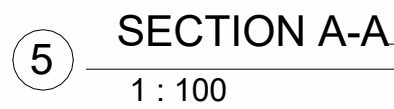


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IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR
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THEY ARE NOT ISSUED FOR CONSTRUCTION OR
CONSTRUCTION CERTIFICATE OR FOR THE
PURPOSES OF PRICING BY ANY CONTRACTOR



GENERAL NOTES

- . All dimensions are to be confirmed on site by the builder/subcontractor, any incongruencies must be reported to the Designer before commencement of any work.
- . No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.
- . No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.
- . In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.
- . All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.
- . Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.
- . All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.
- . All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

[illegible]

project
PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 27
PHILIP ROAD, MONA VALE 2103 LOT 2 DP 200907.

client
HEATHER & PETER CAVE



true north

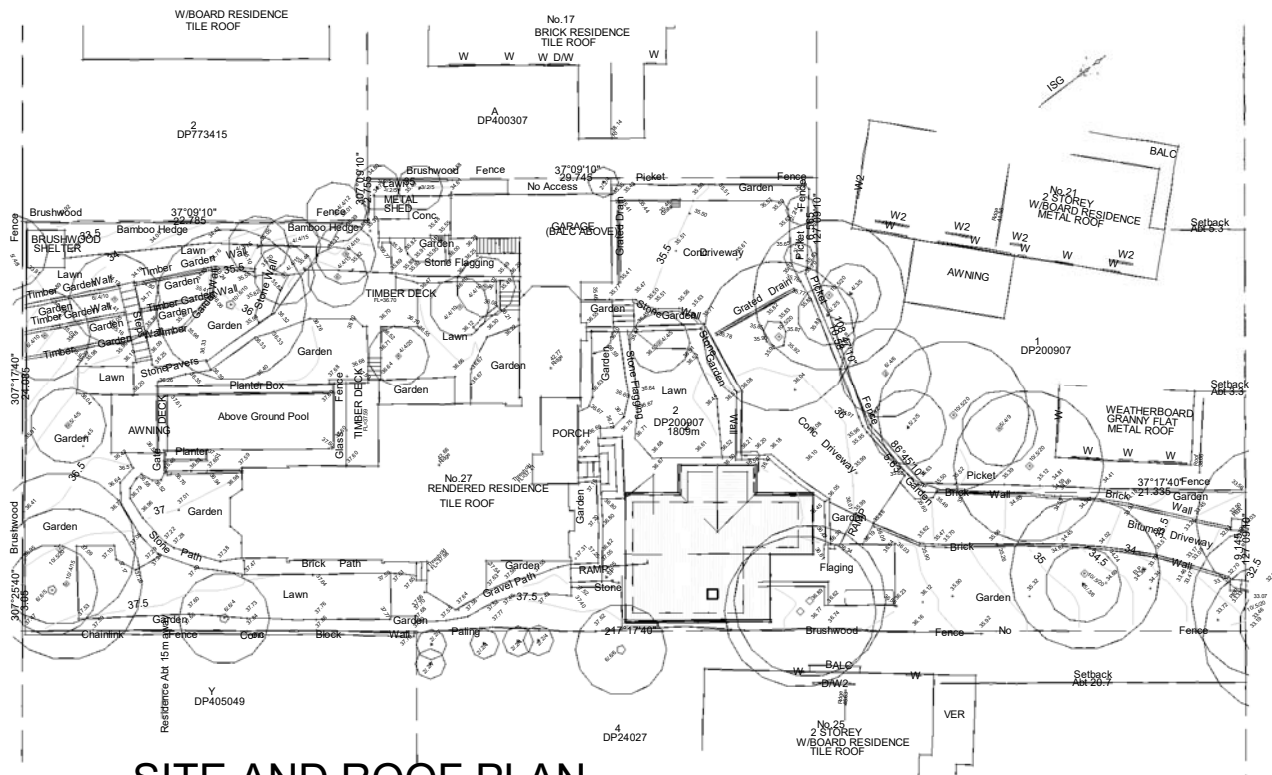
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ELEVATIONS AND SECTIONS

project no	date	sheet no.	scale @ A3	issue	checked
22-94	02/12/22	3	1 : 100	D	.

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Parramatta NSW 2150
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admin@rkdesigns.com.au
02 9633 4797
abn. 68 659 200 389
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project

PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 27
PHILIP ROAD, MONA VALE 2103 LOT 2 DP 200907.

client

HEATHER & PETER CAVE



drawing

NOTIFICATION PLAN

project no
22-94

date	12/12/22
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sheet no.
.1 of 1

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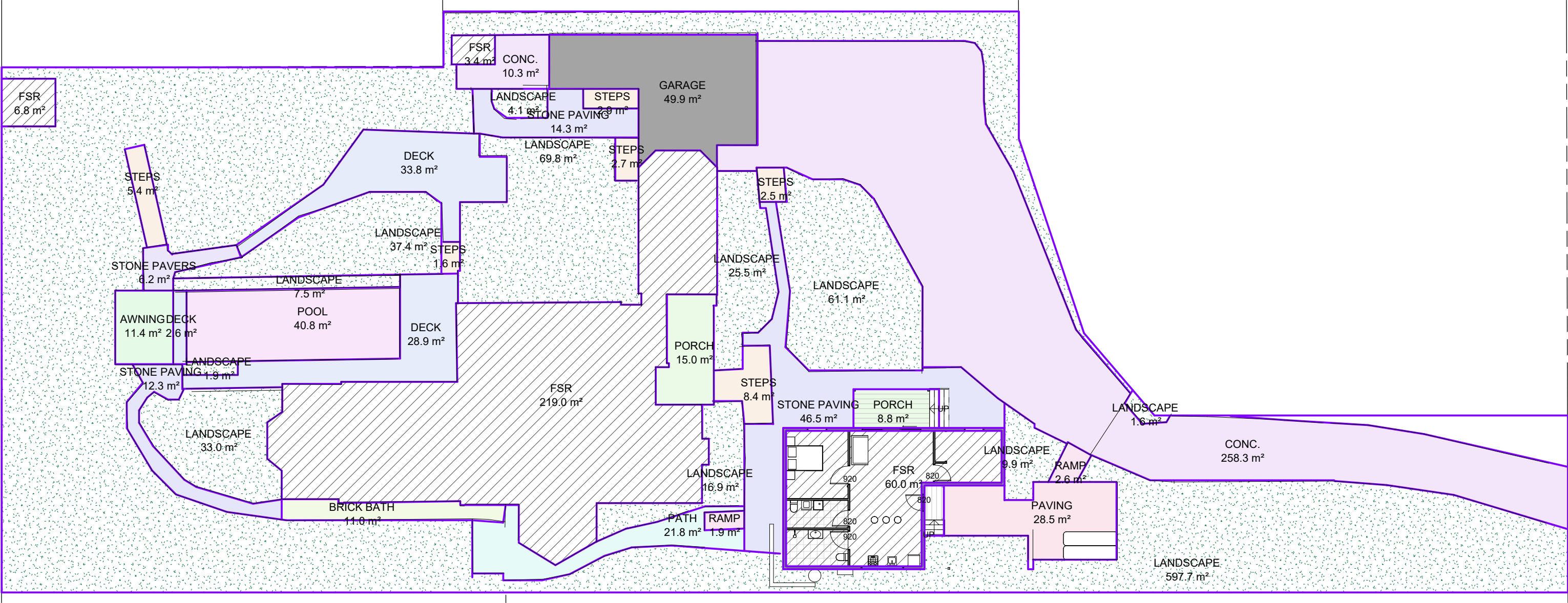
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checked



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BUILDING DESIGNER

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1

GROUND FLOOR

1 : 200

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AREA CALCULATIONS

SITE AREA = 1809 sqm

REQUIRED LANDSCAPED AREA = 60% OF THE SITE AREA = 1085.4 sqm
PROPOSED LANDSCAPED AREA = 866.4 sqm

VARIABLE IMPERVIOUS LANDSCAPE TREATMENTS FOR OUTDOOR RECREATIONAL PURPOSE = 6% OF THE SITE AREA = 65.34 sqm
VARIED LANDSCAPED AREA = 931.74sqm = 52%

THEREFORE, THE PROPOSAL DOES NOT COMPLY WITH THE PDCP.
REFER TO THE VARIATION OF THE LANDSCAPED AREA.

GENERAL NOTES

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drawn	date	issue	description
XX	18/10/22	A	ISSUE FOR DA
LS	31/10/22	B	ISSUE FOR DA
LS	10/11/22	C	ISSUE FOR DA
LS	02/12/22	D	ISSUE FOR DA

project
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client
HEATHER & PETER CAVE



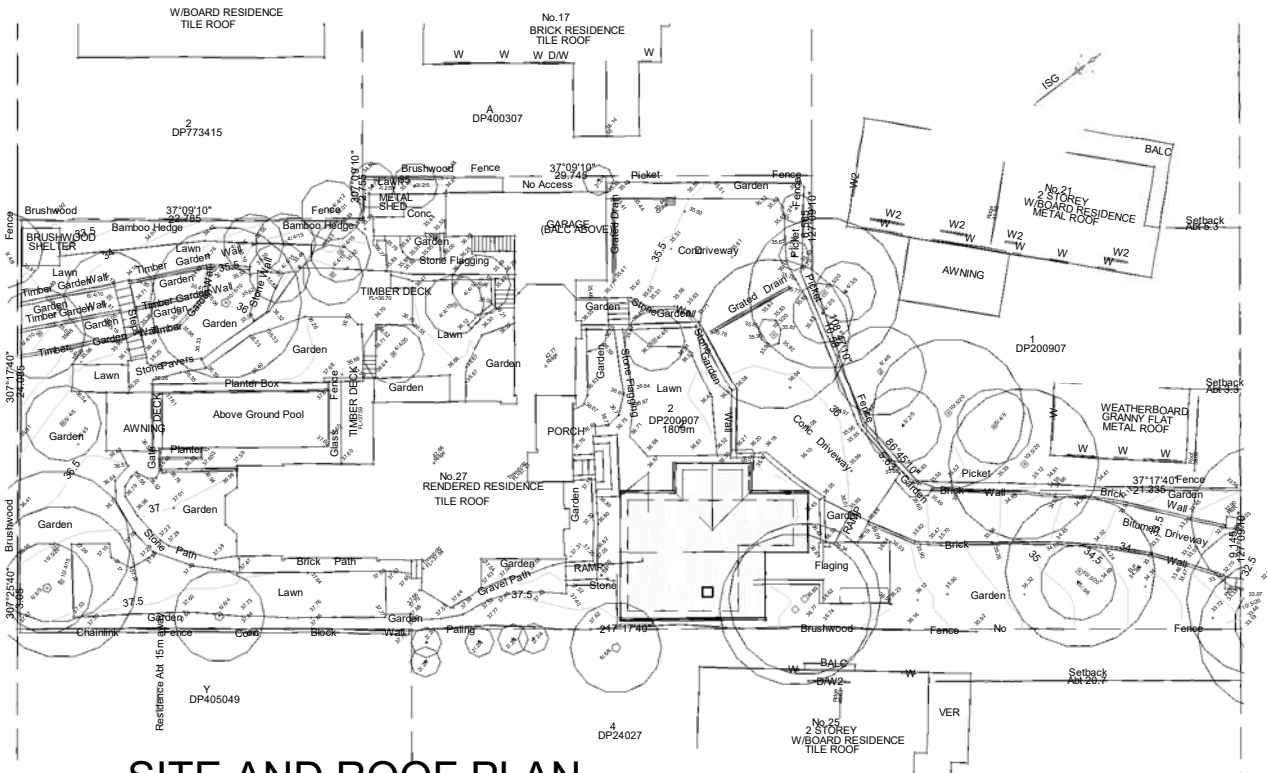
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AREA CALCULATIONS

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22-94	02/12/22	5	1 : 200	D	.



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1

SITE AND ROOF PLAN.

1 : 500



2

NORTH ELEVATION.

1 : 250



3

EAST ELEVATION.

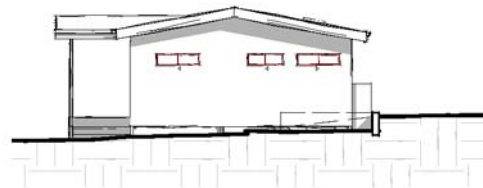
1 : 250



4

SOUTH ELEVATION.

1 : 250



5

WEST ELEVATION.

1 : 250

project

PROPOSED CONSTRUCTION OF A GRANNY FLAT AT 27 PHILIP ROAD, MONA VALE 2103 LOT 2 DP 200907.

client

HEATHER & PETER CAVE



true north



drawing

NOTIFICATION PLAN

project no
22-94

date
12/12/22

sheet no.
.1 of 1

scale @ A4
As indicated

issue
D

checked
.



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16/12/2022

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
CONSTRUCTION OF A GRANNY FLAT AT 27 PHILIP ROAD, MONA VALE**

EXTERNAL WALLS

Finish	Paint Finish
Manufacturer	Taubmans
Colour	Beige



ROOF/ FASCIA/ GUTTER

Type	Gable style
Manufacturer	Colorbond
Colour	Grey
Finish	Metal Finish



EAVES

Manufacturer	Dulux
Colour	White
Finish	Paint Finish

