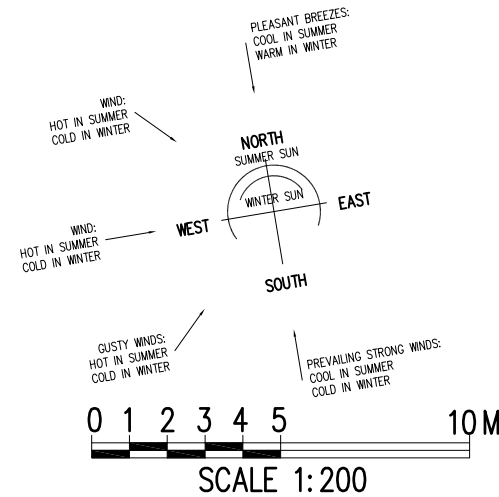


SITE PLAN AND SITE ANALYSIS PLAN
1:200

KEY

- CAR ENTRY POINT
- SUN DIRECTION – 22 JUNE
- NOISE SOURCE
- DISTRICT VIEWS OVER ADJOINING HOUSES



GENERAL NOTES:

- Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
- All dimensions that relate to site boundaries and easements are subject to verification by site survey.
- All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
- All timber construction to be in accordance with the "TIMBER FRAMING" code.
- Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by Structural Engineer.
- Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
- All electrical power & light outlets to be determined by owner.
- Make good and repair all existing finishes damaged by new work. Reuse existing material where possible.

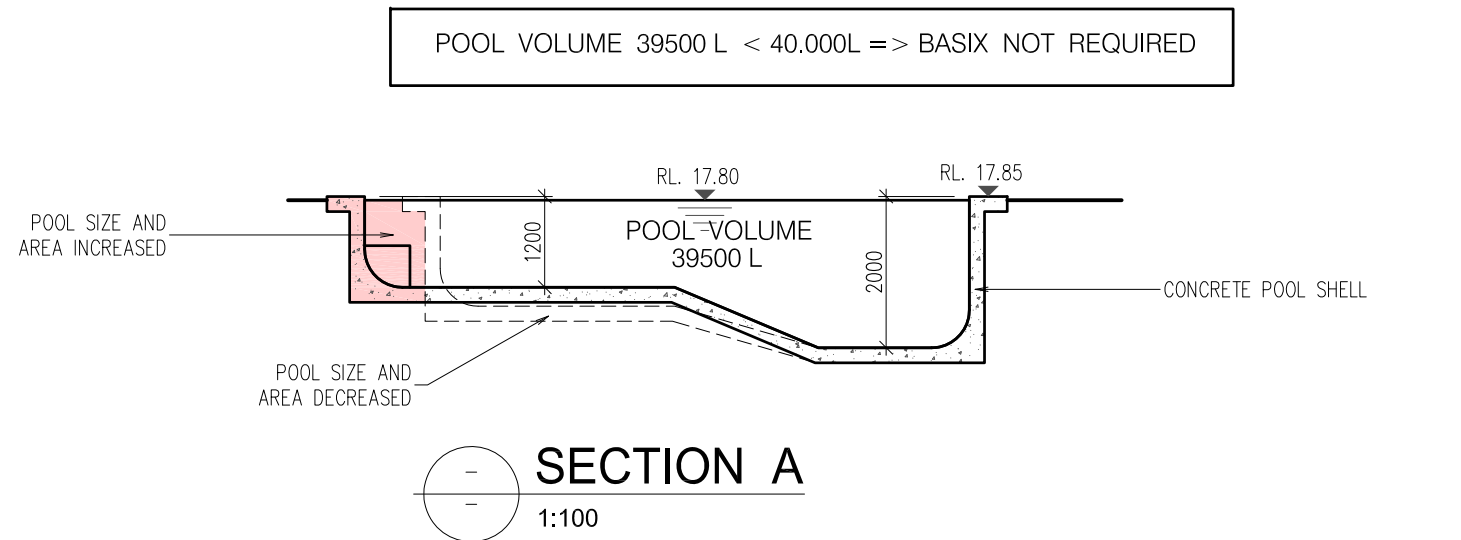
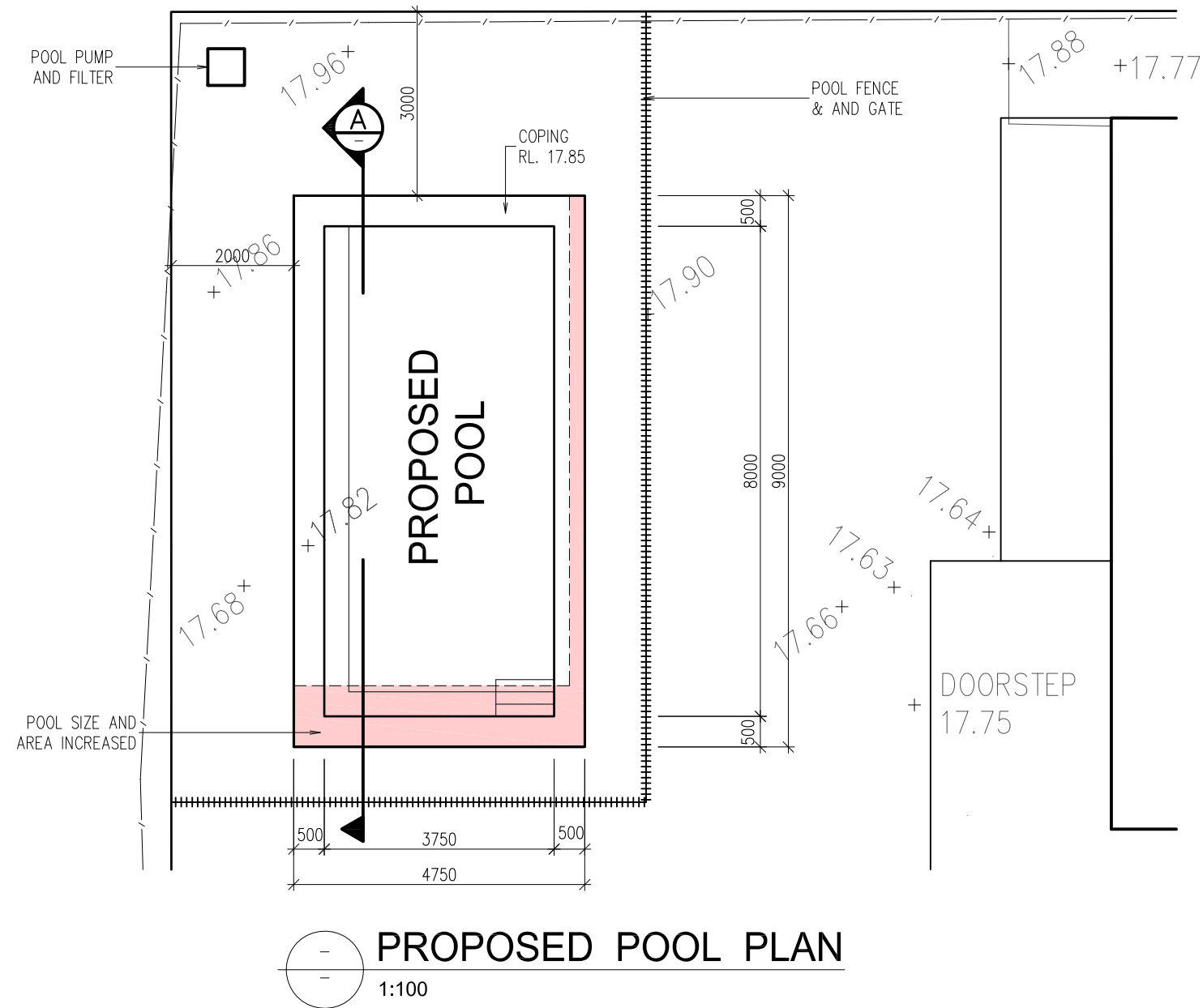
2	ISSUED FOR S4.55(2)	22/01/20
1	ISSUED FOR DA	20/06/19
No.	AMENDMENT	DATE
COPYRIGHT: All plans and drawings are subject of copyright and any attempt or actual infringement by using, reproducing or copying same, wholly or in part, without prior written permission will result in legal proceedings.		

DESIGN BY:
MICHAL KORECKY
21 NALYA ROAD, NARRAWEENA NSW 2099
ABN: 79 393 130 294
Email: koreckym@gmail.com www.plansdesign.com.au
Phone:99813332, Mob: 0438 148 944

LOTS 36, D.P.13900

PROJECT:
PROPOSED POOL
No 6 REID AVENUE
NORTH CURL CURL NSW 2099
CLIENT:
MR. & MRS. DiPalma

DATE: 20/06/19	SCALE: AS NOTED
DRAWN: MK	ISSUE: 2-POOL
DRAWING Nr : 16078	SHEET: 1



POOL PUMP AND FILTER

IS TO BE ACOUSTICALLY TREATED SO THAT IT DOES NOT EMT ANY NOISE OF 5dB (A) ABOVE BACKGROUND NOIS AT THE NEAREST RESIDENTIAL RECEIVER

POOL FENCES – TO BE CONSTRUCTED TO AS 1926.1

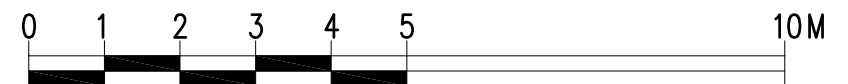
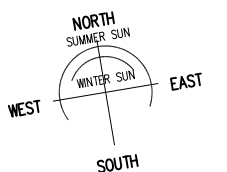
Essentially a barrier fence can be made of any material that has a reasonable life span when exposed to the likely conditions of weather, pool chemicals, pollution, decay, insects, salt water spray, etc. Fences must have an effective perpendicular height of 1.2 metres. Existing standard paling fences can be used provided that they are well-maintained and at least 1650mm high. If the rails are on the outside of the pool area, then 60 degree splayed sections are to be fitted securely to the middle and top rails (unless fence height is over 2400mm).

When a fence is not controlled by the pool owners, i.e. a neighbour's boundary fence, then the pool area must be protected for a radius of 1.2 metres by an approved safety fence.

Ground clearance between bottom of fence and ground level is not to exceed 100mm and any horizontal rails, rods, etc, which could assist climbing, should be on the pool side of the fence. If they're on the outside, they should be at least 900mm apart. The space between vertical members must not exceed 100mm.

POOL GATES

These must open outward only and have an effective perpendicular height of 1.2 metres. They must return to the closed position and engage the latch automatically from any position and not re-open without using the manual release mechanism. The latch must be at least 1.5 metres above ground level unless it is inside the fence can only be reached over or through a fence higher than 1.2 metres or is 150mm below the fence top (no hand hole) or at least 150mm away from the edge of any hand hole opening. Latches less than 1.5 metres above ground level must be shielded so that no opening greater than 10mm is closer than 450mm. Any hand hole shall be at least 1.2 metres from ground level.



LOTS 36, D.P.13900

SCALE 1:100

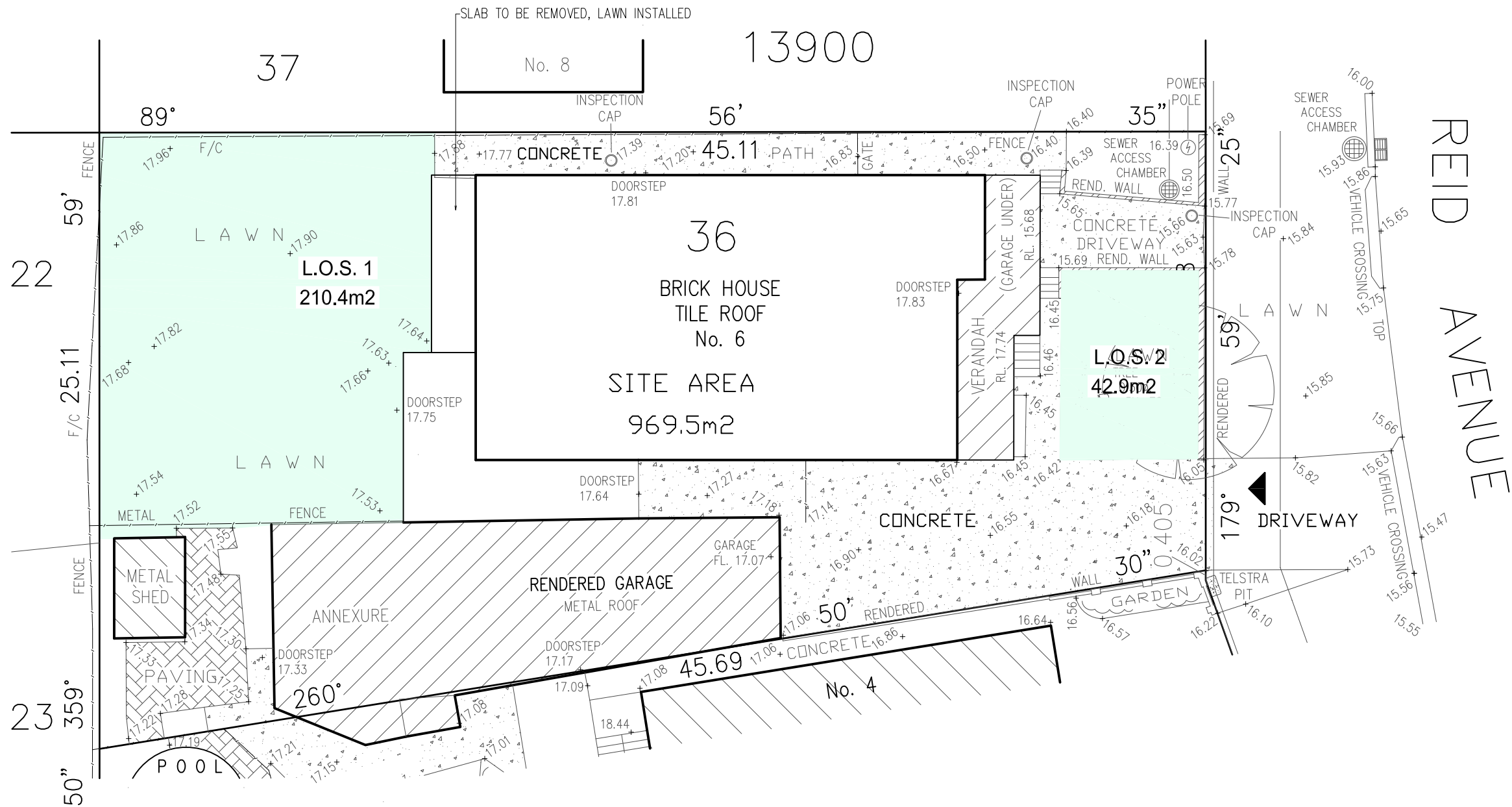
GENERAL NOTES:	
1 Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.	
2 All dimensions that relate to site boundaries and easements are subject to verification by site survey.	
3 All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.	
4 All timber construction to be in accordance with the "TIMBER FRAMING" code.	
5 Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by Structural Engineer.	
6 Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.	
7 All electrical power & light outlets to be determined by owner.	
8 Make good and repair all existing finishes damaged by new work. Reuse existing material where possible.	

2	ISSUED FOR S4.55(2)	22/01/20
1	ISSUED FOR DA	20/06/19
No.	AMENDMENT	DATE
COPYRIGHT: All plans and drawings are subject of copyright and any attempt or actual infringement by using, reproducing or copying same, wholly or in part, without prior written permission will result in legal proceedings.		

DESIGN BY:
MICHAL KORECKY
21 NALYA ROAD, NARRAWEENA NSW 2099
ABN: 79 393 130 294
Email: koreckym@gmail.com www.plansdesign.com.au
Phone: 99813332, Mob: 0438 148 944

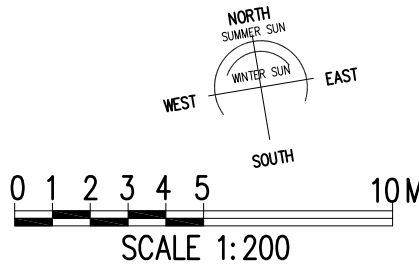
PROJECT:
PROPOSED POOL
No 6 REID AVENUE
NORTH CURL CURL NSW 2099
CLIENT:
MR. & MRS. DiPalma

DATE: 20/06/19	SCALE: AS NOTED
DRAWN: MK	ISSUE: 2-POOL
DRAWING Nr : 16078	SHEET: 2



EXISTING LANDSCAPE OPEN SPACE CALCULATION SHEET

SITE ANALYSIS	(m2)
SITE AREA	969.5
L.O.S. 1	210.4
L.O.S. 2	42.9
TOTAL L.O.S.	253.3m2 (26.1%)



GENERAL NOTES:

1 Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.

2 All dimensions that relate to site boundaries and easements are subject to verification by site survey.

3 All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.

4 All timber construction to be in accordance with the "TIMBER FRAMING" code.

5 Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by Structural Engineer.

6 Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.

7 All electrical power & light outlets to be determined by owner.

8 Make good and repair all existing finishes damaged by new work. Reuse existing material where possible.

2	ISSUED FOR S4.55(2)	22/01/20
1	ISSUED FOR DA	20/06/19
No.	AMENDMENT	DATE
COPYRIGHT:		
All plans and drawings are subject of copyright and any attempt or actual infringement by using, reproducing or copying same, wholly or in part, without prior written permission will result in legal proceedings.		

DESIGN BY:

MICHAL KORECKY

21 NALYA ROAD, NARRAWEENA NSW 2099

ABN: 79 393 130 294

Email: koreckym@gmail.com www.plansdesign.com.au

Phone:99813332, Mob: 0438 148 944

LOTS 36, D.P.13900

PROJECT:

PROPOSED POOL

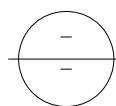
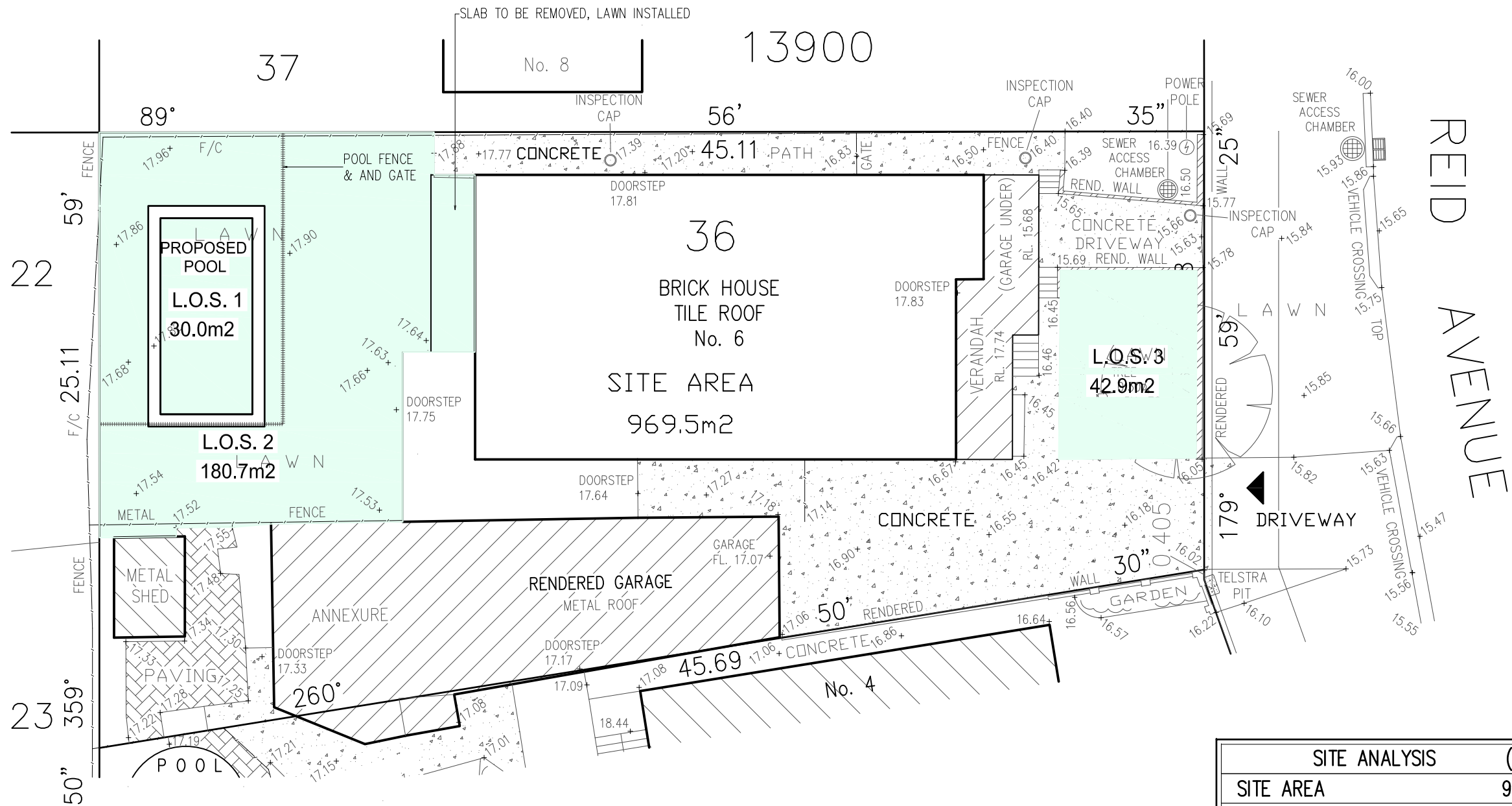
No 6 REID AVENUE

NORTH CURL CURL NSW 2099

CLIENT:

MR. & MRS. DiPalma

DATE: 20/06/19	SCALE: AS NOTED
DRAWN: MK	ISSUE: 2-POOL
DRAWING Nr : 16078	SHEET: 3

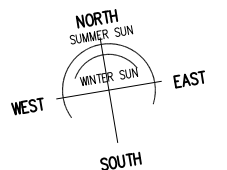


PROPOSED LANDSCAPE OPEN SPACE CALCULATION SHEET

1:200

SITE ANALYSIS	(m2)
SITE AREA	969.5
L.O.S. 1	30.0
L.O.S. 2	180.7
L.O.S. 3	42.9
TOTAL L.O.S.	253.6m2 (26.2%)

PROPOSED LANDSCAPE OPEN SPACE (254.8m2) > EXISTING LANDSCAPE OPEN SPACE 253.3m2



0 1 2 3 4 5 10 M
SCALE 1:200

GENERAL NOTES:

- Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
- All dimensions that relate to site boundaries and easements are subject to verification by site survey.
- All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
- All timber construction to be in accordance with the "TIMBER FRAMING" code.
- Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by Structural Engineer.
- Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
- All electrical power & light outlets to be determined by owner.
- Make good and repair all existing finishes damaged by new work. Reuse existing material where possible.

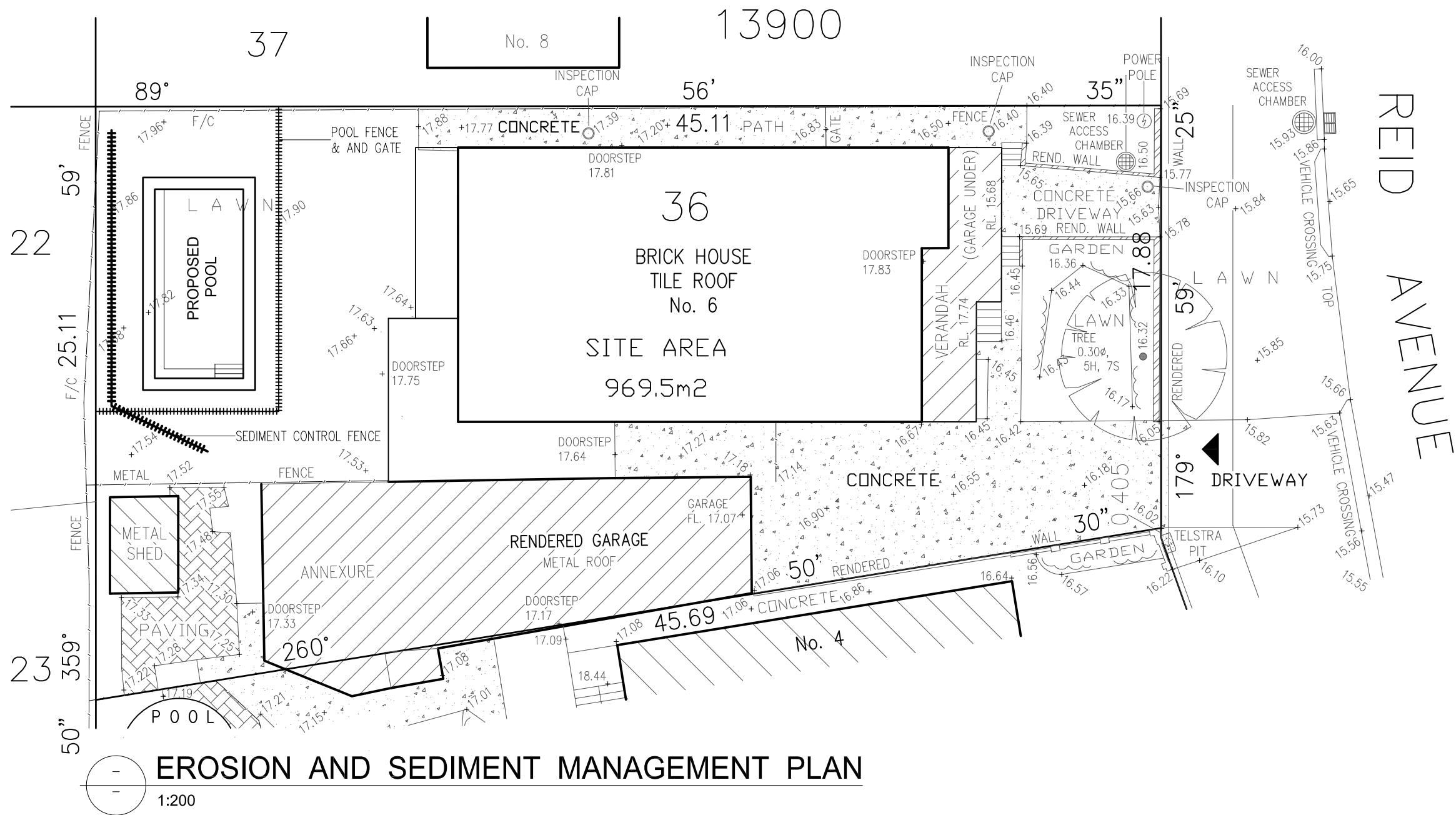
2	ISSUED FOR \$4.55(2)	22/01/20
1	ISSUED FOR DA	20/06/19
No.	AMENDMENT	DATE
COPYRIGHT: All plans and drawings are subject of copyright and any attempt or actual infringement by using, reproducing or copying same, wholly or in part, without prior written permission will result in legal proceedings.		

DESIGN BY:
MICHAL KORECKY
21 NALYA ROAD, NARRAWEENA NSW 2099
ABN: 79 393 130 294
Email: koreckym@gmail.com www.plansdesign.com.au
Phone: 99813332, Mob: 0438 148 944

LOTS 36, D.P.13900

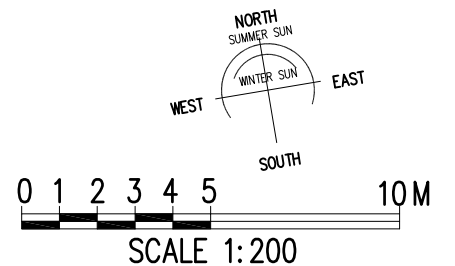
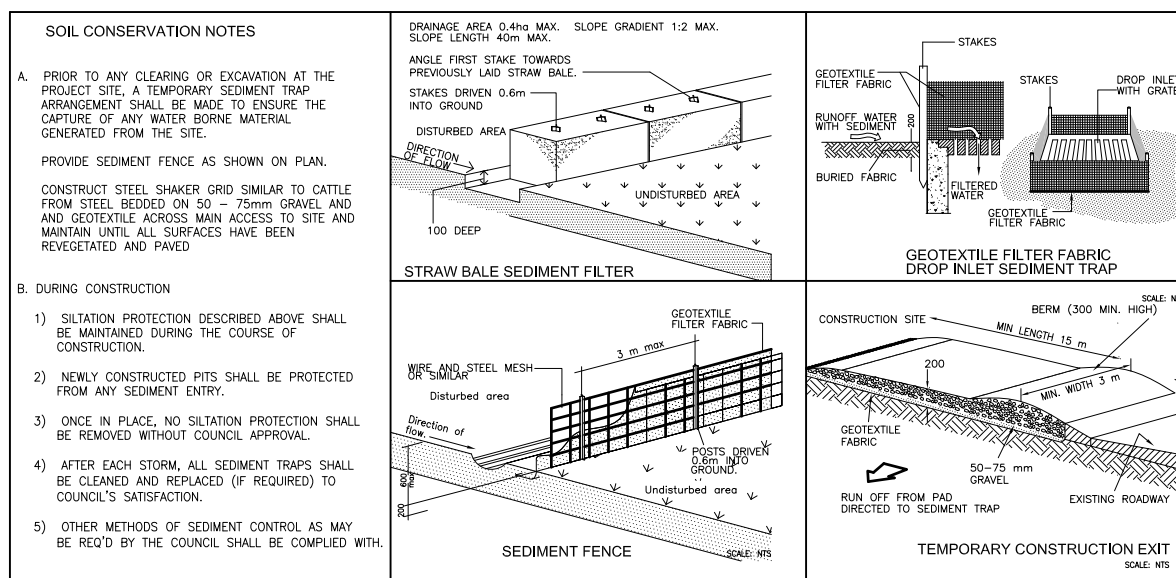
PROJECT:
PROPOSED POOL
No 6 REID AVENUE
NORTH CURL CURL NSW 2099
CLIENT:
MR. & MRS. DiPalma

DATE: 20/06/19	SCALE: AS NOTED
DRAWN: MK	ISSUE: 2-POOL
DRAWING Nr : 16078	SHEET: 4



EROSION AND SEDIMENT MANAGEMENT PLAN

1:200



LOTS 36, D.P.13900

GENERAL NOTES:

- Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
- All dimensions that relate to site boundaries and easements are subject to verification by site survey.
- All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
- All timber construction to be in accordance with the "TIMBER FRAMING" code.
- Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by Structural Engineer.
- Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
- All electrical power & light outlets to be determined by owner.
- Make good and repair all existing finishes damaged by new work. Reuse existing material where possible.

2	ISSUED FOR \$4.55(2)	22/01/20
1	ISSUED FOR DA	20/06/19
No.	AMENDMENT	DATE
COPYRIGHT:		
All plans and drawings are subject of copyright and any attempt or actual infringement by using, reproducing or copying same, wholly or in part, without prior written permission will result in legal proceedings.		

DESIGN BY:

MICHAL KORECKY

21 NALYA ROAD, NARRAWEENA NSW 2099

ABN: 79 393 130 294

Email: koreckym@gmail.com

www.plansdesign.com.au

Phone: 99813332, Mob: 0438 148 944

PROJECT:

PROPOSED POOL
No 6 REID AVENUE
NORTH CURL CURL NSW 2099

CLIENT:

MR. & MRS. DiPalma

DATE: 20/06/19

DRAWN: MK

DRAWING Nr : 16078

SCALE: AS NOTED

ISSUE: 2-Pool

SHEET: 5