

NOTES

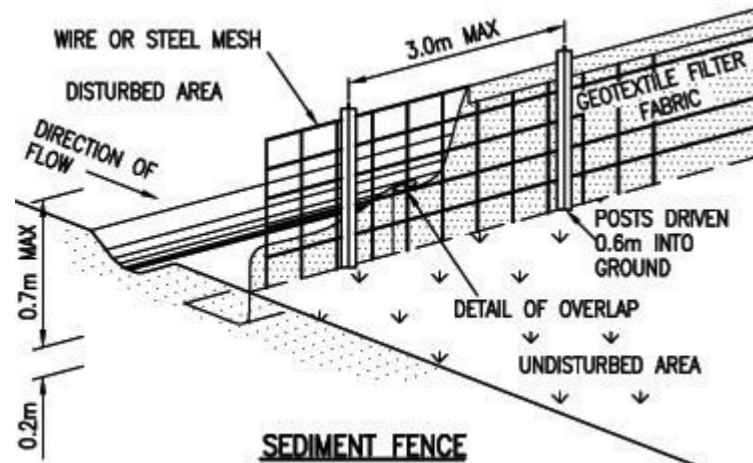
- EROSION CONTROL TO CONSIST OF STAKED GEOTECH FABRIC FENCES AND SOCKS.
- CONSTRUCTION FENCING AND ACCESS GATES TO FULLY SECURE THE CONSTRUCTION SITE BETWEEN THE EXISTING SIDE BOUNDARY FENCES
- "WARNING CONSTRUCTION SITE- DO NOT ENTER" SIGNAGE TO BE FIXED TO SECURITY FENCING
- ALL DOWNPIPES AND STORMWATER TO BE DIRECTED INTO THE EXISTING SUMMIT AVE STORMWATER NETWORK VIA GRAVITY
- ALL CONSTRUCTION TO MEET THE COMMITMENTS OUTLINED IN BASIX CERTIFICATE No. A307857.

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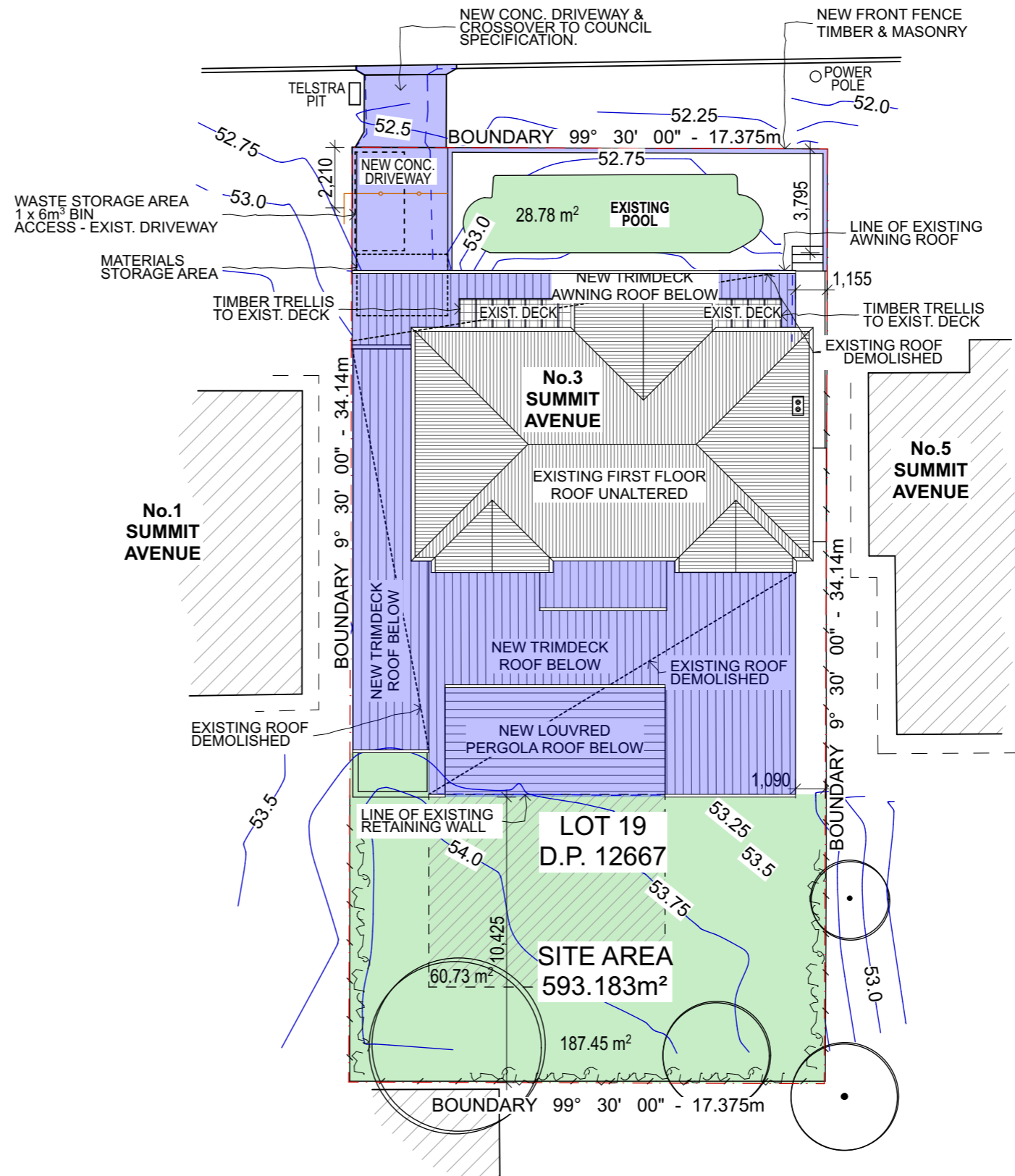
LANDSCAPE AREA CALCULATIONS

Location	Existing Area m ²	Proposed Area m ²
South - Lawn & Garden	187.5	187.5
Pool Surface	28.8	28.8
TOTAL LANDSCAPE AREA	216.3	216.3
Site Area	593.183	593.183
Landscape % Site	36.5%	36.5%



2 Sediment Control Fence

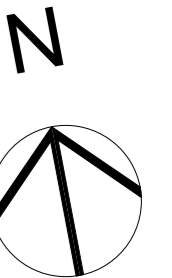
SUMMIT AVENUE



1

Site Plan

1:200



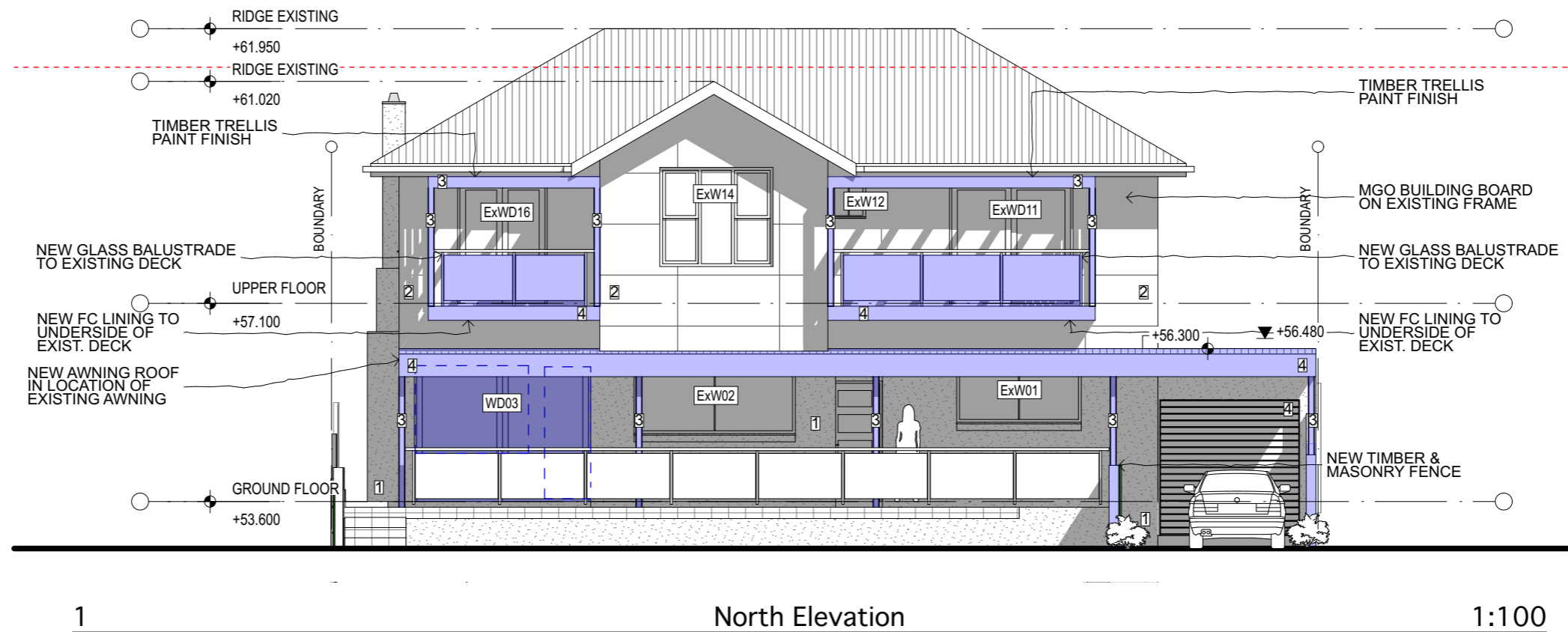
NOTES: This drawing shall be read in conjunction with all other drawings and specifications for the project. Any discrepancies shall be referred to the architect for clarification before proceeding with work. All dimensions shall be verified on site prior to commencement of construction or fabrication on and off site. Figured dimensions to be used rather than scaling. All building work must be carried out in accordance with the Building Code of Australia and all relevant Australian Standards. CAD Ref: 3 Summit Ave DA04.pln Grant Seghers Design

LEGEND

	PROPOSED NEW WORK
W01	NEW WINDOW WINDOW NUMBERS SHOWN CORRESPOND TO BASIX WINDOWS No's
Ex.W01	NEW WINDOW IN EXISTING OPENING
Ex.WD01	NEW GLASS DOOR IN EXISTING OPENING
Ex.W	EXISTING WINDOW UNALTERED
Ex.D	EXISTING DOOR UNALTERED

COLOUR SCHEME LEGEND

1	DULUX - DOMINO - GR10
2	DULUX - NATURAL WHITE - 15W
3	COLORBOND - SHALE GREY - C4
4	TIMBER - MERBAU - CLEAR FINISH
WINDOW FRAMES - BLACK	



NOTES:

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 Grant Seghers Design

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 architect

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PROJECT
 SAKELLARIS RESIDENCE
 3 Summit Avenue
 DEE WHY NSW 2097
 Lot 19 DP 12667
 grantsegthersdesign
 42 The Scenic Road
 Killcare Heights NSW 2257
 0424 428 602

ELEVATIONS

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	7/03/2018
PROJECT NO.	DRAWING NO.	REVISION
1619	DA-05	A

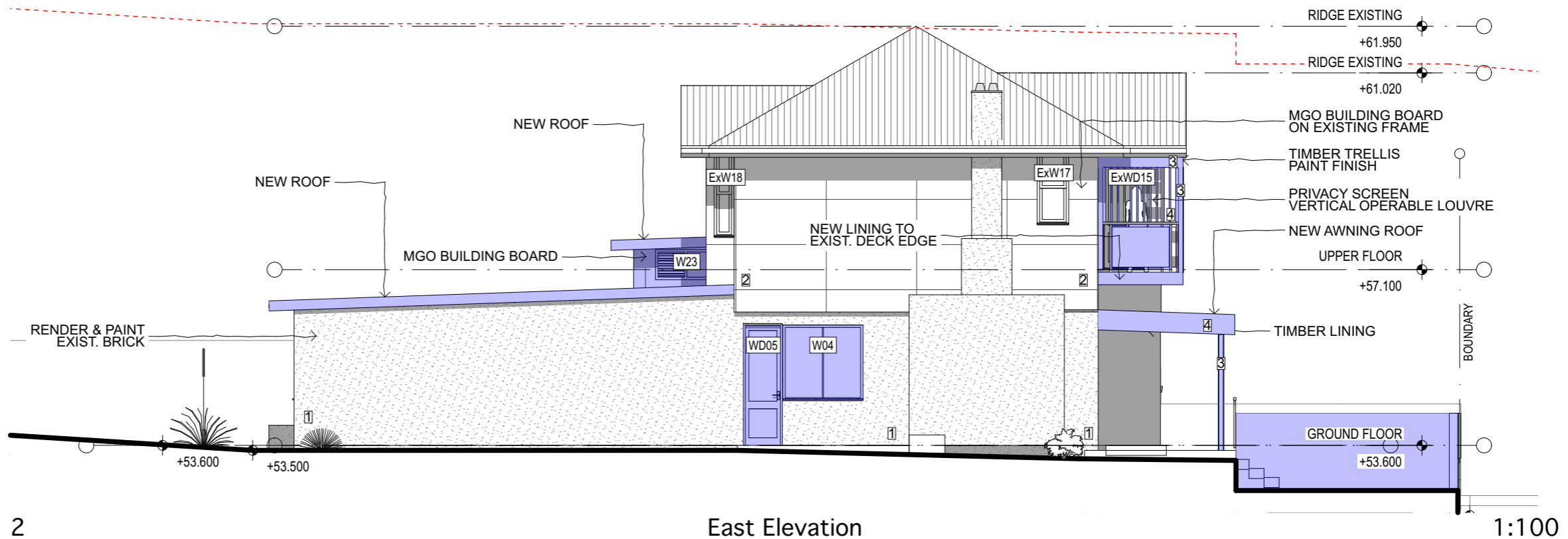
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COLOUR SCHEME LEGEND

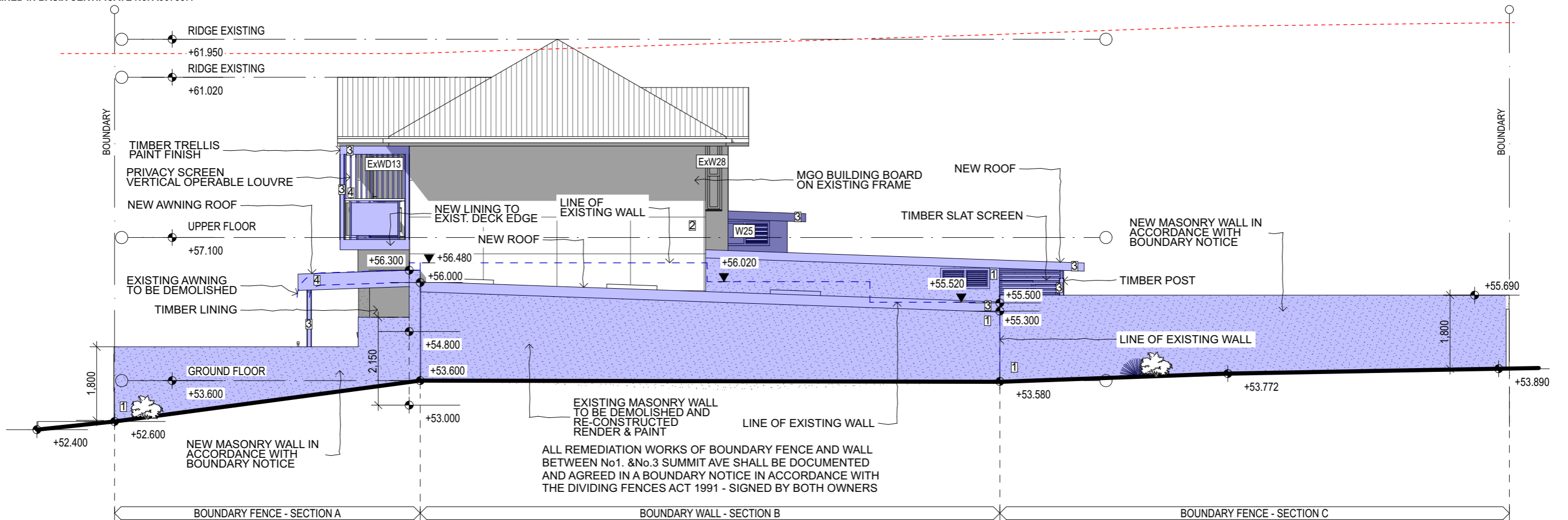
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East Elevation

1:100



West Elevation

1:100

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 Grant Seghers Design

REV	DATE	AMENDMENT
A	MARCH 2018	ISSUE FOR DEVELOPMENT APPLICATION







grantseghers
 architect





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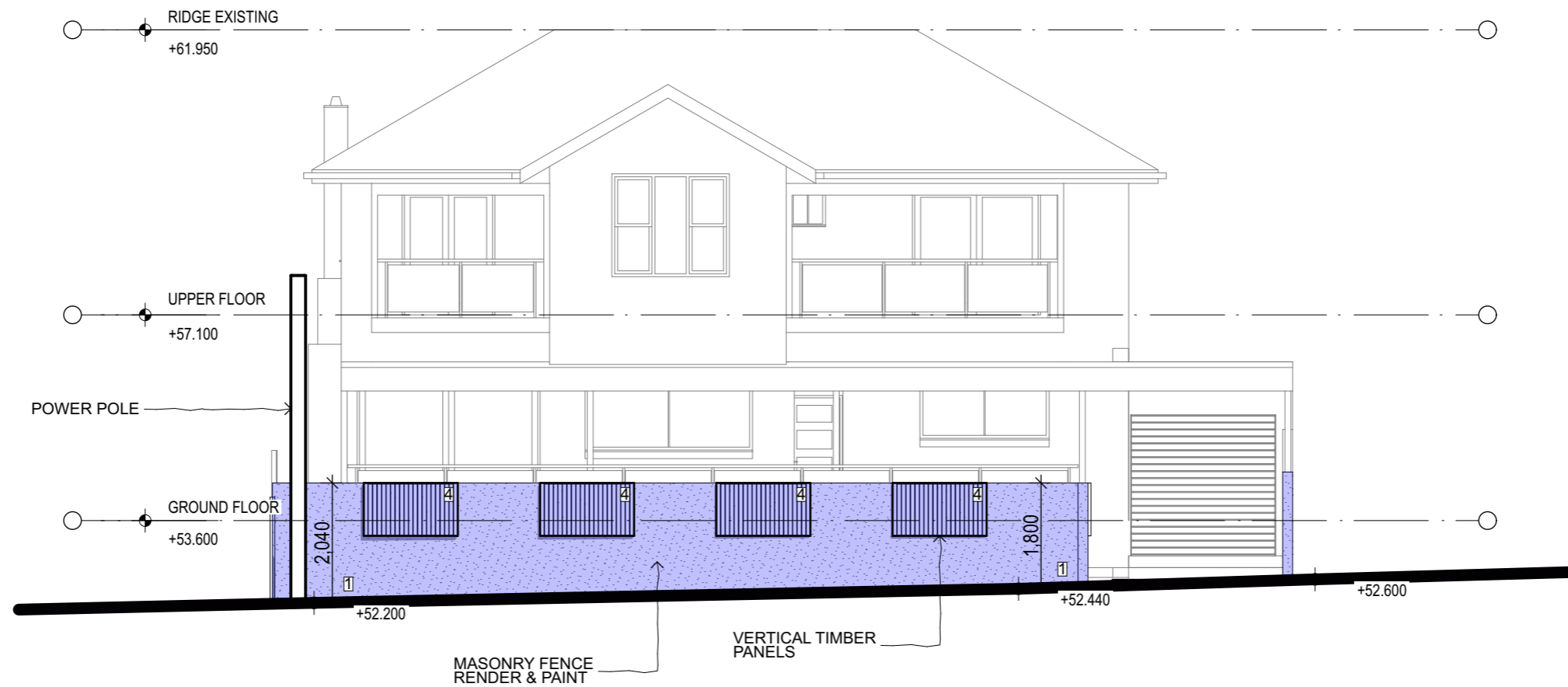
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DRAWING TITLE
 ELEVATIONS

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	7/03/2018
PROJECT NO.	DRAWING NO.	REVISION
1619	DA-06	A

LEGEND	
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1

Summit Street Elevation

1:100

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REV DATE AMENDMENT
 A MARCH 2018 ISSUE FOR DEVELOPMENT APPLICATION

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DRAWING TITLE
STREET ELEVATION

SCALE
 1:100@A3

PROJECT NO.
 1619

DRAWN BY
 GS

PLOT DATE
 7/03/2018

DRAWING NO.
 DA-07

REVISION
 A