

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES, FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

SEC LAND

1
DP349488

Lot 7

PUBLIC
RESERVE

Lawn

PATIO

Existing
Garage

No.17
Existing Residence

ADDITION

GFL=185.79

PORCH

FL=185.64

Path

Materials
sorting &
storage area



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/0768

PUBLIC RESERVE

19
DP237435

"BORONIA RESERVE"

SITE PLAN

Scale 1:200

No.16

DRAWING NOTES

All new RWP to be connected to the Council's satisfaction
All timber sizes to comply with timber codes of Australia
All reinforced concrete slabs, footings, beams, etc to be engineers details and sizes.
All building works to be in compliance with the building code of Australia.
DO NOT SCALE FROM DRAWINGS - USE FIGURED DIMENSIONS ONLY
DIMENSIONS TO BE CHECKED ON SITE.

CONSTRUCTION

Remove existing columns to front Proch. Replace with steel columns to engineers detail.
Demolish balcony balustrade to first floor above existing Porch
Construct new walls and floor to ground floor for Entry
Construct new top level floor to create additional room space
Construct new roof over first floor addition, and over new entry porch..

Lower Level-Ground floor walls consist of facebrick to match existing.
Upper Level-First floor walls constructed of brick veneer finish to match existing.
Internal walls timber stud with plasterboard lining
Roof is timber framed, insulated and clad with tiles to match existing
Windows are timber and aluminium

GENERALLY

All stormwater lines to be connected to existing stormwater systems.
Provide electrical services to all new work

BASIX

As per Basix Certificate A453795

Lighting - minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Insulation: floor/walls/ceiling/roof:

Concrete slab on ground floor - Nil

Floor above existing - Nil

External wall- Cavity brick - Nil

External wall- Brick veneer-R1.16 (or R1.7 including construction

Flat ceiling, Pitched roof- ceiling - 2.5 (up) - roof: Foil / Sarking

Medium (solar absorbance 0.475 - 0.70)

Windows & Glazed Doors - Each window with standard aluminium or timber frames and single clear glass
or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than U-value:7.63, SHGC: 0.75
Other windows to have alternate glass options as per the glazing requirements



AREAS

SITE AREA

1078 m2

LANDSCAPE AREA

579 m2 = 53.7%

DATE

Amdt.

Neil Harvey - B.Arch

Ph: 0403 505 322

14 Farrer Place, Frenchs Forest NSW 2086

Email: nharvey@bigpond.com

Alterations & Additions

Mr & Mrs Clarke

17 Seeana Place, Belrose NSW 2085

SITE PLAN

SCALE: 1:200

DRAWN:

JOB No:

2055

DATE:

1 March 2022

LOT REF:

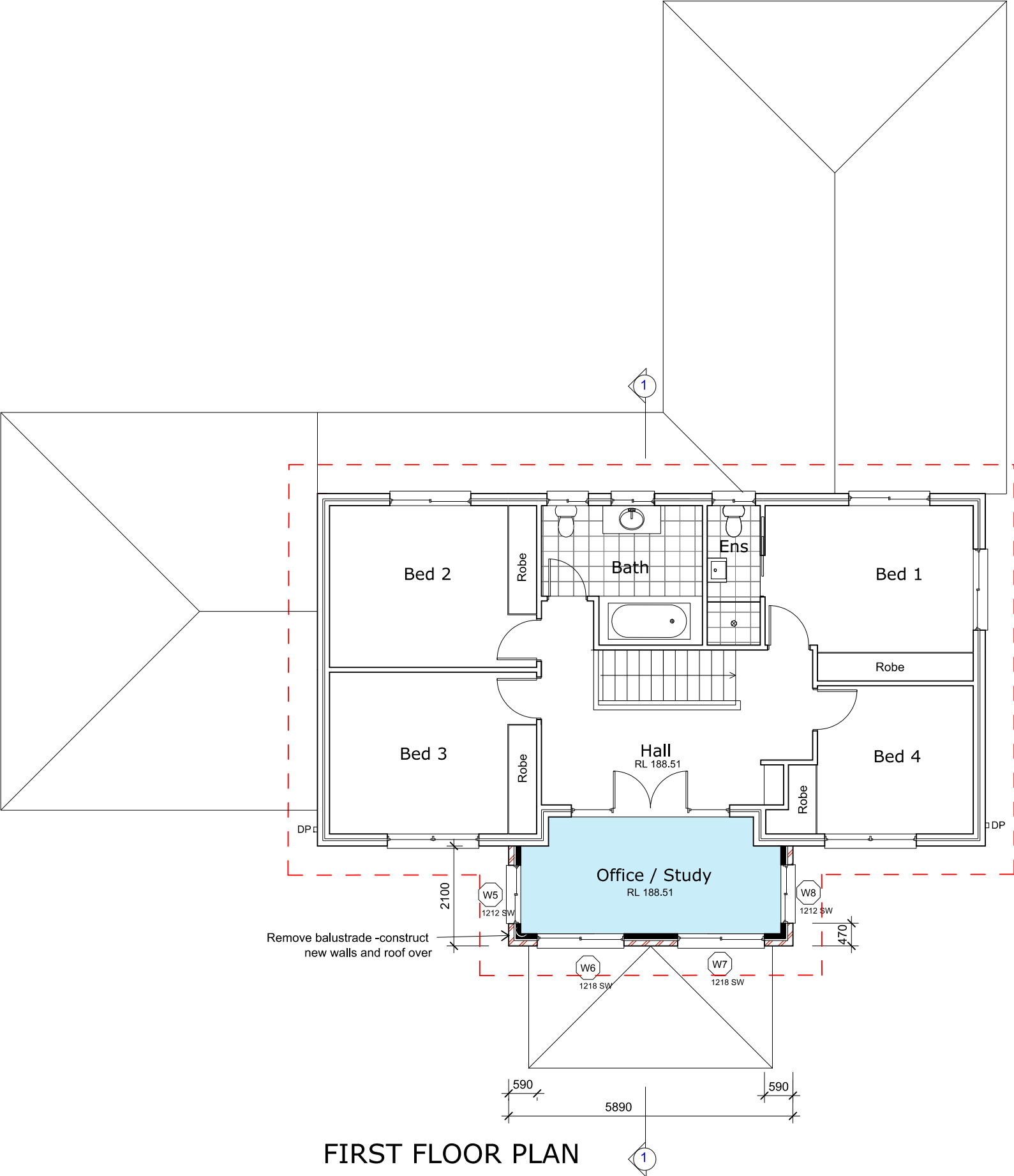
Lot 20 DP 237435

DWG SIZE:

A3

SHEET:

DA-1



FIRST FLOOR PLAN



northern
beaches
council

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DATE	Amdt.		
Neil Harvey - B.Arch		Ph: 0403 505 322	
14 Farrer Place, Frenchs Forest NSW 2086		Email: nfharvey@bigpond.com	
Alterations & Additions			
Mr & Mrs Clarke			
17 Seeana Place, Belrose NSW 2085			
FIRST FLOOR PLAN			
SCALE:	1:100		
DRAWN:	JOB No: 2055		
DATE:	1 March 2022	LOT REF:	Lot 20 DP 237435
DWG SIZE:	A3	SHEET:	DA-3

WINDOW-DOOR KEY

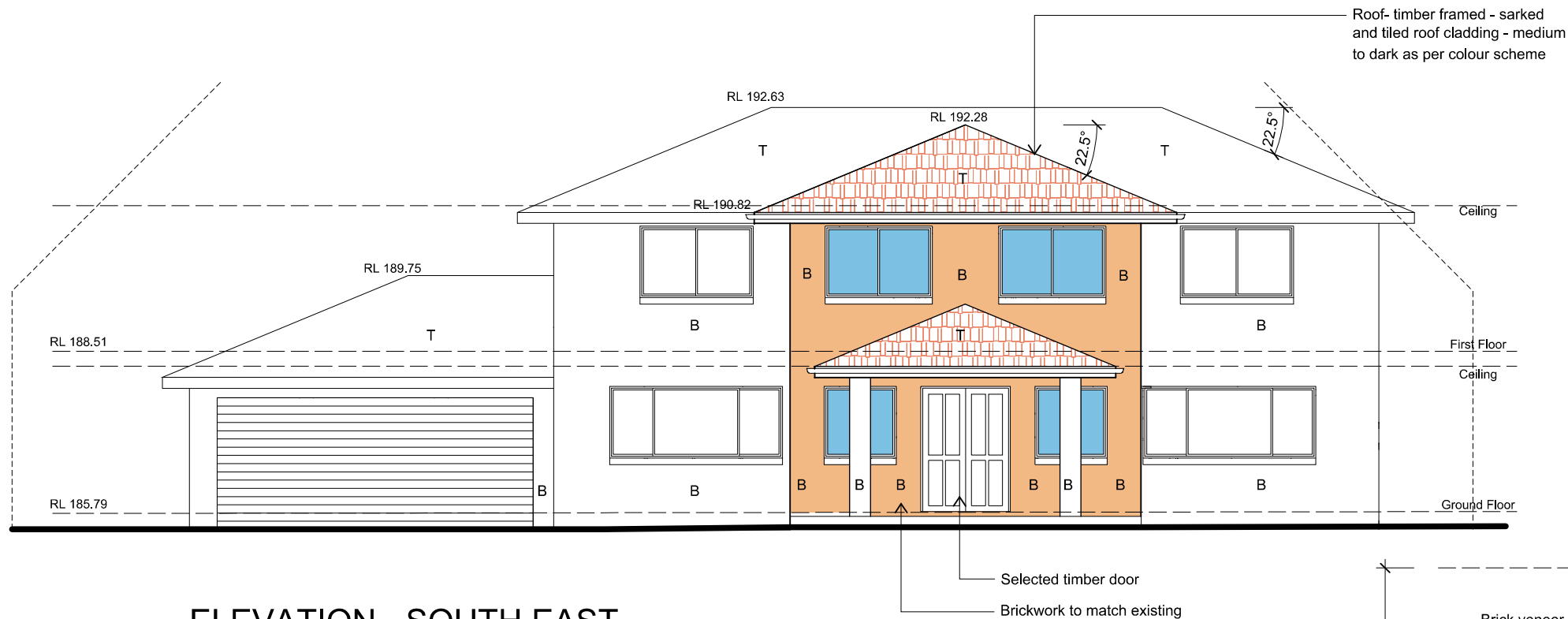
Height x Width

Eg: 1209 SW = 1.2x0.9 Sliding window

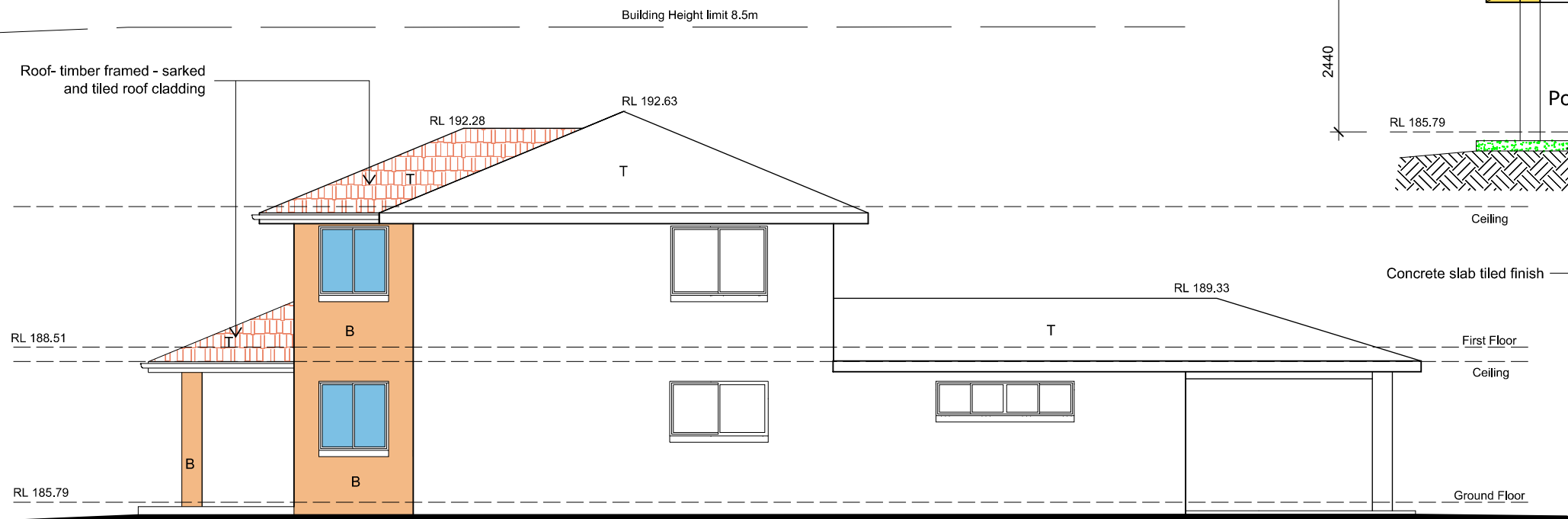
SW - Sliding Window

FG - Fixed Glass

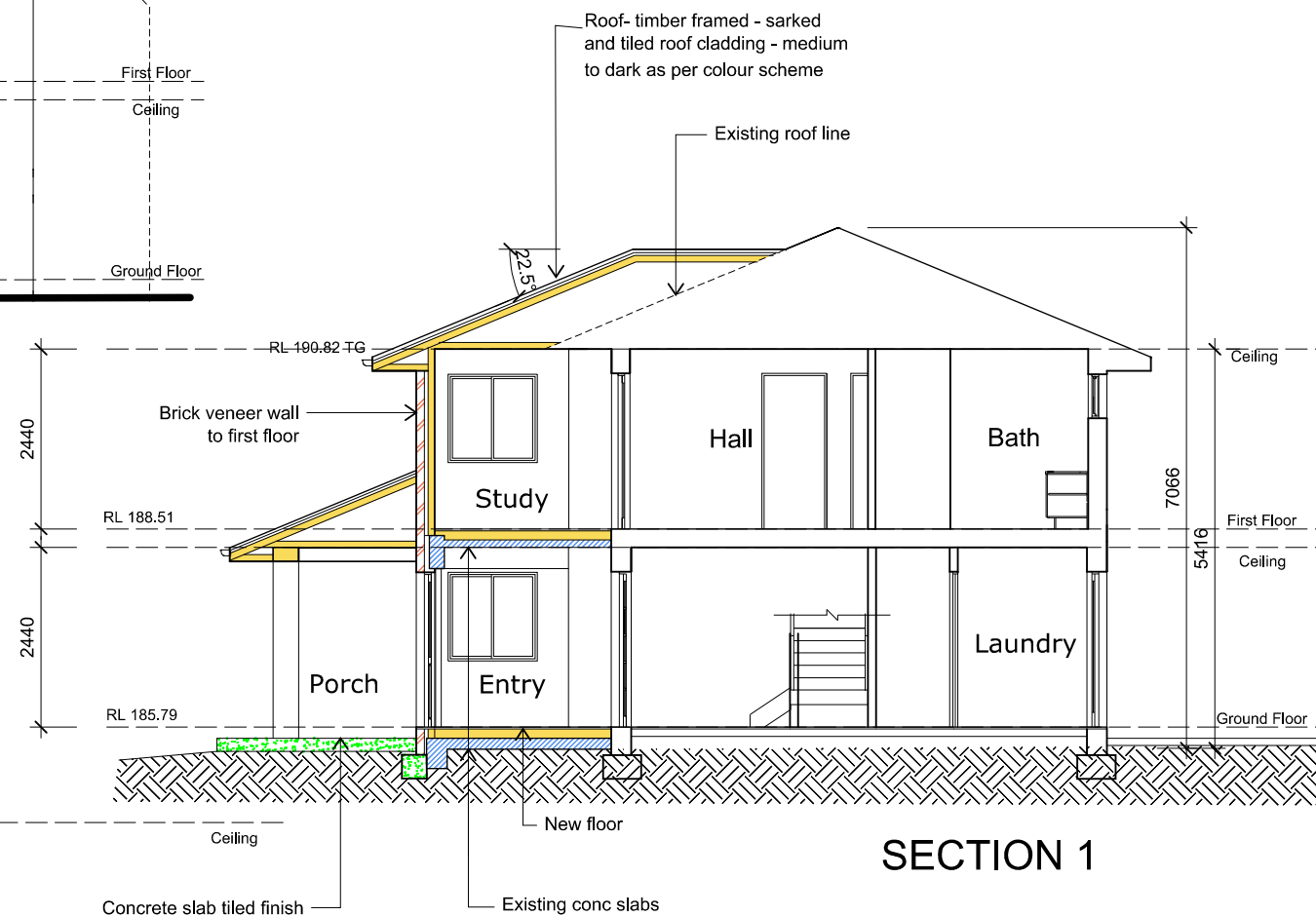
SK - Skylight Window



ELEVATION - SOUTH EAST



ELEVATION - NORTH EAST



SECTION 1

LEGEND
B FACEBRICK
T TILED ROOF

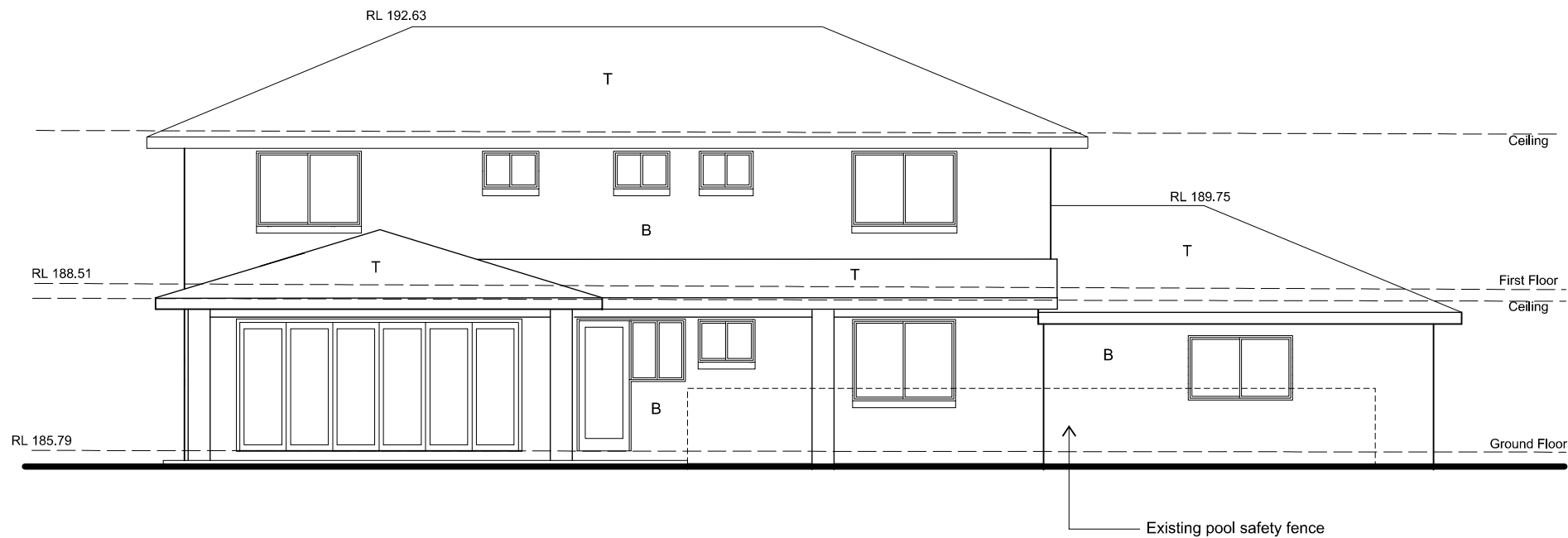


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DATE	Amdt.
Neil Harvey - B.Arch	
14 Farrer Place, Frenchs Forest NSW 2086	
Ph: 0403 505 322	
Email: nfh Harvey@bigpond.com	
Alterations & Additions	
Mr & Mrs Clarke	
17 Seeana Place, Belrose NSW 2085	
ELEVATIONS & SECTION	
SCALE:	1:100
DRAWN:	JOB No: 2055
DATE:	LOT REF: Lot 20 DP 237435
DWG SIZE: A3	SHEET: DA-4



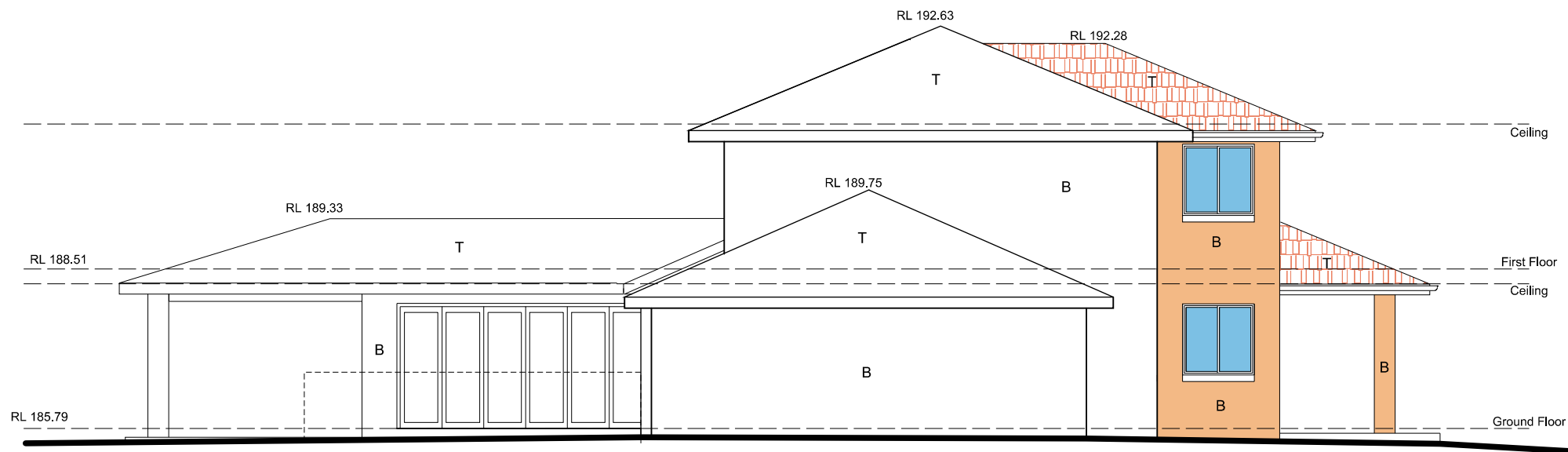
ELEVATION - NORTH WEST
(No change)



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ELEVATION - SOUTH WEST

LEGEND

B FACEBRICK
T TILED ROOF

DATE	Amdt.
Neil Harvey - B.Arch	Ph: 0403 505 322
14 Farrer Place, Frenchs Forest NSW 2086	Email: nfhavrey@bigpond.com

Alterations & Additions
Mr & Mrs Clarke
17 Seeana Place, Belrose NSW 2085

ELEVATIONS

SCALE: 1:100

DRAWN:	JOB No:	2055
DATE:	1 March 2022	LOT REF: Lot 20 DP 237435
DWG SIZE:	A3	SHEET: DA-5