

17/12/03

# PITTWATER COUNCIL CONSTRUCTION CERTIFICATE APPLICATION

2nd Floor, Unit 11, No 5 Vuko Place, Warriewood  
PO Box 882, MONA VALE NSW 2103  
DX 9018, MONA VALE  
Facsimile: (02) 9970 7150  
Telephone: (02) 9970 7222



Office Use Only:

CIC NO: CC0629/03

FILE AND PART NO: \_\_\_\_\_

PROPERTY NO: \_\_\_\_\_

OFFICER: \_\_\_\_\_

TARGET DATE: \_\_\_\_\_

APPROVAL NO: \_\_\_\_\_

POST OUT  or PICK UP

### LODGEMENT

- All information required by the schedule and checklist are to accompany this application.
- Incomplete applications will not be accepted.
- Fees are to be paid at the time of lodgement.
- To minimise delays it is suggested that you lodge this application between the hours of 10.00am and 4.30pm weekdays.

THIS APPLICATION RELATES TO: (please tick)

BUILDING WORK

SUBDIVISION WORK

AN EXISTING DEVELOPMENT CONSENT FOR THIS SITE

Consent No 987/02 Date 17/12/03

A CONCURRENT DEVELOPMENT APPLICATION

Application No \_\_\_\_\_ Date \_\_\_\_\_

SITE DETAILS: (please print)

House No 4 Street/Road Bilgola Terrace Suburb BILGOLA Terrace

Postcode 2107 Lot A Section \_\_\_\_\_ Deposited Plan 400597

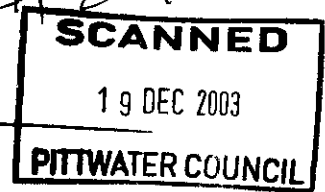
Description of Proposal DOUBLE LOCK UP GARAGE AND DRIVEWAY

VALUE OF DEVELOPMENT: \$ 95,500.00

Nominated Building Classification: Class(es).....

CC 458.42  
B.S. 198.00  
L SC 191.00

\$847.42



Name/Company MATTHEW LILLEY APPLICANT: (please print)

Address 4 BILGOLA TERRACE, BILGOLA

Phone (02) 9918 9068 Daytime Contact No (02) 9918 9068

I declare that all of the particulars and information supplied in connection with this application are correct. Further, I acknowledge that I am aware of my obligations under the Disability Discrimination Act.

Signature MGL Date 10/12/03

**OWNER (please print)**

This section must be signed by ALL owners

We consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections.

Owner/s JOHN HENRY & TERESA IRENE LILLEY

Address 4 BILGOLA TERRACE

BILGOLA NSW

Postcode 2107

Signature(s) J.H. Lilley Teresa Lilley

- If the property has recently been purchased, written confirmation from the Purchaser's Solicitor must be provided.
- If contracts have been exchanged for purchase of the land, the current owner is to sign the form.
- If signed on behalf of a Company, the seal must be stamped over the signature.
- If the land is below mean high water mark, the written consent of the Crown is required.
- If the written consent is not signed by all owners of the property, this application will not be accepted.

**BUILDER'S NAME AND ADDRESS**

(must be completed when the proposal involves residential building work): (please print)

Are you an Owner-Builder? YES, Permit No.....

**Licensed Builder Details**

Name/Company Keith Root Building Services P/L

Address P.O. Box 577, Avalon 2107

Phone ( ) 9918 3096 Daytime Contact No ( ) 0416 021106

Licence No # 40028 Insurance Policy No \_\_\_\_\_

- Note: (1) Where the works are to be carried out by a licensed builder, documentary evidence must be submitted confirming that the builder's insurance is current and appropriate for this proposal.
- (2) Prior to the release of the Construction Certificate, the owner/builder permit must be sighted by a Council Officer.

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CONSTRUCTION MATERIAL/DETAILS: (please print) (must by law be accurate)

Construction materials

External walls Blockwork Roof Concrete

Floor Concrete Wall frames N/A

Details

Current use of the land/building(s) Residential

Site area \_\_\_\_\_

Floor area - existing N/A

- proposed 93m<sup>2</sup> garage & driveway only

Total N/A

Number of Storeys N/A

Number of dwellings to be demolished Nil

Number of dwellings proposed Nil

17/12/03

# COUNCIL RATE APPLICATION

Office Use Only:

C/C NO: CC0629/03

FILE AND PART NO: \_\_\_\_\_

PROPERTY NO: \_\_\_\_\_

OFFICER: \_\_\_\_\_

TARGET DATE: \_\_\_\_\_

APPROVAL NO: \_\_\_\_\_

POST OUT  or PICK UP

Pittwater Council  
ARN: 4134083737

ewood



## TAX INVOICE OFFICIAL RECEIPT

17/12/2003 Receipt No 100595

To Keith road building  
services ply ltd

4 BILGOLA TCE  
BILGOLA

Qty/ Application Reference Amount

1 TSPR-Corp \$116.71  
GL Rec 1 X CD0629/03

1 GST \$41.67  
GL Rec

1 HKER-RR 4 \$100.00  
GL Rec 1 X CD0629/03

1 GST \$100.00  
GL Rec

1 BILGOLA-A/11 \$199.72  
GL Rec 1 X CD0629/03

To GL Receipts

Total Amount: \$557.12

includes GST of: \$51.50

### Amounts Received

Cheque \$47.42

Total \$647.42

Rounding \$0.00

Change \$0.00

Nett \$647.42

Printed 17/12/2003 9:28:27 PM

Cashier: [Signature]

### LODGEMENT

The schedule and checklist are to accompany this application.  
It will not be accepted.

The fee of lodgement.

It is requested that you lodge this application between the hours of 10.00am

### APPLICATION RELATES TO: (please tick)

#### SUBDIVISION WORK

#### DEVELOPMENT CONSENT FOR THIS SITE

987/02 Date 17/12/03

#### DEVELOPMENT APPLICATION

\_\_\_\_\_ Date \_\_\_\_\_

### SITE DETAILS: (please print)

Address Bilgola Terrace Suburb BILGOLA Terrace

Section 1 Deposited Plan 400597

3 BLE LOCK UP GARAGE AND  
DRIVEWAY

\$.....95,500.....

Class(es).....

CC 458.42

B.S. 198.00

LSC 191.00

\$847.42

# CONSTRUCTION CERTIFICATE PROCEDURE

ADDRESS:

17/12/03

4 Bilga

CC NO:

CC0629/03

DA NUMBER:

NO987/02

1. THE WORKING PLANS/STRUCTUREL/GEOTECHNICAL  
ENGINEERING PLANS/EROSION CONTROL PLANS ETC  
COMPLY WITH THE CONDIIONS OF DEVELOPMENT  
CONSENT

DEVELOPMENT OFFICER:

Compliance Dept.

REASONS WHY NOT?

2. THE LANDSCAPE PLAN COMPLY WITH THE  
CONDITIONS OF DEVELOPMENT CONSENT

LANDSCAPEOFFICER::

REASONS WHY NOT?

3. THE WORKING DRAWINGS COMPLY WITH THE BCA

BUILDING SURVEYOR:

REASONS WHY NOT?

**Curnick & Associates Pty Ltd**  
Consulting Engineers ACN 070 288 756

52 Fitzroy Street  
Newtown NSW 2042  
Phone (02) 9519 7443  
Facsimile: (02) 9557 7175

15 December, 2003

Ref 244

The Manager  
Pittwater Council  
Po Box 882  
Mona Vale NSW 1660

Re: DA no. 0987/02  
4 Bilgola Terrace, Bilgola  
New Garage  
Certification (sections B25 & B60)

This is to certify that all structural details shown on drawings S00 to S04, and S06 have been designed to current Australian Standards and the recommendations of the Stability Report by Jack Hodgson Consultants Pty Ltd.

The adjoining existing residence is unaffected by the new building in its completed state.

The access to and within the site complies with the requirements of the Council's DCP No. E3 "Driveways and Internal Roadways" and AS 2890.1-1993: Parking Facilities - Off-street Car Parking.



Graeme Curnick  
BE MAppSc MIEAust CPEng

## GENERAL NOTES

### GENERAL

1. FOR SETTING OUT REFER TO DRAWINGS S01 - S06
2. THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT AUSTRALIAN STANDARDS AND CODES OF PRACTICE.
4. FOUNDATION MATERIAL TO BE APPROVED BY THE ENGINEER BEFORE PLACING CONCRETE. REQUIRED BEARING PRESSURE TO BE 100 kPa.

### CONCRETE

1. ALL CONCRETE TO BE GRADE N40, SLUMP 80mm, MAX AGGREGATE 20mm
2. COVER TO BE :  
SLABS:- 25mm  
FOOTINGS:- 50mm

### STEELWORK

1. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH AS4100
2. ALL STEELWORK TO HAVE A MINIMUM YIELD STRENGTH OF 300 MPa.
3. ALL STEELWORK TO BE HOT DIPPED GALVANISED.

### REINFORCEMENT

1. 'N' DENOTES DEFORMED BARS (500 MPa)
2. 'Y' DENOTES DEFORMED BARS (400 MPa)
3. 'R' DENOTES ROUND BARS (250 MPa) TO AS1302
4. 'SL' DENOTES FABRIC MESH TO AS4671
5. 'TM' DENOTES TRENCH MESH (450 MPa) TO AS1304
6. MESH LAP TO BE 2 OVERLAPPING WIRES PLUS 25mm

### TIMBER

1. ALL TIMBER TO BE GRADE F7 UNLESS NOTED OTHERWISE.
2. ALL TIMBER FRAMING AND CONNECTIONS TO BE IN ACCORDANCE WITH AS1684.

### BRICKWORK

1. MORTAR BELOW GROUND TO BE 1:5 CEMENT : SAND.
2. MORTAR ABOVE GROUND TO BE 1:1:6 CEMENT : LIME : SAND.
3. NO HORIZONTAL CHASES PERMITTED WITHOUT ENGINEERS APPROVAL

### BLOCKWORK

1. BLOCKS TO BE GRADE 12 TO AS2733.
2. CORES TO BE FILLED WITH GROUT HAVING A NOMINAL COMPOSITION  
1:3:2 CEMENT : SAND : 10mm AGGREGATE

PROJECT  
**PROPOSED GARAGE FOR  
JOHN & TERESA LILLEY  
4 BILGOLA TERRACE, BILGOLA**

Rev. 00  
Date AUG '03

C.C. SUBMISSION  
Issue

CONSULTING ENGINEERS

**CURNICK & ASSOCIATES Pty Ltd**  
**GRAEME CURNICK** BE MAppSc MIEAust CPENG  
52 Fitzroy Street, Newtown, Sydney.  
Phone: (02) 9519 7443. Fax: (02) 9557 7175.

CERTIFIED

*G. Curnick*

DATE 6.8.03

DRAWING TITLE

GENERAL NOTES

SCALE

N/A

DATE

JUL 2003

DRAWN

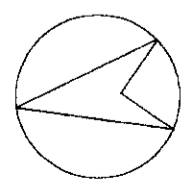
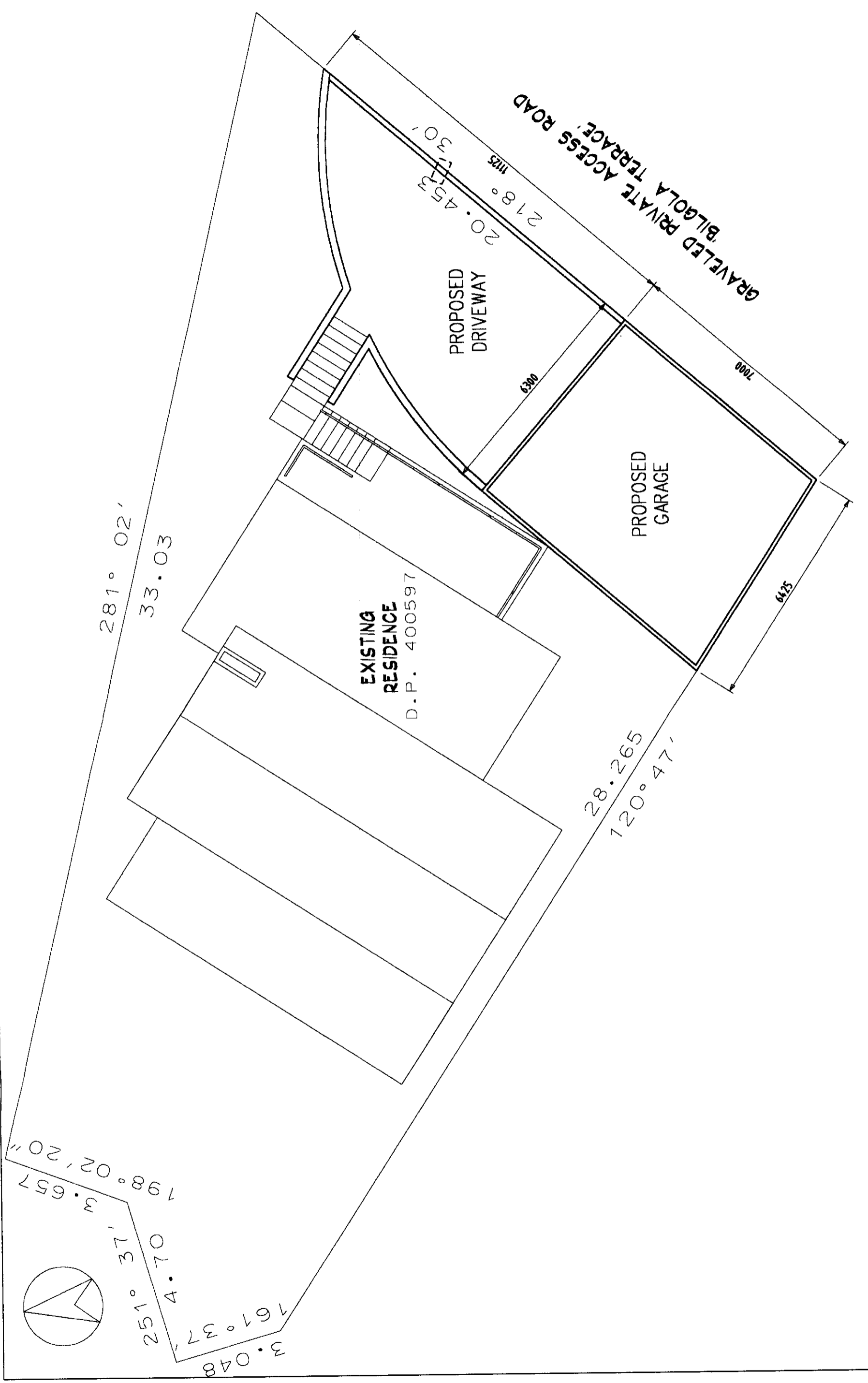
Matt


REV

DRAWING No

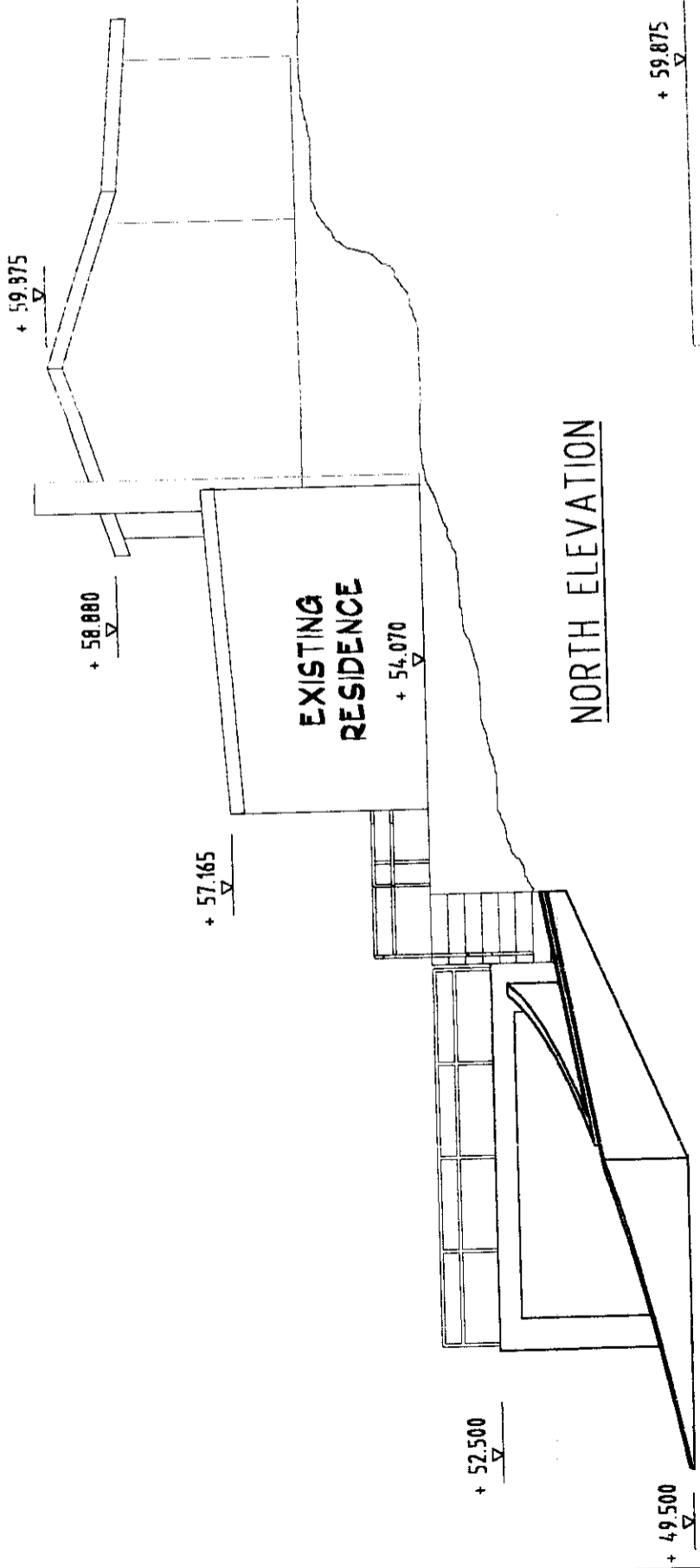
S00

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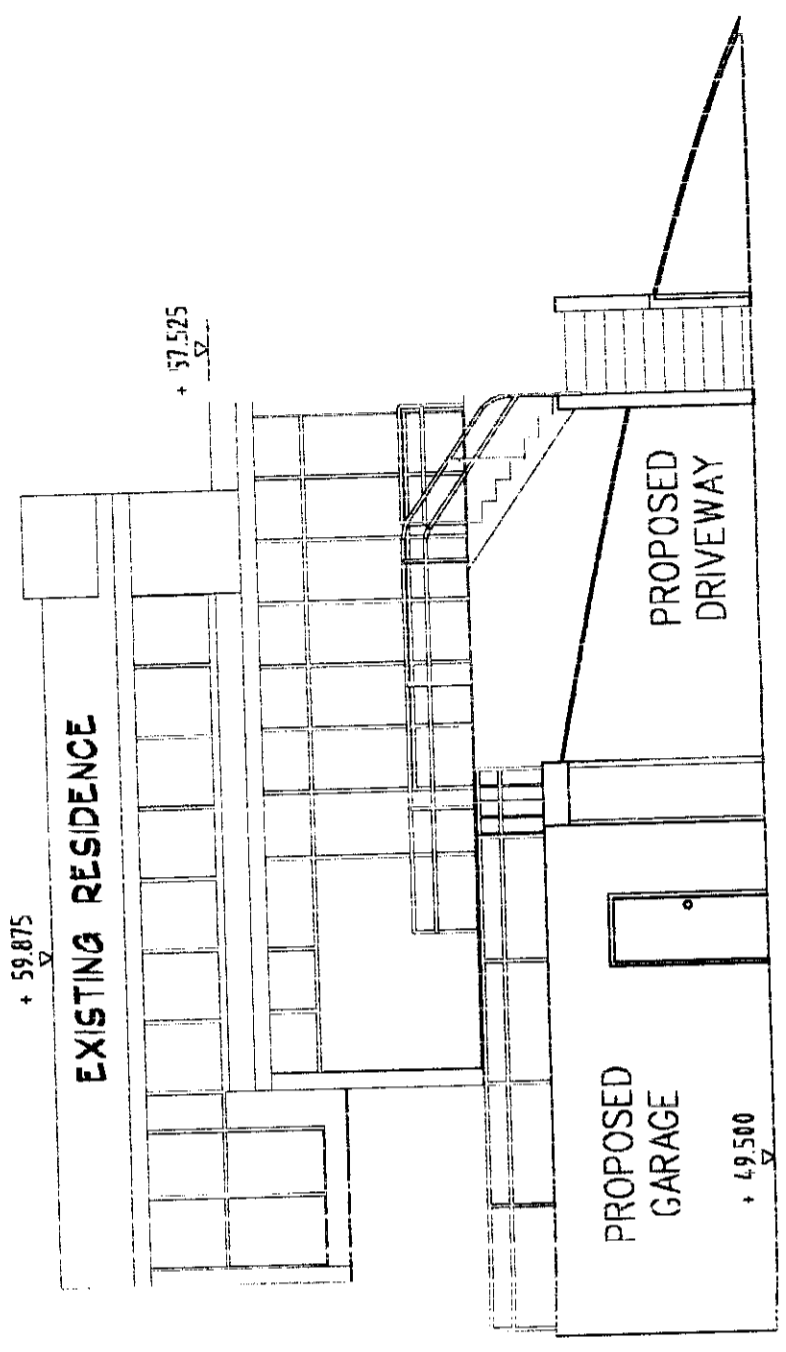


<b>PROJECT</b> <b>PROPOSED GARAGE FOR</b> <b>JOHN &amp; TERESA LILLEY</b> <b>4 BILGOLA TERRACE, BILGOLA</b>		<b>CONSULTING ENGINEERS</b> <b>CURNICK &amp; ASSOCIATES Pty Ltd</b> <b>GRAEME CURNICK</b> BE MAppSc MIEAust CPENG 52 Fitzroy Street, Newtown, Sydney. Phone: (02) 9519 7443. Fax: (02) 9557 7175.		<b>CERTIFIED</b>  DATE 10.8.05	<b>DRAWING TITLE</b> SITE LAYOUT	<b>SCALE</b> 1:100 <b>DRAWN</b> Matt <b>DATE</b> FEB 2002	<b>DRAWING No</b> S01 <b>REV</b> 01
01	AUG '03	C.C. SUBMISSION					
00	NOV '02	D.A. SUBMISSION					
Rev.	Date	Issue					





**NORTH ELEVATION**



**EAST ELEVATION**

**PROJECT PROPOSED GARAGE FOR  
JOHN & TERESA LILLEY  
4 BILGOLA TERRACE, BILGOLA**

01	AUG '03	C.C. SUBMISSION
00	NOV '02	D.A. SUBMISSION
Rev	Date	Issue

CONSULTING ENGINEERS  
**CURNICK & ASSOCIATES Pty Ltd**  
**GRAEME CURNICK** 3E (Aust) MEAUST CPENG  
52 Fitzroy Street, Newtown, Sydney.  
Phone: (02) 9511 7443 Fax: (02) 9557 7175

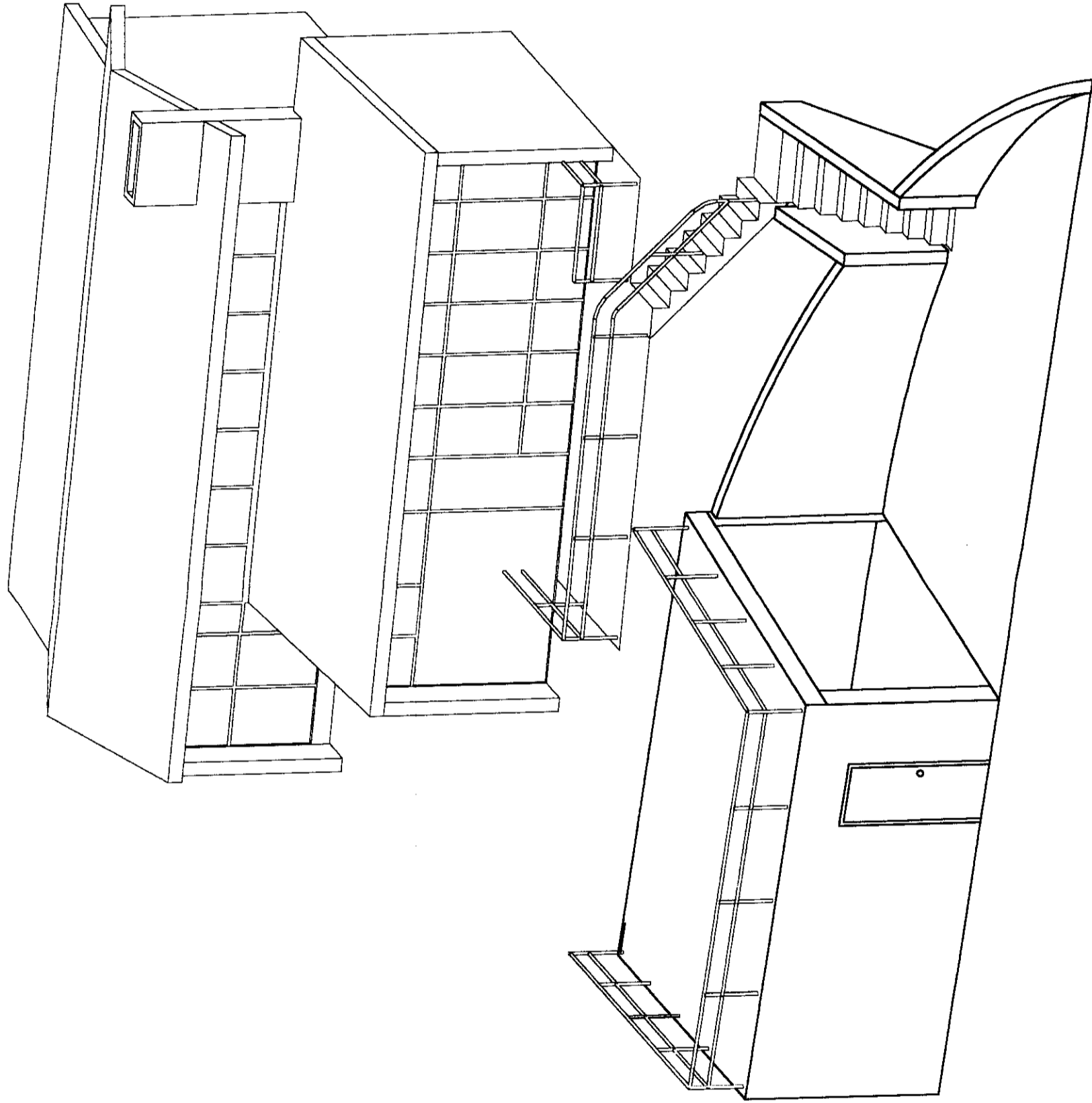
CERTIFIED  
*G. Lewis*  
DATE 10.11.03

DRAWING TITLE  
**ELEVATIONS**

SCALE  
**1:100**  
DATE  
**FEB 2002**

DRAWN  
**Matt**

CRWING No  
**S02**  
REV  
**01**



PROJECT **PROPOSED GARAGE FOR  
 JOHN & TERESA LILLEY  
 4 BILGOLA TERRACE, BILGOLA**

01	AUG '03	C.C. SUBMISSION
00	NOV '02	D.A. SUBMISSION
Rev	Date	Issue

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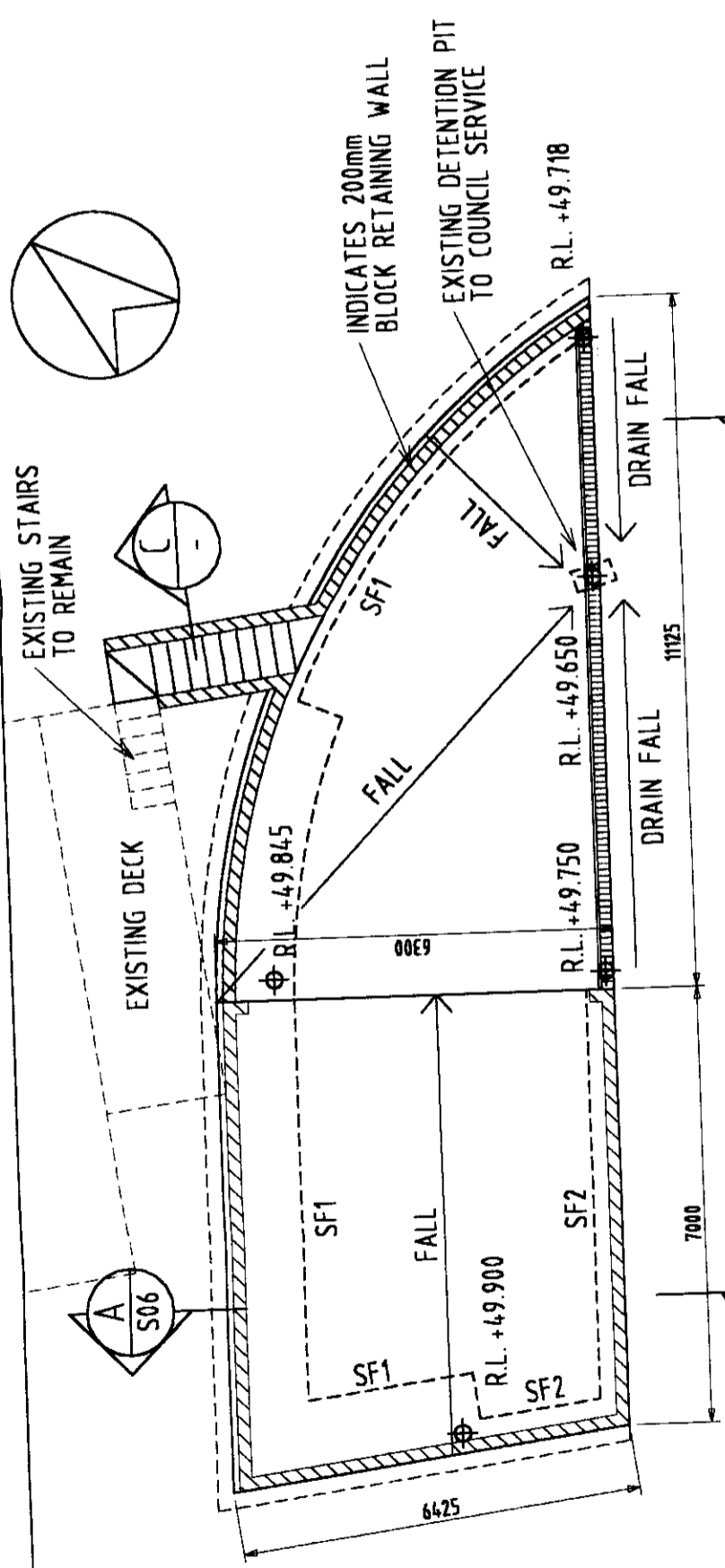
CERTIFIED  
*G. Currie*  
 DATE 10.11.03

DRAWING TITLE  
**ISOMETRIC VIEW**

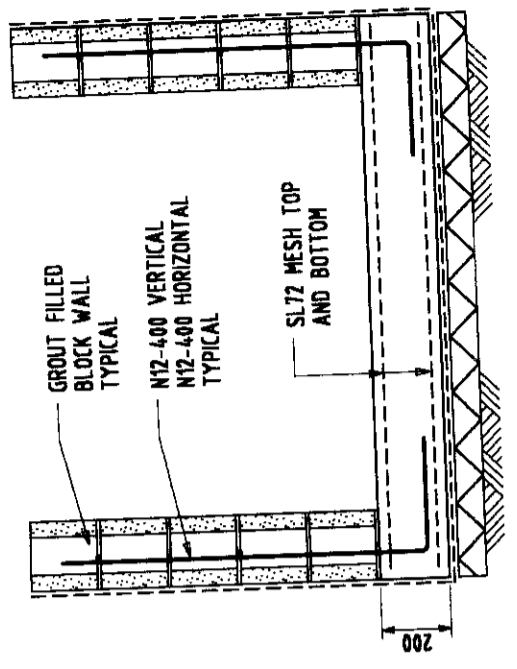
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DRAWN **Matt**  
 DRAWING No **S03**

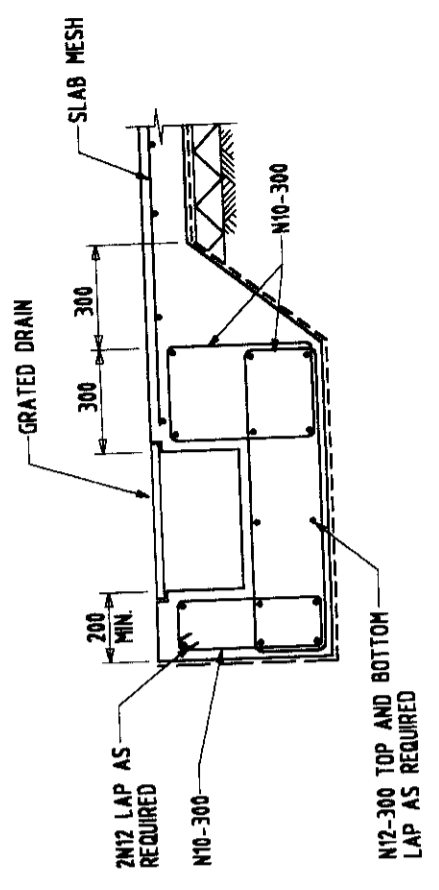
REV **01**



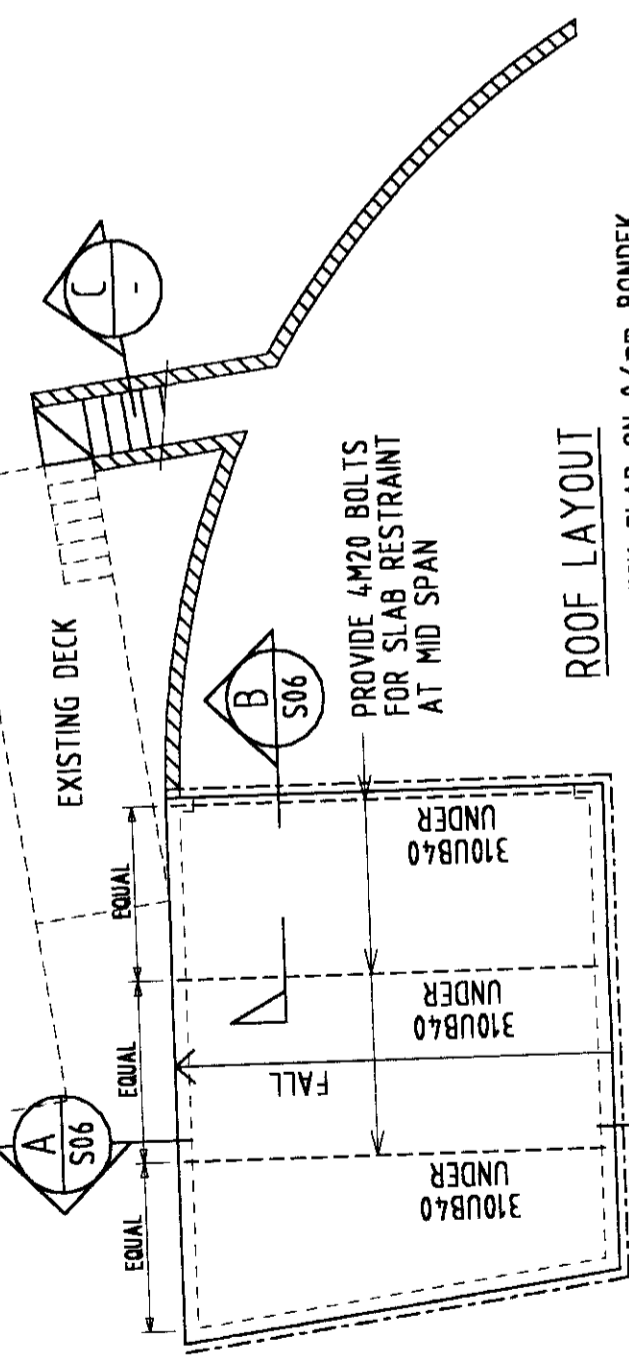
SECTION C  
Scale 1:20



SECTION D  
Scale 1:20



GROUND FLOOR LAYOUT  
-100mm THICK GROUND SLAB ON COMPACTED HARDWARE  
-PROVIDE SL72 MESH TOP



ROOF LAYOUT  
-120 THICK SLAB ON 0.6mm BONDEK  
-PROVIDE BONDEK EDGE FORM  
-PROVIDE SL102 MESH TOP

PROJECT  
**PROPOSED GARAGE FOR JOHN & TERESA LILLEY**  
**4 BILGOLA TERRACE, BILGOLA**

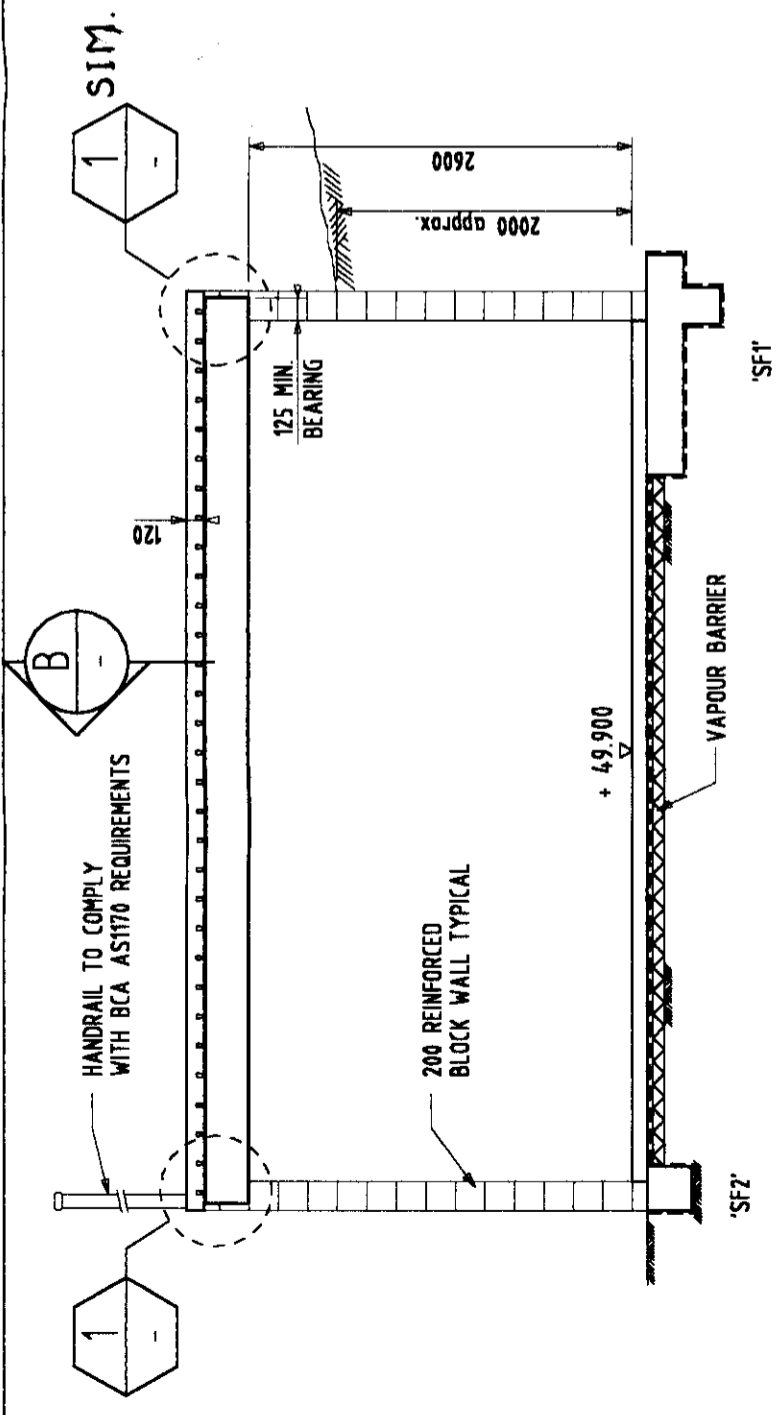
01	AUG '03	C.C. SUBMISSION
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Rev.	Date	Issue

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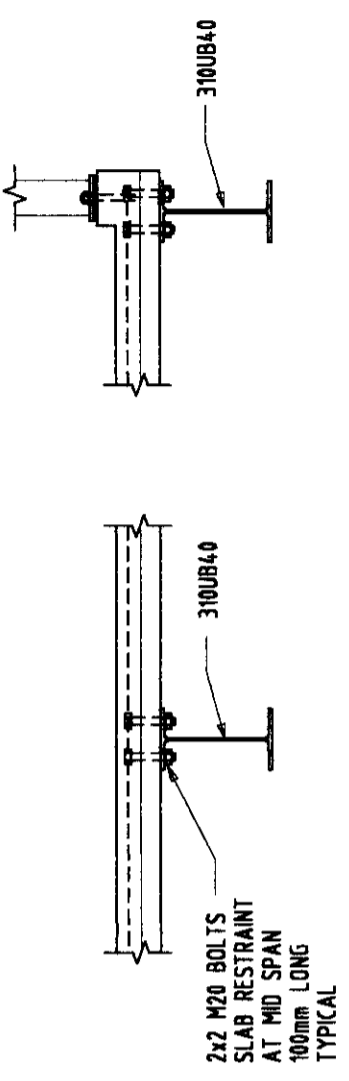
CERTIFIED  
*G. Currie*  
DATE 6.8.03

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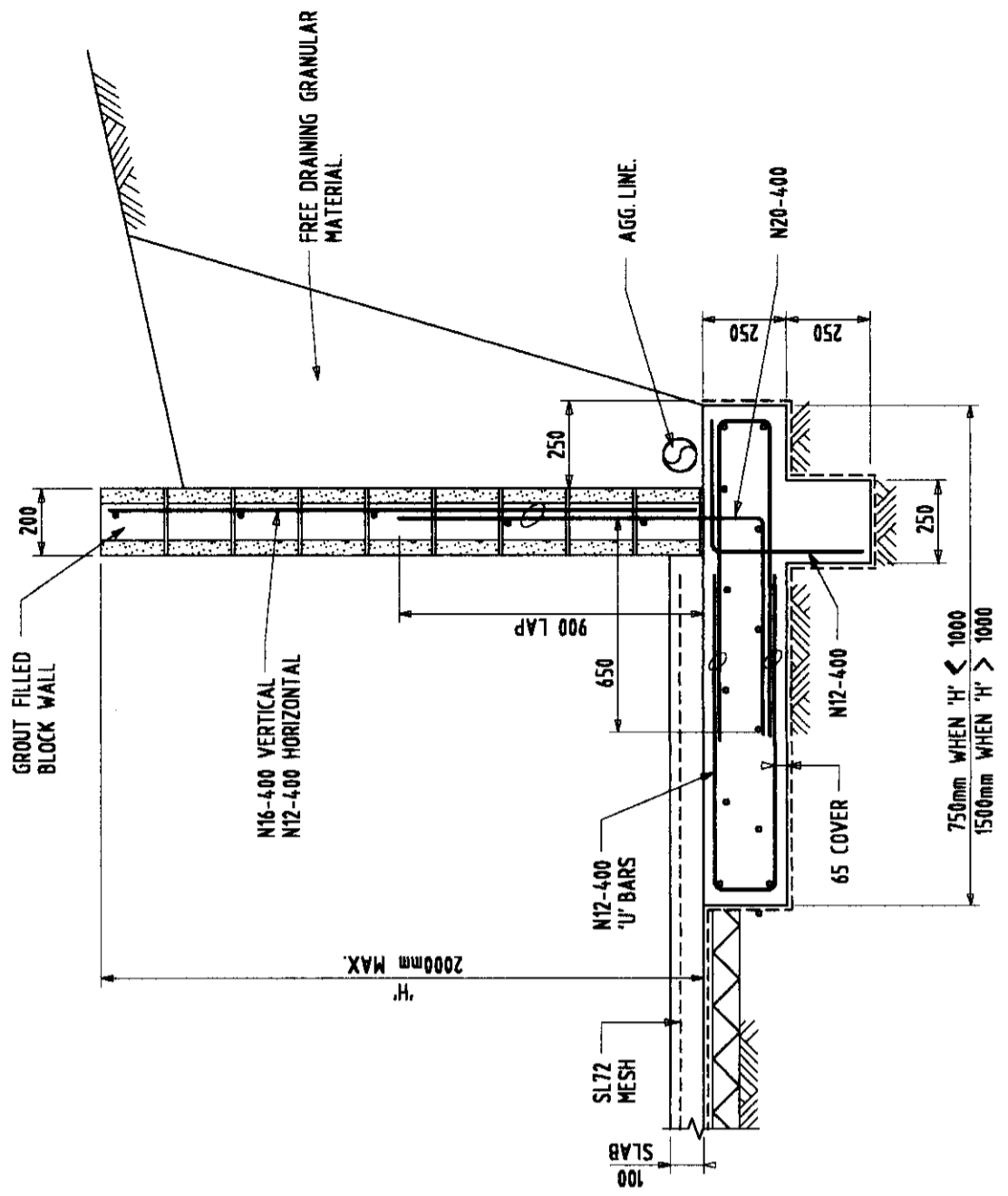
SCALE	DRAWN	DRAWING No	REV
1:100	Matt	S04	01
DATE	FEB 2002		



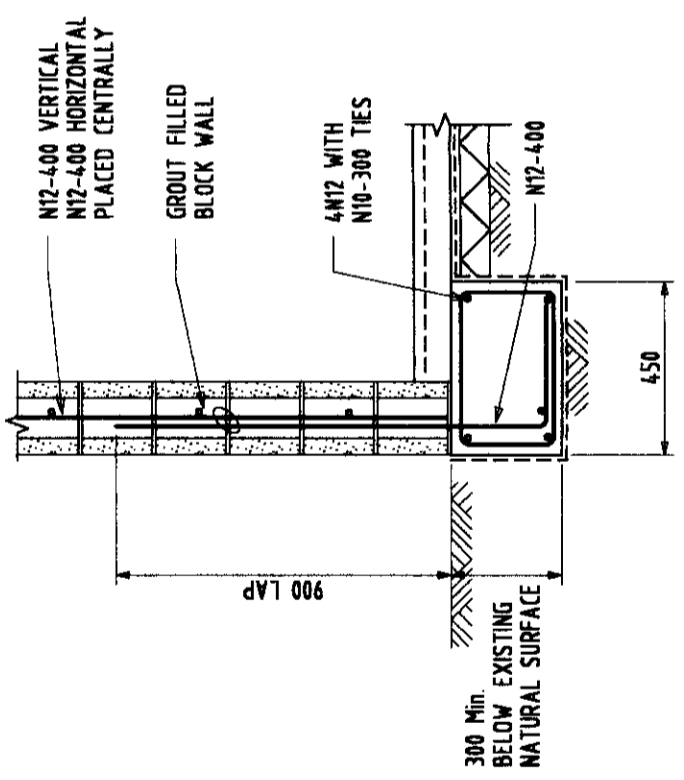
SECTION A  
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S04



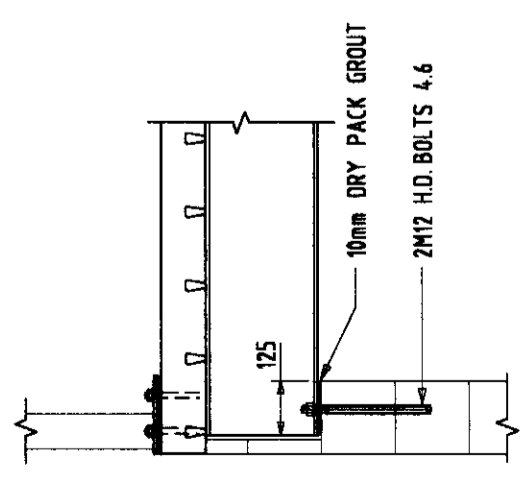
SECTION B  
Scale 1:20  
S04



'SF1'  
Scale 1:20



'SF2'  
Scale 1:20



DETAIL 1  
Scale 1:20

PROJECT <b>PROPOSED GARAGE FOR JOHN &amp; TERESA LILLEY 4 BILGOLA TERRACE, BILGOLA</b>	Rev. Date 01 AUG '03 00 NOV '02	C.C. SUBMISSION D.A. SUBMISSION	CONSULTING ENGINEERS <b>CURNICK &amp; ASSOCIATES Pty Ltd</b> <b>GRAEME CURNICK</b> BE MAPPSc MIEAust CPENG 52 Fitzroy Street, Newtown, Sydney. Phone: (02) 9519 7443. Fax: (02) 9557 7175.	CERTIFIED <i>G. Currie</i> DATE 10.8.03	DRAWING TITLE <b>SECTIONS</b>	SCALE 1:50, 1:20	DRAWN <b>Matt</b>	DRAWING No <b>S06</b>	REV <b>01</b>
						DATE FEB 2002			