



PopovBass



LOCALITY PLAN

37-43 Hay Street Collaroy

COLLAROY LIVING - RESIDENCES

37-43 Hay Street Collaroy NSW 2097

Table with 3 columns: DRAWING No., DESCRIPTION, SCALE. Lists various drawing types like Title Page, Site Analysis Plan, Demolition Plan, etc.

CHANGE TO PLAN NOTIFICATION

PLEASE ADVISE YOUR PLANS TO SHOW THE FOLLOWING INCLUDES FOR STAMPING. PLEASE ENSURE YOU READ THE MATTERS CERTIFICATE FOR COMPLIANCE. THIS DOCUMENT IS GUID ONLY. SOME ADDITIONAL ITEMS MAY BE NOTED ON THE CERTIFICATE. THE MATTERS CERTIFICATE SHOULD ALWAYS BE REFERENCED FOR CORRECT SPECIFICATION.



JOB NUMBER: 14443196, CLIENT: Collaroy Living Pty Ltd, Date: 12/07/24

STRT ADDRESS: 37-43 Hay Street, Collaroy NSW 2097

ITEM, CHECKBOX, DESCRIPTIONS/NOTES

- ADD UNDERFLOOR INSULATION, ADD INSULATION TO EXTERNAL FLOOR, ADD BELL BELL INSULATION, ADD EXTERNAL FLOOR TO EXTERNAL BELLS, CHANG WALL COLOURS, ADD COILING INSULATION TO ROOF SPACE, ADD INSULATION TO EXTERNAL BELLS, CHANG ROOF COLOURS, ADD ROOF INSULATION, ADD ROOF INSULATION, IMPROVED WINDOWS TO DOUBLE GLAZING, IMPROVED WINDOWS TO DOUBLE GLAZING, IMPROVED WINDY SYSTEM, ADD INSULATION TO EXTERNAL BELLS, ADD SOLAR PV SYSTEM, WINDOW GLAZING LINE REQUIRED, WELL VENTILATED OPEN SPACE REQUIRED, CHANG SHADING STRUCTURES, CHANG LANDSCAPING AREAS, INCLUDED ROOF WINDPLANTS, CHANG SIZE OF BARRIERS/STAIR, CHANG WATER FITTING BATHING, OTHER

Improved windows to Low-E glazing as per NHERS Certificate: APT 01 - 1W01, 1W02, 1W03, 1W04, 1W05, 1W16, 1W17, APT 03 - 3W04, APT 10 - 10W07, 10W08, 10W09, 10W10, 10W11

1200mm Ceiling Fans to: APT 04 - Flexi, APT 8 - Bedrooms & Family, APT 9 - Living & Family, APT 10 - Bedrooms, Living & Family

Schedule of BASIX commitments

The commitments set out below stipulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development. The BASIX commitments are complied with.

1. Commitments for Residential flat buildings - Building

(a) Dwellings

(i) Water: (ii) Kitchen ventilation system: (iii) Thermal loads: (iv) Common areas and central system/facilities:

Table for Water, Kitchen ventilation system, Thermal loads, and Common areas and central system/facilities. Columns include Dwelling no., Hot water system, Each bathroom, Operation control, Each kitchen, Operation control, Each unit, Dwelling no., Area adjusted heating load, Area adjusted cooling load.

Table for Artificial lighting. Columns include Dwelling no., Living areas, Bedroom areas, Living areas, Heating, No. of bedrooms, No. of living areas, No. of kitchen, No. of bathroom, No. of laundry, No. of hallway, No. of bathroom, No. of kitchen.

Table for Alternative water source. Columns include Dwelling no., All alternative water supply systems, Size, Configuration, Alternative water source, Rainwater collection, Greywater recycling, Pool recycling, Spa top-up, Spa top-up.

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4. Commitments for common areas and central system/facilities for the development (non-building specific)

(a) Common areas and central system/facilities:

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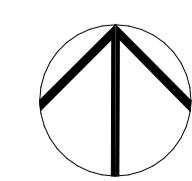
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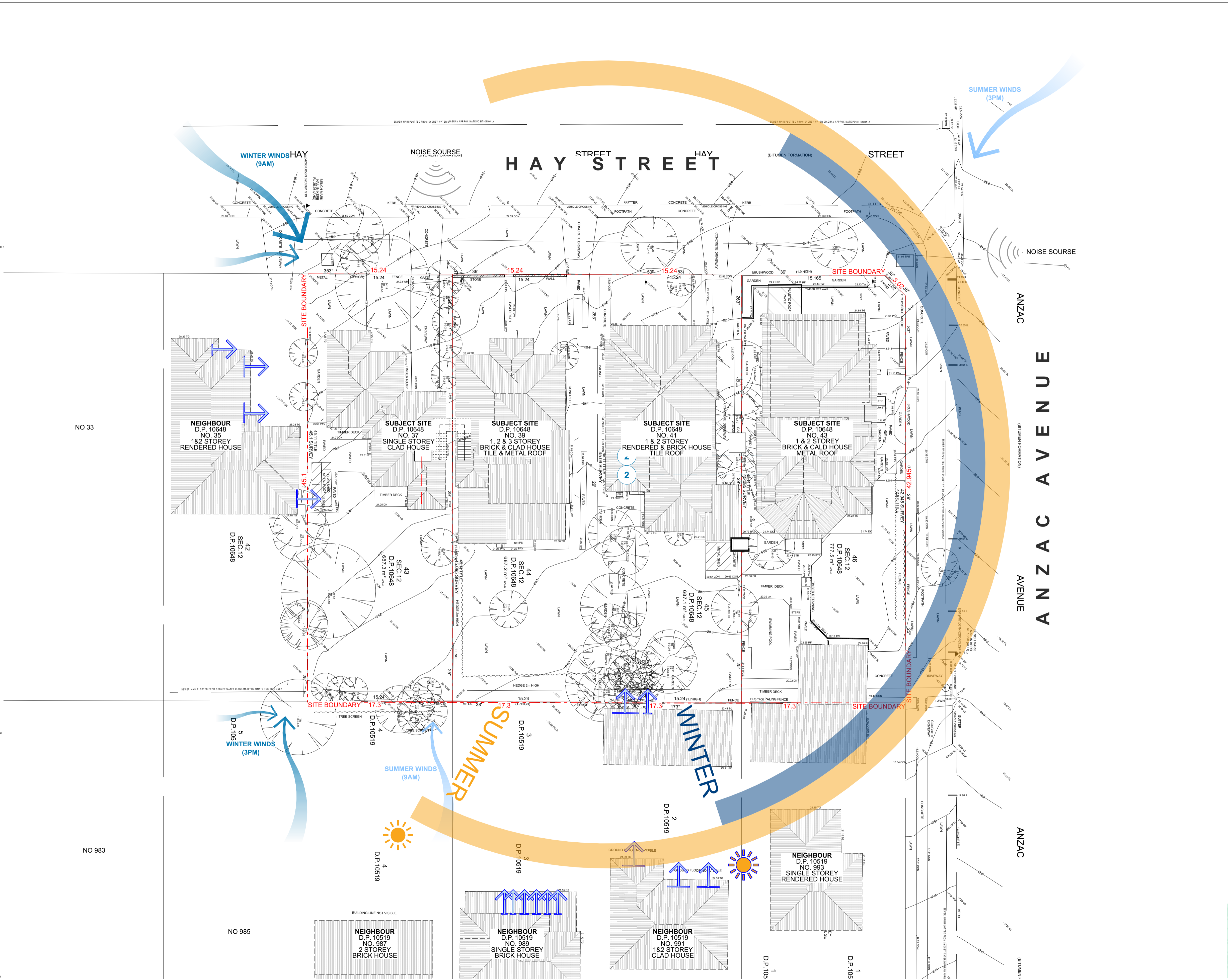
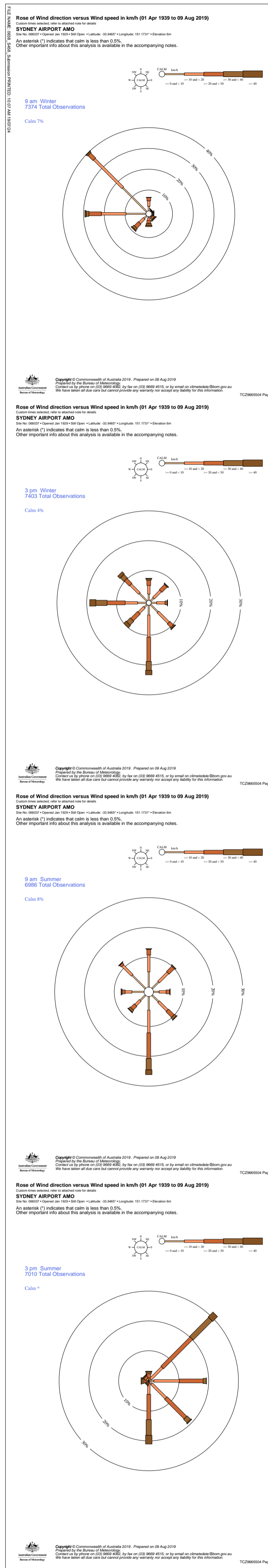
PO Box 334, Surry Hills NSW 2010, T 02 9955 5604, E info@popovbass.com.au, W popovbass.com.au



Client: Collaroy Living Pty Ltd, Project: COLLAROY LIVING RESIDENCES, 37-43 Hay Street Collaroy NSW 2097, Status: 4.58 APPLICATION

5.6 Average star rating, 0008729800 12 Jul 2024, Assessor Ian Fry, Accreditation No. DMN12/1441, Address: 37-43 Hay Street, Collaroy, NSW, 2097, hstar.com.au

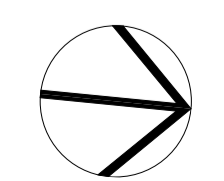
Table with 4 columns: Title, Drawing No., Scale, Date. Values: Title Page, 0638-MOD100, at A1 size, 19/07/24



Rev	Date	Amendment	Drawn	Check
01	19/07/24	FOR SUBMISSION	BB	BB

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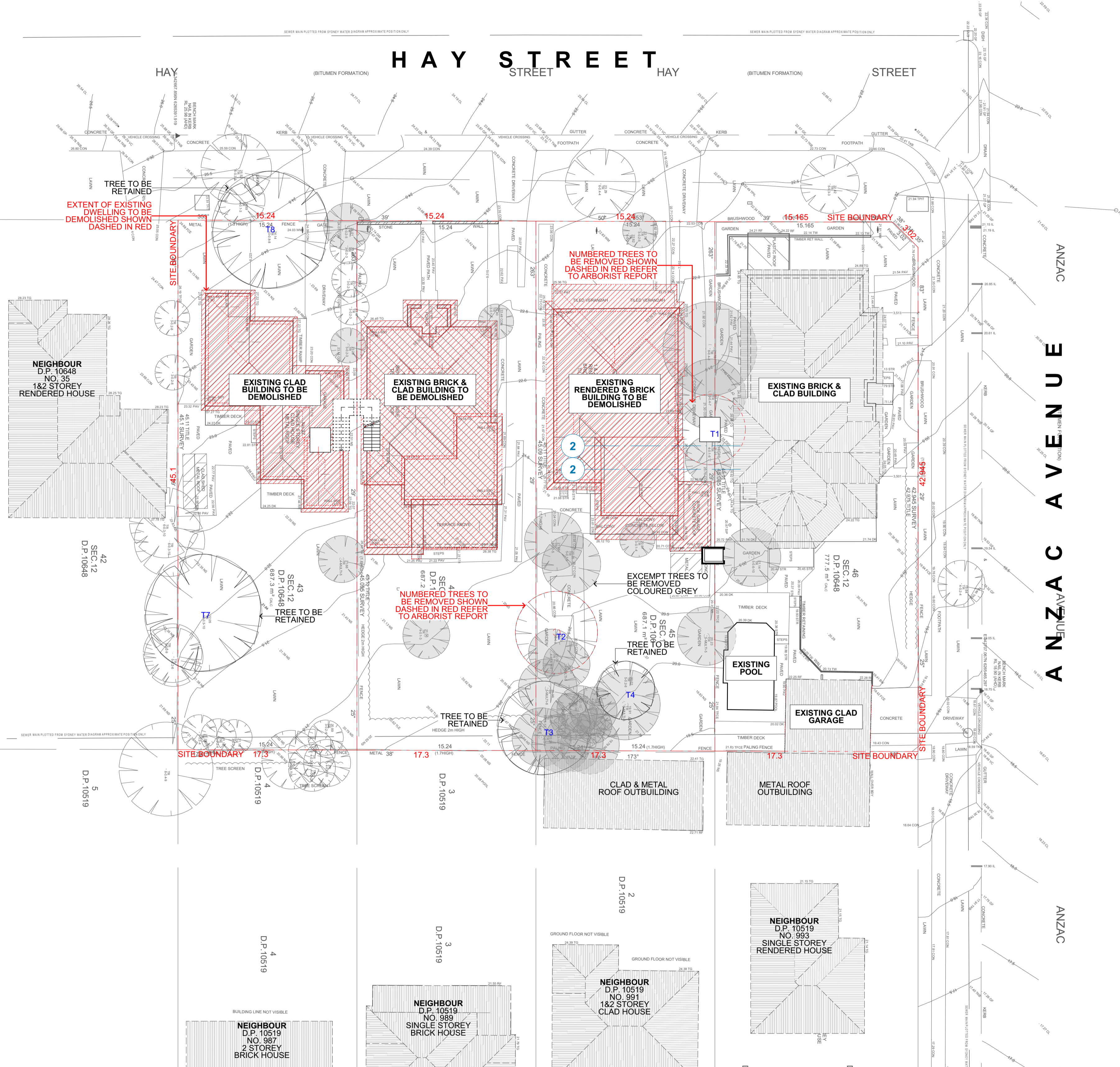
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 E info@popovbass.com.au
 W popovbass.com.au



Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

0008729800 12 Jul 2024
 Assessor Ian Fry
 Accreditation No. DMN12/1441
 Address
 37-43 Hay Street,
 Collaroy NSW,
 2097
 www.nsw.gov.au
 hstar.com.au

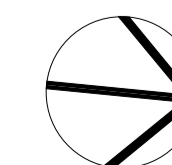
Title	
Site Analysis Plan	
Drawing No.	Revision
0638-MOD101	01
Scale	Date
1:200 at A1 size	19/07/24



01 19/07/24 FOR SUBMISSION
 Rev Date Amendment
 SD BB
 Down Check
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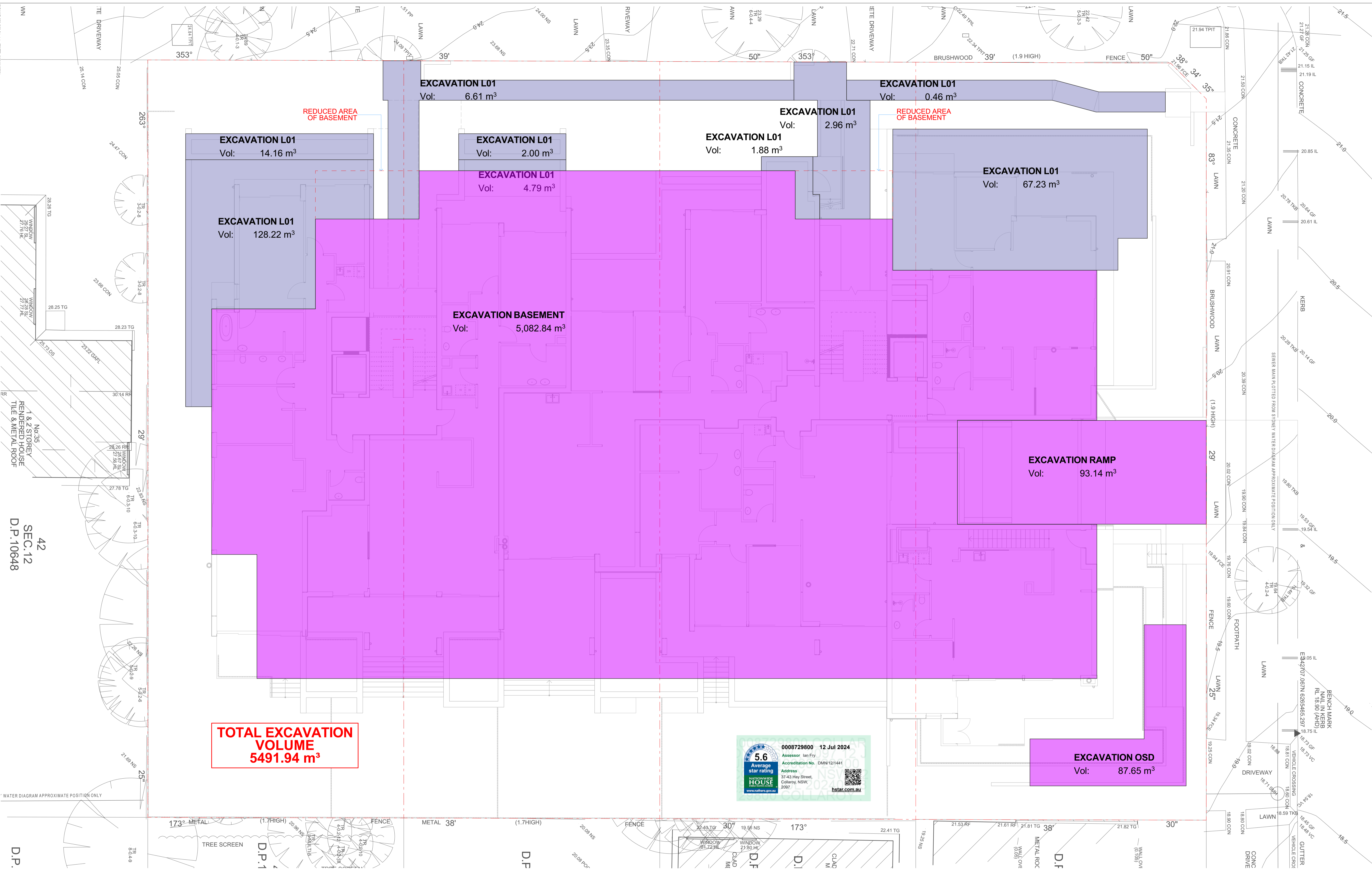
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Client
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 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

0008729800 12 Jul 2024
 Assessor Ian Fry
 Accreditation No. DMNI121441
 Address
 37-43 Hay Street,
 Collaroy, NSW,
 2097
 www.nsw.gov.au
 hstar.com.au

Title
Demolition Plan
 Drawing No.
0638-MOD102
 Scale
1:200 at A1 size
 Revision
01
 Date
19/07/24



TOTAL EXCAVATION VOLUME
5491.94 m³

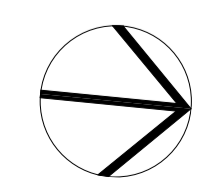


Rev	Date	Amendment	Drawn	Check
01	19/07/24	FOR SUBMISSION	BB	BB

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Client
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Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
Status
4.58 APPLICATION

Title
Excavation Plan
Drawing No.
0638-MOD103
Revision
01
Scale
1:100 at A1 size
Date
19/07/24



Rev	Date	Amendment	By	Check
01	19/07/24	FOR SUBMISSION	BB	BB

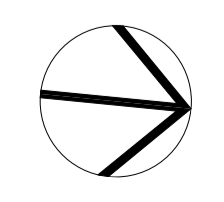
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TPZ SHOWN IN BLUE
 SRZ SHOWN IN YELLOW
 PER ARBORIST REPORT

CHANGES TO BUILDING INDICATED BY
 AREA SHADED IN BLUE
 CHANGES TO BALCONIES & TERRACES
 INDICATED BY AREA SHADED IN YELLOW

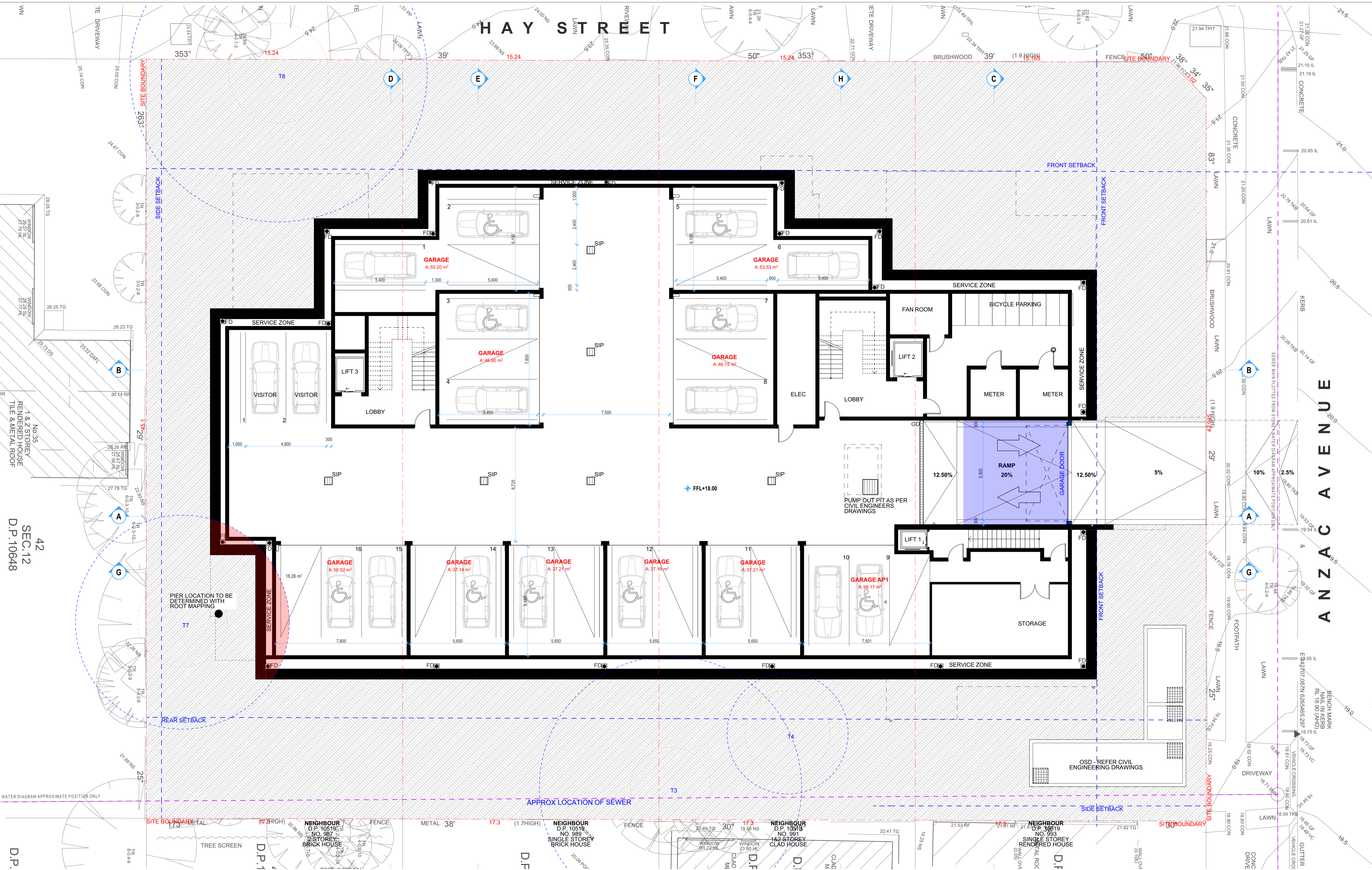
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COLLAROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Site Plan
 Drawing No.
0638-MOD104
 Scale
1:200 at A1 size
 Revision
01
 Date
19/07/24



TPZ SHOWN IN BLUE
 SPZ SHOWN IN YELLOW
 PER ARBOREST REPORT

CHANGES TO BUILDING INDICATED BY
 AREA SHADED IN BLUE
 CHANGES TO BALCONIES & TERRACES
 INDICATED BY AREA SHADED IN YELLOW

01 19/07/24 FOR SUBMISSION
 Rev Date Amendment
 02 19/07/24
 03 19/07/24
 04 19/07/24
 05 19/07/24
 06 19/07/24
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NEIGHBOUR
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 BRICK HOUSE

NEIGHBOUR
 D.P. 10519
 NO. 989
 SINGLE STOREY
 BRICK HOUSE

NEIGHBOUR
 D.P. 10519
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 1&2 STOREY
 CLAD HOUSE

NEIGHBOUR
 D.P. 10519
 NO. 993
 SINGLE STOREY
 RENDERED HOUSE

0008729800 12 Jul 2024
 Assessor Ian Fry
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5.6
 Average
 star rating
 www.housing.gov.au
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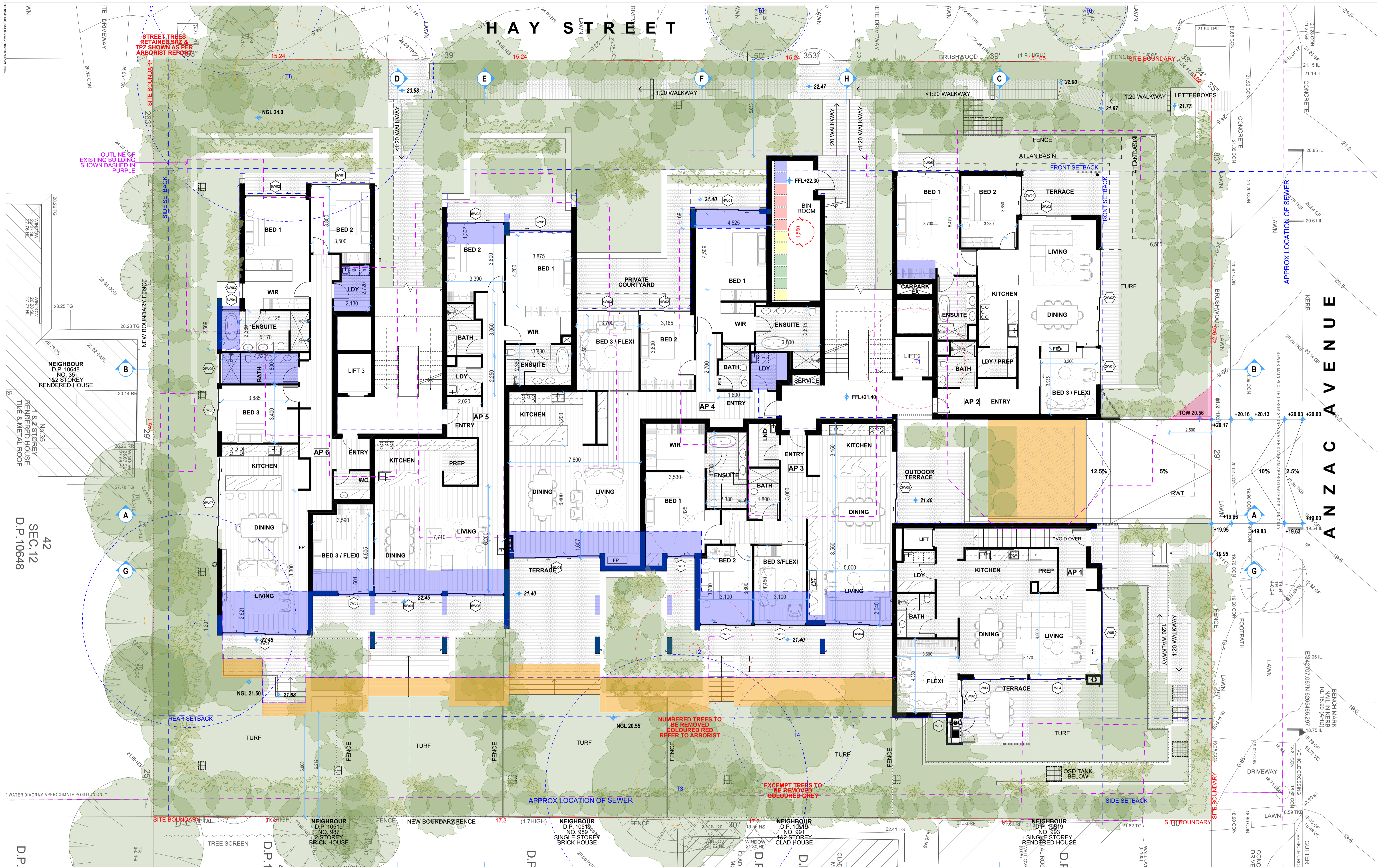
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Client
Collaroy Living Pty Ltd
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COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Basement Plan
 Drawing No.
0638-MOD105
 Scale
1:100 at A1 size

Revision
01
 Date
19/07/24

01 19/07/24 FOR SUBMISSION
 Rev Date Amendment
 02 19/07/24
 03 19/07/24
 04 19/07/24
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42
SEC.12
D.P.10648

D.P.

Rev	Date	Amendment	By	Check
01	19/07/24	FOR SUBMISSION	BB	BS

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CHANGES TO BUILDING INDICATED BY AREA SHADED IN BLUE
CHANGES TO BALCONIES & TERRACES INDICATED BY AREA SHADED IN YELLOW

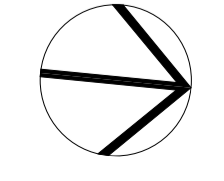
NUMBERED TREES TO BE REMOVED COLOURED RED REFER TO ARBORIST

EXEMPT TREES TO BE REMOVED COLOURED GREY

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Assessor: Ian Fry
Accreditation No: DMN12/1441
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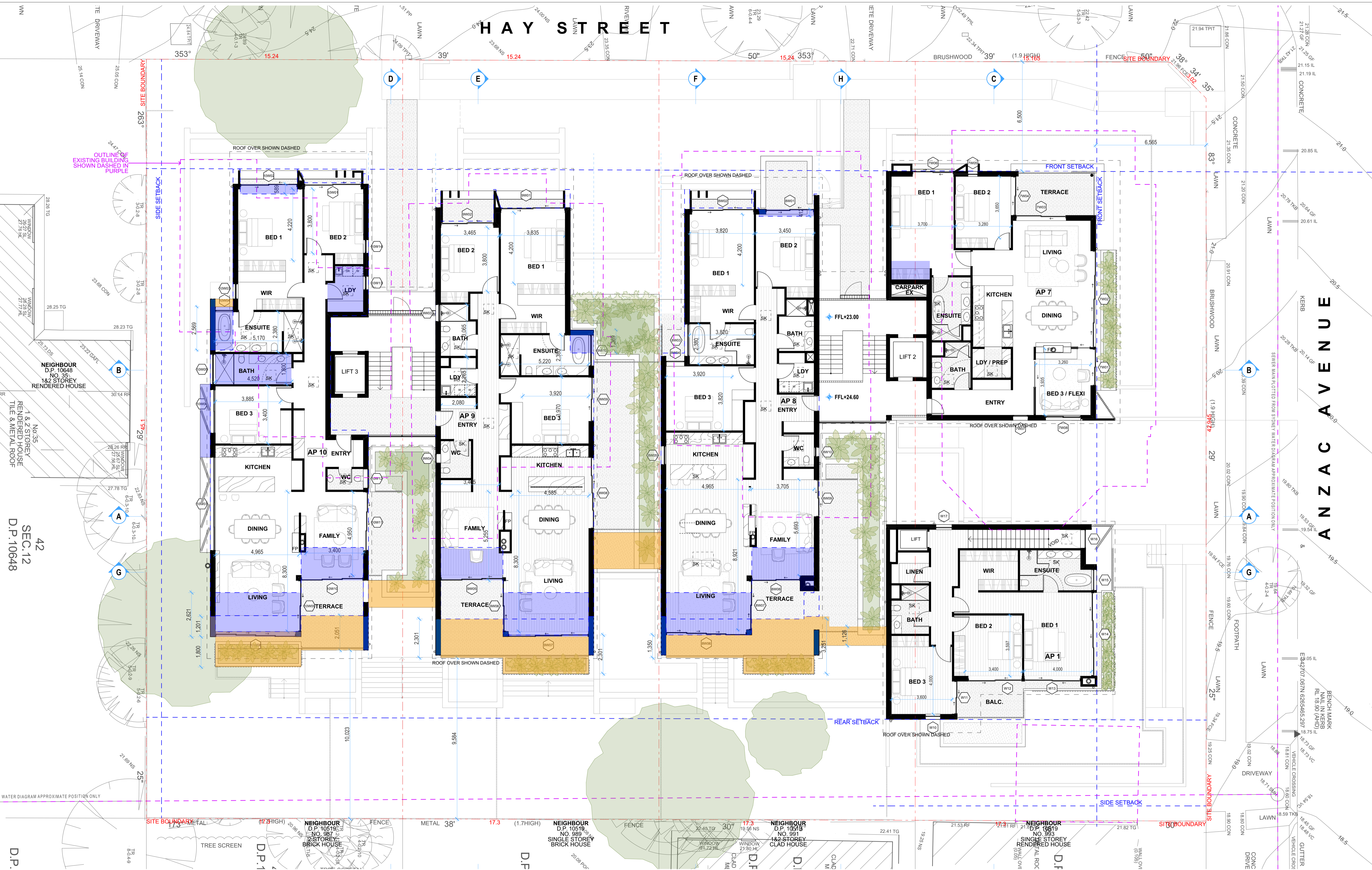
5.6
Average star rating
NATIONAL HOUSE
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Client: Collaroy Living Pty Ltd
Project: COLLAROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
Status: 4.58 APPLICATION

Title: Level 01 Plan
Drawing No: 0638-MOD106
Scale: 1:100 at A1 size
Revision: 01
Date: 19/07/24

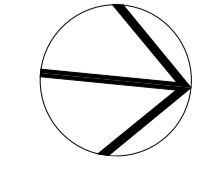


11 19/07/24 FOR SUBMISSION
 Rev Date Amendment
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 02 19/07/24 02
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CHANGES TO BUILDING INDICATED BY AREA SHADED IN BLUE
 CHANGES TO BALCONIES & TERRACES INDICATED BY AREA SHADED IN YELLOW

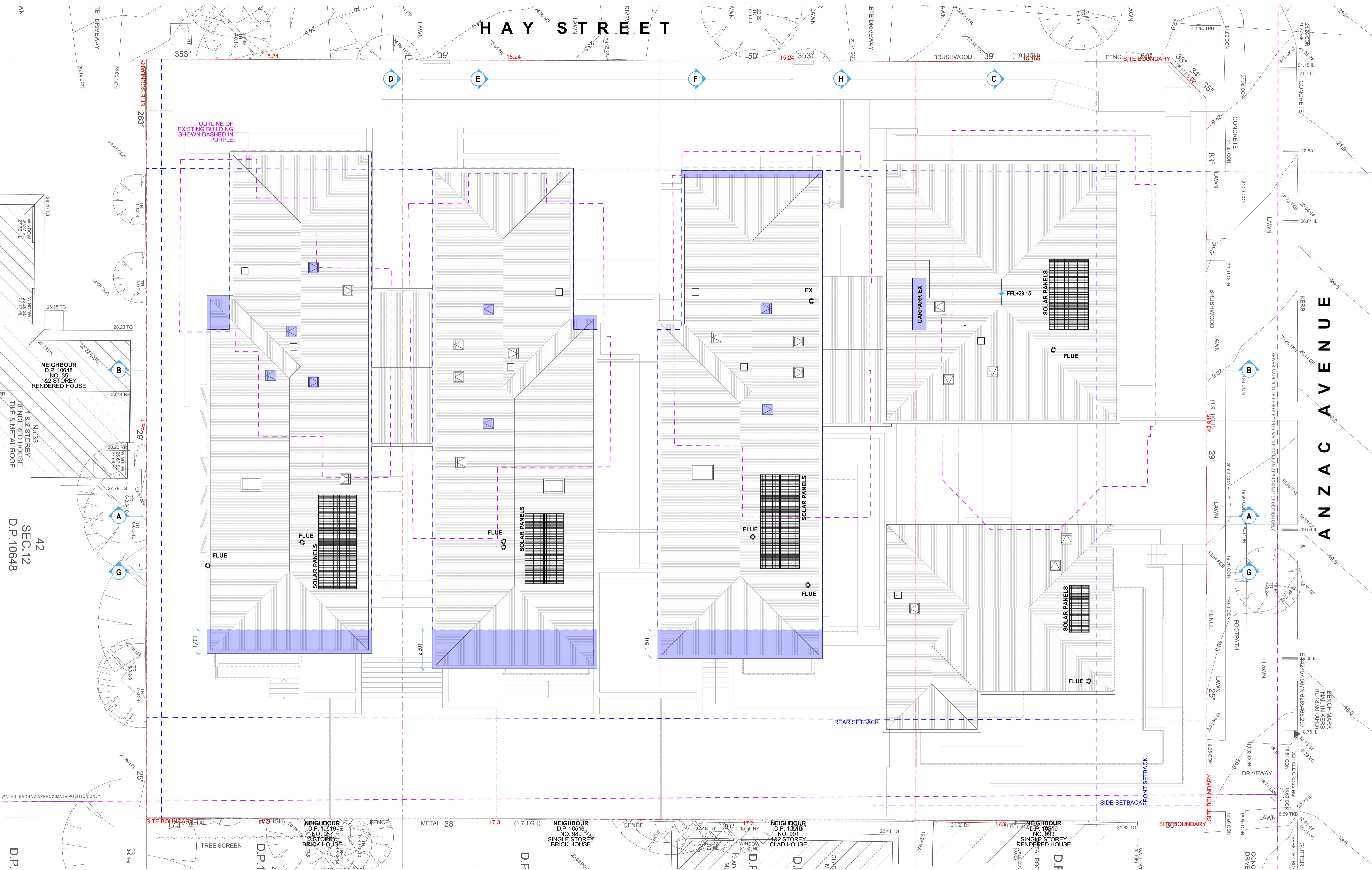


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Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Level 02 Plan
 Drawing No.
0638-MOD107
 Scale
1:100 at A1 size
 Revision
01
 Date
19/07/24



11 19/07/24 FOR SUBMISSION
 Rev Date Amendment
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 97 19/07/24 FOR SUBMISSION
 98 98
 99 19/07/24 FOR SUBMISSION
 100 100

CHANGES TO BUILDING INDICATED BY AREA SHADED IN BLUE
 CHANGES TO BALCONIES & TERRACES INDICATED BY AREA SHADED IN YELLOW

NEIGHBOUR D.P. 10648
 NO. 35
 1 & 2 STOREY RENDERED HOUSE
 TILE & METAL ROOF

NEIGHBOUR D.P. 10519
 NO. 989
 SINGLE STOREY BRICK HOUSE

NEIGHBOUR D.P. 10619
 NO. 991
 1 & 2 STOREY CLAD HOUSE

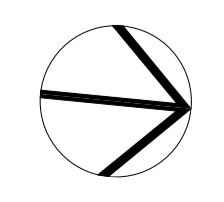
NEIGHBOUR D.P. 10619
 NO. 991
 SINGLE STOREY RENDERED HOUSE

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 Assessor: Ian Fry
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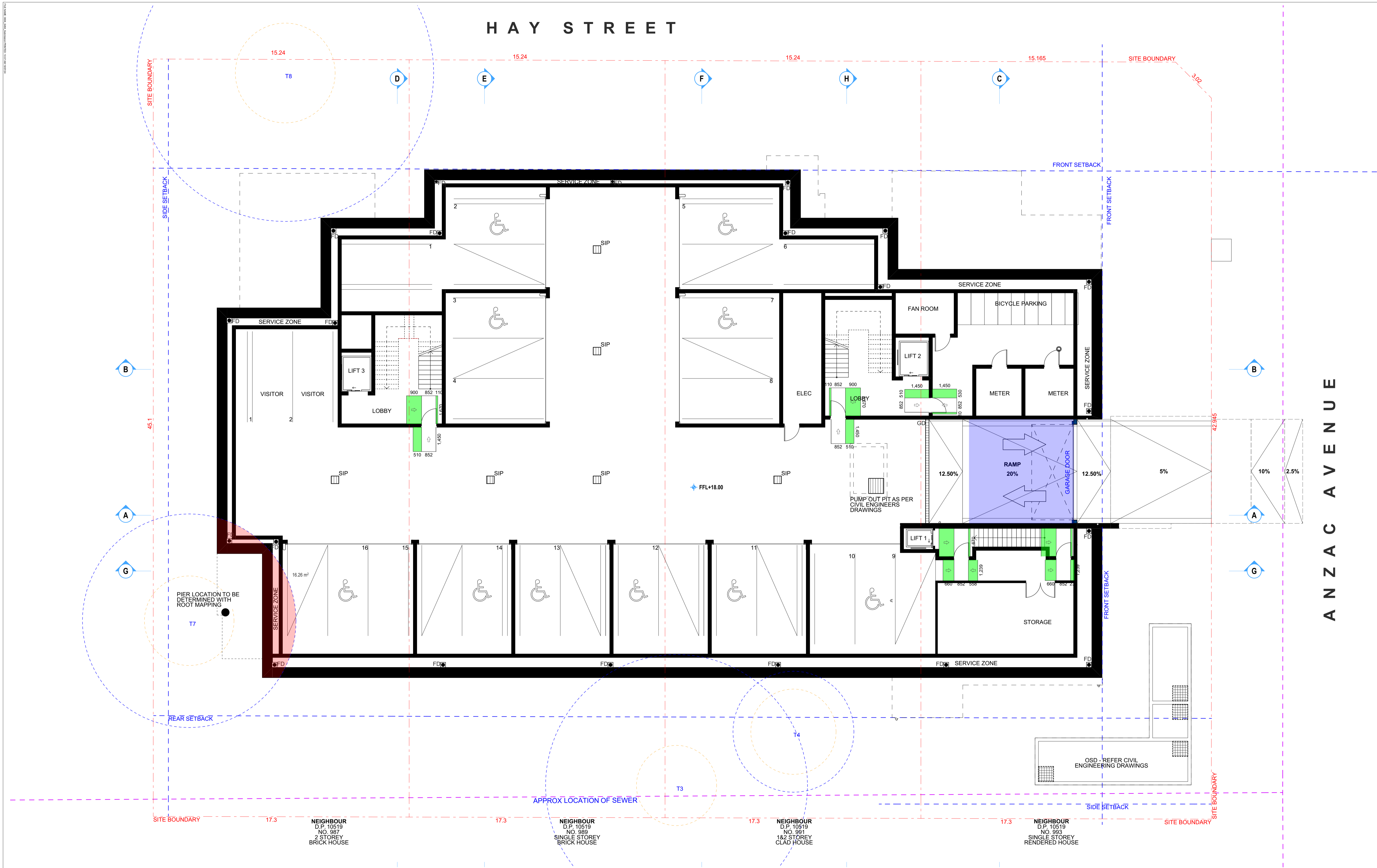
Client: **Collaroy Living Pty Ltd**
 Project: **COLLARROY LIVING RESIDENCES**
 37-43 Hay Street Collaroy NSW 2097
 Status: **4.58 APPLICATION**

Title: **Roof Plan**
 Drawing No. **0638-MOD108**
 Scale: **1:100 at A1 size**
 Revision: **01**
 Date: **19/07/24**



HAY STREET

ANZAC AVENUE



NEIGHBOUR
D.P. 10519
NO. 987
2 STOREY
BRICK HOUSE

NEIGHBOUR
D.P. 10519
NO. 989
SINGLE STOREY
BRICK HOUSE

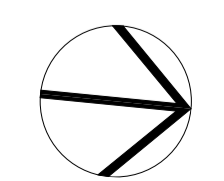
NEIGHBOUR
D.P. 10519
NO. 991
1&2 STOREY
CLAD HOUSE

NEIGHBOUR
D.P. 10519
NO. 993
SINGLE STOREY
RENDERED HOUSE

CHANGES TO BUILDING INDICATED BY
AREA SHADED IN BLUE
CHANGES TO BALCONIES & TERRACES
INDICATED BY AREA SHADED IN YELLOW

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Assessor: Ian Fry
Accreditation No. DMN/12/1441
Address: 37-43 Hay Street, Collaroy NSW, 2097.
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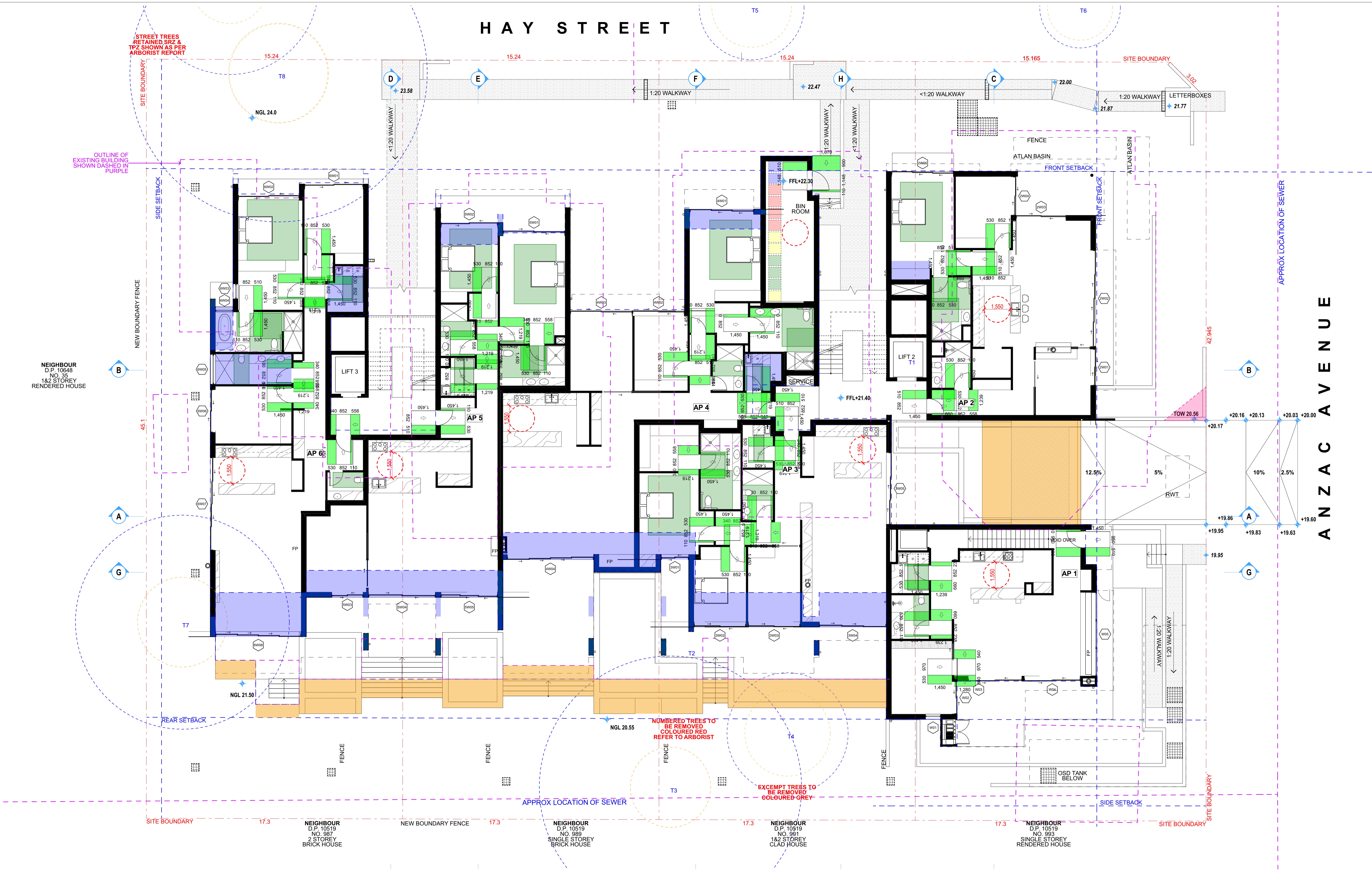
Client
Collaroy Living Pty Ltd
Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
Status
4.58 APPLICATION

Title
Basement Post Adaption Plan
Drawing No. 0638-MOD109
Revision 01
Scale 1:100 at A1 size
Date 19/07/24

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HAY STREET

ANZAC AVENUE



NEIGHBOUR
D.P. 10648
NO. 35
1&2 STOREY
RENDERED HOUSE

NEIGHBOUR
D.P. 10519
NO. 987
2 STOREY
BRICK HOUSE

NEIGHBOUR
D.P. 10519
NO. 989
SINGLE STOREY
BRICK HOUSE

NEIGHBOUR
D.P. 10519
NO. 991
1&2 STOREY
CLAD HOUSE

NEIGHBOUR
D.P. 10519
NO. 993
SINGLE STOREY
RENDERED HOUSE

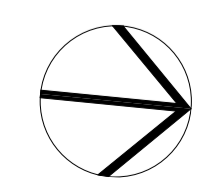
CHANGES TO BUILDING INDICATED BY
AREA SHADED IN BLUE
CHANGES TO BALCONIES & TERRACES
INDICATED BY AREA SHADED IN YELLOW

0008729800 12 Jul 2024
Assessor: Ian Fry
Accreditation No. DMN121441
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37-43 Hay Street,
Collaroy, NSW,
2097

5.6
Average
star rating
HOUSE
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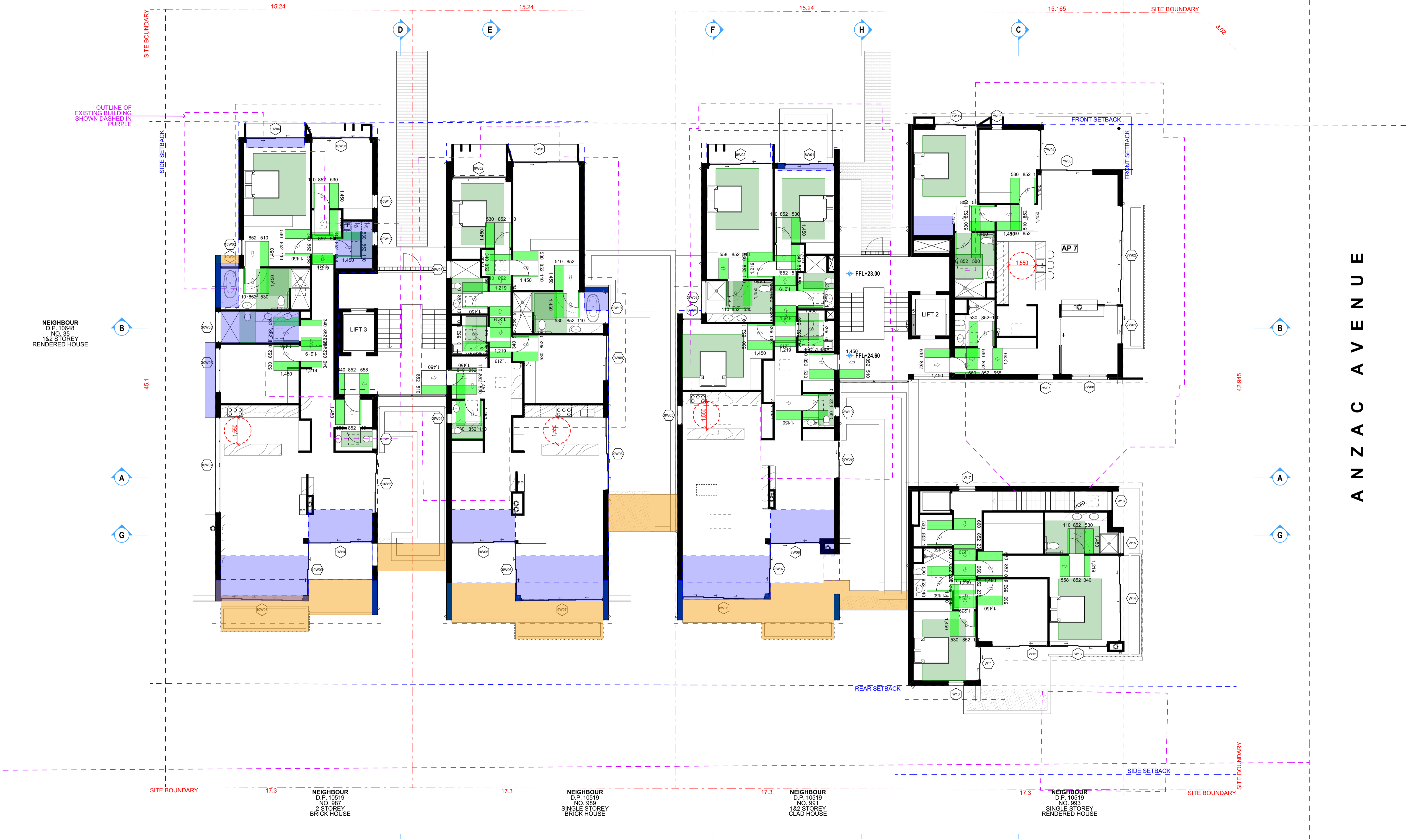


Client
Collaroy Living Pty Ltd
Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
Status
4.58 APPLICATION

Title
Level 01 Post Adaption Plan
Drawing No.
0638-MOD110
Revision
01
Scale
1:100 at A1 size
Date
19/07/24

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HAY STREET



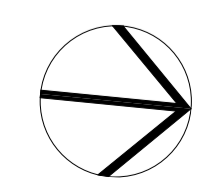
ANZAC AVENUE

CHANGES TO BUILDING INDICATED BY AREA SHADED IN BLUE
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 Status
4.58 APPLICATION

Title
Level 02 Post Adaption Plan
 Drawing No. 0638-MOD111
 Revision 01
 Scale 1:100 at A1 size
 Date 19/07/24

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ANZAC AVENUE



NEIGHBOUR
D.P. 10648
NO. 35
1&2 STOREY
RENDERED HOUSE

WEST ELEVATION
1:100

0008729800 12 Jul 2024
Assessor: Ian Fry
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Average
star rating
NATIONWIDE
HOUSE
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NEIGHBOUR
D.P. 10648
NO. 35
1&2 STOREY
RENDERED HOUSE

EAST ELEVATION
1:100

2

01 19/07/24 FOR SUBMISSION
Rev Date Amendment Drawn By Checked By
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LEGEND:

CO	CONCRETE	DP	DOWNPIPE
BR	BRICKWORK	GU	GUTTER
RM	RENDERED MASONRY	MDR	METAL DECK ROOF
ST	STONE CLADDING	MS	METAL SCREEN
CL	CEMENT CLADDING	MF	METAL FENCE
GW	GLAZED WINDOWS (ALUMINIUM FRAMED)	MB	METAL BALUSTRADE
GL	GLAZED GLAZING	PF	PAINT FINISH
GB	GLASS BALUSTRADE		
BY	GLAZED BALUSTRADE		

CHANGES TO BUILDING INDICATED BY AREA SHADED IN BLUE
CHANGES TO BALCONIES & TERRACES INDICATED BY AREA SHADED IN YELLOW

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Client
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Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
Status
4.58 APPLICATION

Title
Elevations 1
Drawing No.
0638-MOD112
Revision
01
Scale
1:100 at A1 size
Date
19/07/24



1 NORTH ELEVATION 1:100



2 SOUTH ELEVATION 1:100

CHANGES INDICATED BY AREA SHADED IN BLUE

LEGEND:

CO	CONCRETE	DP	DOWNPIPE
BR	BRICKWORK	GU	GUTTER
RM	RENDERED MASONRY	MR	METAL DECK ROOF
ST	STONE CLADDING	MS	METAL SCREEN
CL	CEMENT CLADDING	MF	METAL FENCE
GW	GLAZED WINDOWS (ALUMINIUM FRAMED)	MB	METAL BALUSTRADE
GL	GLAZED GLAZING	PF	PAINT FINISH
GB	GLASS BALUSTRADE		
BY	GLAZED BLYLIGHT		

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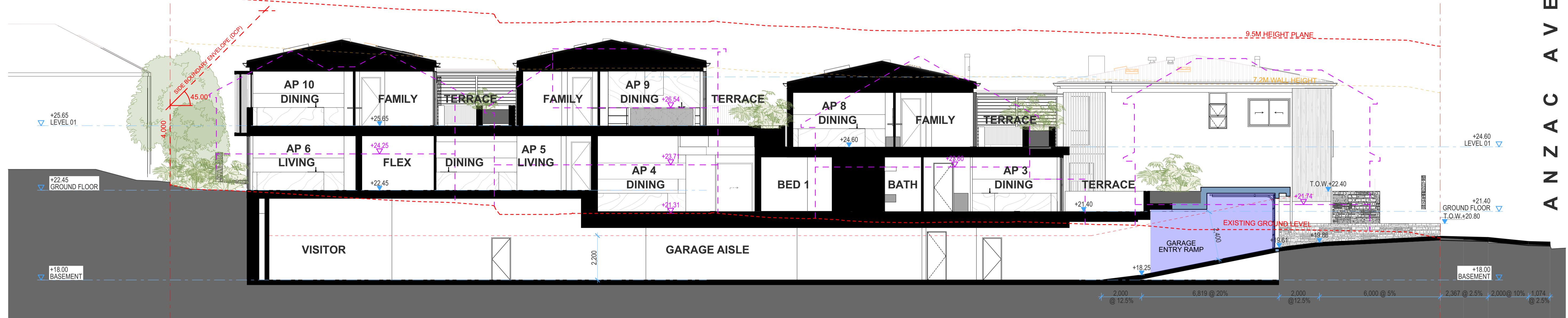
Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Elevations 2
 Drawing No.
 0638-MOD113
 Revision
 01
 Scale
 1:100 at A1 size
 Date
 19/07/24

01 19/07/24 FOR SUBMISSION
 Rev Date Amendment
 SD BB
 Dwn Chk
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NEIGHBOUR
D.P. 10648
NO. 35
1&2 STOREY
RENDERED HOUSE



SECTION AA

1



SECTION BB

ANZAC PARADE

CHANGES INDICATED BY
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Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
Status
4.58 APPLICATION

Title
Section AA & BB
Drawing No.
0638-MOD114
Revision
01
Scale
1:100 at A1 size
Date
19/07/24

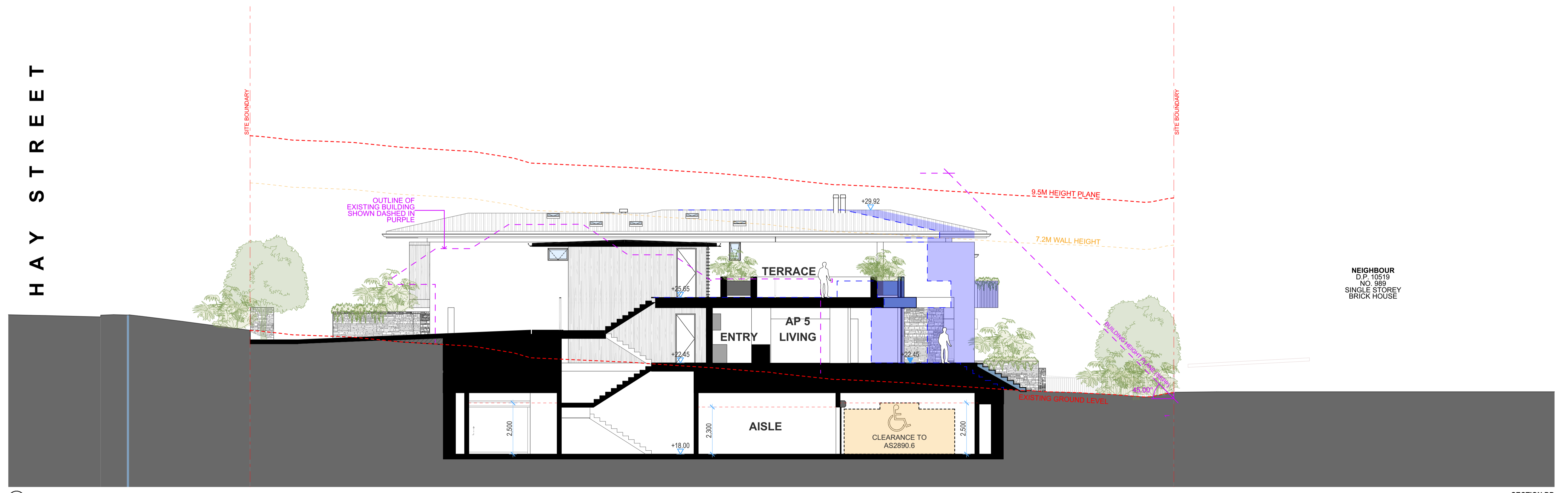
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DD BB
Dwn Chk
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HAY STREET



HAY STREET



2 SECTION DD

CHANGES INDICATED BY AREA SHADED IN BLUE

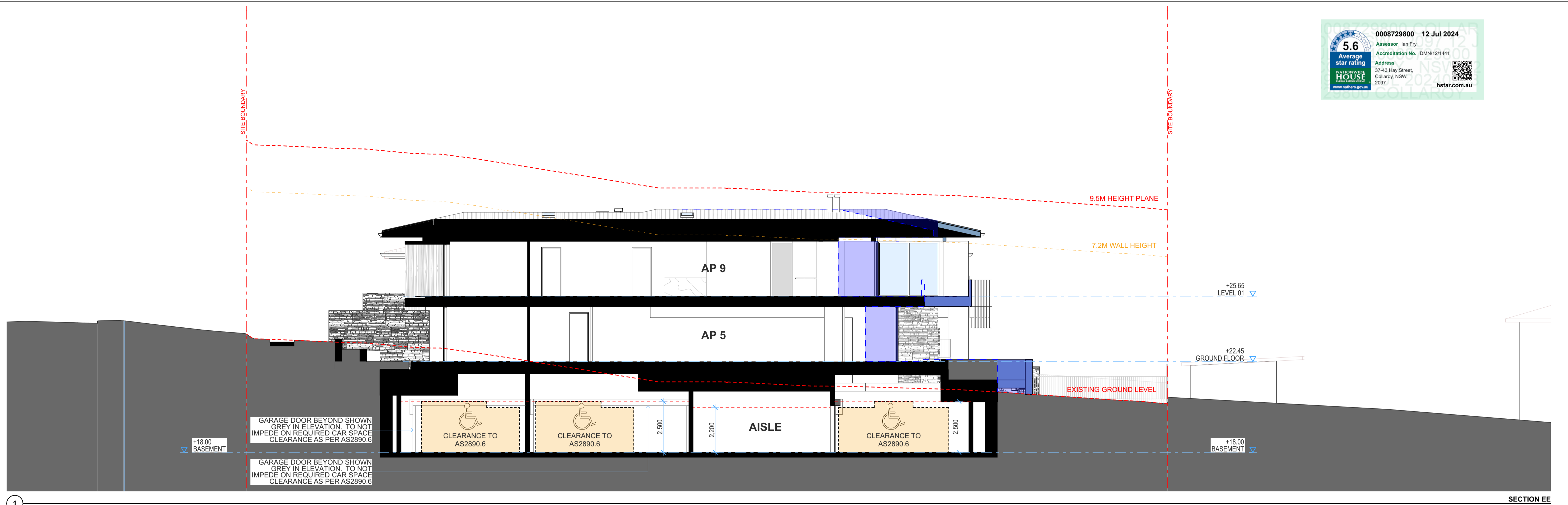
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Client
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 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Section CC & DD
 Drawing No.
 0638-MOD115
 Scale
 1:100 at A1 size
 Revision
 01
 Date
 19/07/24

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1 SECTION EE



2 SECTION FF

CHANGES INDICATED BY
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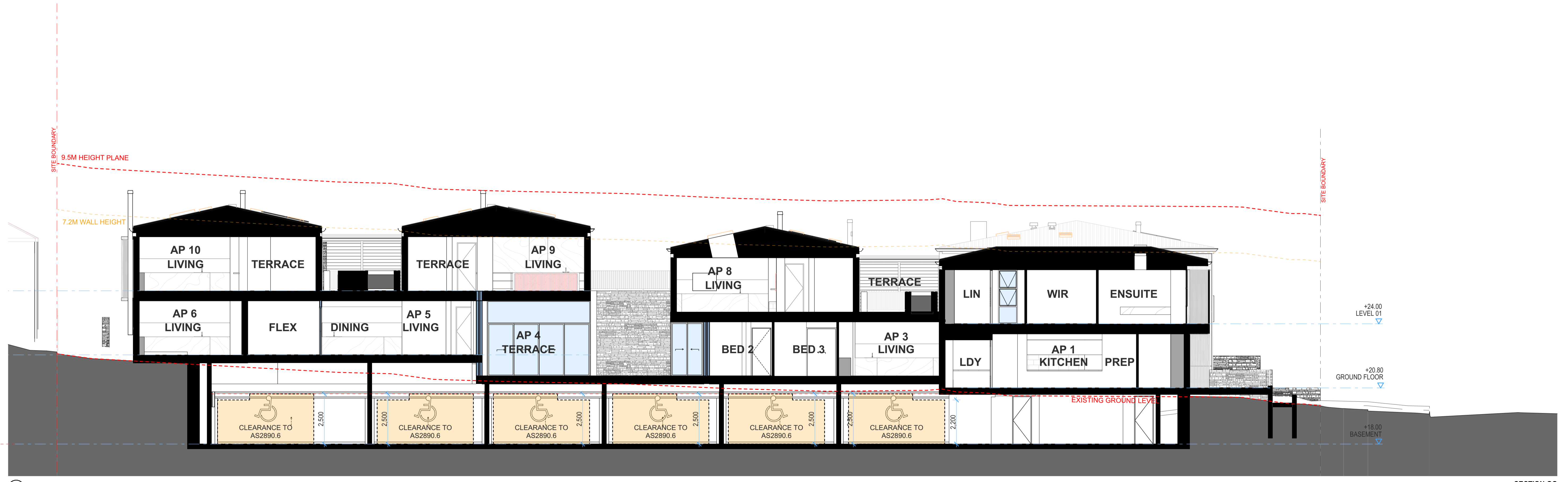
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Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Section EE & FF

Drawing No.
 0638-MOD116
 Revision
 01

Scale
 1:100 at A1 size
 Date
 19/07/24



1

SECTION GG

CHANGES INDICATED BY AREA SHADED IN BLUE

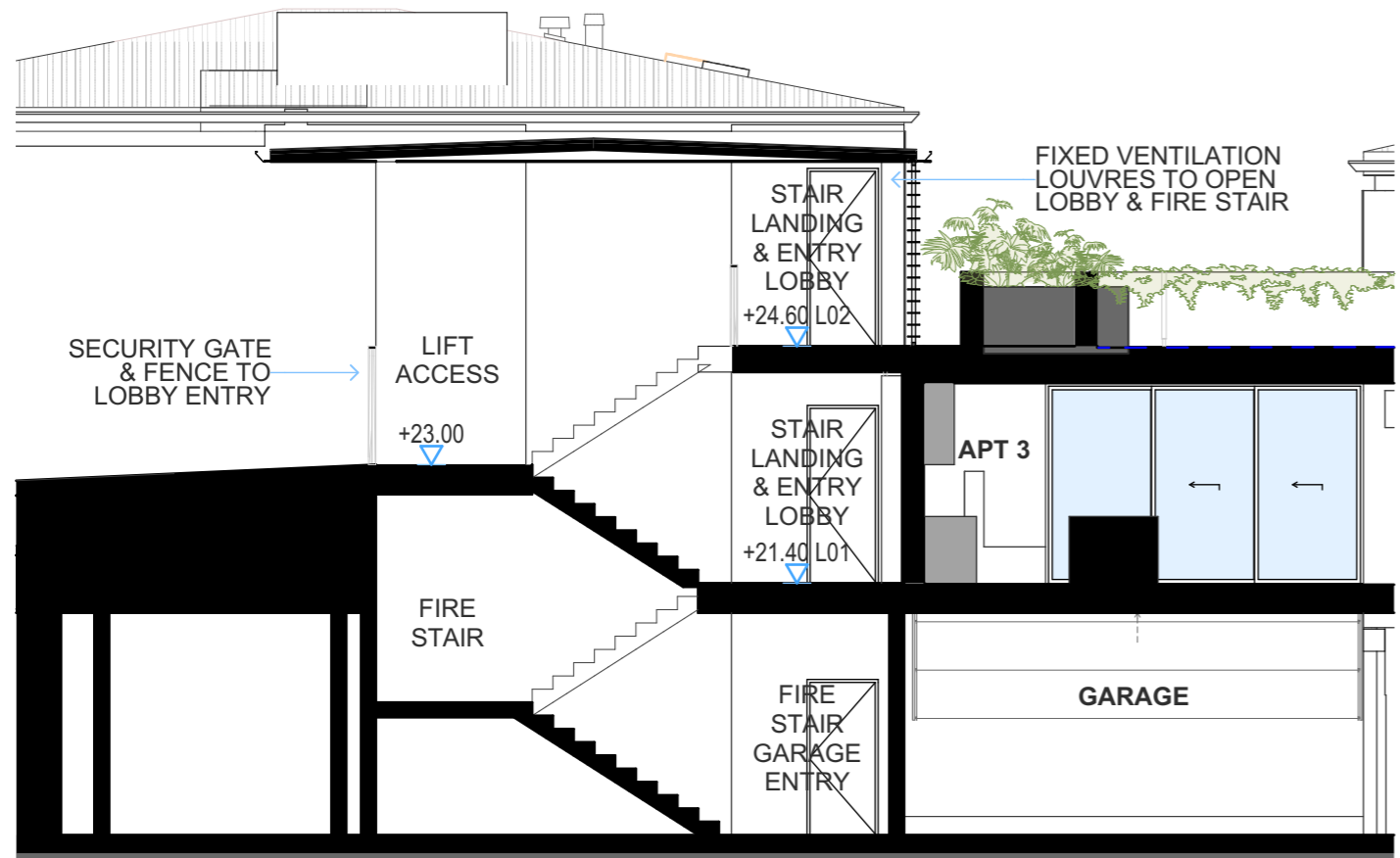
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 W popovbass.com.au

Client
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 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Section GG
 Drawing No.
0638-MOD117
 Scale
1:100 at A1 size
 Revision
01
 Date
19/07/24

01 19/07/24 FOR SUBMISSION
 Rev Date Amendment
 02 19/07/24
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 100 19/07/24



1 SECTION HH



ENTRY PATHWAY



ENTRY ACCESS GATE



LEVEL 02 STAIR LANDING

0008729800 12 Jul 2024

Assessor Ian Fry
Accreditation No. DMN/12/1441

Address
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Rv	Date	Amendment	Drw	Chk
01	19/07/24	FOR SUBMISSION	BG	BB

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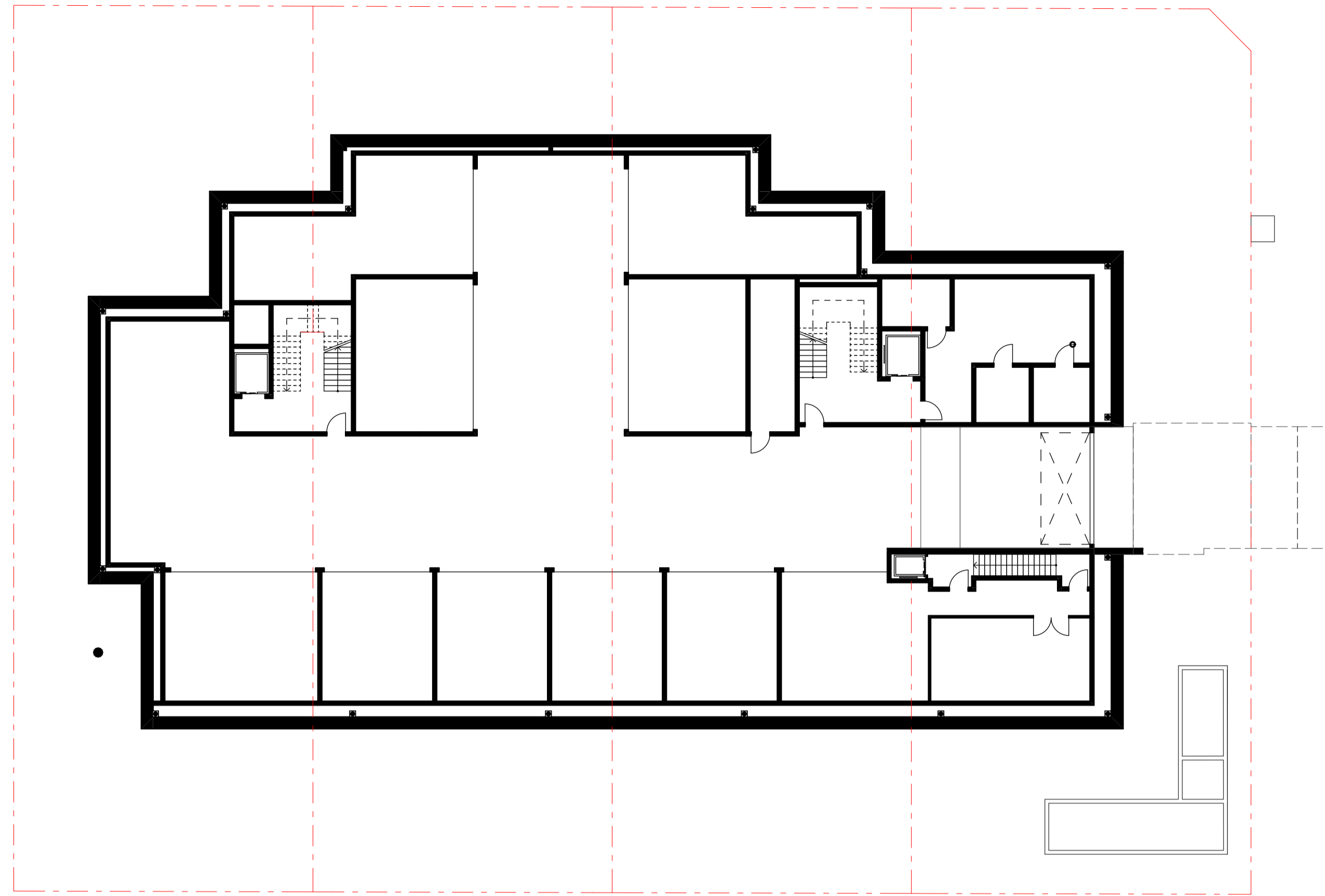


Client
Collaroy Living Pty Ltd

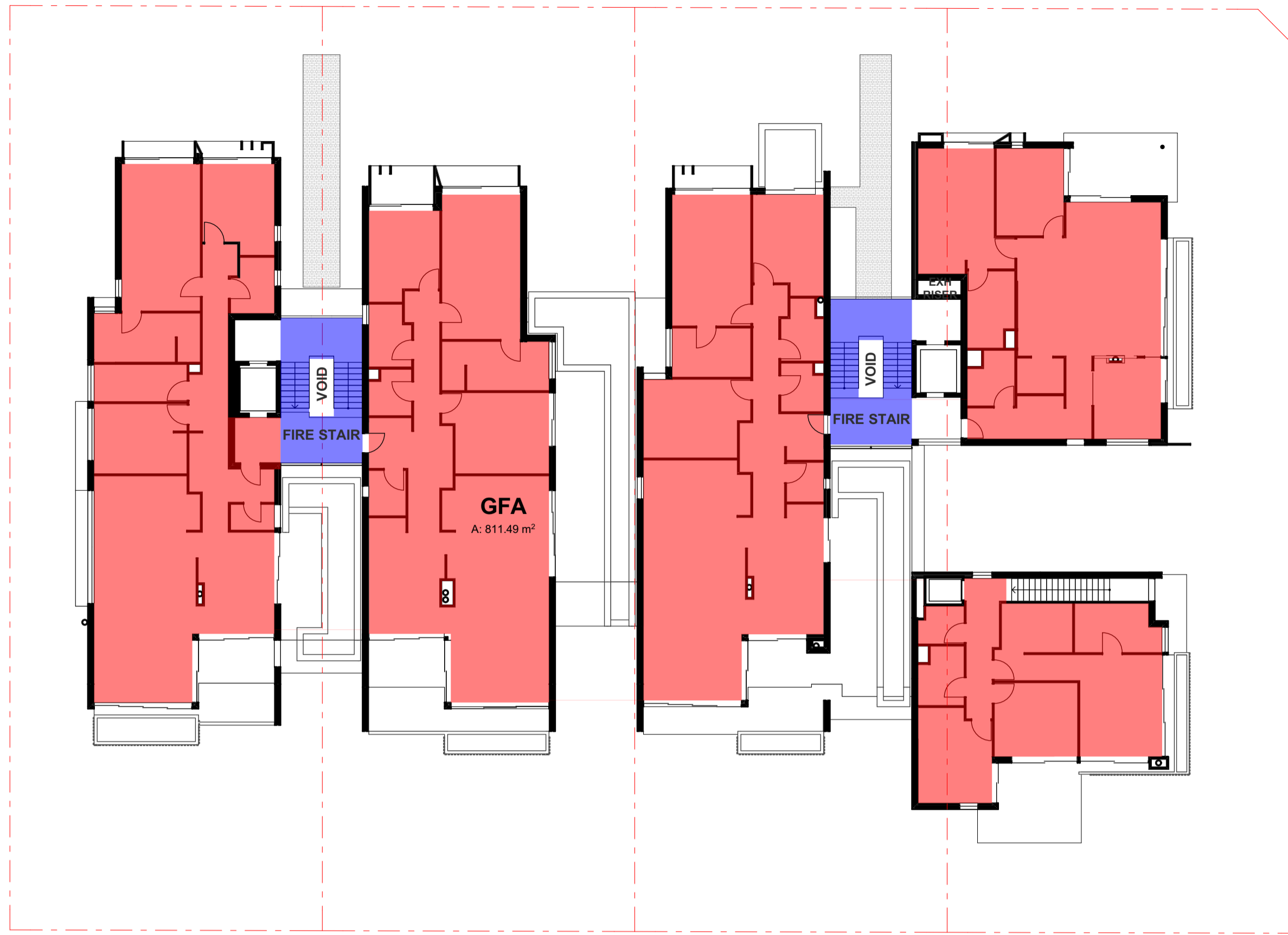
Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097

Status
4.58 APPLICATION

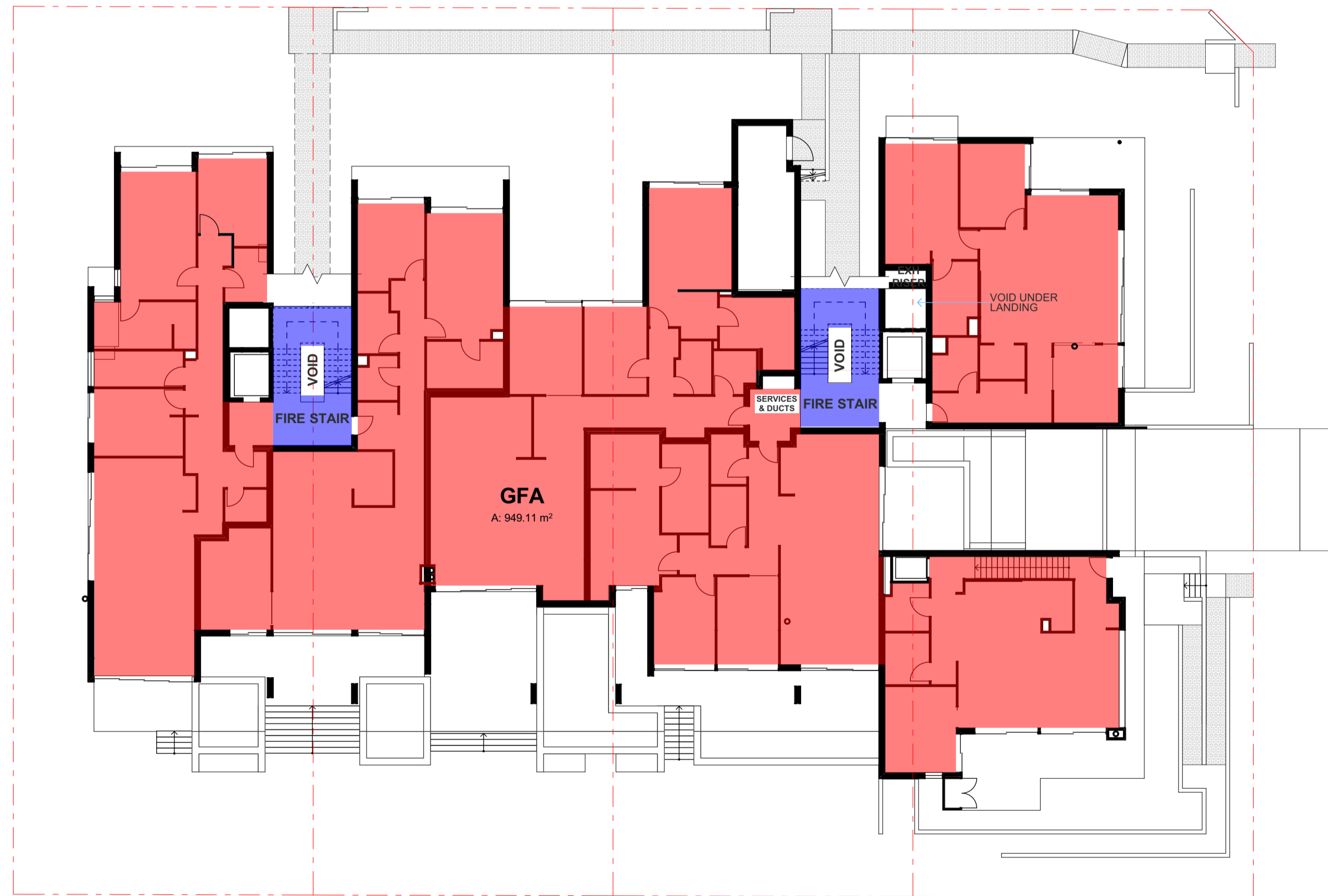
Title	
Entry Section & Renders	
Page	Revision
0638-MOD118	01
Scale	Date
1:100 at A3 size	19/07/24



Basement GFA



Level 02 GFA



Level 01 GFA

GFA CALCULATION	
BASEMENT GFA	0.00m ²
GROUND FLOOR GFA	949.11m ²
LEVEL 01 GFA	811.49m ²
	1,760.60m²

SITE AREA	2,839.10m ²
TOTAL GFA	1,760.60m ²
TOTAL FSR	0.62:1



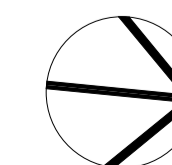
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1

2

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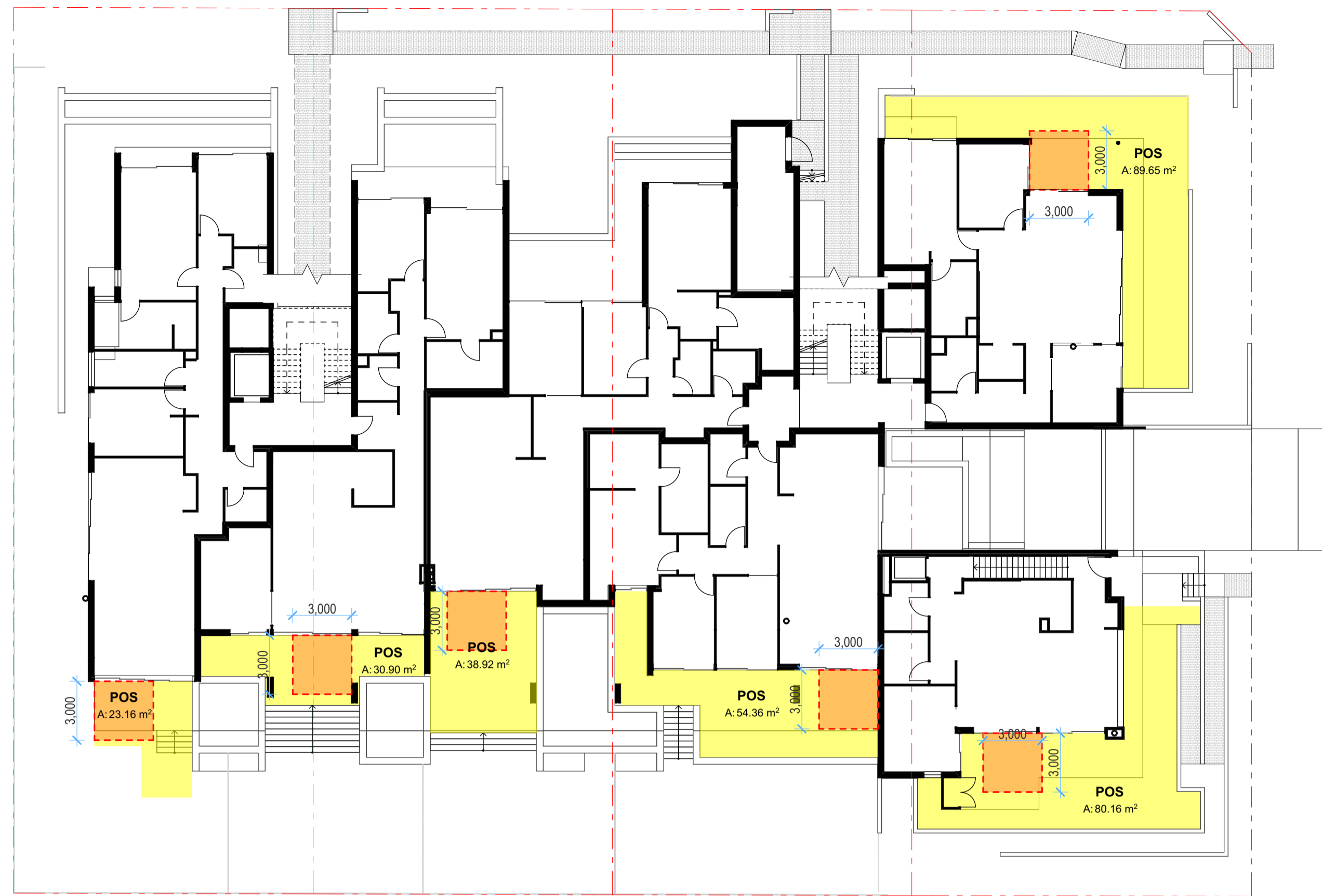
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 E info@popovbass.com.au
 W popovbass.com.au



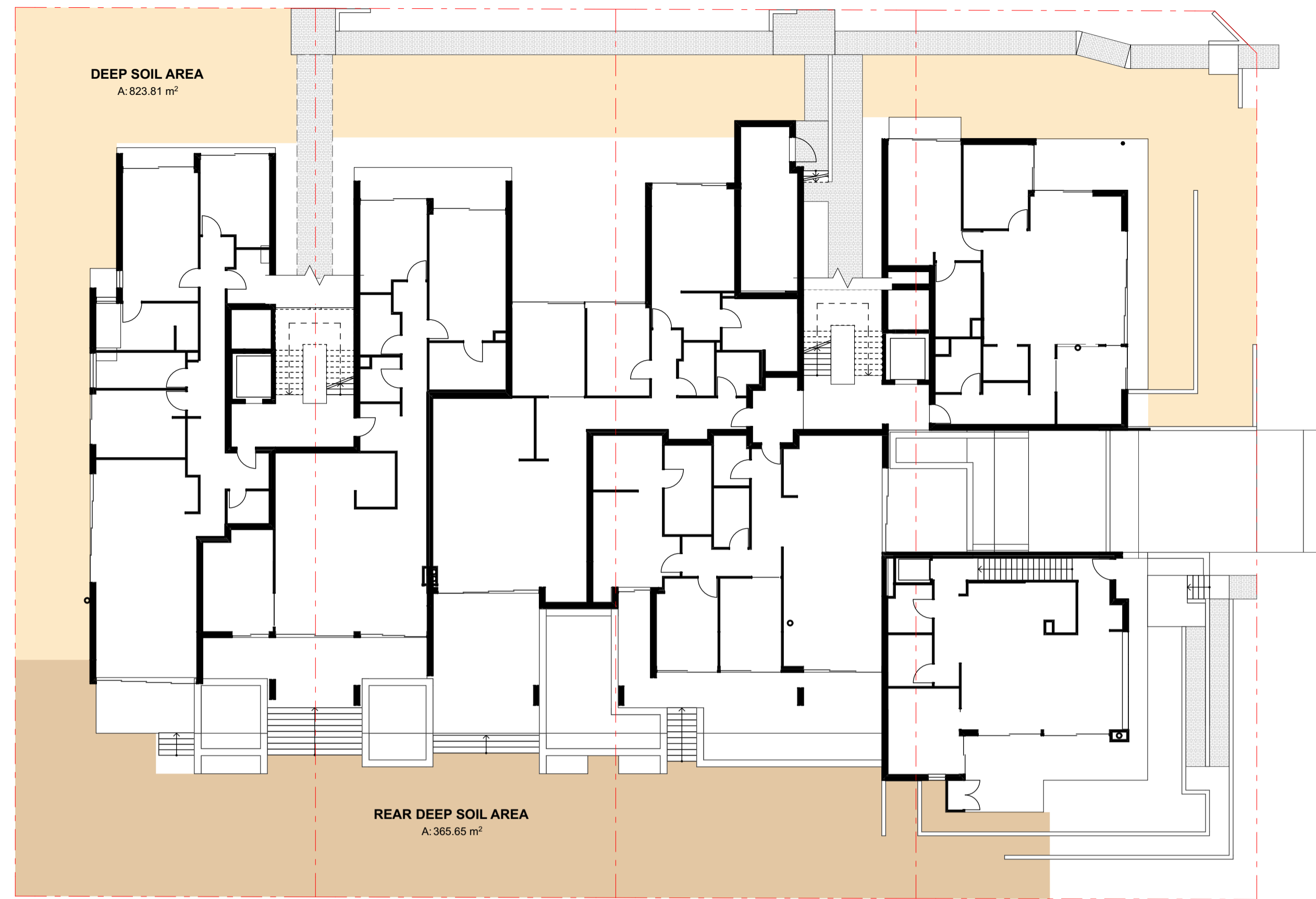
Client
Collaroy Living Pty Ltd
 Project
COLLAROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Compliance Diagrams
 Drawing No.
0638-MOD119
 Revision
09
 Scale
1:200 at A1 size
 Date
19/07/24

09 19/07/24 FOR SUBMISSION
 Rev Date Amendment
 DD BB
 Drwn Chk
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Ground Floor POS



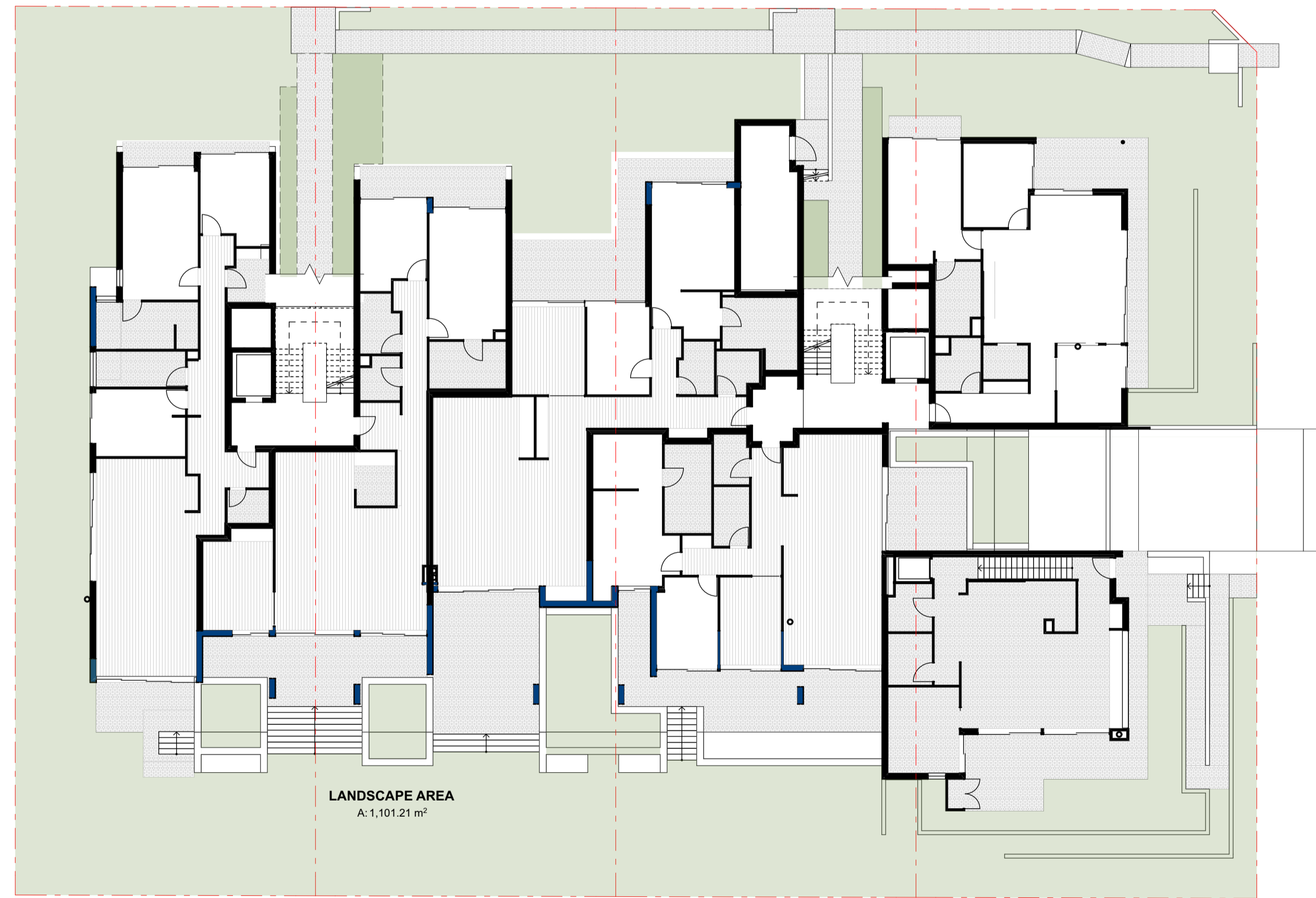
Ground Floor Deep Soil

DEEP SOIL CALCULATION	
CONTROL	15%
REQUIRED m ²	425.87
ACHIEVED m ²	823.82
COMPLIES	YES

REAR DEEP SOIL CALCULATION	
CONTROL	65% of 15%
MINIMUM m ²	276.81
ACHIEVED m ²	365.65
COMPLIES	YES



Level 01 POS



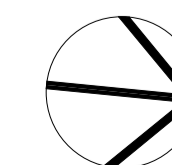
Ground Floor Landscape

LANDSCAPE CALCULATION	
CONTROL	30%
MINIMUM m ²	851.73
ACHIEVED m ²	1101.21
COMPLIES	YES

01 19/07/24 FOR SUBMISSION
 Rev Date Amendment
 SD BB
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Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Compliance Diagrams
 Drawing No. 0638-MOD120
 Revision 01
 Scale 1:200 at A1 size
 Date 19/07/24

HAY STREET

LEGEND:

- = PROPOSED NEW SHADOWS
- = EXISTING SHADOWS UNCHANGED
- = EXISTING SHADOWS NO LONGER CAST

0008729800 12 Jul 2024

Assessor: Ian Fry
Accreditation No. DMN121441

5.6
Average star rating

NATIONWIDE HOUSE
www.nhars.gov.au

Address: 37-43 Hay Street, Collaroy NSW, 2097
hstar.com.au



NEIGHBOUR
D.P. 10648
NO. 35
1&2 STOREY
RENDERED HOUSE

NEIGHBOUR
D.P. 10519
NO. 993
SINGLE STOREY
RENDERED HOUSE

NEIGHBOUR
D.P. 10519
NO. 987
2 STOREY
BRICK HOUSE

NEIGHBOUR
D.P. 10519
NO. 989
SINGLE STOREY
BRICK HOUSE

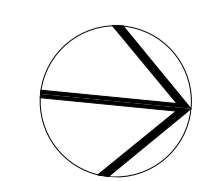
NEIGHBOUR
D.P. 10519
NO. 991
1&2 STOREY
CLAD HOUSE

A N Z A C A V E N U E

01 19/07/24 FOR SUBMISSION
Rev Date Amendment Dwn Chk
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Client
Collaroy Living Pty Ltd

Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097

Status
4.58 APPLICATION

Title
Shadow Diagram: 9:00am June 21

Drawing No. 0638-MOD121
Revision 01

Scale 1:200 at A1 size
Date 19/07/24

HAY STREET

LEGEND:

- = PROPOSED NEW SHADOWS
- = EXISTING SHADOWS UNCHANGED
- = EXISTING SHADOWS NO LONGER CAST

0008729800 12 Jul 2024
 Assessor: Ian Fry
 Accreditation No. DMN12/1441
 Address: 37-43 Hay Street, Collaroy, NSW, 2097
 www.nashers.gov.au hstar.com.au




NEIGHBOUR
D.P. 10648
NO. 35
1&2 STOREY
RENDERED HOUSE

NEIGHBOUR
D.P. 10519
NO. 987
2 STOREY
BRICK HOUSE

NEIGHBOUR
D.P. 10519
NO. 989
SINGLE STOREY
BRICK HOUSE

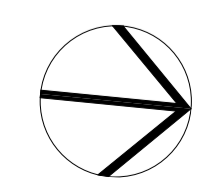
NEIGHBOUR
D.P. 10519
NO. 991
1&2 STOREY
CLAD HOUSE

NEIGHBOUR
D.P. 10519
NO. 993
SINGLE STOREY
RENDERED HOUSE

ANZAC AVENUE

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Client
Collaroy Living Pty Ltd
Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
Status
4.58 APPLICATION

Title
Shadow Diagram: 12:00pm June 21
Drawing No. 0638-MOD122
Revision 01
Scale 1:200 at A1 size
Date 19/07/24

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Rev Date Amendment
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HAY STREET

ANZAC AVENUE

- LEGEND:**
- = PROPOSED NEW SHADOWS
 - = EXISTING SHADOWS UNCHANGED
 - = EXISTING SHADOWS NO LONGER CAST



NEIGHBOUR
D.P. 10648
NO. 35
1&2 STOREY
RENDERED HOUSE

NEIGHBOUR
D.P. 10519
NO. 987
2 STOREY
BRICK HOUSE

NEIGHBOUR
D.P. 10519
NO. 989
SINGLE STOREY
BRICK HOUSE

NEIGHBOUR
D.P. 10519
NO. 991
1&2 STOREY
CLAD HOUSE

NEIGHBOUR
D.P. 10519
NO. 993
SINGLE STOREY
RENDERED HOUSE

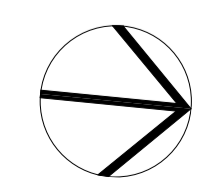
0008729800 12 Jul 2024
Assessor: Ian Fry
Accreditation No. DMN12/1441
Address: 37-43 Hay Street, Collaroy, NSW, 2097
www.nsw.gov.au
www.hstar.com.au

5.6
Average star rating
NATIONWIDE HOUSE
www.nsw.gov.au

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Rev Date Amendment
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Client
Collaroy Living Pty Ltd
Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
Status
4.58 APPLICATION

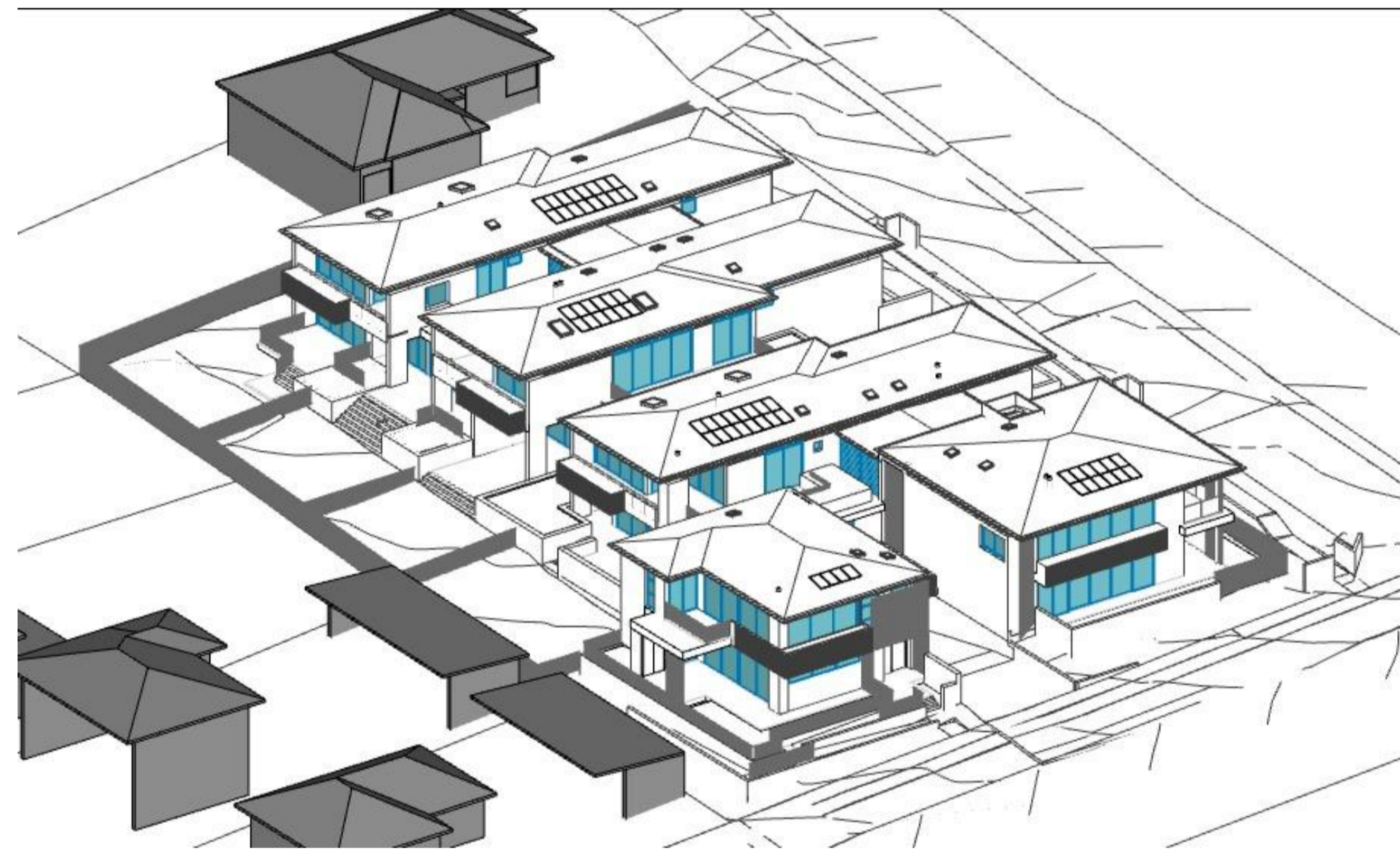
Title
Shadow Diagram: 3:00pm June 21
Drawing No.
0638-MOD123
Revision
01
Scale
1:200 at A1 size
Date
19/07/24



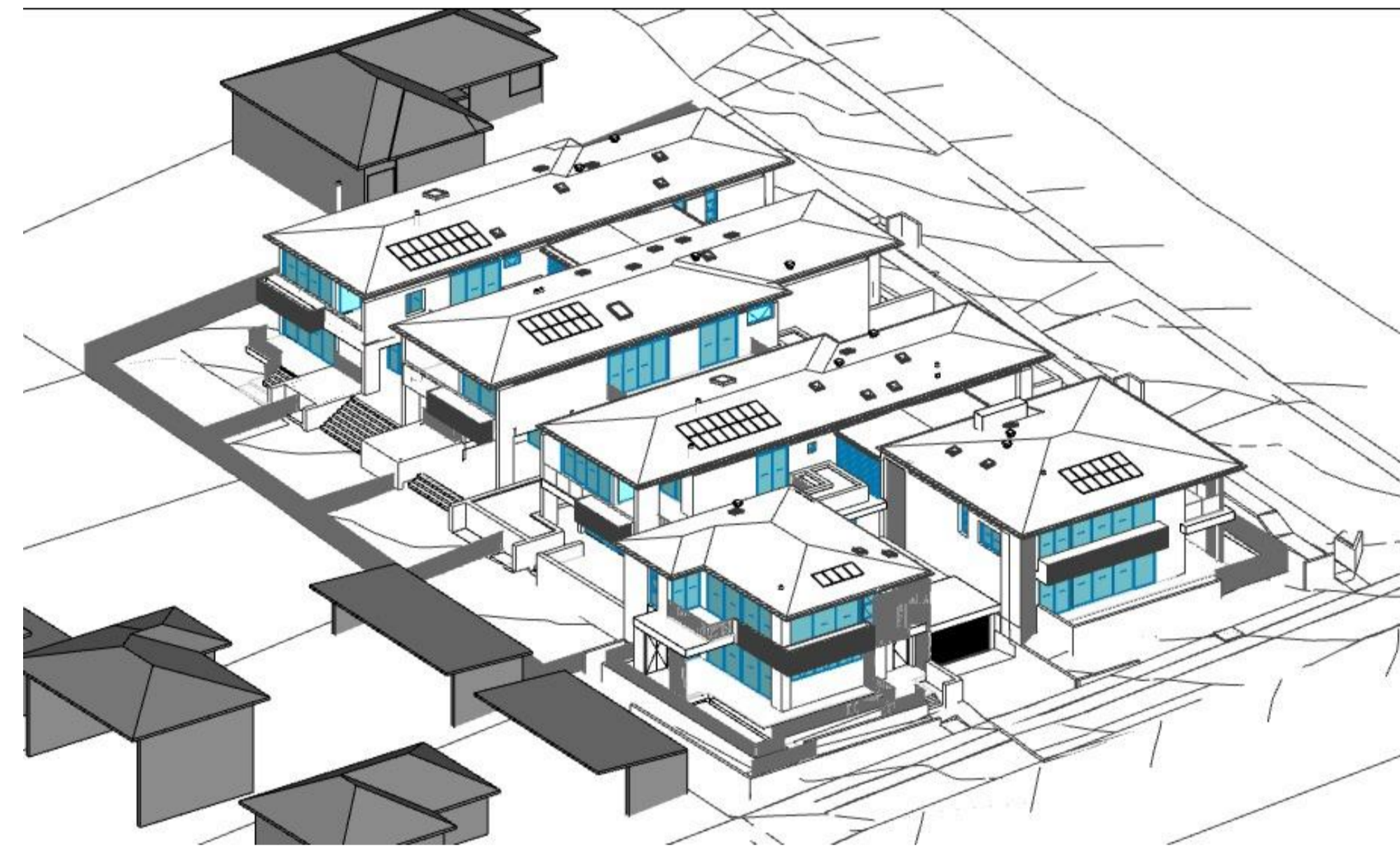
1 Sun Eye View: June 21 - 9:00am Approved



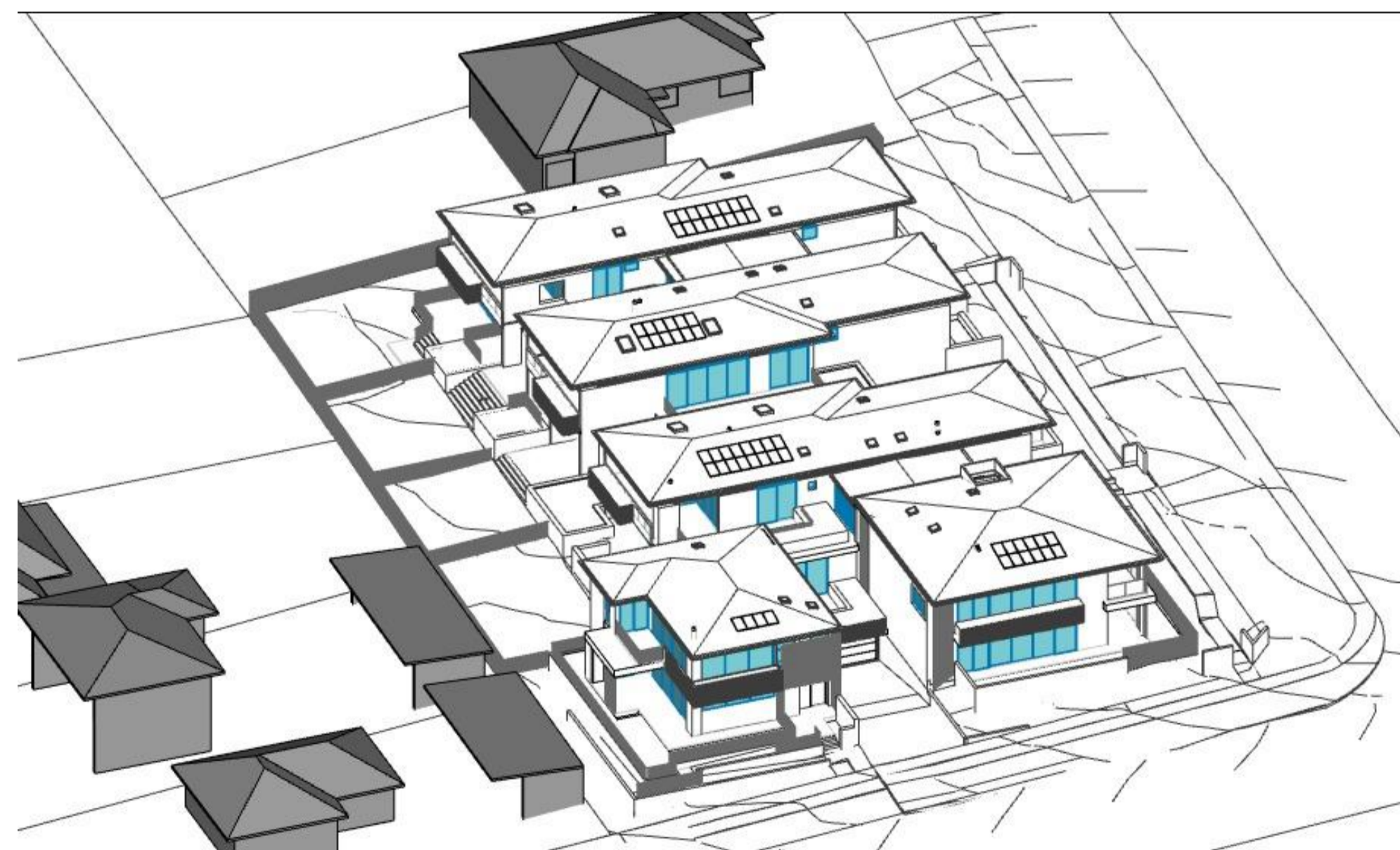
2 Sun Eye View: June 21 - 9:00am Proposed



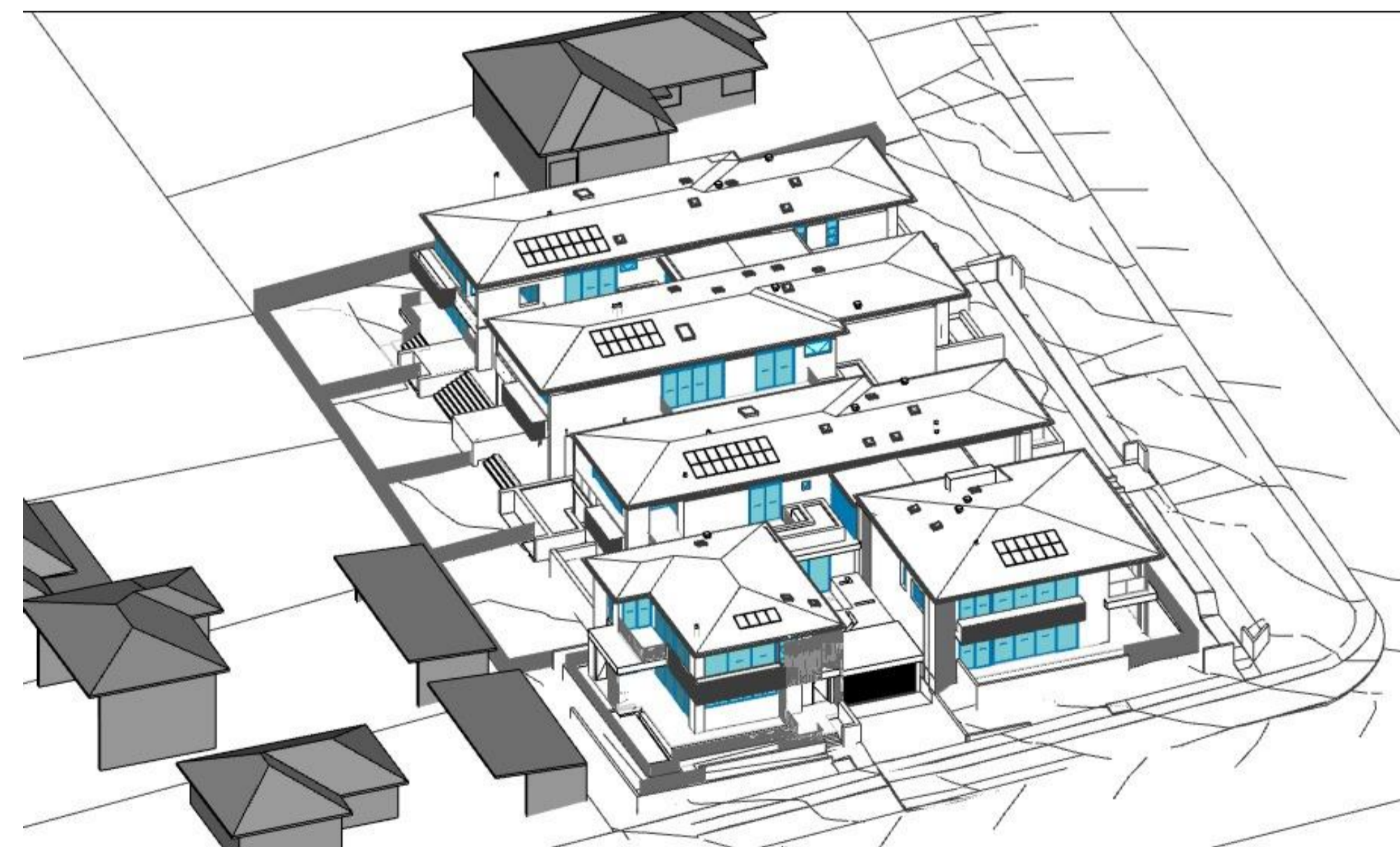
3 Sun Eye View: June 21 - 10:00am Approved



4 Sun Eye View: June 21 - 10:00am Proposed



5 Sun Eye View: June 21 - 11:00am Approved



6 Sun Eye View: June 21 - 11:00am Proposed



1 Sun Eye View: June 21 - 12:00pm Approved



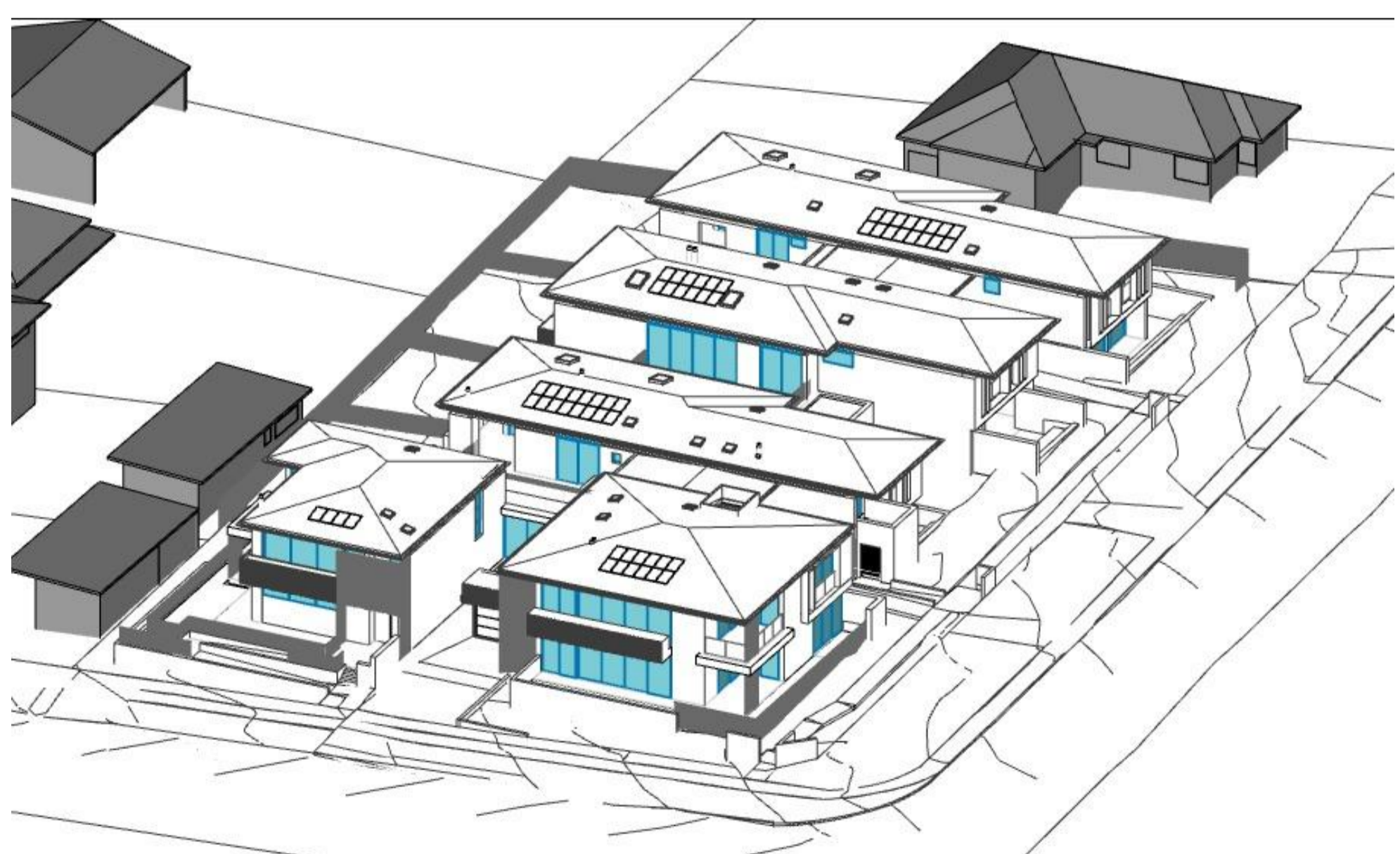
2 Sun Eye View: June 21 - 12:00pm Proposed



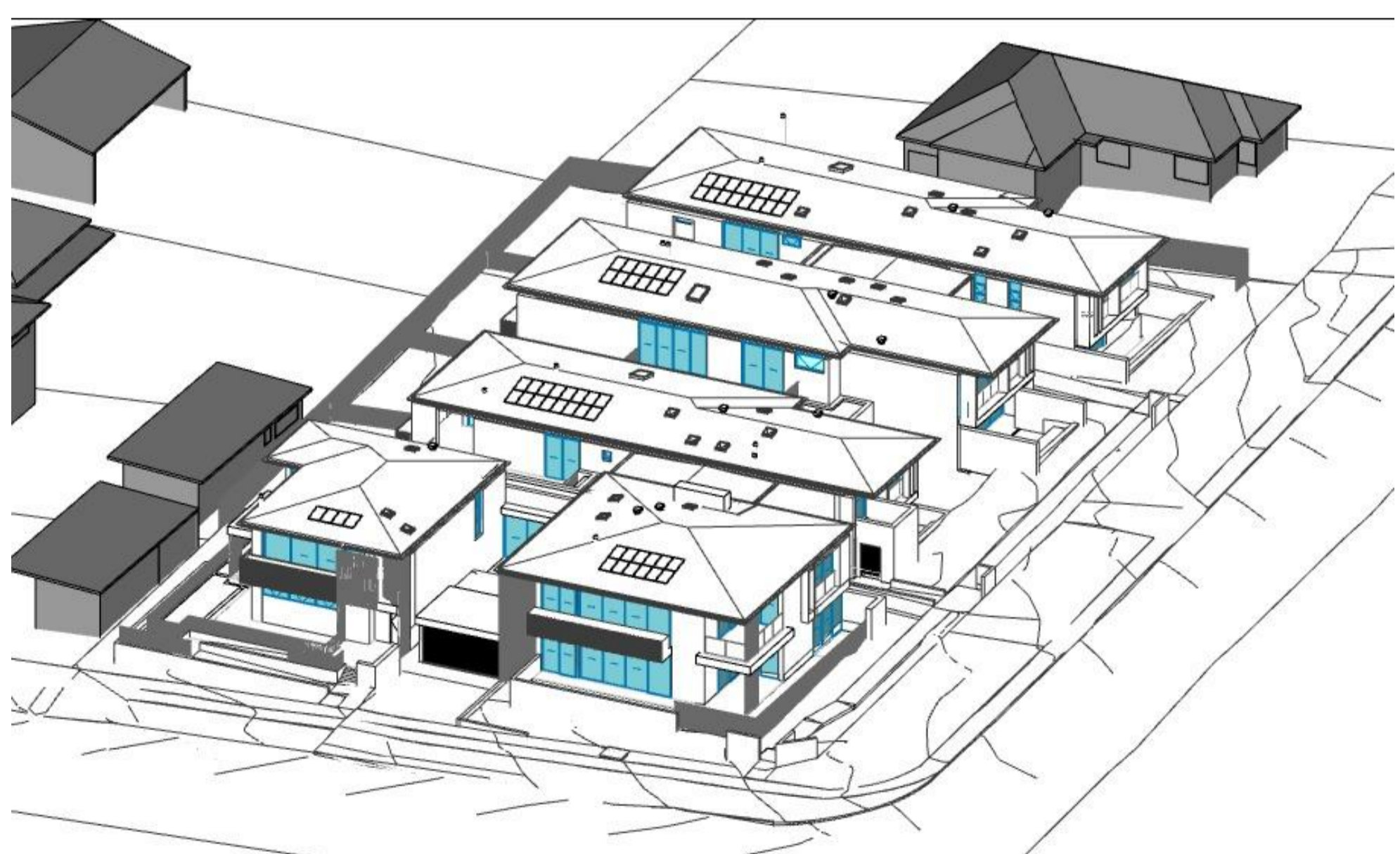
3 Sun Eye View: June 21 - 1:00pm Approved



4 Sun Eye View: June 21 - 1:00pm Proposed



5 Sun Eye View: June 21 - 2:00pm Approved



6 Sun Eye View: June 21 - 2:00pm Proposed

01 19/07/24 FOR SUBMISSION
 Rev Date Amendment
 DD BB
 Drawn
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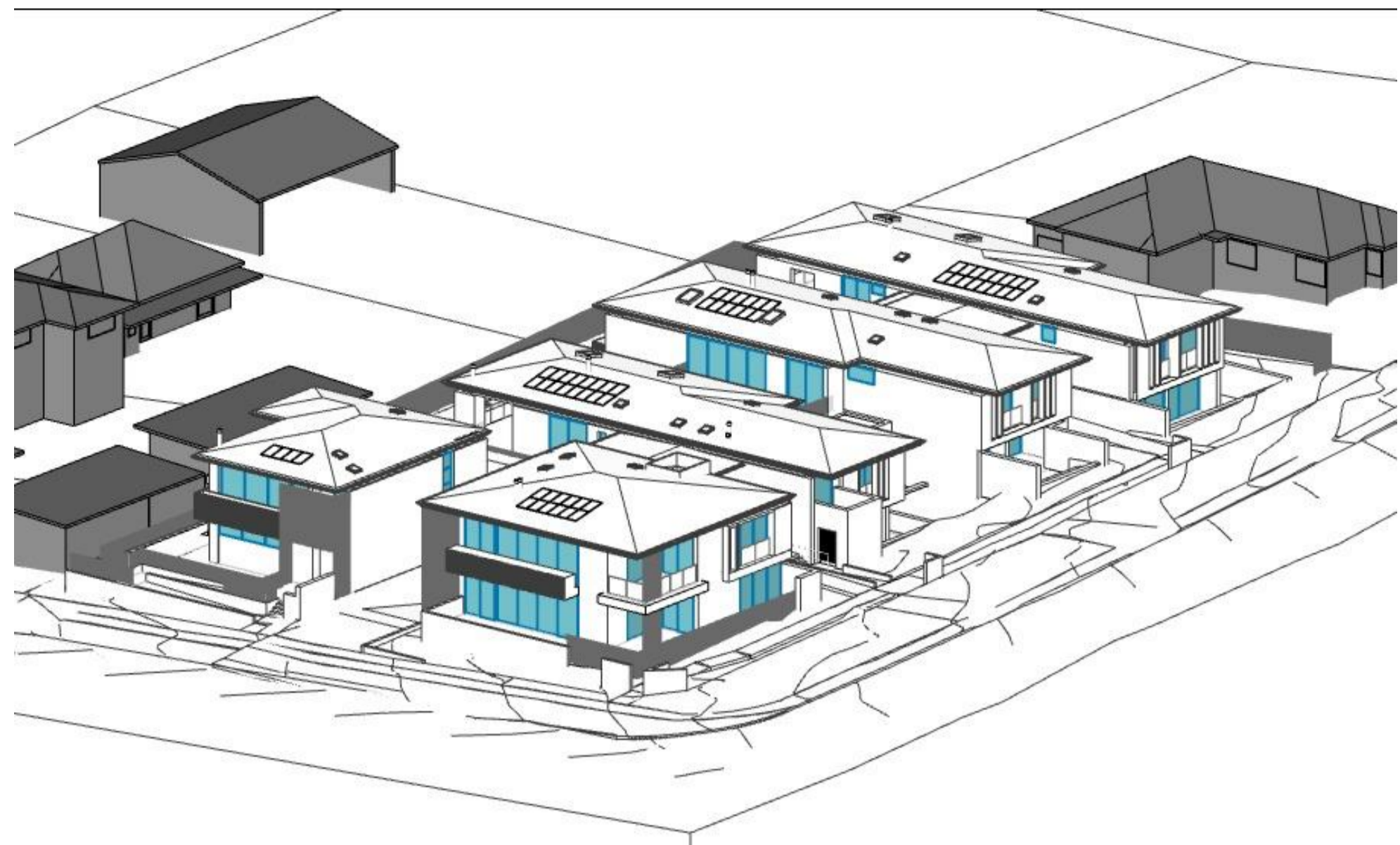
LEGEND:
 ■ PROPOSED NEW SHADOWS
 ■ EXISTING SHADOWS UNCHANGED
 ■ EXISTING SHADOWS NO LONGER CAST

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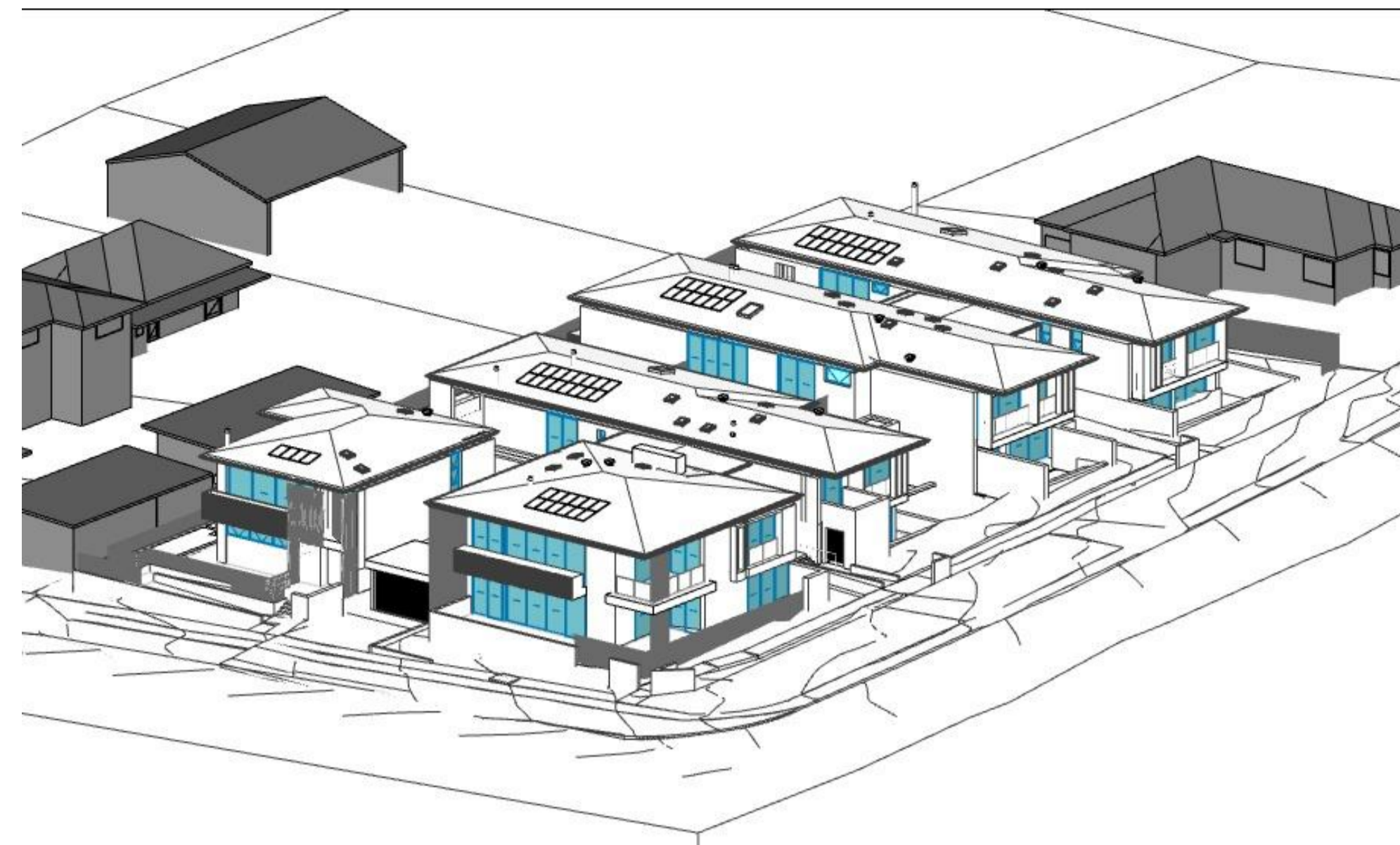
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 W popovbass.com.au

Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
Sun Eye Diagrams June 21 Approved & Proposed
 Drawing No. 0638-MOD125
 Revision 01
 Scale at A1 size
 Date 19/07/24



2 Sun Eye View: June 21 - 3:00pm Approved



3 Sun Eye View: June 21 - 3:00pm Proposed

Solar Access Tally at 1 Hour intervals
PROPOSED
 Subject site: 37-42 Hay Street, Collaroy

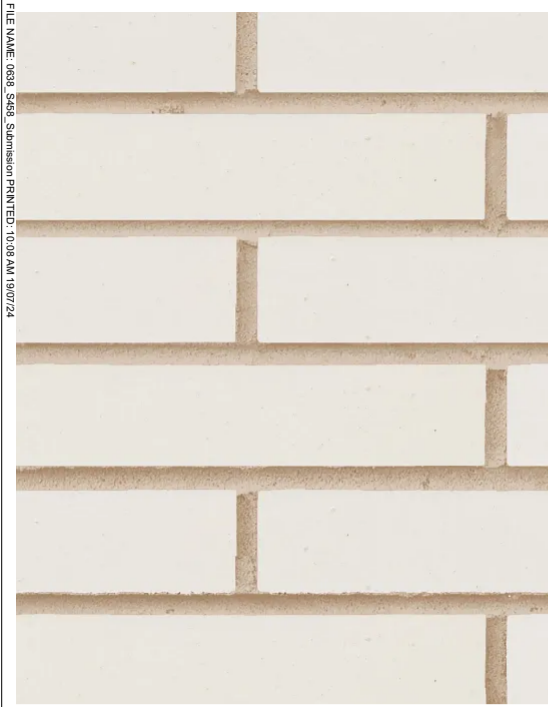
No. of Apt	Floor Level (Living)	Room Name	9:00	10:00	11:00	12:00	1:00	2:00	3:00	Total Hours	≥ 2 hours sun to LIVING & P.O.S
1	1	LIVING	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	6	Y
		P.O.S	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	6	
2	1	LIVING	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	6	Y
		P.O.S	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	6	
3	1	LIVING	Y 0	N 0	Y 1	Y 1	Y 1	Y 0	N 0	3	Y
		P.O.S	Y 1	Y 1	Y 1	Y 1	Y 0	N 0	N 0	4	
4	1	LIVING	Y 1	Y 0	N 0	N 0	N 0	N 0	N 0	1	
		P.O.S	Y 1	Y 1	Y 1	Y 0	N 0	N 0	N 0	3	
5	1	LIVING	Y 1	Y 0	N 0	N 0	N 0	N 0	N 0	1	
		P.O.S	Y 1	Y 1	Y 1	Y 0	N 0	N 0	N 0	3	
6	1	LIVING	Y 1	Y 1	Y 0	N 0	N 0	N 0	N 0	2	Y
		P.O.S	Y 1	Y 1	Y 1	Y 0	N 0	N 0	N 0	3	
7	2	LIVING	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	6	Y
		P.O.S	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	6	
8	2	LIVING	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	6	Y
		P.O.S	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	6	
9	2	LIVING	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	6	Y
		P.O.S	Y 1	Y 1	Y 1	Y 1	Y 0	N 0	N 0	4	
10	2	LIVING	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	Y 1	6	Y
		P.O.S	Y 1	Y 1	Y 1	Y 1	Y 1	Y 0	N 0	5	

Total No. of Apts
10

≥ 2 hours sunlight
8
80.0%

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LEGEND:
 = PROPOSED NEW SHADOWS
 = EXISTING SHADOWS UNCHANGED
 = EXISTING SHADOWS NO LONGER CAST



BR
BRICKWORK



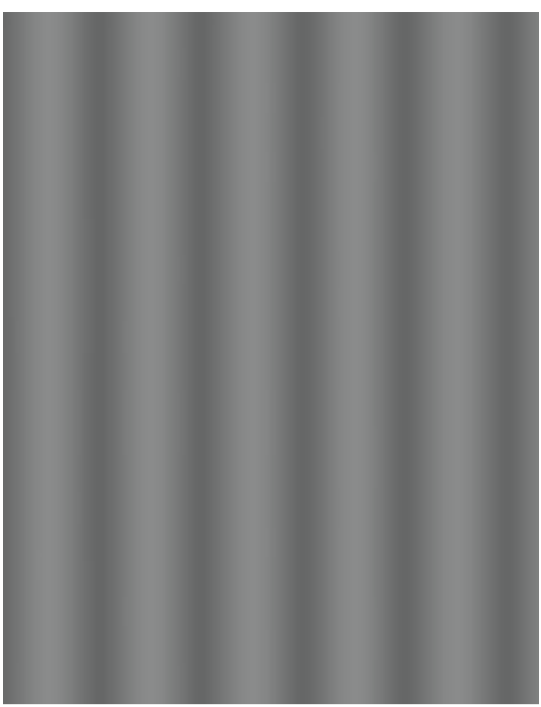
CO
CONCRETE



ST
SANDSTONE



CL1
TIMBER LOOK
CLADDING



MDR
METAL DECK ROOF



GB
GLASS BALUSTRADE



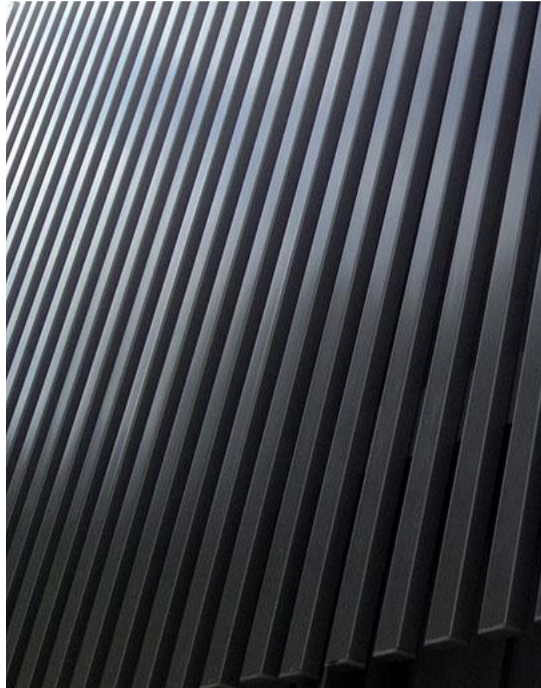
GW
GLAZED WINDOW



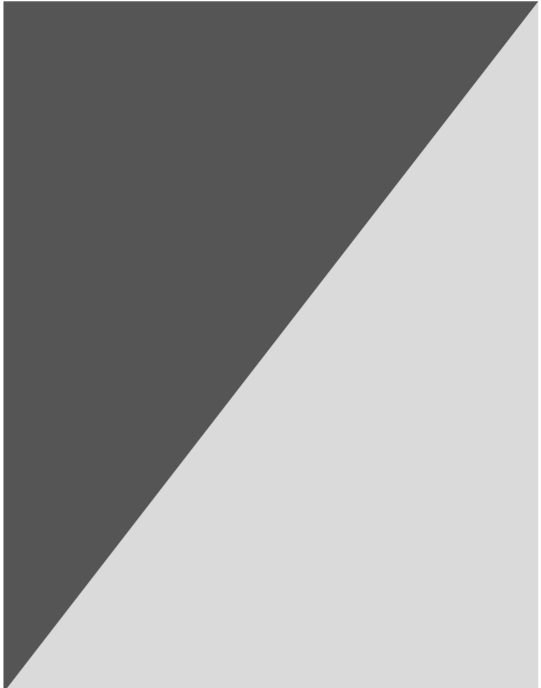
GL
GLAZED LOUVRES



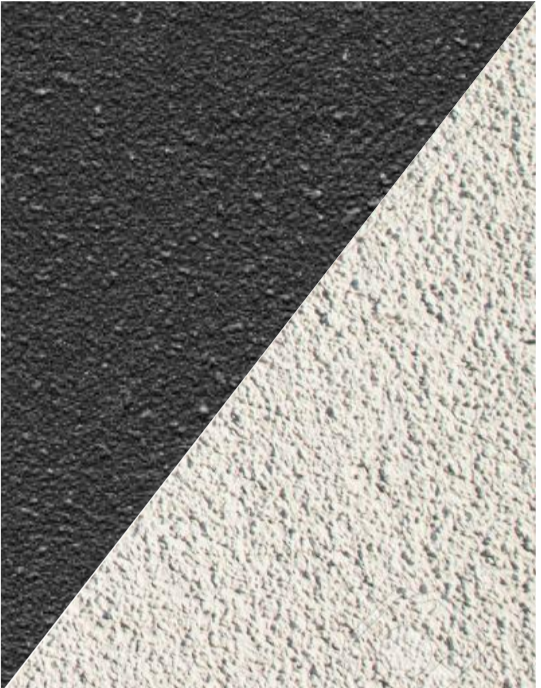
MB
METAL BALUSTRADE



MC
METAL SCREEN



PF1/PF2
PAINT FINISH DARK/
LIGHT



RM1/2
RENDERED
MASONRY



REAR TERRACE PERSPECTIVE



HAY STREET PERSPECTIVE



HAY STREET PERSPECTIVE

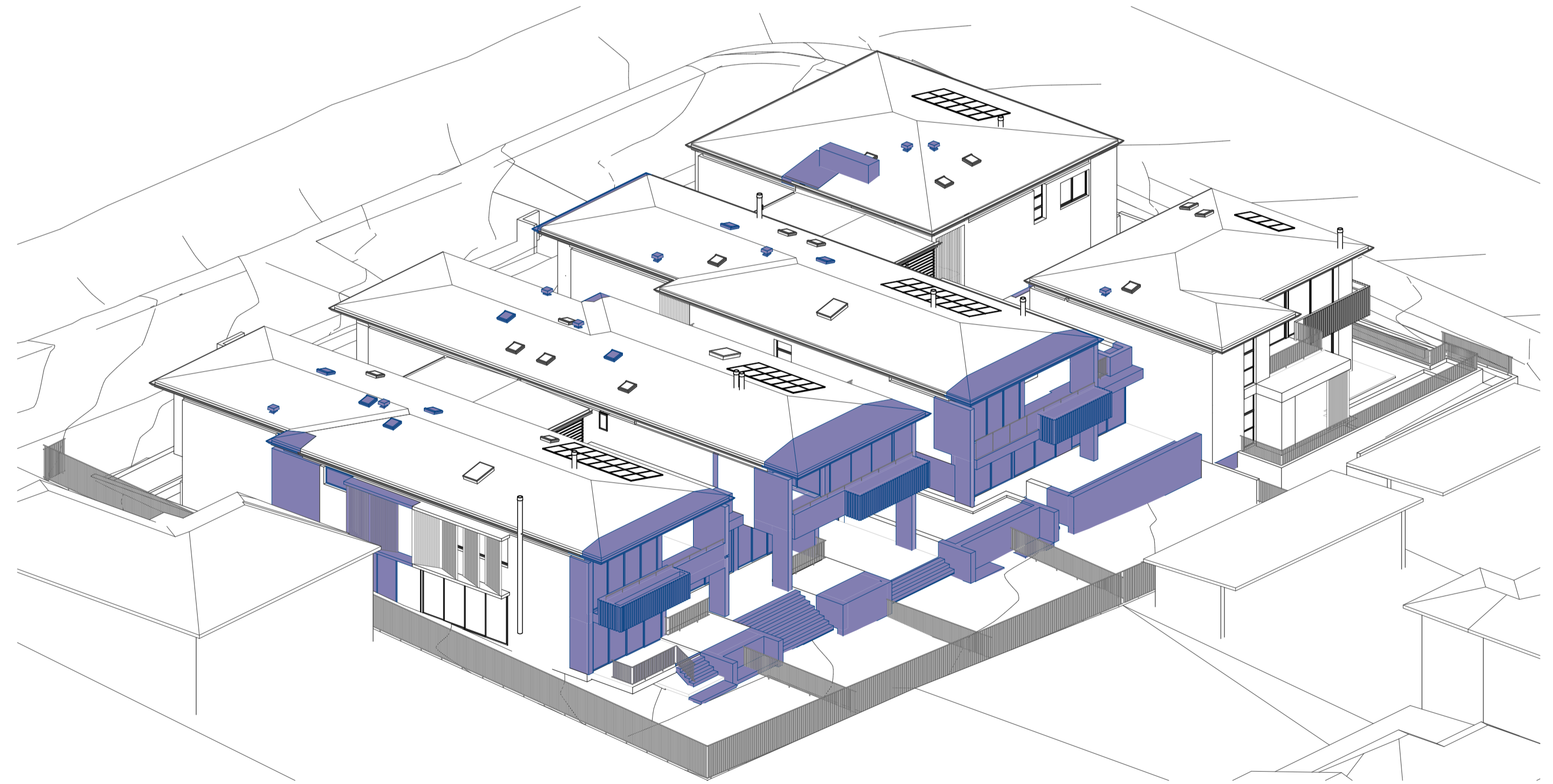
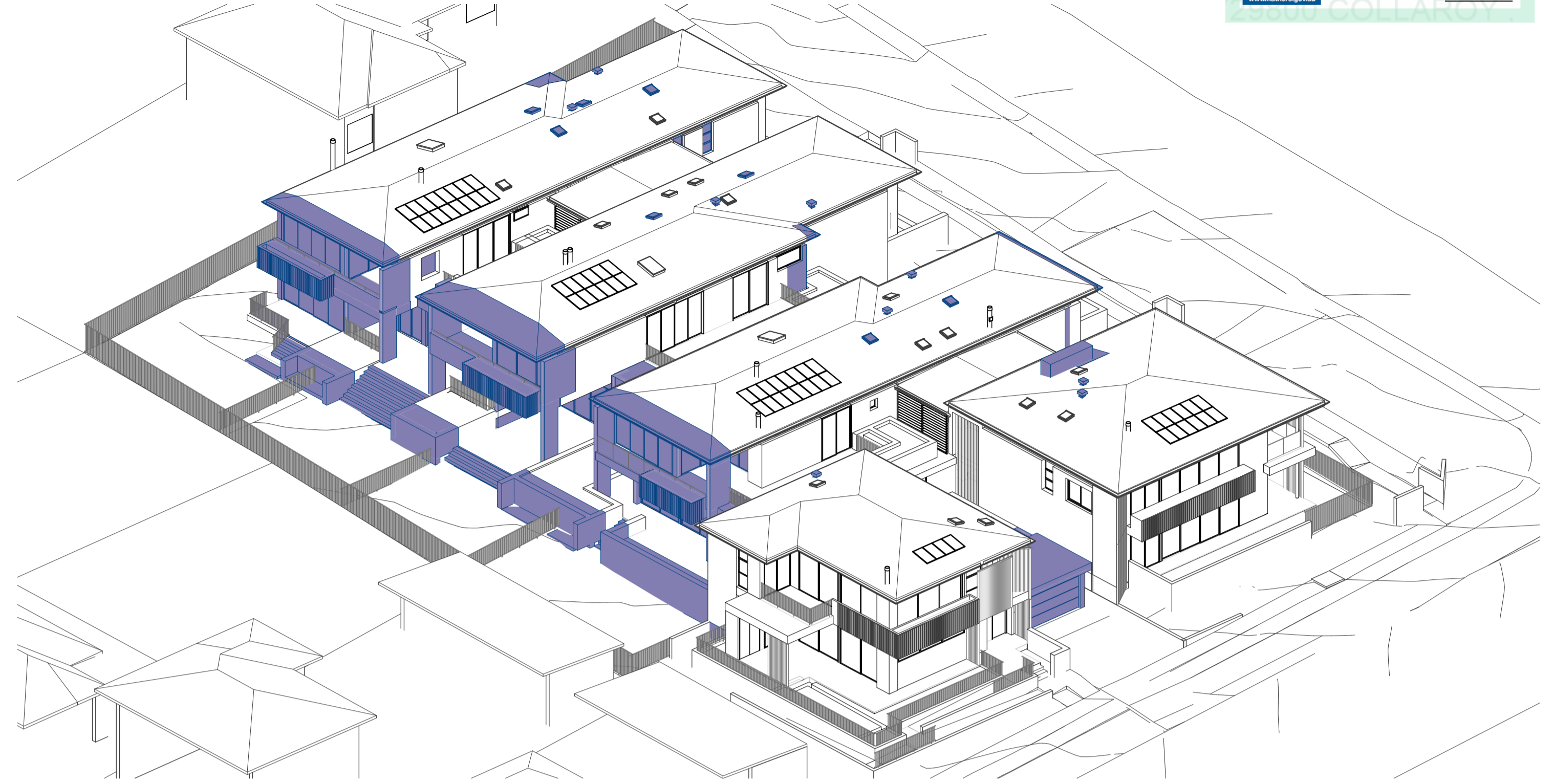
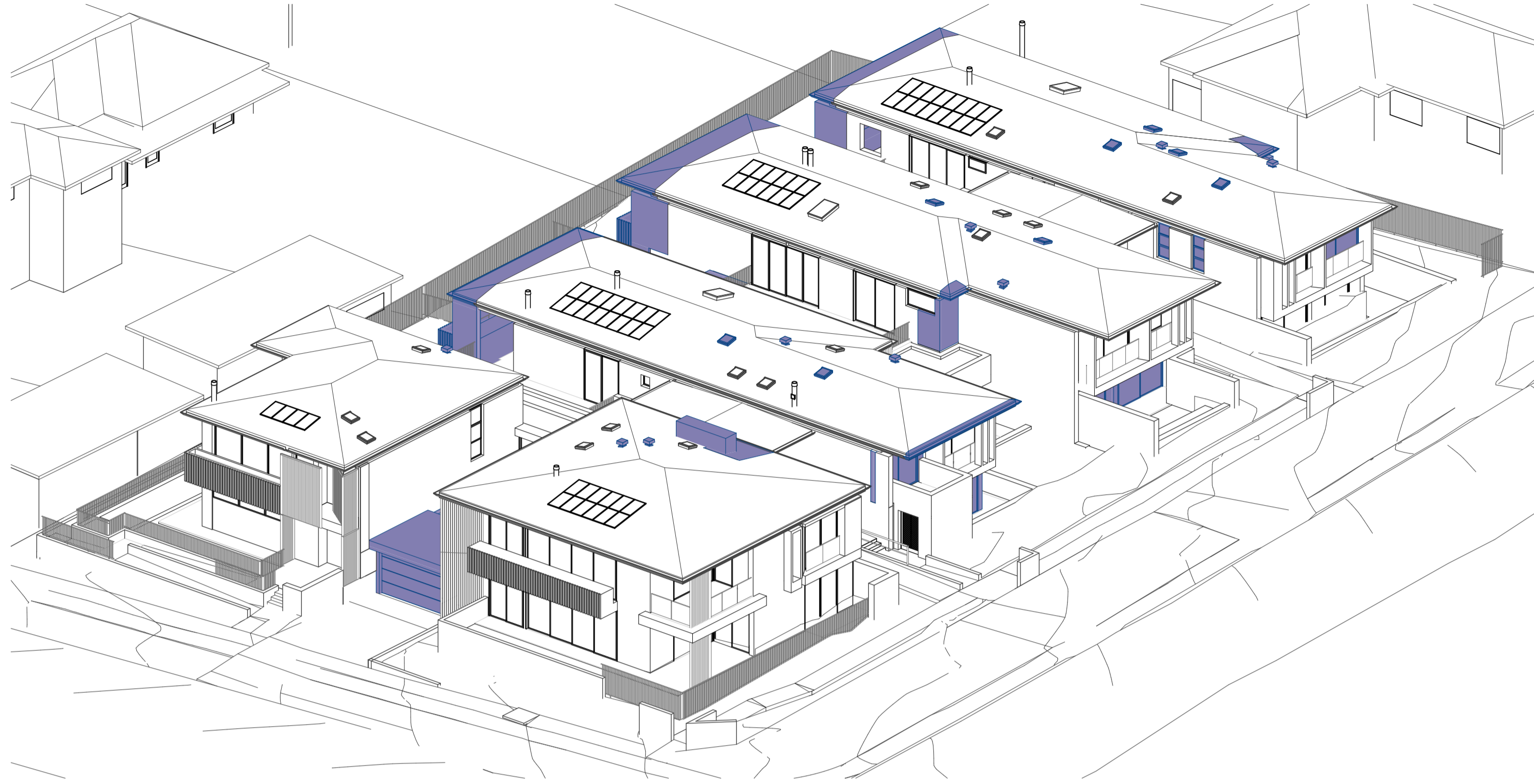
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Rev Date Amendment
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W popovbass.com.au

Client
Collaroy Living Pty Ltd
Project
COLLARROY LIVING RESIDENCES
37-43 Hay Street Collaroy NSW 2097
Status
4.58 APPLICATION

Title
Schedule of colours and materials
Drawing No. 0638-MOD127
Revision 01
Scale NTS
Date 19/07/24



CHANGES TO BUILDING INDICATED BY AREA SHADED IN BLUE

PopovBass

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 Surry Hills NSW 2010
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 E info@popovbass.com.au
 W popovbass.com.au

Client
Collaroy Living Pty Ltd
 Project
COLLARROY LIVING RESIDENCES
 37-43 Hay Street Collaroy NSW 2097
 Status
4.58 APPLICATION

Title
3D Diagrams of Changes
 Drawing No.
0638-MOD128
 Scale
 at A1 size
 Revision
01
 Date
19/07/24