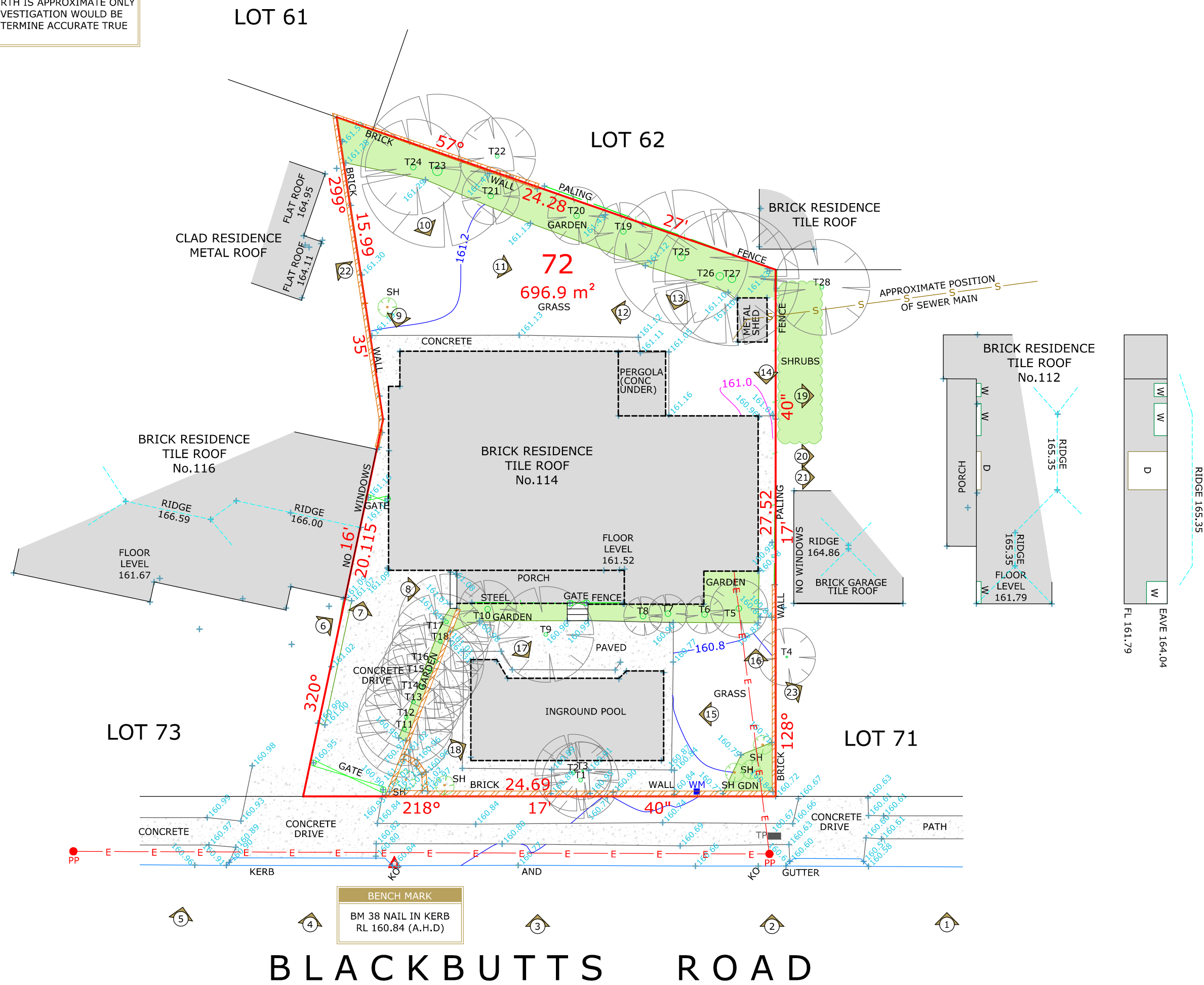
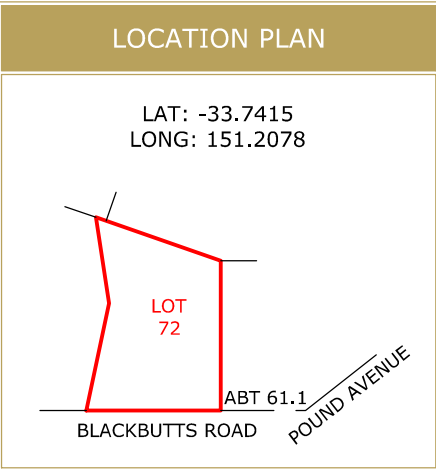


NORTH NOTE

BEARINGS SHOWN HAVE BEEN DETERMINED FROM LAND & PROPERTY INFORMATION PLANS AND ARE RELATED TO MAGNETIC NORTH. TRUE NORTH IS APPROXIMATE ONLY AND FURTHER INVESTIGATION WOULD BE REQUIRED TO DETERMINE ACCURATE TRUE NORTH.



SCHEDULE OF TREES

	DIAMETER	HEIGHT	TYPE
T1	0.20	5m	PALM
T2	0.20	5m	PALM
T3	0.10	3m	PALM
T4	0.10	3m	-
T5	0.30	2m	PALM
T6	0.30	4m	-
T7	0.30	2m	PALM
T8	0.30	4m	-
T9	0.20	5m	PALM
T10	0.30	3m	PALM
T11	0.20	5m	-
T12	0.20	5m	-
T13	0.20	5m	-
T14	0.20	5m	-
T15	0.20	5m	-
T16	0.20	6m	-
T17	0.20	7m	-
T18	0.20	7m	-
T19	0.30	3m	PALM
T20	0.30	3m	PALM
T21	0.30	3m	-
T22	0.20	4m	-
T23	0.50	7m	-
T24	0.30	5m	-
T25	0.40	7m	-
T26	0.40	7m	-
T27	0.40	7m	-
T28	0.20	5m	-

LEGEND

	BENCH MARK
	PHOTO POINT
	GULLY PIT
	VEHICULAR CROSSING
	TOP OF BANK
	BOTTOM OF BANK

ABBREVIATIONS

EB - ELECTRICAL BOX
EM - ELECTRICAL METER
GM - GAS METER
H - HYDRANT
R - HYDRANT RECYCLED
KO - KERB OUTLET
LP - LIGHT POLE
LH - LAMP HOLE
MH - MAN HOLE
MS - MAINTENANCE SHAFT
PP - POWER POLE
SH - SHRUB
SMH - SEWER MAN HOLE
SIO - SEWER INSPECTION OPENING
SV - STOP VALVE
SR - STOP VALVE RECYCLED
SVP - SEWER VENT PIPE
SWP - STORM WATER PIT
T - TREE
TP - TELECOMMUNICATIONS PIT
VER - VERANDAH
WT - WATER TAG
WM - WATER METER
WMR - WATER METER RECYCLED
WC, GC, EC, TC - SERVICE CONDUIT
W/C - WATER CLOSET

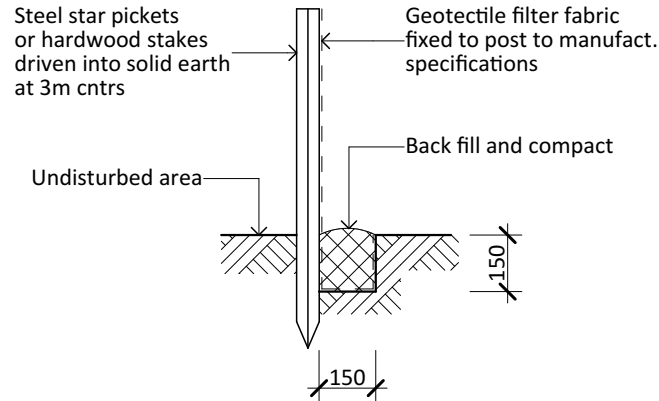
SOURCE OF LEVELS

SSM 9115 RL 160.990
S.C.I.M.S



DRAWING NOTES	PLAN BY	CLIENT	REVISION	DESCRIPTION	DATE	PROJECT LOCATION	PLAN TYPE		LEVEL DATUM		
1. CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY. 2. DIMENSIONS SHOWN (BEARINGS & DISTANCES) HAVE BEEN DETERMINED BY NSW LAND REGISTRY SERVICES PLANS ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED. BUILDINGS AND FENCES ARE SHOWN IN APPROXIMATE POSITIONS ONLY AND COULD VARY + OR - 100MM. 3. SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC. 4. DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.						LOT 72 DP 224441 114 BLACKBUTTS ROAD FRENCHS FOREST, NSW	CONTOUR PLAN	AUSTRALIAN HEIGHT DATUM			
								DRAWN	CHECKED		
								D.FISK	N.TAYLOR		
								JOB REFERENCE		SURVEY DATE	DGN/DWG No.
								1776/312038		10.05.2019	312038
		CLIENT REFERENCE:						SHEET SIZE	SCALE		
								A2	1:200		



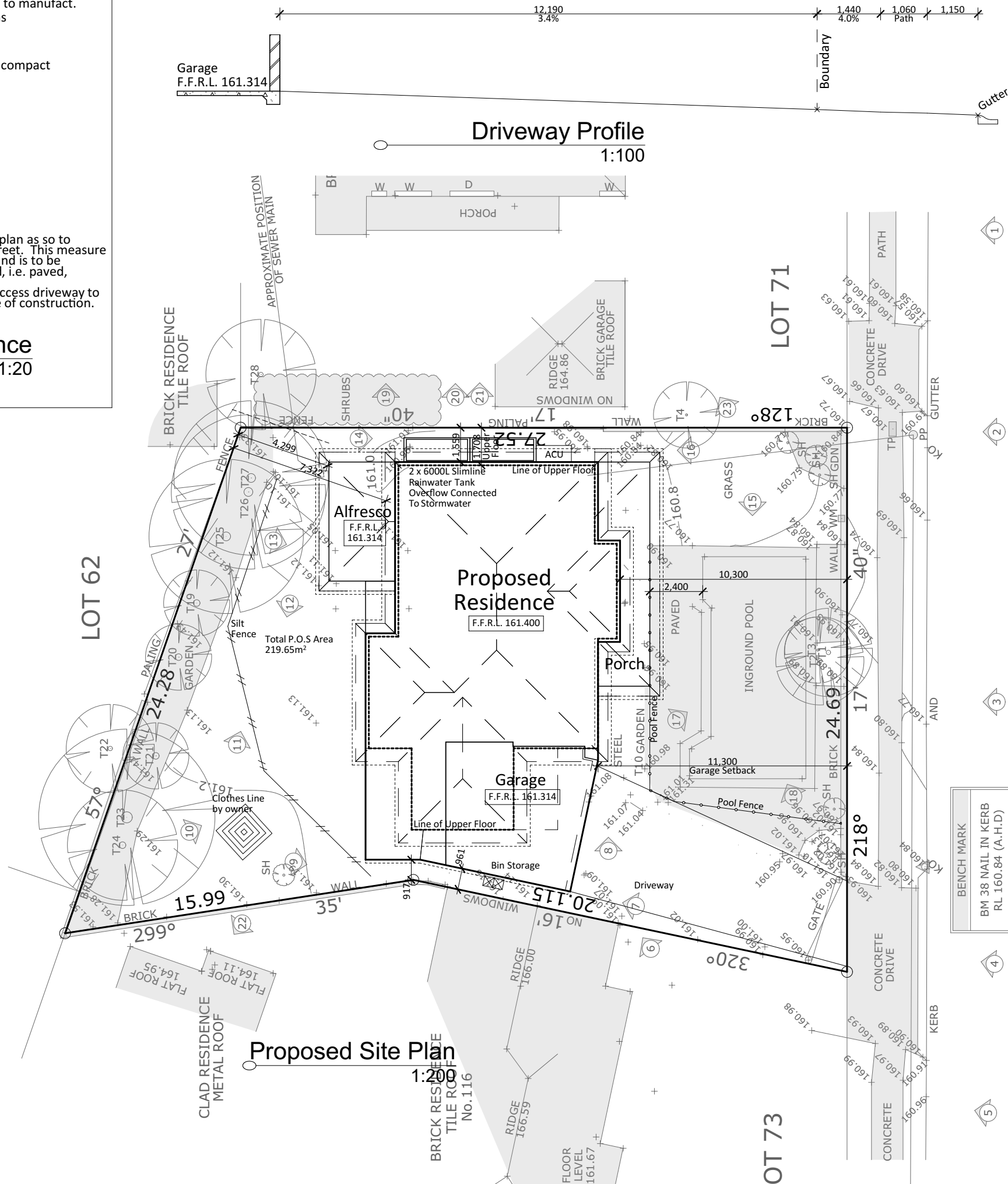
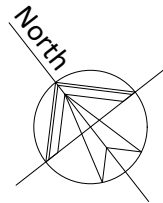


Soil Erosion and Sediment Control Fence
1. Siltation fencing is to be placed as shown on the site plan as so to prevent silt run off to any adjoining property or to the street. This measure is to be placed prior to any excavation work beginning and is to be removed only when the sites surface as been stabalized, i.e. paved, landscaped or turfed
2. 40mm crushed rock aggregate is to be placed as an access driveway to the site and must be maintained throughout the course of construction.

Typical Silt Fence
1:20

Note:
Private Open Space: 219.65m² (31.52%)
Landscape Area: 252.76m²

Lot 72
696.90m²
DP: 224441



- Notes:
1. Levels shown are approx and should be verified on site
2. Figured dimensions are to be taken in prefrence to scaling
3. All measurements are in mm unless otherwise stated
4. Window sizes are nominal only. Final window sizes by builder
5. Dimensions are to be verified on site by builder before commencement of work.
6. All upstairs windows with a sill height less than 1700mm to have a max opening width of 125mm or fitted with a screen with secure fittings to comply with BCA
7. Final AJ's to engineers specifications
8. Plus or minus 200mm to floor levels
9. Steel beam required if any openings have more than 6 courses of brickwork above
10. Material finishes are indicative, for final selections see builders tender

Icon Job Number: J/XXXXX

Client Approval: _____ Date: _____



Job:
Proposed Residence

LOT: 72 DP: 224441
114 Blackbutts Road, Frenches Forest

Drawing:
Proposed Site Plan

Scale: **1:200, 1:20** Date: **28-02-20**

Drawing No: **19093-14** Sheet: **8/12** Issue: **0**

House Design: Custom

 **Accurate**
design and drafting
Office: 1a/10 Exchange Parade
Narellan NSW 2567
Phone : 0246472552
Email: info@accuratedesign.com.au