		
С	29/12/20	Issue to consultants		
D	08/07/21	DA Submission		

LEGEND / KEY AD ALUM AW ALUM BAL NEW F CC COLO CCH COLO CL COLU CPT CARPY EB EXTER

F FC FFL GD HD LV MRS ALUMINIUM DOOR ALUMINIUM WINDOW/ DOOR NEW BALUSTRADE COLORBOND CLADDING COLORBOND CLADDING HOOD COLUMN CARPET EXTERNAL ALUMINIUM BLIND FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL HOOD GLASS LOUVRE METAL ROOF SHEETING

PS	ADJUSTABLE PRIVACY
PT	PAINT FINISH
RH	RAINWATER HEAD
RF	ROOF TIMBER FASCIA
SNK	KITCHEN SINK
SK	SKYLIGHT
SPR	NEW SPREADER
ST	NEW TIMBER STEPS
STD	NEW SANDSTONE STE
ТВ	TIMBER BATTENS
TC	NEW TIMBER CLADDIN
TF	TIMBER FLOOR



VIEW TO STUDIO AND BACK OF HOUSE

	WALL LEGEND		Project
ACY SCREEN	EXISTING WALL		59 Herber
CIA	WALL TO BE		ALTERA
	NEW WALL	JANE EDWARDS	
S STEP		ARCHITECTURE	dwg. title 3D IMA
DING			
			Client
		NSW REGISTERED 7050	Brad Bo

ct erbert Ave, New Port NSW 2106 ERATIONS & ADDITIONS	Scale NTS Plot date		
title	dwg status		
IMAGES	COMPLYING DEVELOPMENT		
nt	Job number	dwg no./ rev	
d Boersma	2020	DA_20 D	