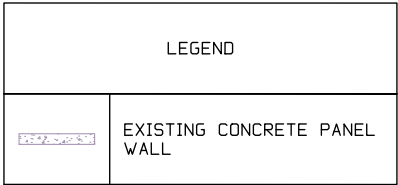


CONSTRUCTION NOTES

- G1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATION, ARCHITECTURAL DRAWINGS, OTHER CONTRACT DOCUMENTATION AND, THE REQUIREMENTS OF THE RELEVANT AUTHORITIES.
- G2. VERIFY ALL SETTING OUT DIMENSIONS WITH ARCHITECT.
- G3. DO NOT OBTAIN DIMENSIONS BY SCALING THE STRUCTURAL ELEMENTS.
- G4. SHOULD ANY AMBIGUITY, ERROR, OMISSION, DISCREPANCY, INCONSISTENCY, OR OTHER FAULT EXIST OR SEEM TO EXIST IN THE CONTRACT DOCUMENTS, IMMEDIATELY NOTIFY IN WRITING TO THE SUPERINTENDENT.
- G5. MAINTAIN THE STRUCTURE IN A STABLE CONDITION DURING CONSTRUCTION. NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE CONTRACTOR TO KEEP THE WORKS & EXCAVATIONS STABLE AT ALL TIMES.
- G6. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT SAA CODES AND THE BY-LAWS, ORDINANCES, OR OTHER REQUIREMENTS OF THE RELEVANT BUILDING AUTHORITIES.
- G7. WHERE NOTES REFER TO THE SPECIFICATION, COMPLY WITH THE REQUIREMENTS OF NATSPEC BUILDING SPECIFICATION AS A MINIMUM UNLESS MODIFIED BY THE CONTRACT DOCUMENT.
- G8. ABBREVIATIONS USED GENERALLY:
- U.N.O -UNLESS NOTED OTHERWISE
- TYP. -TYPICALLY
- N.S.O.P. -NOT SHOWN ON PLAN
- N.S.O.E. -NOT SHOWN ON ELEVATION
- 170 -INDICATES SLAB OR BAND THICKNESS VARIATION
- G9. ALL PROPRIETARY CHEMICAL & MECHANICAL ANCHORS ARE TO BE INSTALLED AT SPACINGS, EDGE DISTANCES, & DEPTHS AS INDICATED ON THE DRAWINGS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS INCLUDING DRILLING METHOD, HOLE DIAMETER, CLEANING, CURING, & TIGHTENING.

STRUCTURAL STEEL

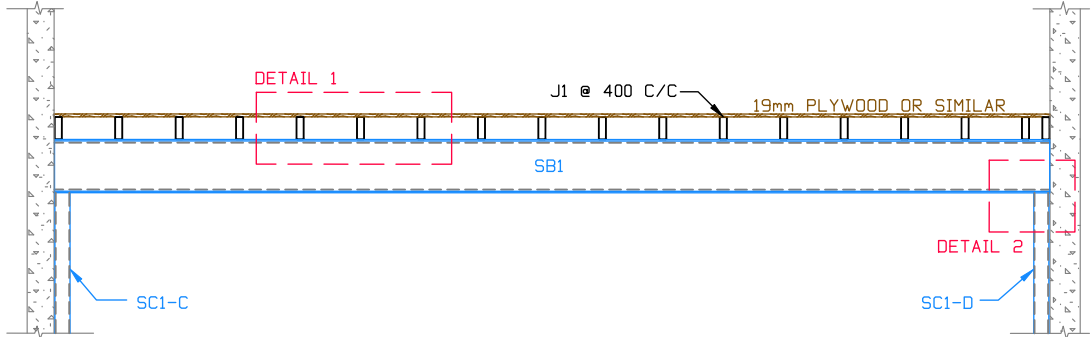
- S1. ABBREVIATIONS USED IN STEELWORK DETAILING
- C.F.W. - CONTINUOUS FILLET WELD
- F.S.B.W. - FULL STRENGTH BUTT WELD
- P.P.B.W. - PARTIAL PENETRATION BUTT WELD
- S2. ALL WORKMANSHIP & MATERIALS TO BE IN ACCORDANCE WITH AS4100, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS
- S3. ALL WELDS SHALL BE 6 mm CONTINUOUS FILLET WELD U.N.O.
- S4. UNLESS NOTED OTHERWISE ALL BOLTS TO BE GRADE 8.8./S
- S5. BUTT WELDS WHERE SHOWN SHALL BE COMPLETE PENETRATION BUTT WELDS
- S6. THE BUILDER SHALL PROVIDE ALL CLEATS & DRILL ALL HOLES NECESSARY FOR FIXING OF STEEL WORKS AND ENSURE THAT THE STRUCTURE IS KEPT IN A STABLE CONDITION DURING ERECTION
- S7. REPAIR STEELWORK WHICH HAS LOCALLY LOST HOT DIPPED GALV. COATING BY APPLYING A ZINC RICH EPOXY PRIMER SUCH AS "DULUX ZINCANODE 202" IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION OR EQUIVALENT
- S8. STRUCTURAL STEELWORK SHALL HAVE THE SURFACES CLEANED AND TREATED AS FOLLOWS:
- INTERNAL & NOT EXPOSED TO WALL CAVITY:
- HAND OR TOOL CLEAN AS1627.4 CLASS 1. PROVIDE 1 COAT OF A ZINC PHOSPHATE PRIMER SUCH AS "DULUX ZP" IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS.
- EXTERNAL OR EXPOSED TO WALL CAVITY:
- HOT DIPPED GALVANIZED (600 g/m2)



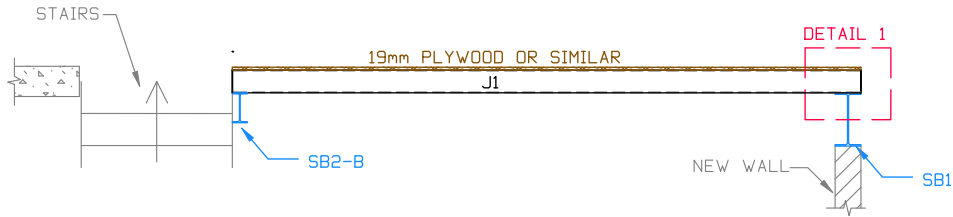
NOTE:
THE MEZZANINE FLOOR SYSTEM HAS BEEN DESIGNED FOR A 3KPA OFFICE LIVE LOAD, IN ACCORDANCE WITH AS 1170.0, TABLE C1.

NOTE:
IF SITE CONDITIONS VARY,
OR IF IN DOUBT,
CONSULT ENGINEER

MEMBER SCHEDULE		MAX. CLEAR SPAN (mm)
STEEL MEMBERS		
J1	150x50x3 RHS @ 400 CTS	5100
SB1	360UB56.7	6600
SB2	200UB22	3200
SB3	2/100x8 EA JOIST BRACKET SUPPORT REFER TO DETAIL	-
SB4	200UB29	5100
SC1	100x5 SHS	-
SS1	200PFC STAIR STRINGERS	-



SECTION A THROUGH MEZZANINE
1:50



SECTION B THROUGH MEZZANINE
1:50

PRELIMINARY

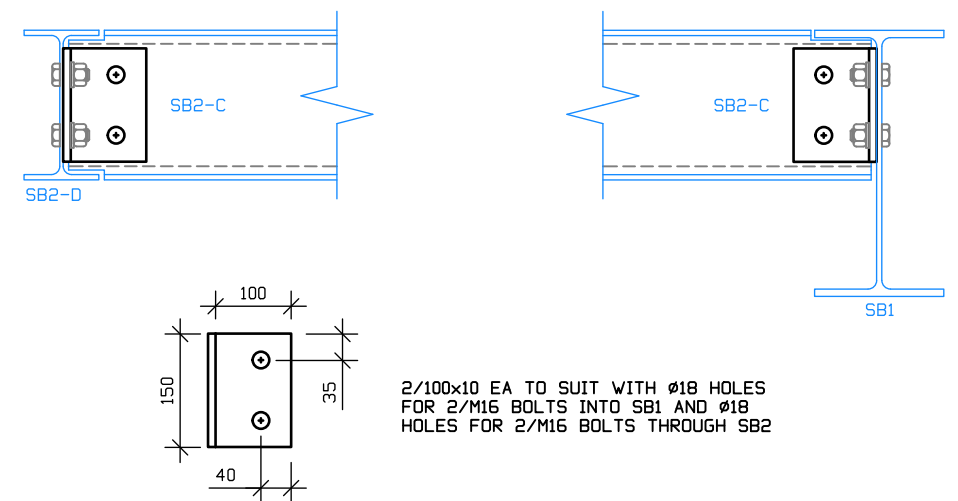
ROSS
ENGINEERS
CONSULTING STRUCTURAL ENGINEERS
357 GLEBE POINT ROAD GLEBE NSW 2037
PHONE (02) 9518 9373
EMAIL info@rossengineers.com.au
WEB www.rossengineers.com.au

CLIENT:
THORSEN, PHIL

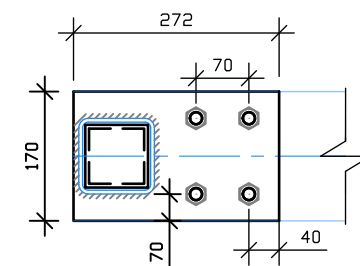
PROJECT:
MEZZANINE
UNIT 17, 32-34 CAMPBELL AVENUE
CROMER NSW 2099

TITLE:
CONSTRUCTION PLANS

Sheet No. 1 OF 2	Drawn: -	Designed: -	Approved: -
Drawing No: 21-0034-ST	Size: A3	Scale: -	



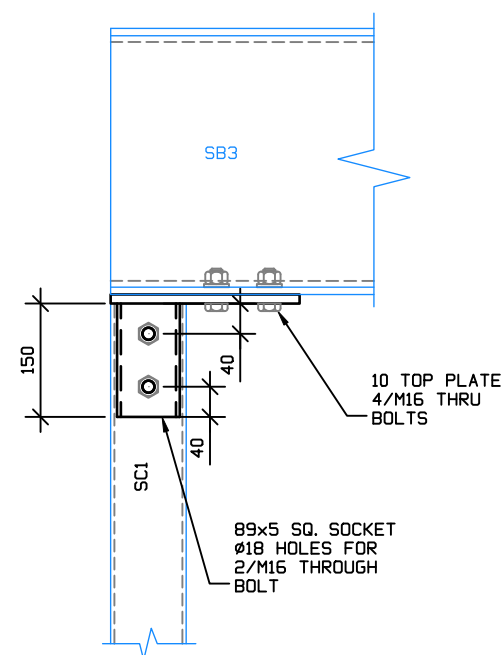
SB2 TO SB1 & SB2 CONNECTION DETAIL
1:10



2/100x8 EA TO SUIT WITH $\phi 14$ HOLES FOR
2/M12 CHEMICAL ANCHORS INTO SLAB AND
 $\phi 18$ HOLES FOR 2/M16 BOLTS THROUGH J1

Technical drawing showing two views of a column-to-slab joint. The side view (left) shows a column of width 100 and height 128, with a slab of thickness 40. A 100x8 beam is shown on top of the slab. Two M12 chemical anchors are shown in the slab, and two M16 bolts are shown passing through the joint. The top view (right) shows the column with two M16 bolts and two M12 chemical anchors. Dimensions include 100 for column width, 128 for column height, 40 for slab thickness, 100 for beam width, and 10 for beam height.

J1 TO EXISTING CONCRETE SLAB DETAIL
1:10



STEEL COLUMN SC1
BOLTED TO EXISTING
CONCRETE WALL WITH
14mm HOLES THRU ONE
FACE OF COLUMN & M12
CHEMICAL ANCHORS @
600 C/S. ALLOW 50 MM
ACCESS IN HOLE IN
OTHER FACE OF SC1

STEEL COLUMN SC1
BOLTED TO EXISTING
CONCRETE WALL USING
10mm CLEAT PLATE &
M12 CHEMICAL
ANCHORS @ 600 CTS.
CLEAT TO BE WELDED
TO SC1 EDGE AGAINST
CONCRETE WALL

ALT 1

ALT 2

TYP. SC1 WALL TIE DETAIL
NTS

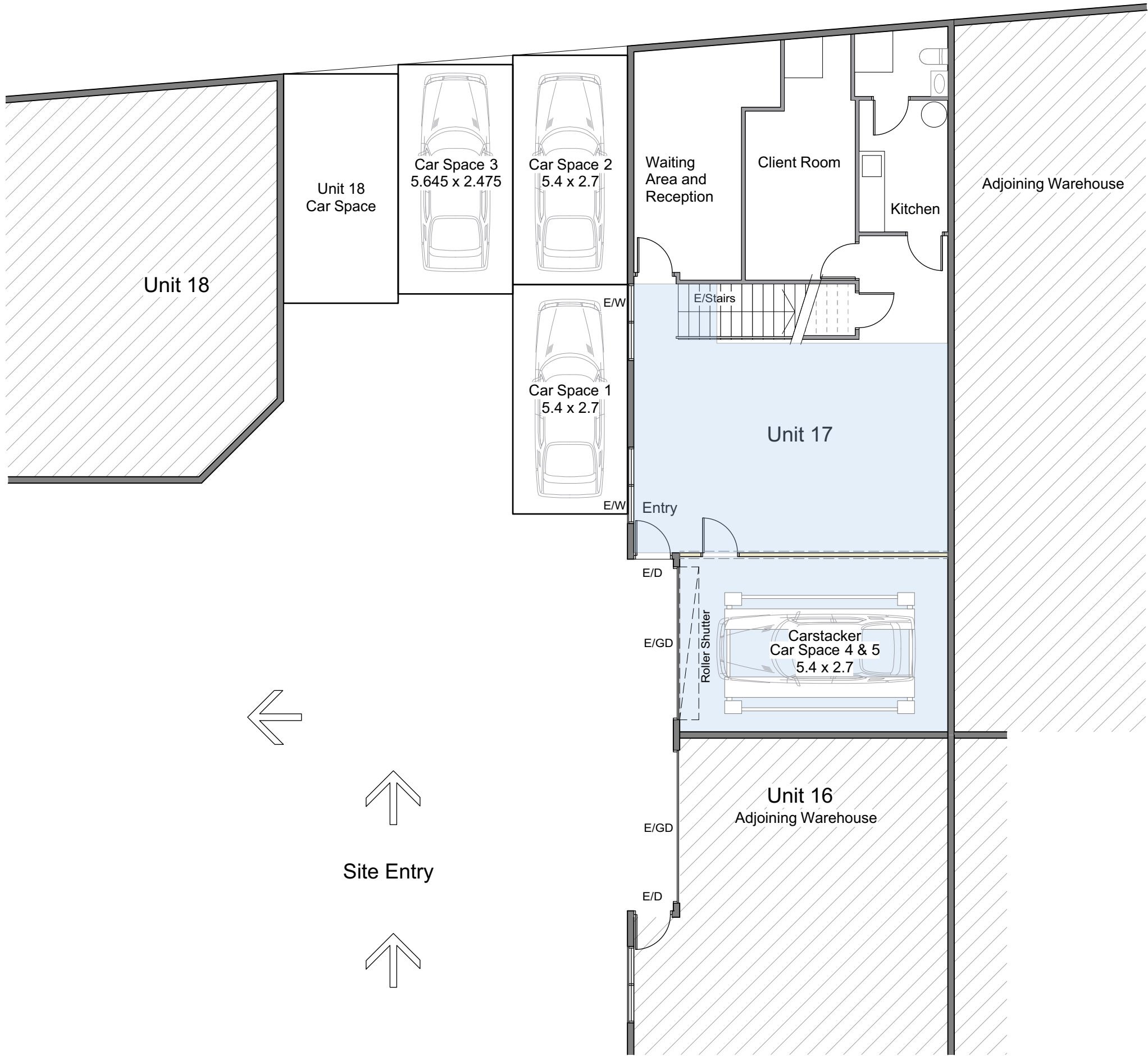
SC1 BASE PLATE DETAIL
1:10



CLIENT:
THORSEN, PHIL

TITLE:
CONNECTION DETAILS

Sheet No. 2 OF 2	Drawn: -	Designed: -	Approved: -
Drawing No: 21-0034-ST		Size: A3	Scale: -



2 Site / Car Parking Plan
Scale: 1:100



PROPOSED DEVELOPMENT

01 Location Plan

Legend

- Structure or Wall To Be Demolished
- Existing Wall To Remain
- Proposed New Stud Wall
- Proposed New or Altered Works

RevNo	Revision note	Date
A	Prelim Issue	1/8/22

KvB Drafting Services
Mob. 0425 284 927
Em. ken.brandwijk@gmail.com

Alterations & Additions at
Lot 2 SP 81726
2/34 Campbell Avenue,
Cromer, NSW 2099
for Mr. P & Mrs. N Thorsen

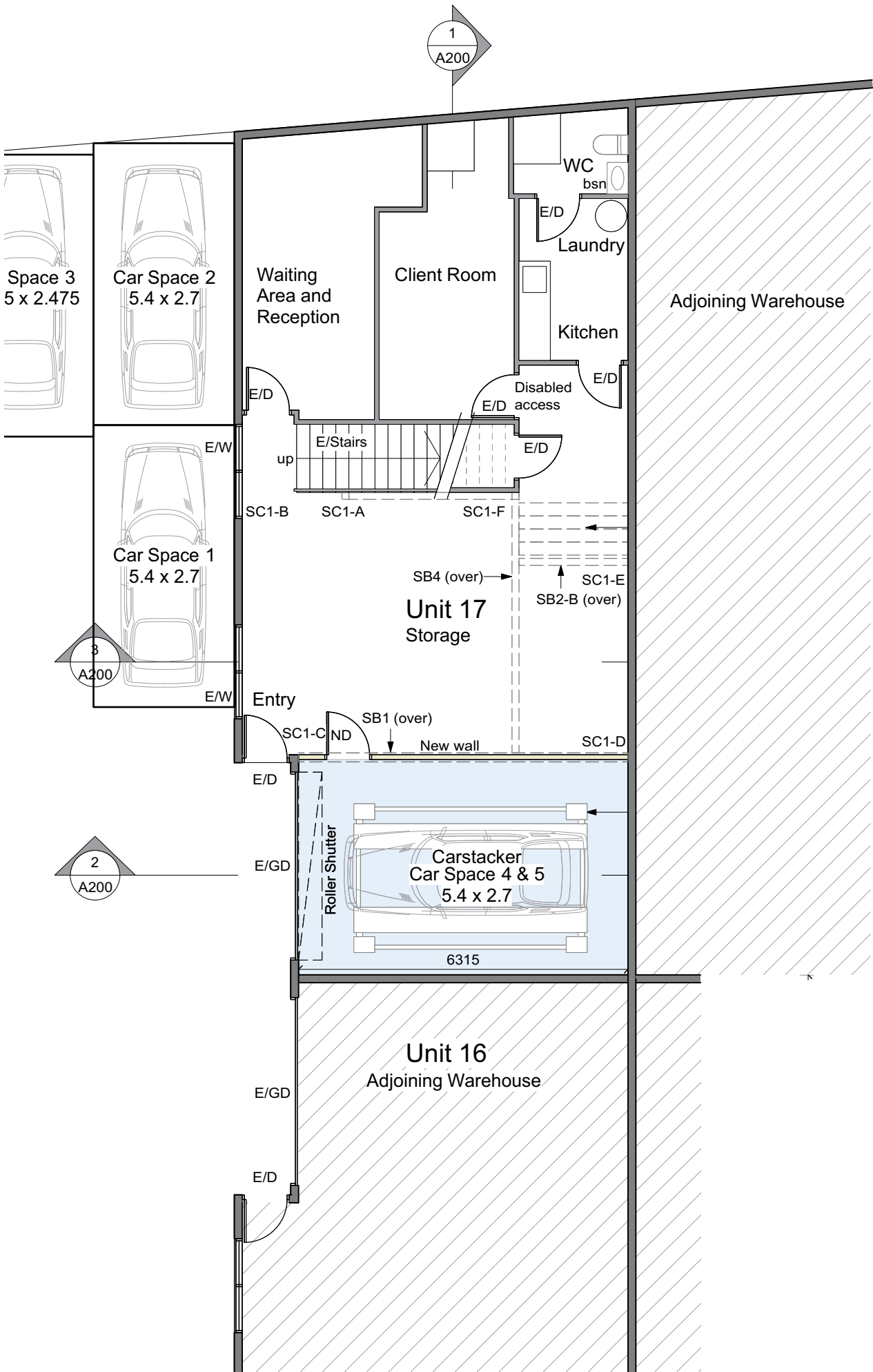
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2206	1/8/22	1:100	

Dwg. No.	Issue No.
DA100	A

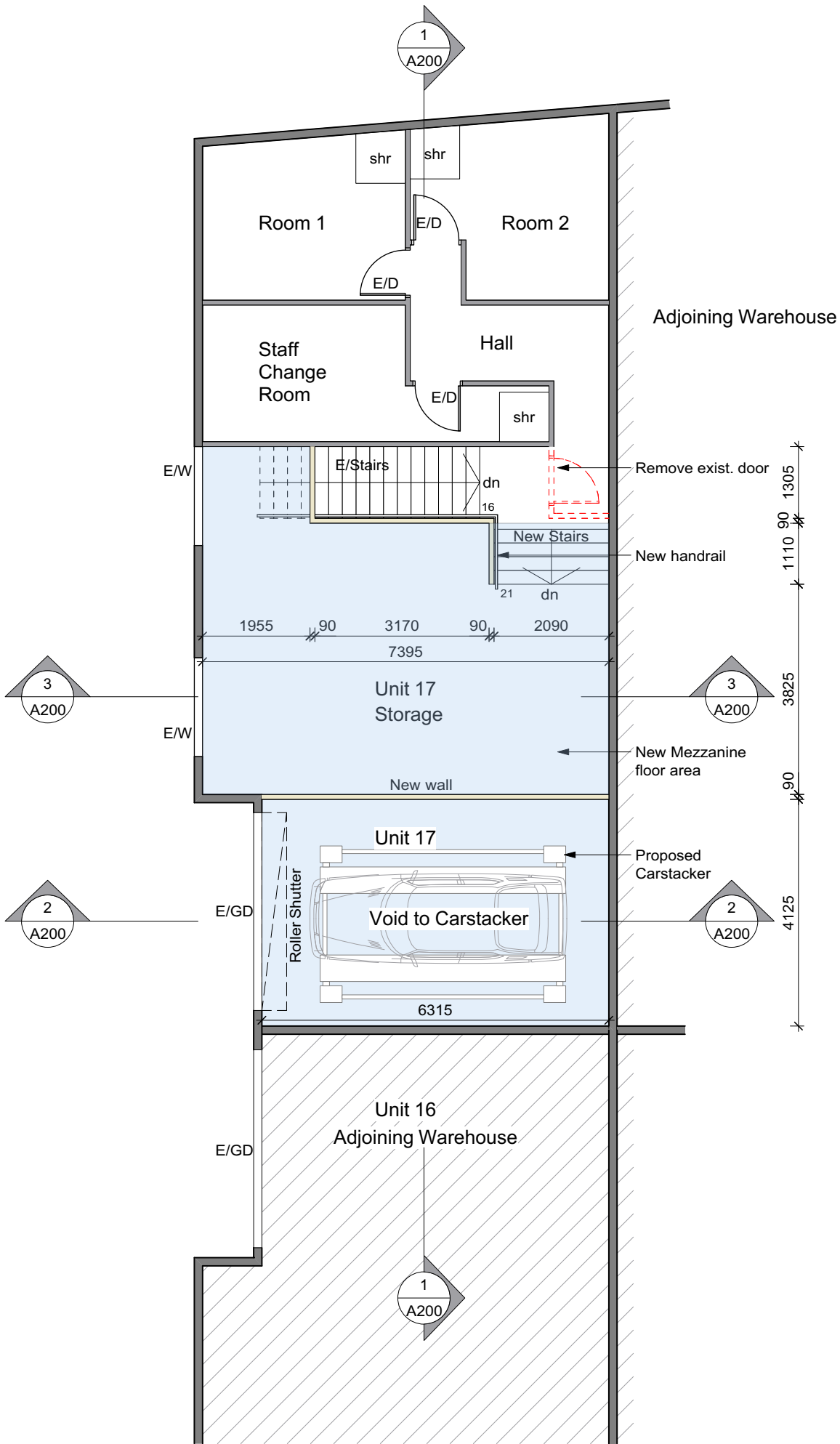


SITE / CAR PARKING PLAN

NOTE:
Contractor to confirm all layout & dimensions on site prior to commencement of any work. Draftsman to be consulted regarding any discrepancies prior to work commencing. All work to be done in accordance with relevant Australian Standards & the BCA



3 Ground Floor Plan
Scale: 1:100



4 Mezzanine Floor Plan
Scale: 1:100

Legend

- Structure or Wall To Be Demolished
- Existing Wall To Remain
- Proposed New Stud Wall
- Proposed New or Altered Works

RevNo	Revision note	Date
A	Prelim Issue	1/8/22

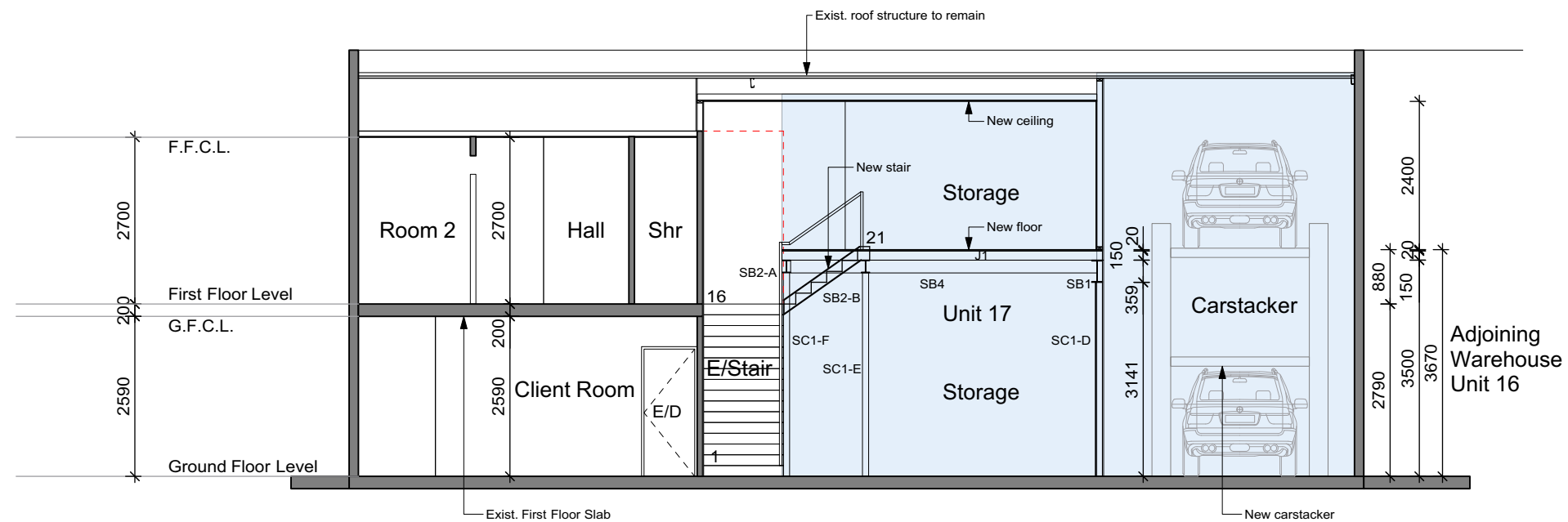
KvB Drafting Services
Mob. 0425 284 927
Em. ken.brandwijk@gmail.com

**Alterations & Additions at
Lot 2 SP 81726
2/34 Campbell Avenue,
Cromer, NSW 2099
for Mr. P & Mrs. N Thorsen**

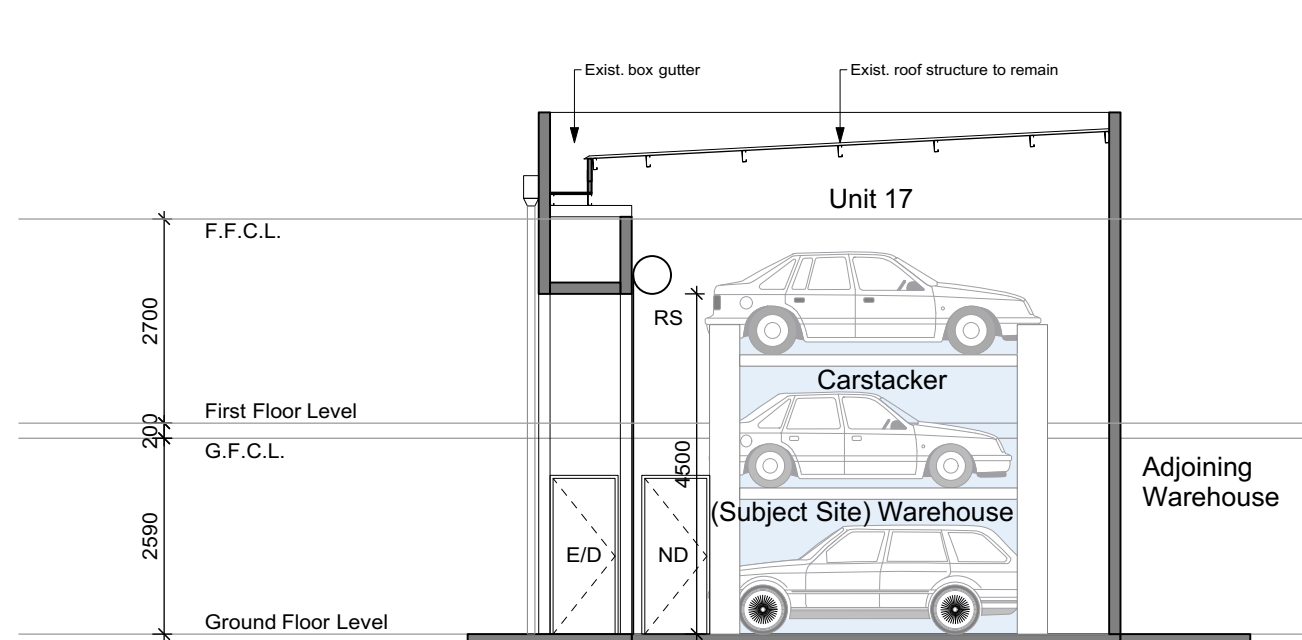
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Dwg. No. DA101	Issue No. A	
GROUND AND MEZZANINE PLAN		

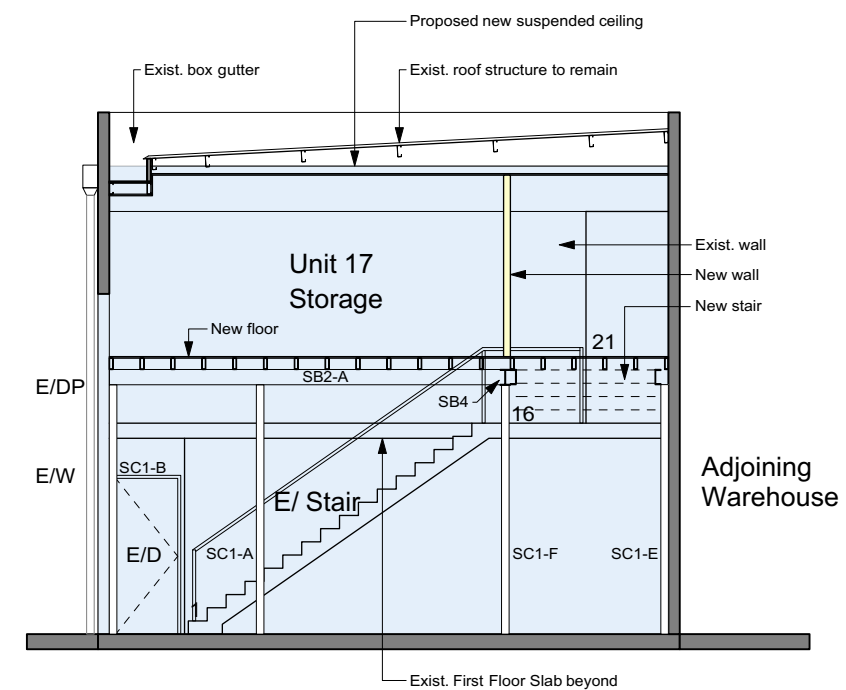
NOTE:
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Section 1



Section 2



Section 3

RevNo	Revision note	Date
A	Prelim Issue	1/8/22

KvB Drafting Services

Mob. 0425 284 927

Em. ken.brandwijk@gmail.com

**Alterations & Additions at
Lot 2 SP 81726
2/34 Campbell Avenue,
Cromer, NSW 2099
for Mr. P & Mrs. N Thorsen**

Project 2206	Date 14/7/22	Scale @ A3 1:100	Sheet
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Dwg. No. **DA200** Issue No. **A**

Sections 1, 2 & 3

NOTE:
Contractor to confirm all layout & dimensions on site prior to commencement of any work. Draftsman to be consulted regarding any discrepancies prior to work commencing. All work to be done in accordance with relevant Australian Standards & the BCA