

DRAWING LIST

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C3.11	ALL SOLE OCCUPANCY UNITS TO HAVE A SELF-CLOSING FIRE DOOR WITH MINIMUM FRL OF -/60/30
D1.7	BASEMENT 1 ACCESSIBLE WC TO HAVE A SELF-CLOSING FIRE DOOR WITH MINIMUM FRL OF -/60/30
D3.3	ALL ACCESSIBLE BATHROOMS TO INCLUDE ALL AS1428:1 CIRCULATION - FITTINGS - FIXTURES - CLEARANCES IN THE LIKE FOR FULL COMPLIANCE - INCLUDING SHELVES
E1.3	FIP LOCATED IN RESIDENTIAL LOBBY
E1.3	BOOSTER ASSEMBLY LOCATED ON ROBERTSON ROAD ENTRY
E1.5	SPRINKLERS LOCATED IN ALL BASEMENT LEVELS

CONSULTANTS

SURVEYOR	ADAM CLERKE SURVEYORS PTY LTD	38 KEVIN AVENUE, AVALON 2107	02 9918 4111
LANDSCAPING	SITE IMAGE-LANSCAPE ARCHITECT	LEVEL 1, 3-5 BAPTIST STREET REDFERN NSW 2016	02 8332 5600
STORM WATER & FLOODING	DEMLAKIAN ENGINEERING	5 RIDGE ST, NORTH SYDNEY NSW 2060	02 9955 4485
ASSESSMENT OF TRAFFIC & PARKING IMPLICATIONS	TRANSPORT AND TRAFFIC PLANNING	SUITE 502, L5 282 VICTORIA AVE, CHATSWOOD 2067	02 9411 5660
TRAFFIC & TRANSPORT MANAGEMENT PLAN	SBMG PTY LTD	PO BOX 8136, GLENMORE PARK NSW 2745	0467 370 380
ACCESSIBILITY	ACCESSIBLE BUILDING SOLUTIONS	124 UPPER WASHINGTON DRIVE, BONNET BAY NSW 2226	02 9528 0276
GEOTECHNICAL & SITE INVESTIGATION	ASSET GEOTECHNICAL	SUITE 2.05/56 DELHI RD, NORTH RYDE NSW 2113	0410 325 566
BASIX	DAMIAN OTOOLE TOWN PLANNING PTY	STUDIO 9,L5 35 BUCKINGHAM STREET, SURRY HILL 2010	0413 031 971
PLANNING (SEE)	HAMPTONS PROPERTY SERVICES	SUITE 404, 203-233 NEW SOUTH HEAD ROAD, EDGECLIFF	02 9386 7009
PHOTOMONTAGE & MODELING	ARCHITECTURAL IMAGES	46/6-8 HERBERT STREET, ST LEONARDS NSW 2065	02 9460 8943
PRIVATE CERTIFIER/BCA REPORT	DIX GARDNER GROUP	LEVEL 4, 155 CASTELREAGH ST, SYDNEY NSW 2000	0428 281 188
ARBORIST	DAMIAN GREEN		0450 575 677

UNITS

UNIT	LEVEL	1 BED	2 BED	BATH	ENS	ADPT.	UNIT AREA	BALCONY/ COURTYARD AREA	LIFT ACCESS	DIRECT SUNLIGHT	CROSS THROUGH VENTILATION	SINGLE ASPECT	LIVING ROOM WIDTH	PARKING REQUIRED
01	1						90.4m ²	24.7m ²					> 4m	2
02	1						97.7m ²	33.0m ²					>4m	2
03	1						87.1m ²	36.8m ²					4m	2
04	1						95.8m ²	21.7m ²					> 4m	2
05	1						96.5m ²	27.5m ²					>4m	2
06	1						90.2m ²	33.9m ²					>4m	2
07	1						97.8m ²	36.0m ²					> 4m	2
08	1						109.2m ²	72.1m ²					> 4m	2
09	2						91.5m ²	102.2m ²					> 4m	2
10	2						86.8m ²	52.8m ²					>4m	2
11	2						84.9m ²	27.0m ²					> 4m	2
12	2						57.6m ²	25.1m ²					>4m	1
13	2						82.0m ²	38.2m ²					>4m	2
14	2						96.4m ²	42.0m ²					>4m	2
TOTAL		1	13	14	UNITS	3	1263.9m ²			85.7% (114)	92.85% (114)	7.14% (114)		27

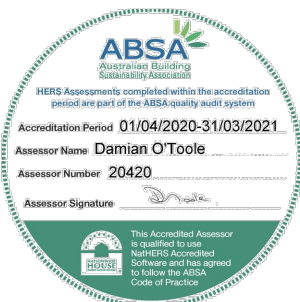
RETAIL

RETAIL SPACE	AREA	STORAGE AREA	PARKING REQUIRED	PARKING PROVIDED
1	48.89m ²	22.6m ²	1 space per 30m ²	
2	44.44m ²	12.8m ²		
3	44.44m ²	-		
4	44.44m ²	-		
5	49.87m ²	-		
6	78.3m ²	-		
7	97.4m ²	42.4m ²		
8	99.4m ²	24.4m ²		
9	133.5m ²	-		
TOTAL	640.68m ²		21.3 (640.68/30)	22

PARKING

	UNITS	UNIT VISITOR	RETAIL	TOTAL
REQUIRED	27	5	22	54
PROVIDED	27	5	22	54

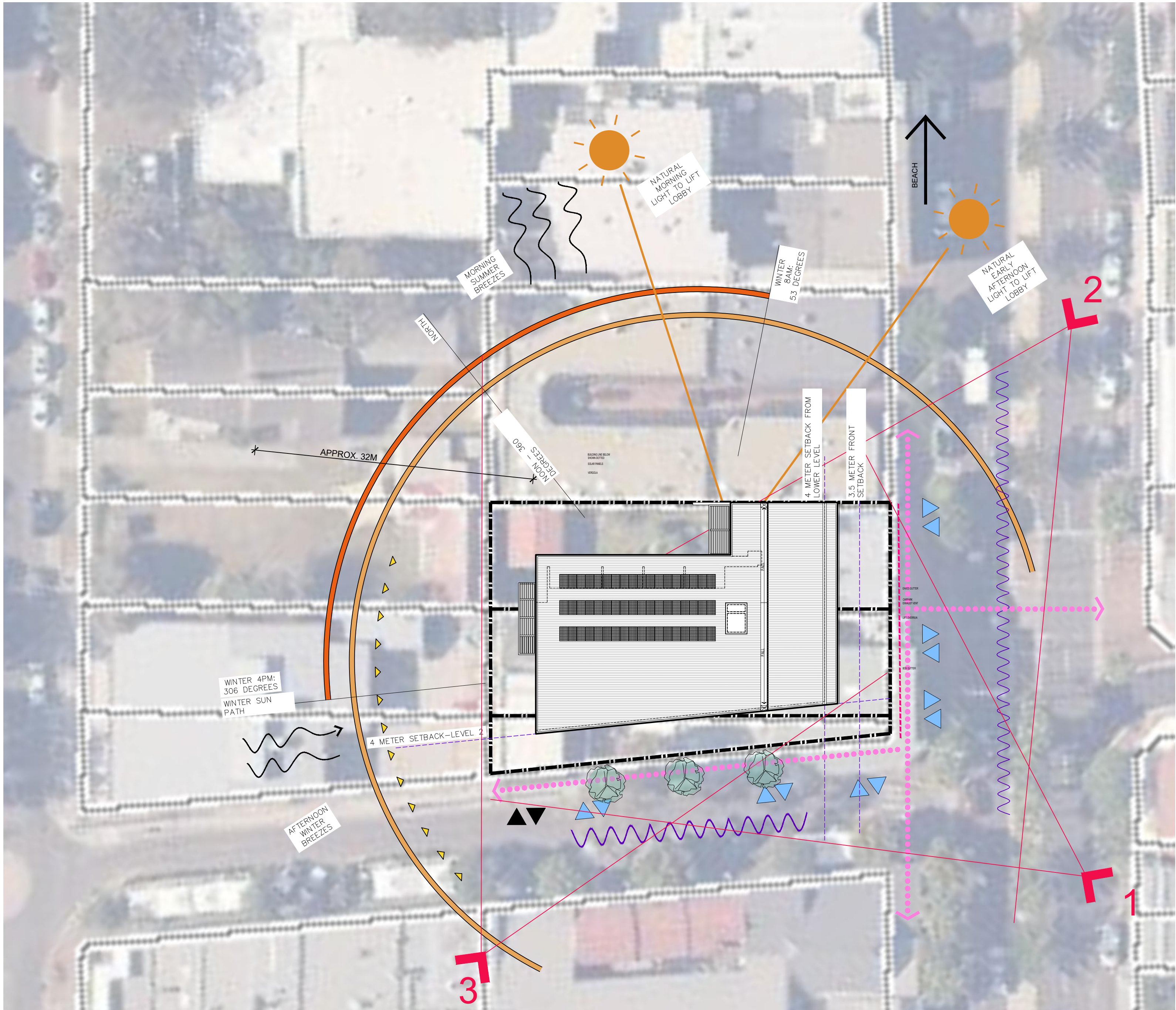
Assessor # 20420		Certificate # 0005506340		Issued: 151220			
Thermal Performance Specifications							
<div>These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents</div>							
Windows	Product ID	Glass	Frame	U value	SHGC	Area M ²	Detail
Single glazed		Low e	Aluminium	5.6	0.41		As per plans
Skylights	Product ID	Glass	Frame	U value	SHGC	Area M ²	Detail
Single glazed		Clear	Aluminium				As per plans
<div>Window and skylight U and SHGC values, if specified, are according to ANAC 2005. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.</div>							
External walls		Construction	Insulation	Colour – solar abs.	Detail		
Brick veneer/Framed			R2.5	Medium	As per plans		
Internal walls		Construction	Insulation	Detail			
Plasterboard			None	As per plans.			
Floors	Construction	Insulation	Covering	Detail			
Concrete		None/R2.0	Varies	As per plans. Insulation where car park below.			
Ceilings	Construction	Insulation	Detail				
Plasterboard		R2.5/None	As per plans. Insulation where adjoins roof/exterior.				
Roof	Construction	Insulation	Colour – solar abs.	Detail			
Metal		Foil + R1.0	Medium	As per plans.			
Window cover	Internal (curtains)			External (awnings, shutters, etc)			
As plans				As plans			
Fixed shading	Eaves (width - inc. gutters, h't above windows)			Location			
	As plans – eaves /soffits				As plans – eaves/soffits/louvers as shown		
Overshadowing	Overshadowing structures			Overshadowing trees			
NA							
Orientation, Exposure, Ventilation and Infiltration							
Orientation of nominal north:		0	Living area open to entry:		Y	Ventilated skylights:	N
Terrain category:		Suburban	Doors separate living areas:		N	Open fire, unflued gas heat:	N
Roof ventilation:		Unventilated	Stair open to heated areas:		Y/N	Vented downlights:	N
Cross ventilation:		Standard	Seals to windows and doors:		Y	Wall and ceiling vents:	N
Subfloor:		Enclosed	Exhaust fans without dampers:		N		



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			05	20.12.15	DA ISSUE
			04	20.11.23	ISSUED TO COUNCIL
			03	20.06.19	REVISED/ISSUED
			02	20.03.06	ISSUED TO COUNCIL
			01	19.10.15	DA ISSUE
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P 02 9660 3644 www.crawford.com.au E arch@crawford.com					

CLIENT	PROJECT	TITLE	SCALE	NIA	PROJECT NUMBER	DRAWING NUMBER	ISSUE
DEVELOPMENT LINK	MIXED USE DEVELOPMENT	COVERSHEET SCHEDULE	APPROVED DRAWN CHECKED	MT PG	18057	A001	06
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106		LOT 65 & 66 SEC 5 DP 6248	DATE	JAN 2019			
			STATUS	DA			





8.2

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

23.8

MJ/m²

www.nathers.gov.au

0005506340 15 Dec 2020

Assessor
Accreditation No.
Address

351-353 BARRENJOEY RD,
NEWPORT, NSW, 2106

hstar.com.au

Damian O'Toole
20420

ABSA

Architectural Building
Sustainability Association

ABSA Assessments completed within the accreditation
period are part of the ABSA quality audit system

Accreditation Period 01/04/2020-31/03/2021

Assessor Name Damian O'Toole

Assessor Number 20420

Assessor Signature

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SUITE 3.01, LEVEL 3 80 MOUNT STREET
NORTH SYDNEY, NSW 2060 AUSTRALIA
ABN 56 120 779 106
NOMINATED ARCHITECTS
TONY GRAY 5303 & PAUL GOOSELL 6726
ARCHITECTS PTY LTD

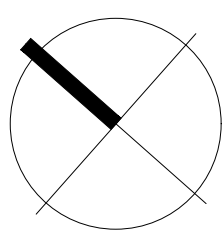
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E arch@crawford.com.au

ISSUE	DATE	AMENDMENTS
06	20.12.15	DA ISSUE
05	20.12.15	DA ISSUE
04	20.11.23	ISSUED TO COUNCIL
03	20.06.19	REVISED ISSUED
02	20.03.06	ISSUED TO COUNCIL
01	19.10.15	DA ISSUE

CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
SITE ANALYSIS



SCALE
N/A
APPROVED
DRAWN
CHECKED
DATE
STATUS

PROJECT NUMBER
18057

DRAWING NUMBER
A002

ISSUE
06

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Schedule of BASIX commitments

1. Commitments for Residential flat buildings - Mixed Use Building
- (a) Dwellings
- (i) Water
- (ii) Energy
- (iii) Thermal Comfort
- (b) Common areas and central systems/facilities
- (i) Water
- (ii) Energy
2. Commitments for multi-dwelling houses
3. Commitments for single dwelling houses
4. Commitments for common areas and central systems/facilities for the development (non-building specific)
- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Mixed Use Building

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below, and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓ ✓	✓ ✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(h) The pool or spa must be located as specified in the table.	✓	✓	
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	no	-	4 star	-	-	-	-	-	-	-

Alternative water source								
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating, and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

Dwelling no.	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Cooling			Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
4, 11	1-phase airconditioning EER 3.0 - 3.5	-	1-phase airconditioning EER 3.0 - 3.5	-	3	1	yes	yes	yes	yes	0	yes
10, 13	1-phase airconditioning EER 3.0 - 3.5	-	1-phase airconditioning EER 3.0 - 3.5	-	1	1	yes	yes	yes	yes	0	yes
All other dwellings	1-phase airconditioning EER 3.0 - 3.5	-	1-phase airconditioning EER 3.0 - 3.5	-	2	1	yes	yes	yes	yes	0	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	no	4.5 star	-	2 star	yes	yes

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
1	12.0	20.0
2	13.0	26.0
3	9.0	22.0
4	2.0	25.0
5	16.0	23.0
6	5.0	26.0
7	3.0	20.0
8	2.0	29.0
9	5.0	21.0

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
10	6.0	22.0
11	16.0	27.0
12	19.0	22.0
13	11.0	25.0
All other dwellings	7.0	28.0

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Certificate No.: 1044257M_02

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(b) Common areas and central systems/facilities			
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

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Common area ventilation system			Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park area	ventilation supply only	carbon monoxide monitor + 2-speed fan	fluorescent	time clocks	No
Lift car (No. 1)	-	-	compact fluorescent	connected to lift call button	No
Garbage room	ventilation supply only	-	fluorescent	manual on / manual off	No
Plant or service room	no mechanical ventilation	-	fluorescent	manual on / manual off	No
Lobby	ventilation supply only	time clock or BMS controlled	compact fluorescent	motion sensors	No

Central energy systems	Type	Specification
Lift (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 5

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4. Commitments for common areas and central systems/facilities for the development (non-building specific)			
(b) Common areas and central systems/facilities			
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

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Central energy systems	Type	Specification
Alternative energy supply	Photovoltaic system	Rated electrical output (min): 15.0 peak kW

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Notes
1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend
1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

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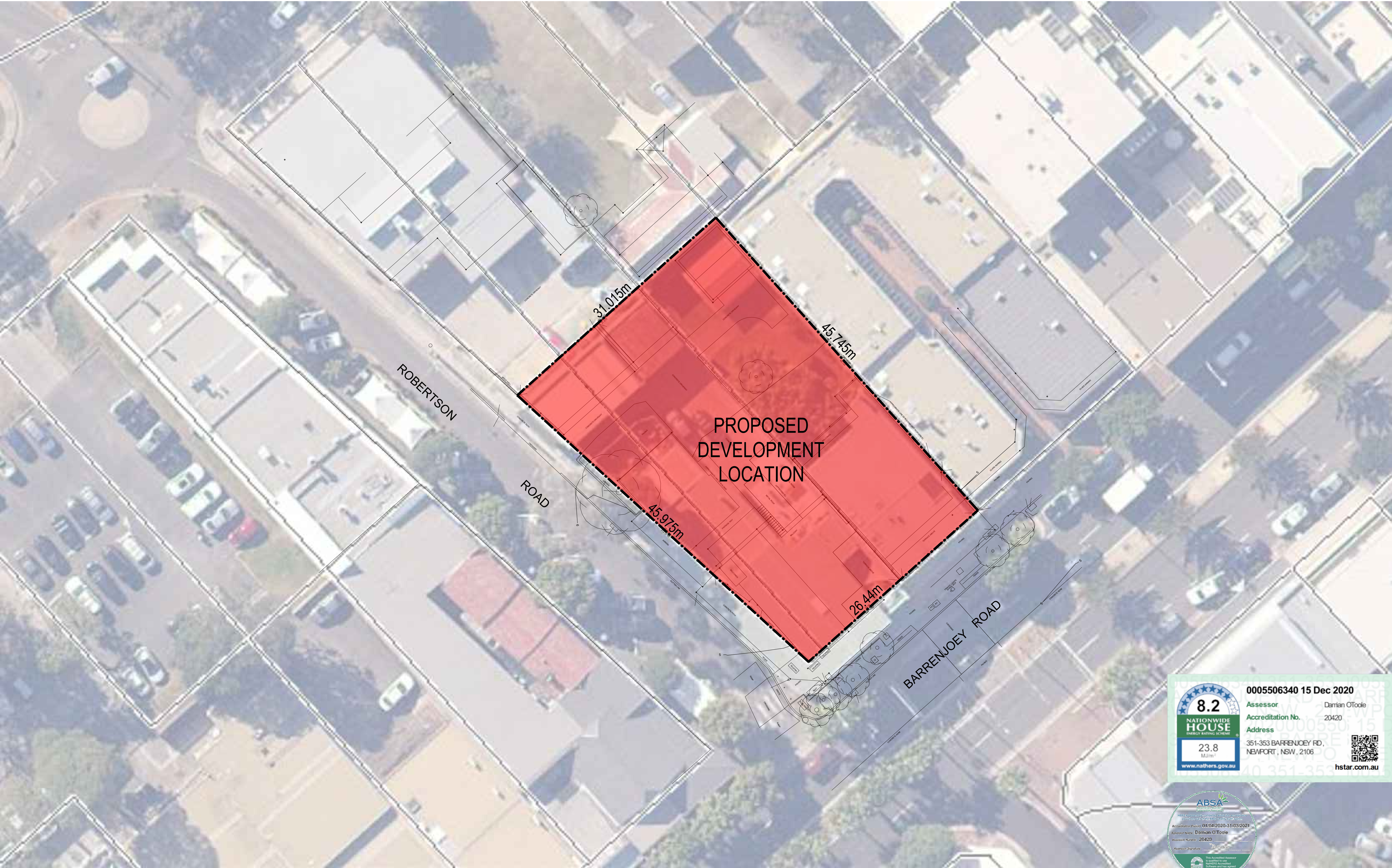
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Assessor: Damian O'Toole


Accreditation No.: 20420

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Accreditation Period: 01/04/2020-31/03/2021

Assessor Name: Damian O'Toole

Assessor Number: 20420

Assessor Signature: [Signature]

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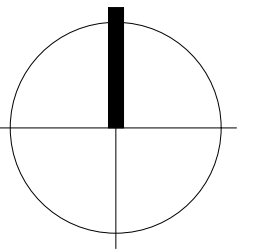
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ISSUE	DATE	AMENDMENTS

CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
SITE LOCATION PLAN



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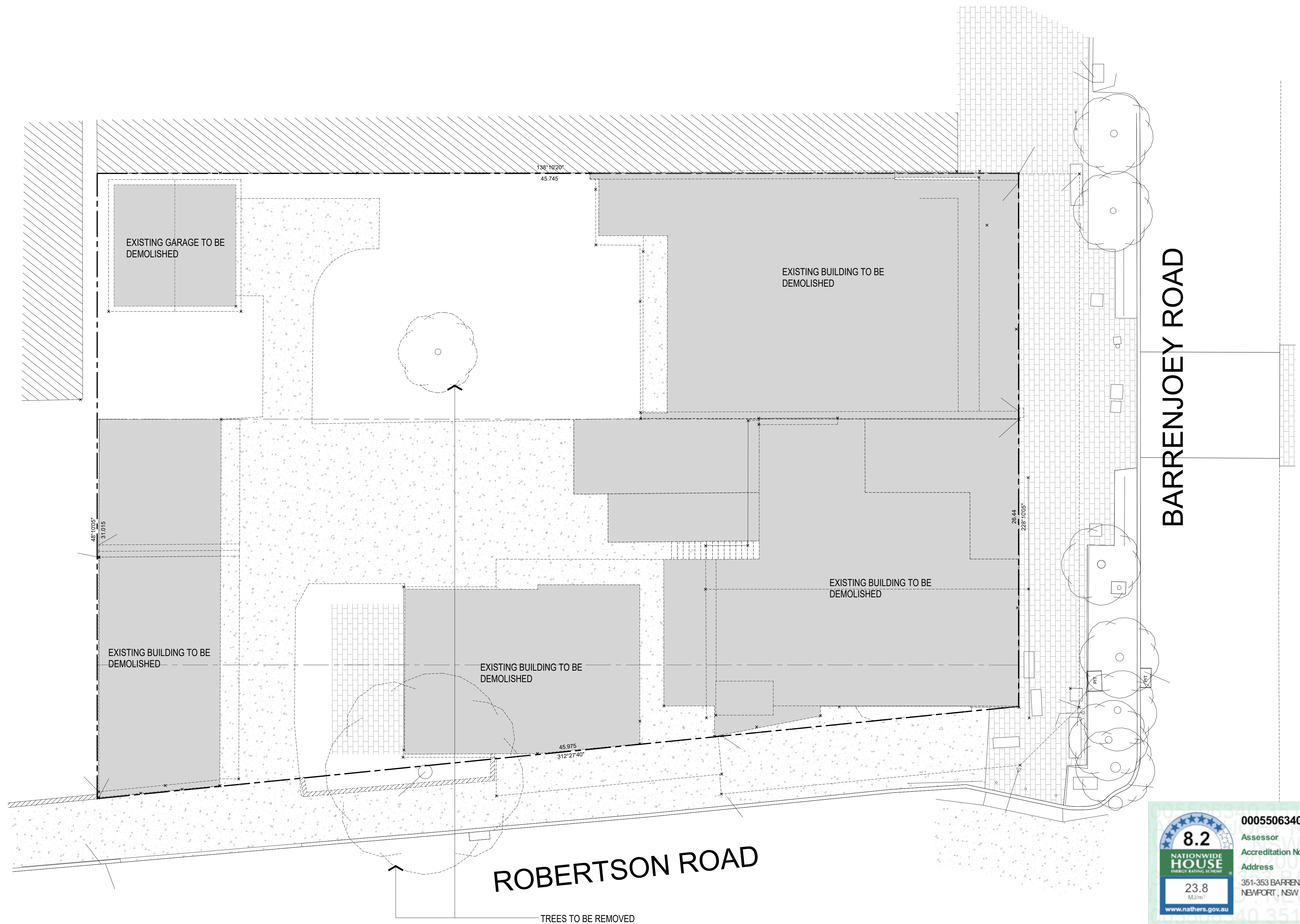
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DATE: JAN 2019
STATUS: DA

PROJECT NUMBER
18057

DRAWING NUMBER
A010

ISSUE
07

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8.2
NATIONWIDE
HOUSE
ENERGY RATING STAR

23.8
MJ/m²

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06	20.12.15	DA ISSUE
05	20.12.15	DA ISSUE
04	20.11.23	ISSUED TO COUNCIL
03	20.06.19	REVISED ISSUED
02	20.03.06	ISSUED TO COUNCIL
01	19.10.15	DA ISSUE

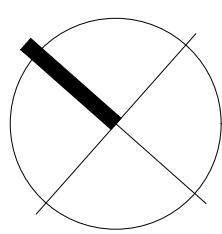
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PROJECT
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LOT 65 & 66 SEC 5 DP 6248

TITLE
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STATUS DA

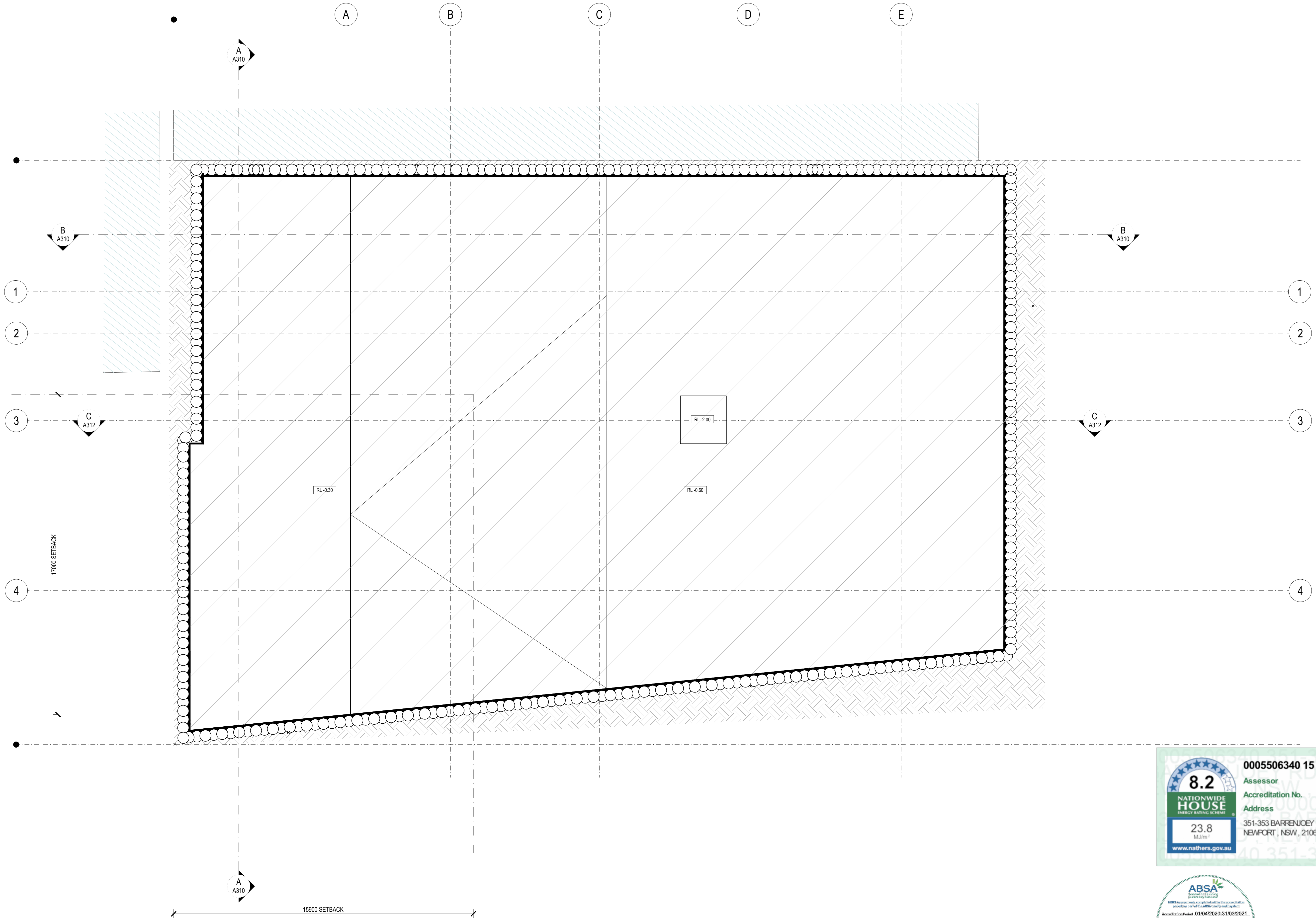
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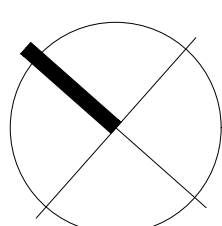
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TITLE
EXCAVATION PLAN



SCALE
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JAN 2019

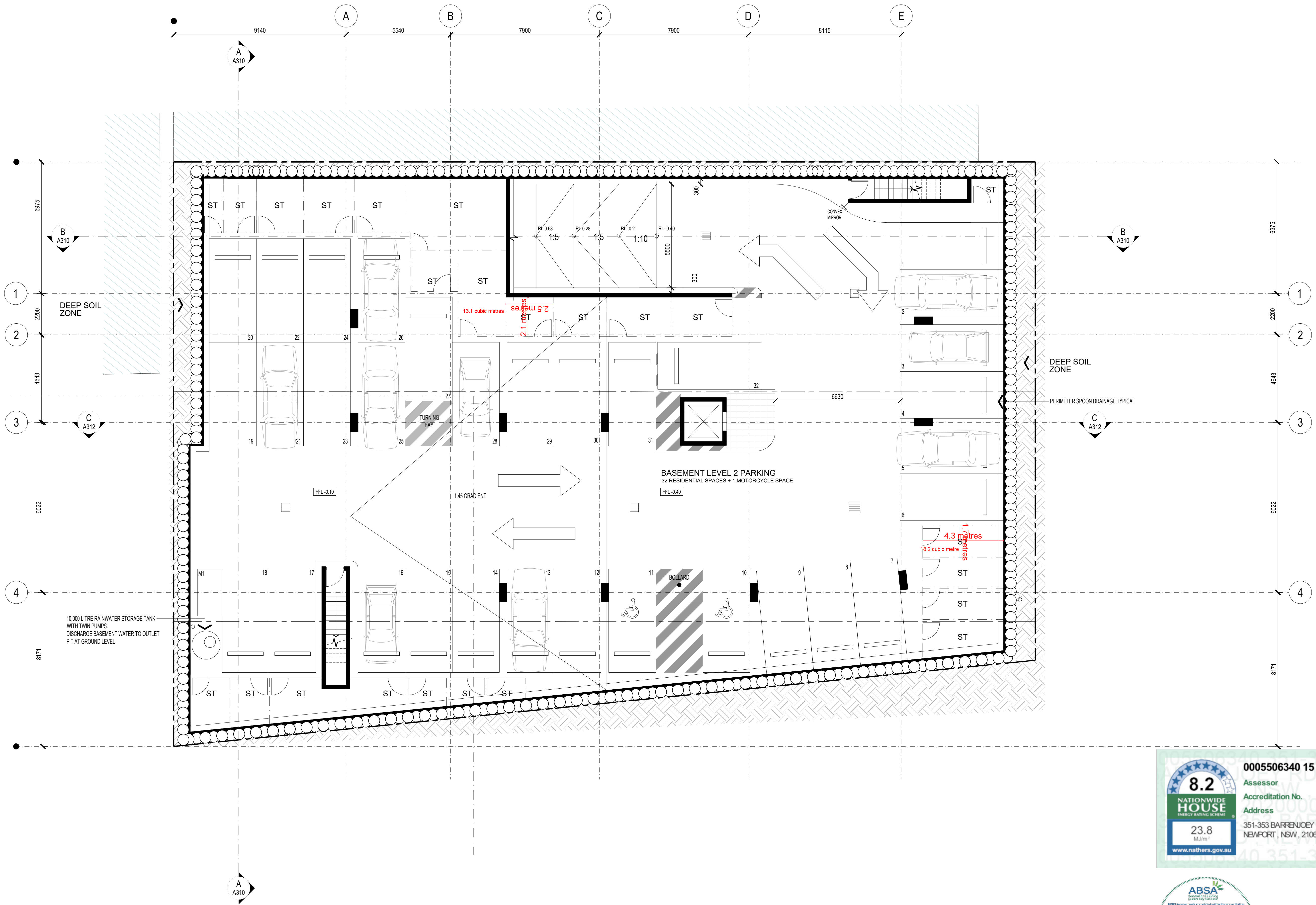
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DA

PROJECT NUMBER
18057

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A012

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06





8.2

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HOUSE

ENERGY RATING

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17	20.12.15	DA ISSUE
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15	20.12.01	ISSUED TO CONSULTANTS
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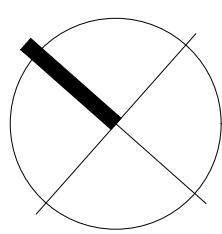
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PROJECT
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LOT 65 & 66 SEC 5 DP 6248

TITLE
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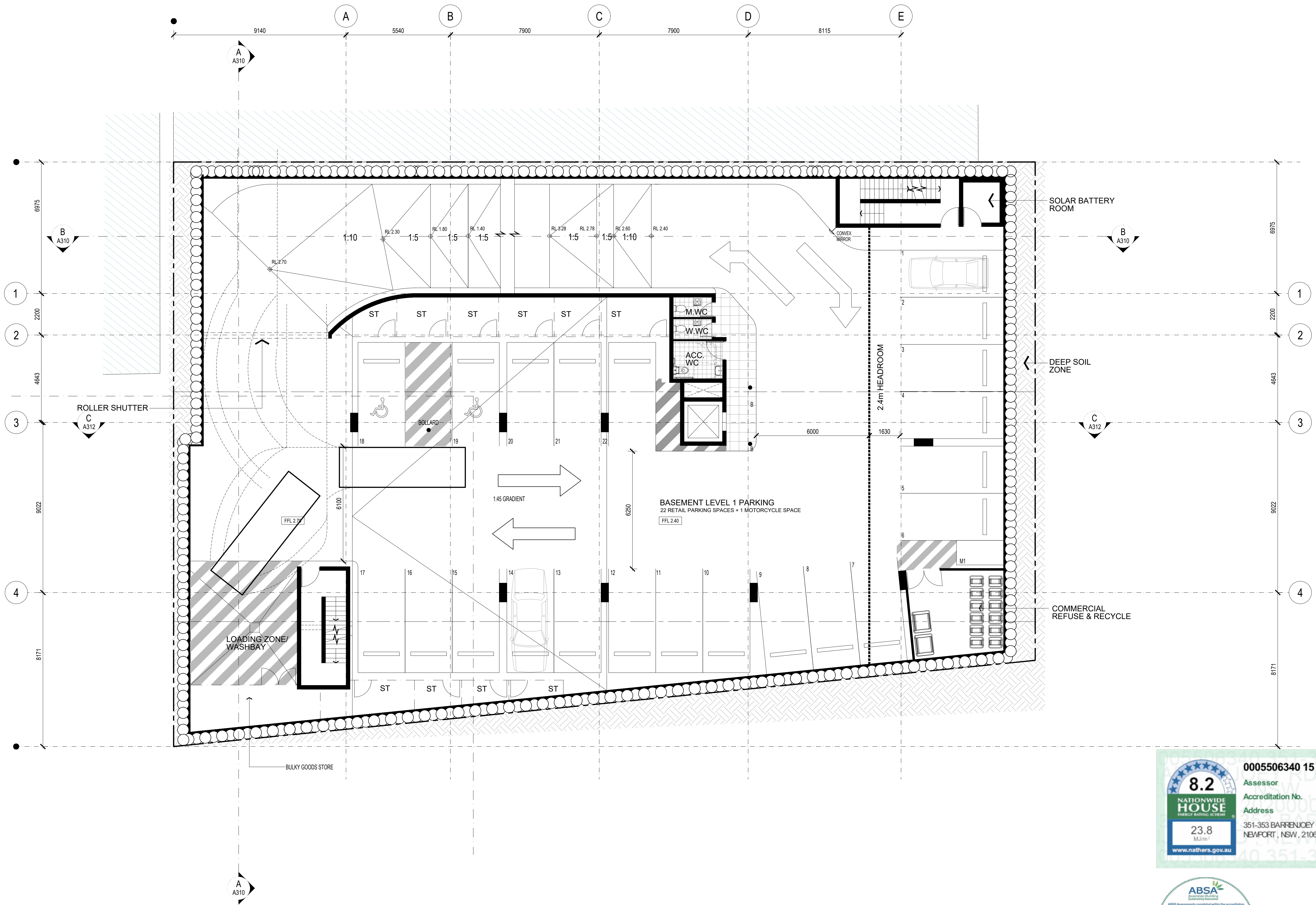
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DATE JAN 2019
STATUS DA

PROJECT NUMBER 18057
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15	20.12.01	ISSUED TO CONSULTANTS
14	20.11.23	ISSUED TO COUNCIL
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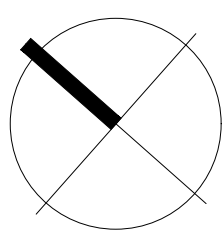
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DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT

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LOT 65 & 66 SEC 5 DP 6248

TITLE
BASEMENT 1 FLOOR PLAN



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A101

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17

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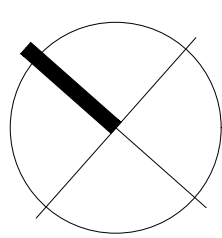
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DEVELOPMENT LINK

PROJECT
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LOT 65 & 66 SEC 5 DP 6248

TITLE
GROUND FLOOR PLAN



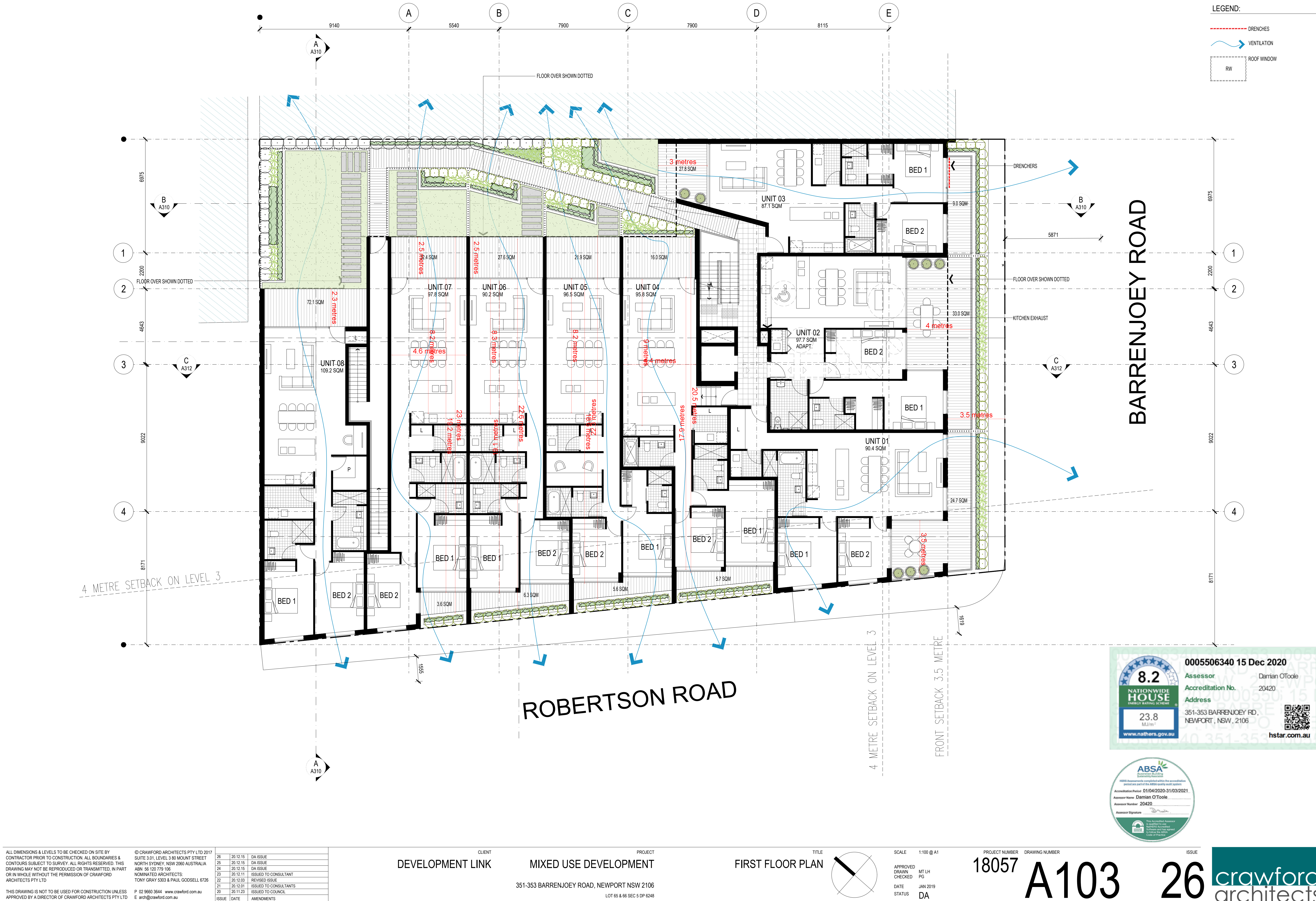
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PROJECT

TITLE

SCALE

PROJECT NUMBER

DRAWING NUMBER

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DEVELOPMENT LINK

MIXED USE DEVELOPMENT

FIRST FLOOR PLAN

1:100 @ A1

18057

A103

26

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LOT 65 & 66 SEC 5 DP 6248

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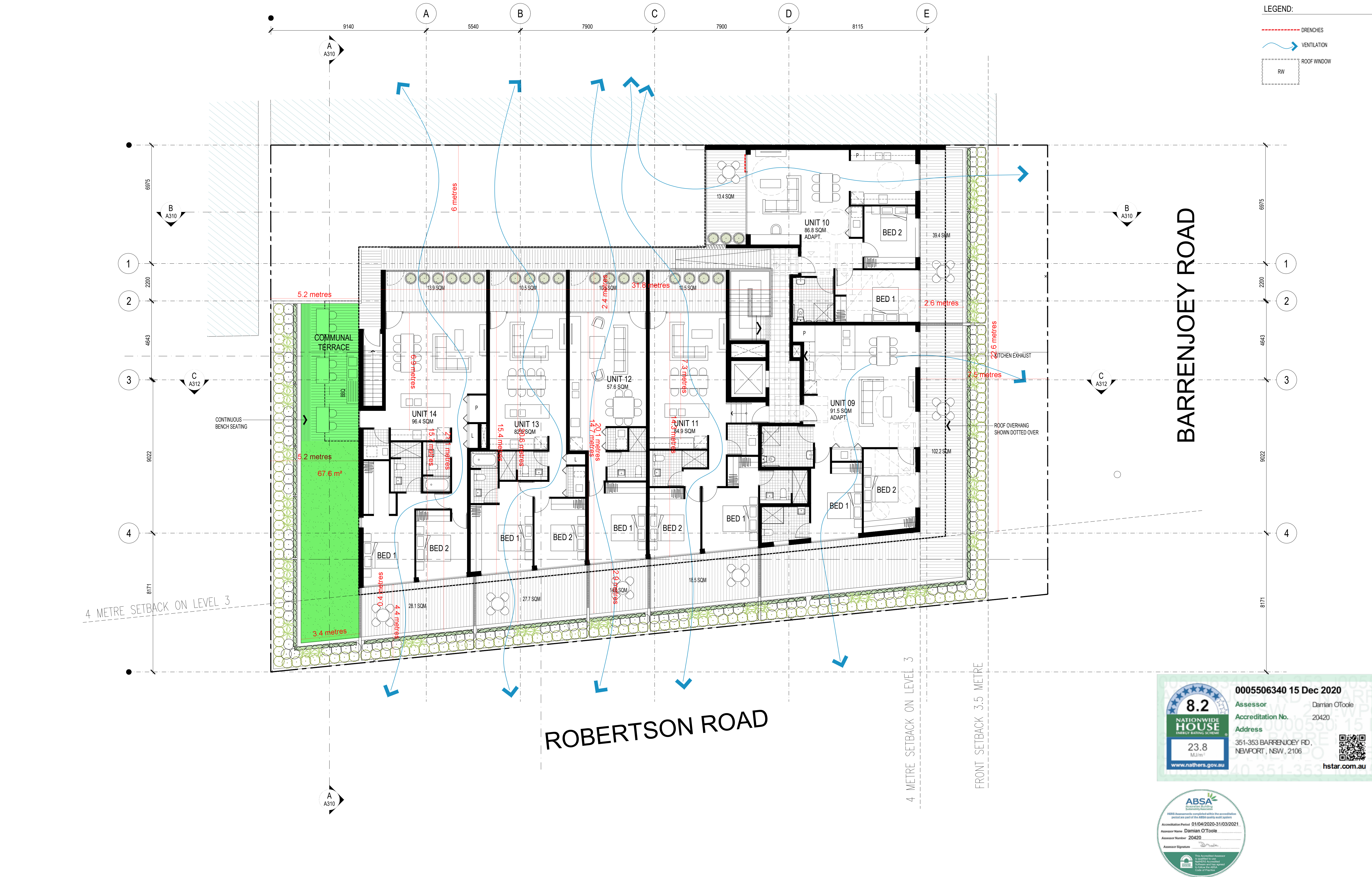
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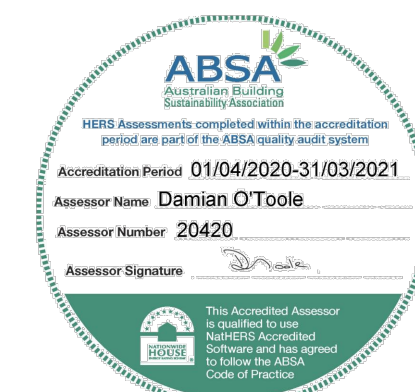
TITLE
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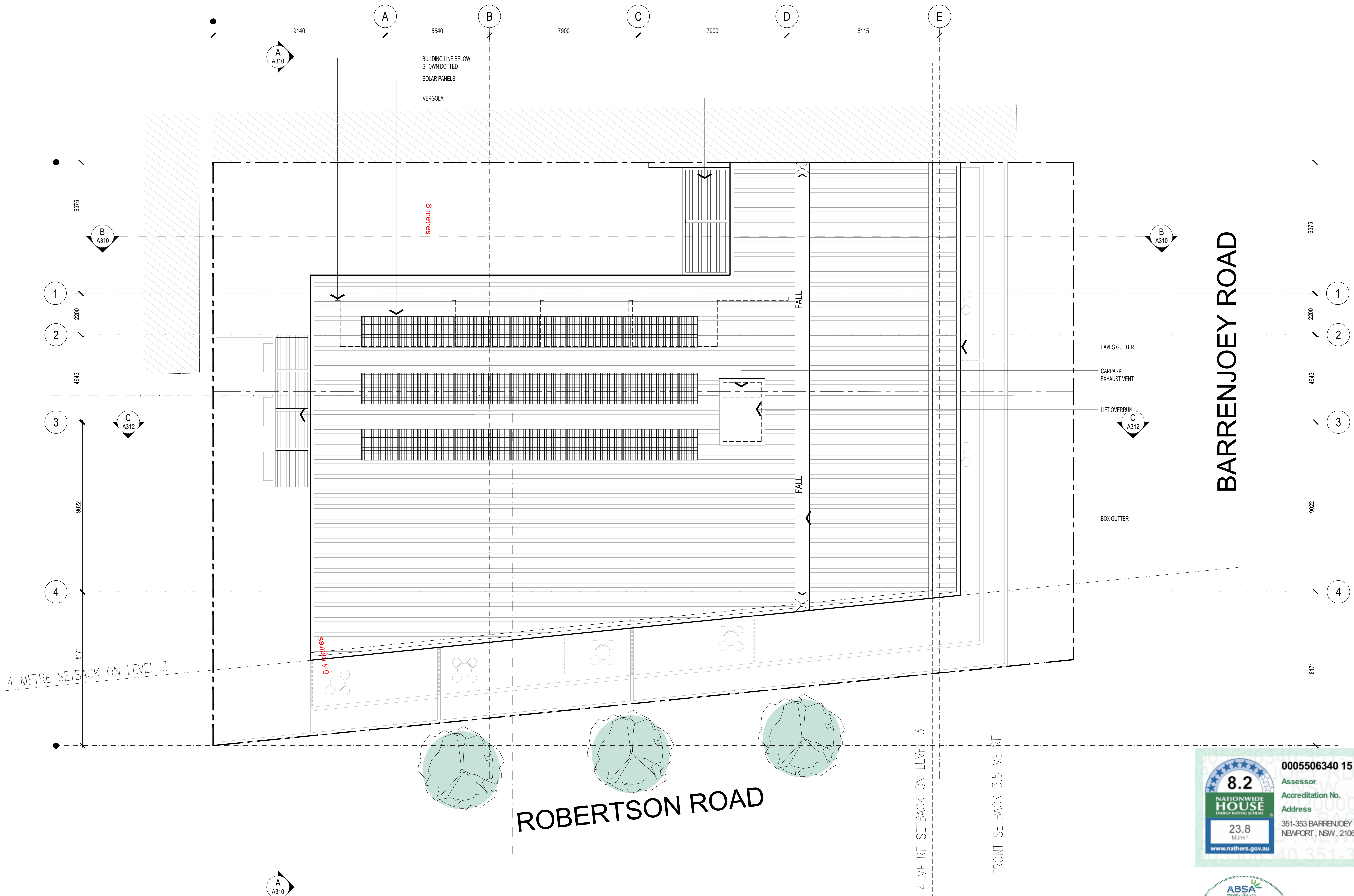
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APPROVED
DRAWN
CHECKED
DATE
STATUS


PROJECT NUMBER
DRAWING NUMBER
18057
A104

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24
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Assessor Accreditation No. 20420

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Accreditation Period 01/04/2020-31/03/2021

Assessor Name Damian O'Toole

Assessor Number 20420

Assessor Signature

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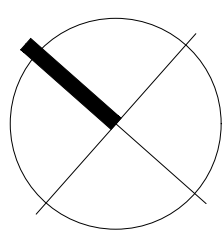
CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106

LOT 65 & 66 SEC 5 DP 6248

TITLE
ROOF PLAN



SCALE
1:100 @ A1

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DRAWN
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PG

DATE
JAN 2019

STATUS
DA

PROJECT NUMBER
18057

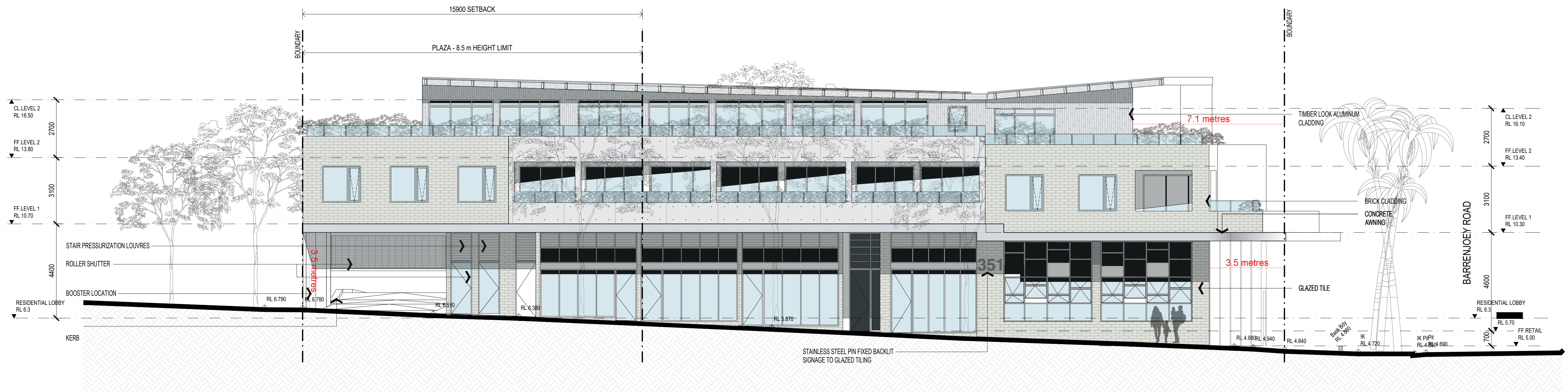
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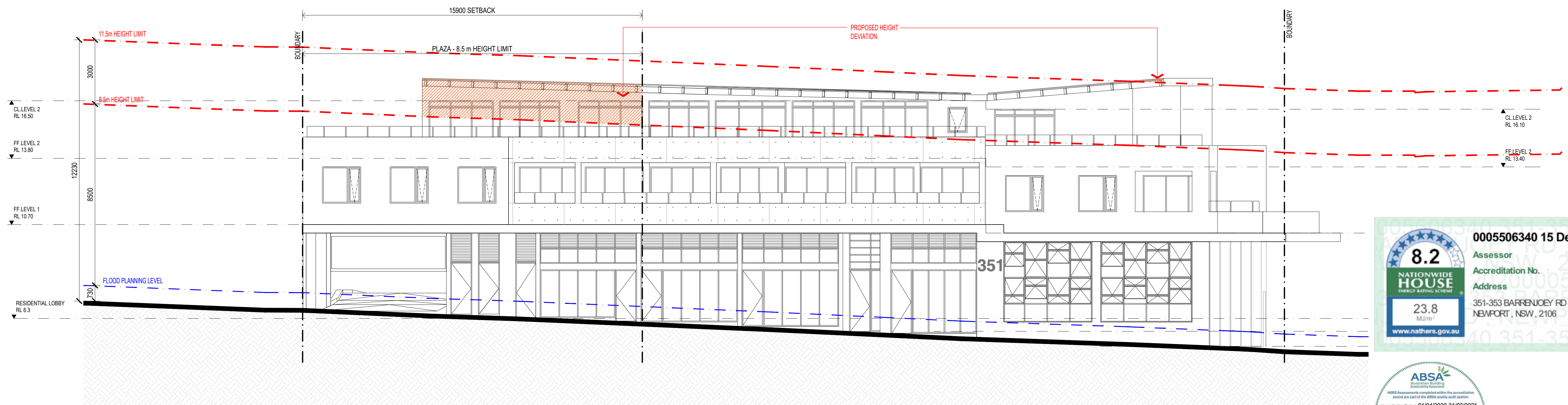
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STREET ELEVATION / ROBERTSON ROAD



STREET ELEVATION / ROBERTSON ROAD - HEIGHT PLANES



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ISSUE	DATE	AMENDMENTS

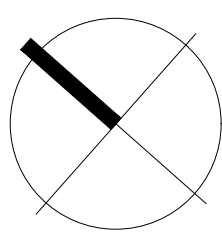
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TITLE
SOUTH ELEVATION



SCALE
1:100 @ A1

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CHECKED
DATE
STATUS

MN
PG
JAN 2019
DA

PROJECT NUMBER
18057

DRAWING NUMBER

A300

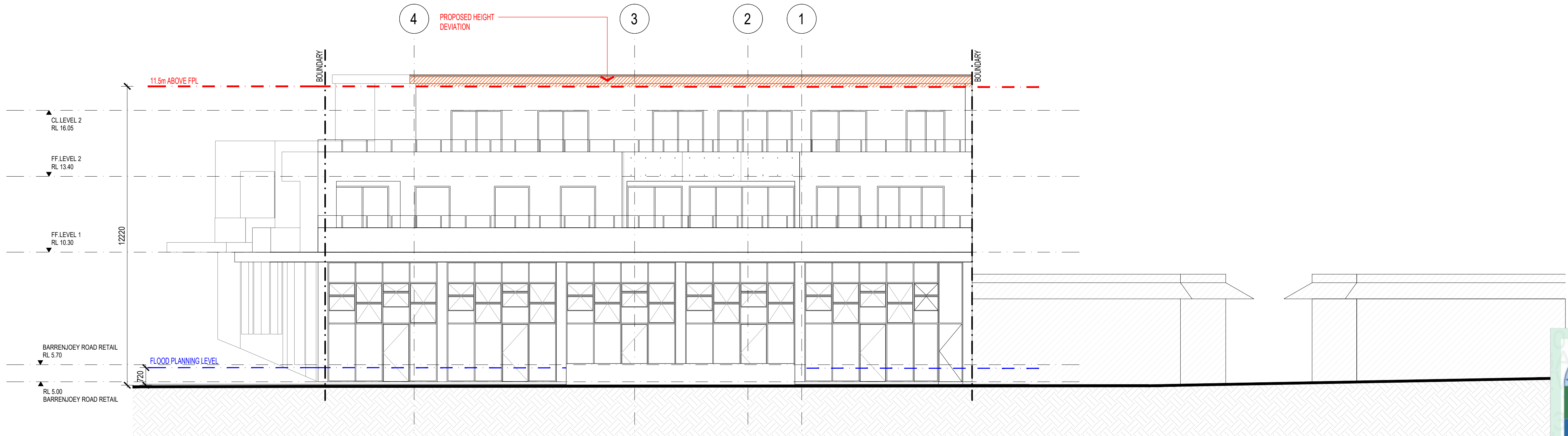
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STREET ELEVATION / BARRENJOEY ROAD



STREET ELEVATION / BARRENJOEY ROAD - HEIGHT PLANES

8.2
NATIONWIDE
HOUSE
ENERGY RATING SCALE

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Accreditation No.
Address

23.8
MJ/m²

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Accreditation No.
Address

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Accreditation Period 01/04/2020-31/03/2021

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Assessor Number 20420

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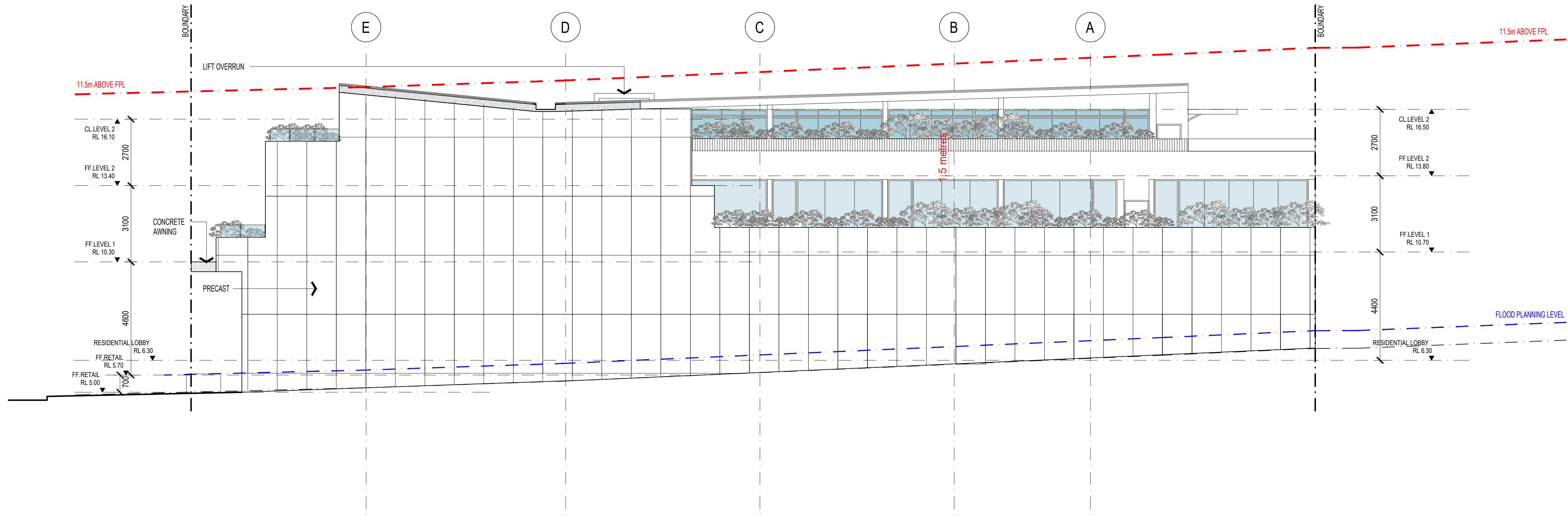
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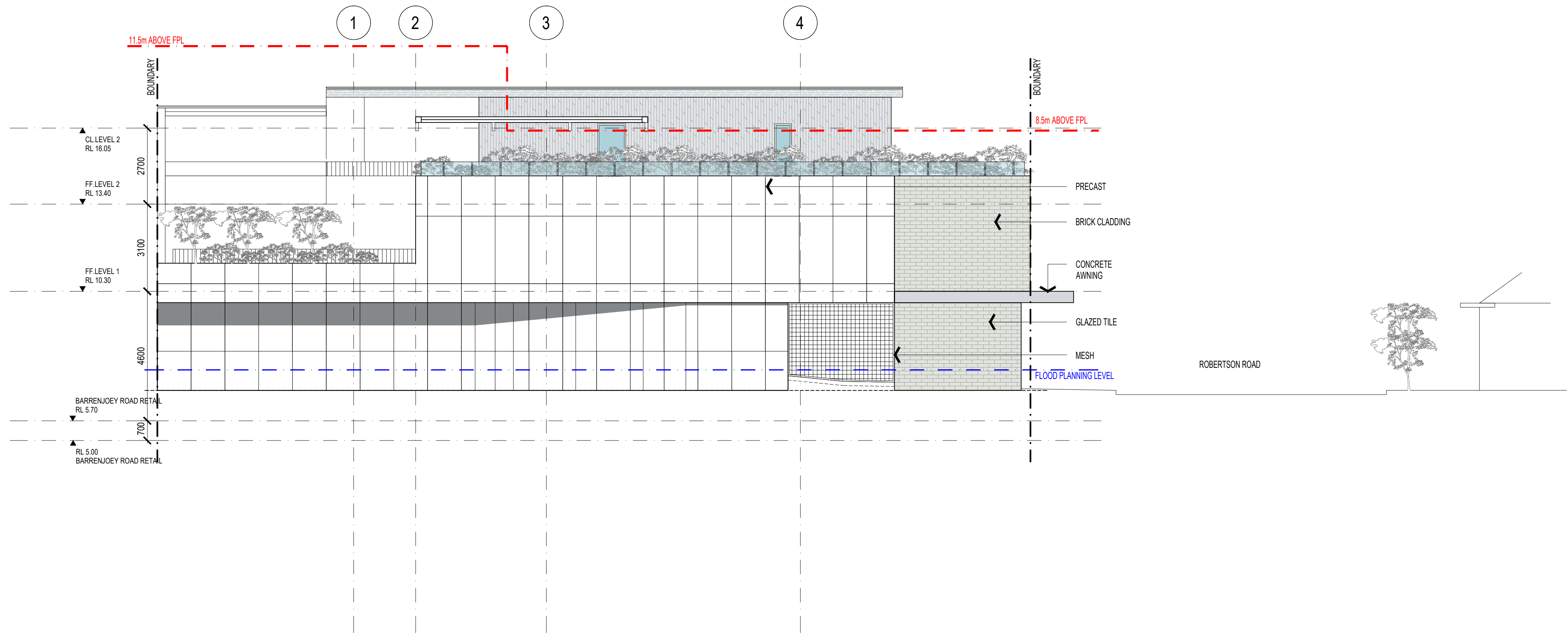
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11	20.11.23	ISSUED TO COUNCIL
10	20.11.20	DISAP ISSUE
09	20.11.04	DISAP ISSUE
ISSUE	DATE	AMENDMENTS

CLIENT	PROJECT	TITLE
DEVELOPMENT LINK	MIXED USE DEVELOPMENT	EAST ELEVATION
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106		
LOT 65 & 66 SEC 5 DP 6248		

SCALE	1:100 @ A1	PROJECT NUMBER	DRAWING NUMBER	ISSUE
APPROVED	MN	18057	A301	14
DRAWN	PG			
CHECKED				
DATE	JAN 2019			
STATUS	DA			



NORTH ELEVATION



WEST ELEVATION

8.2

NATIONWIDE
HOUSE

ENERGY RATING

23.8

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Assessor
Damian O'Toole

20420

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DEVELOPMENT LINK

PROJECT
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LOT 65 & 66 SEC 5 DP 6248

TITLE
NORTH AND WEST
ELEVATIONS

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APPROVED
DRAWN MN
CHECKED PG
DATE JAN 2019
STATUS DA

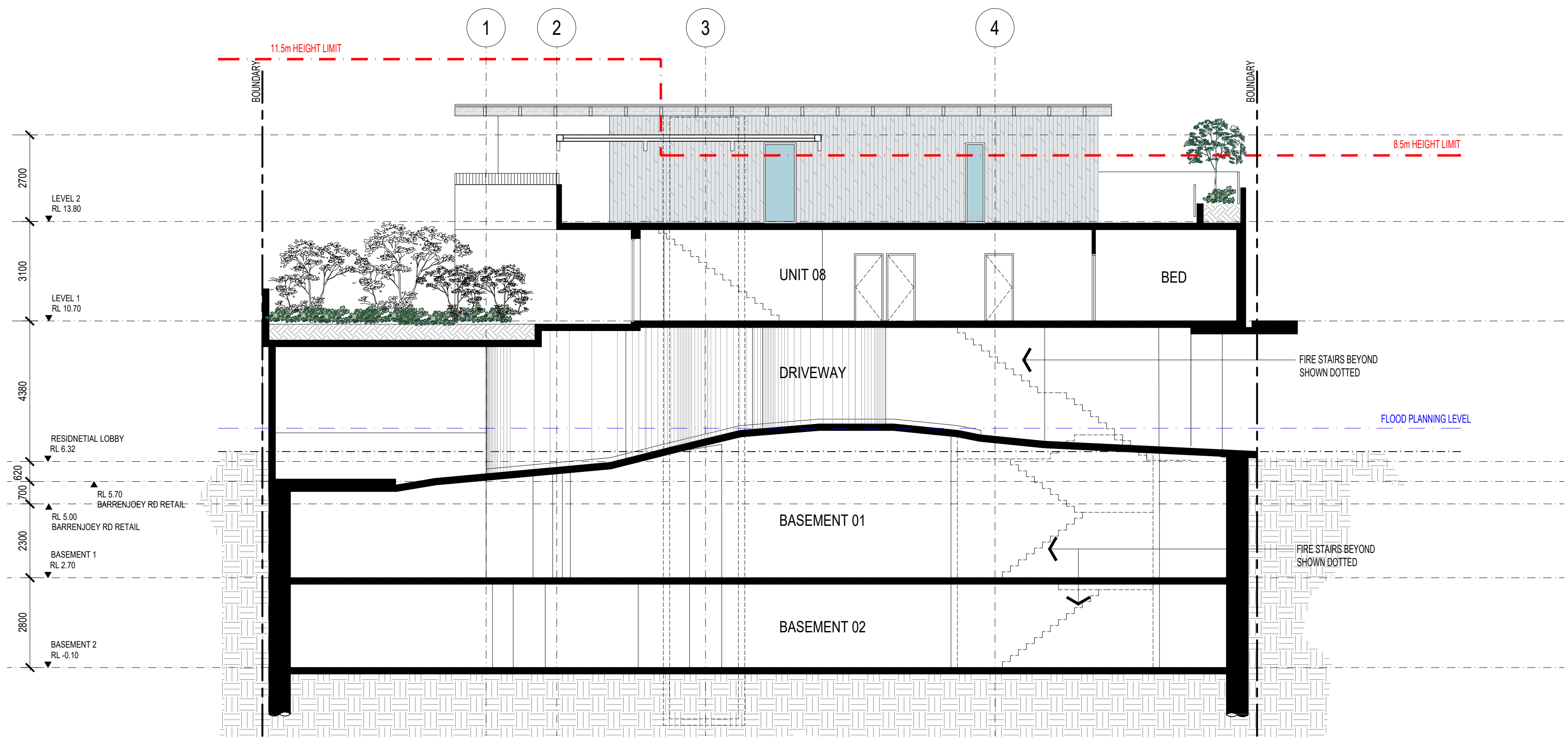
PROJECT NUMBER 18057
DRAWING NUMBER

A302

ISSUE

13

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8.2

NATIONWIDE HOUSE

ENERGY RATING SCHEME

23.8

MJ/m²

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11	20.12.15	DA ISSUE
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CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
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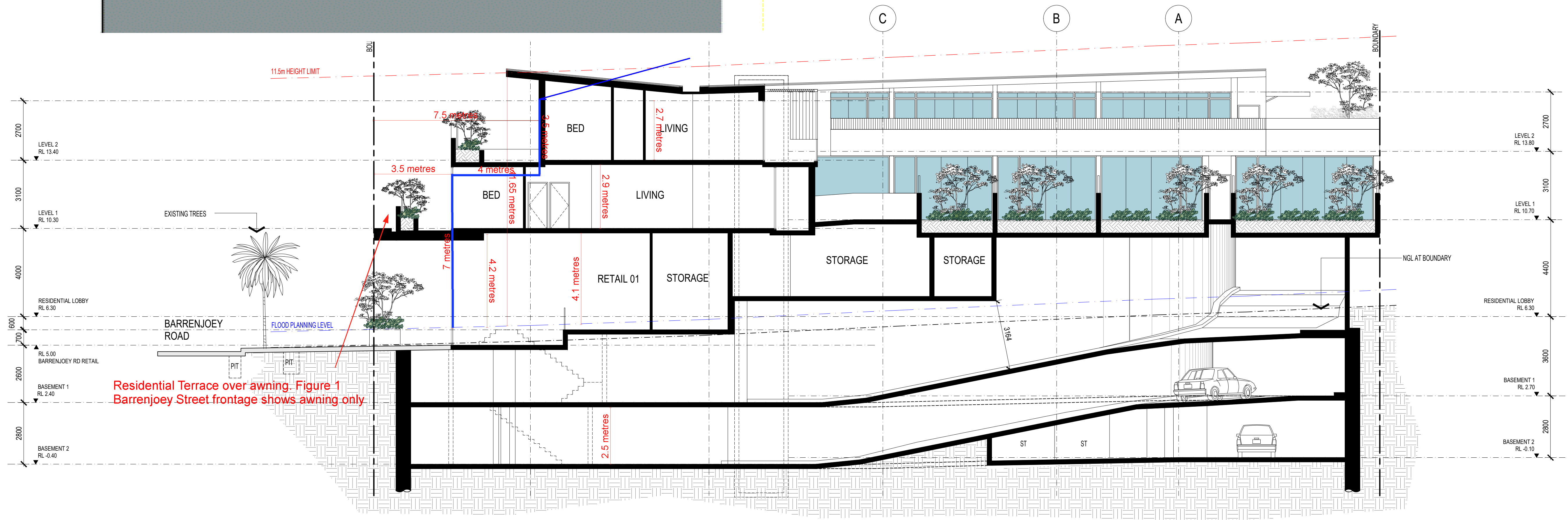
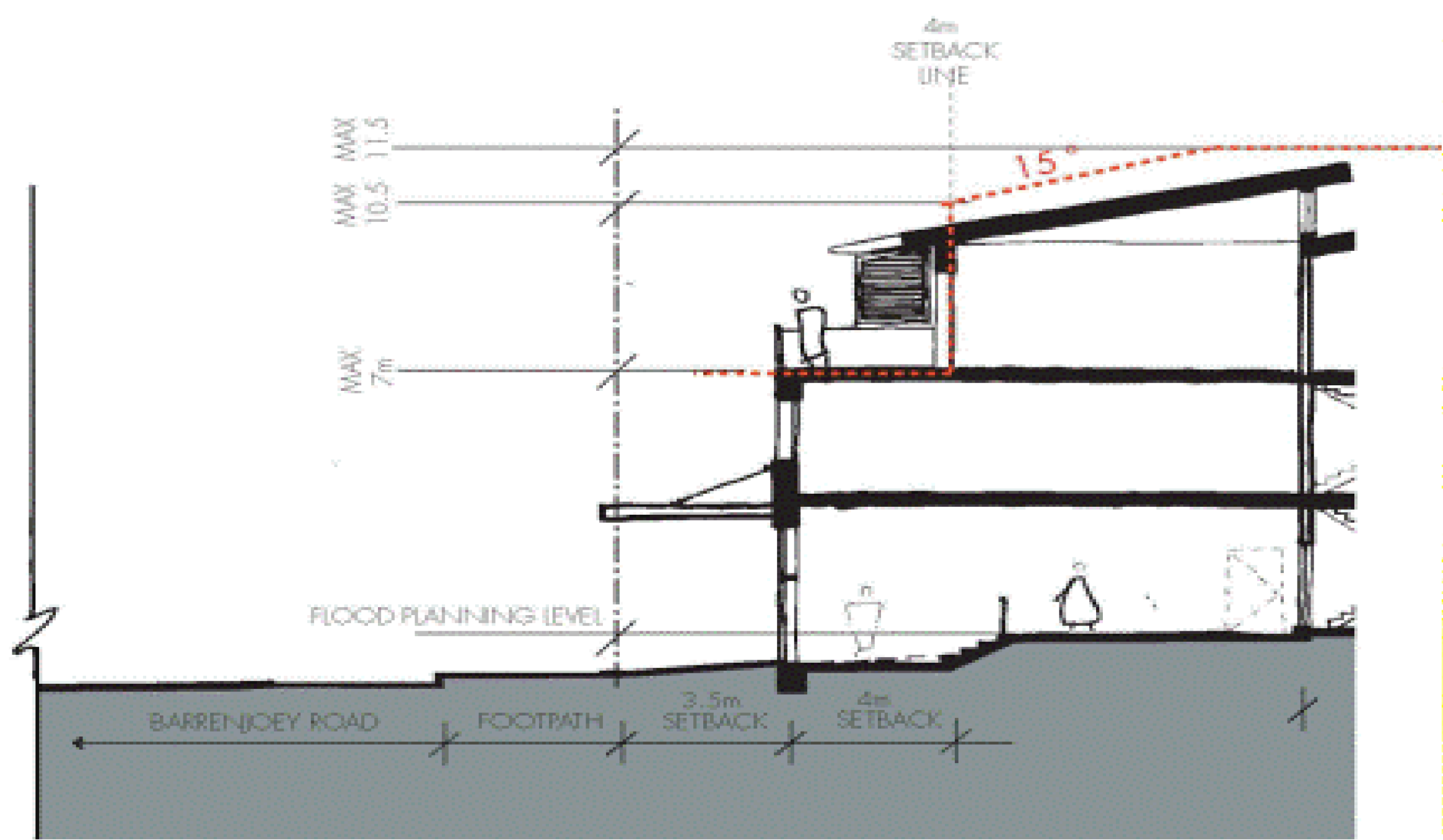
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APPROVED
DRAWN HH - MT
CHECKED PG
DATE JAN 2019
STATUS DA

PROJECT NUMBER 18057
DRAWING NUMBER

A310

ISSUE 12

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Residential Terrace over awning. Figure 1
Barrenjoey Street frontage shows awning only

8.2

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

23.8

MJ/m²

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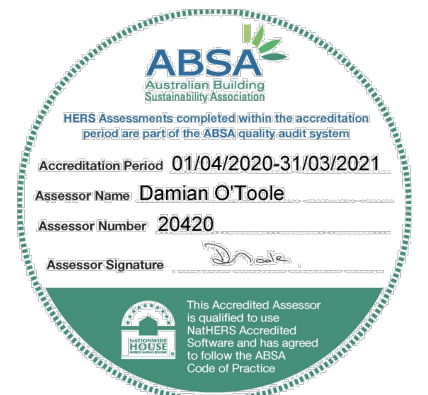
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DEVELOPMENT LINK

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LOT 65 & 66 SEC 5 DP 6248

TITLE
SECTION BB

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APPROVED
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CHECKED
DATE
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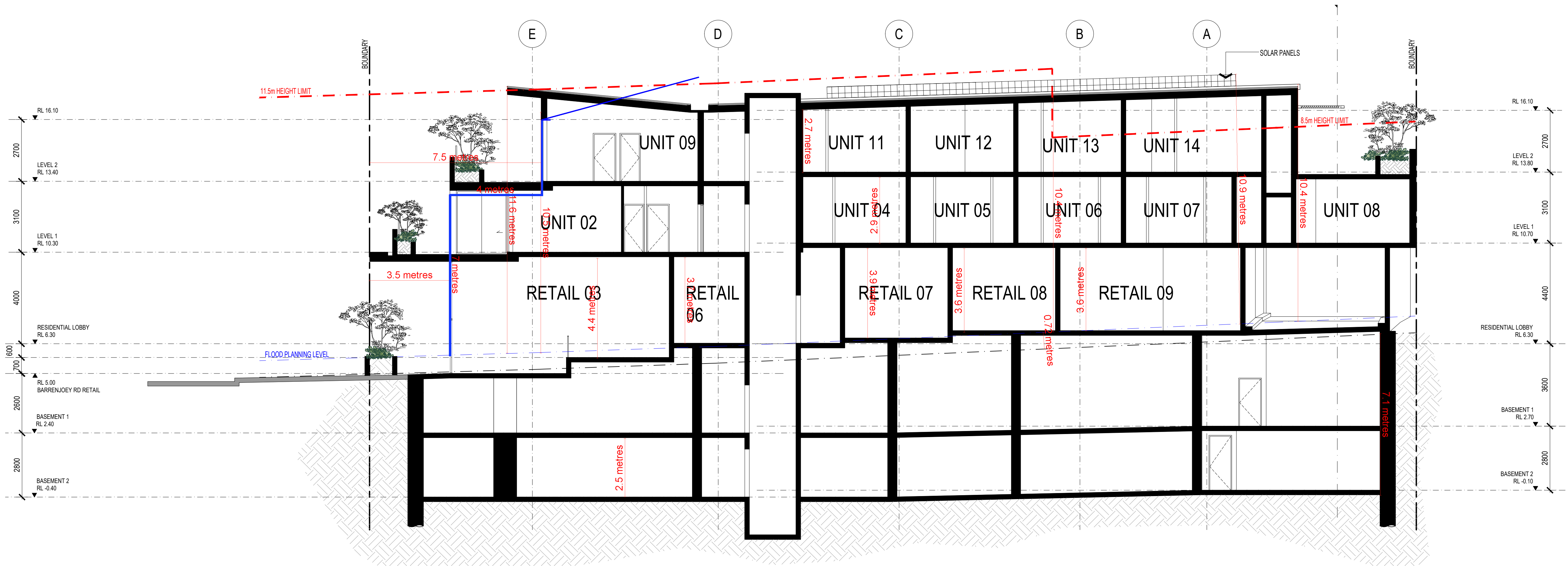
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DRAWING NUMBER

A311

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TITLE
SECTION CC

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SCALE 1:100 @ A1

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DATE
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JAN 2019
DA

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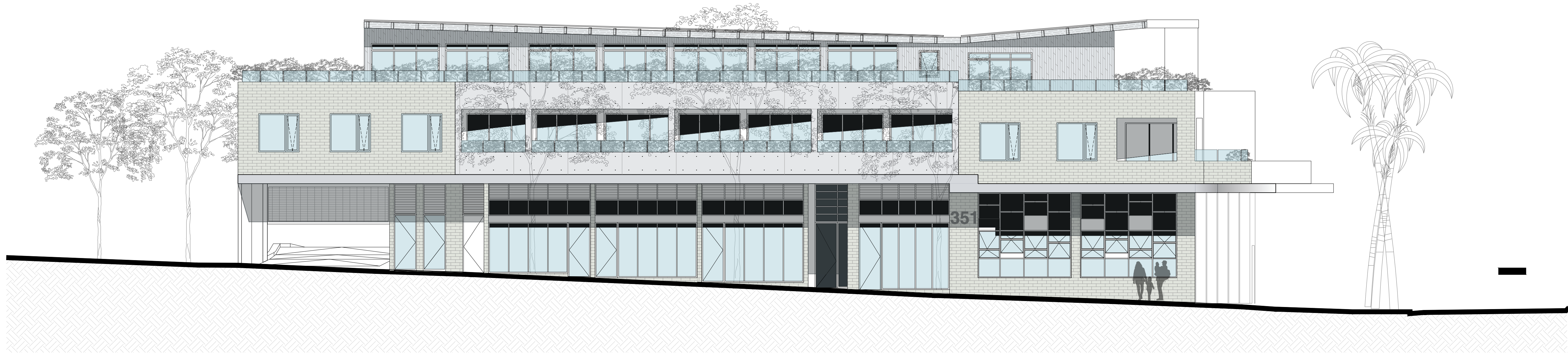
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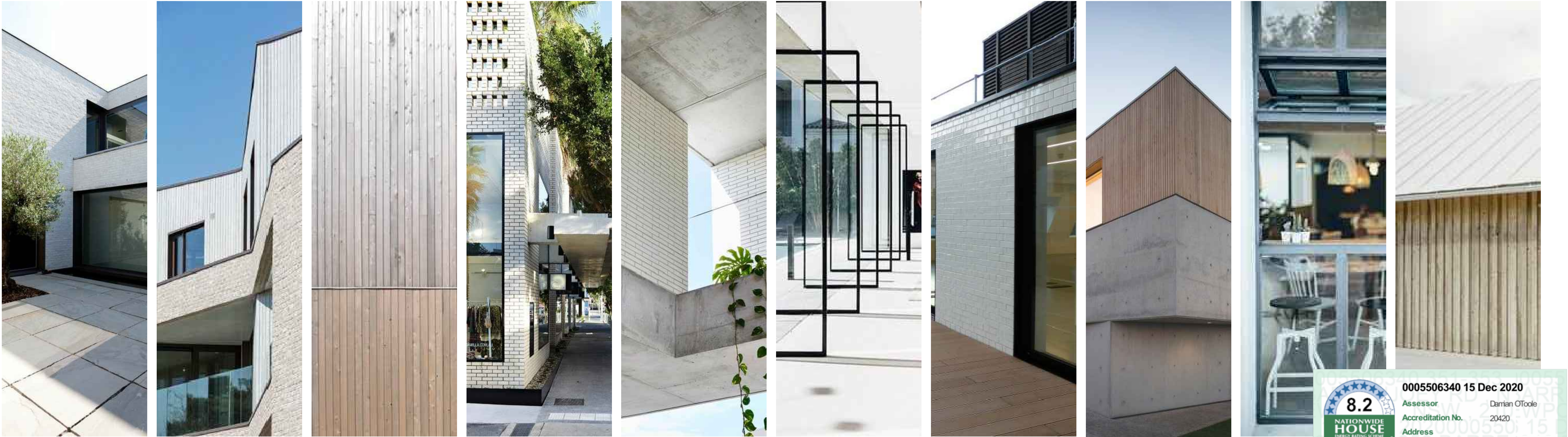
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FRONT ELEVATION / ROBERTSON ROAD



8.2

NATIONWIDE HOUSE

ENERGY RATING SCHEME

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06	20.12.15	DA ISSUE
05	20.11.23	ISSUED TO COUNCIL
04	20.07.02	REVISED ISSUE
03	20.06.19	REVISED ISSUE
02	20.05.01	REVISED ISSUE
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TITLE

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PG

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DATE

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STATUS

DA

PROJECT NUMBER

18057

DRAWING NUMBER

A320

ISSUE

07

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BEFORE



AFTER

8.2

NATIONWIDE HOUSE

ENERGY RATING SCHEME

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Assessor Number 20420

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TITLE
BEFORE & AFTER
PHOTOMONTAGE

SCALE -
APPROVED
DRAWN HH
CHECKED PG
DATE JAN 2019
STATUS DA

PROJECT NUMBER
18057

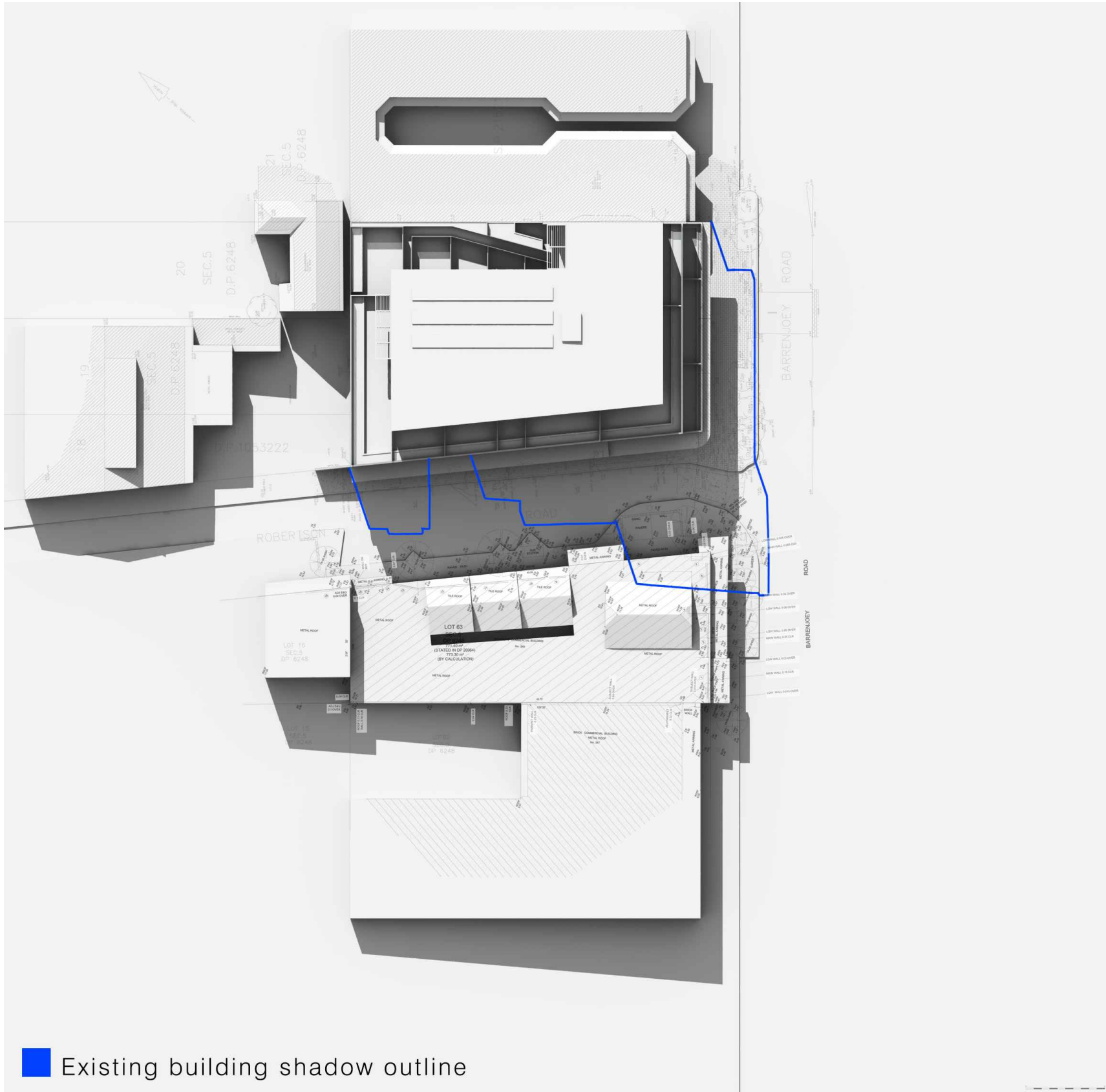
DRAWING NUMBER
A321

ISSUE
05

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9:00am
21th JUNE



10:00am
21th JUNE



11:00am
21th JUNE

8.2

NATIONWIDE HOUSE

ENERGY RATING SCHEME

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20420

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Accreditation Period

Assessor Name

Assessor Number

Assessor Signature

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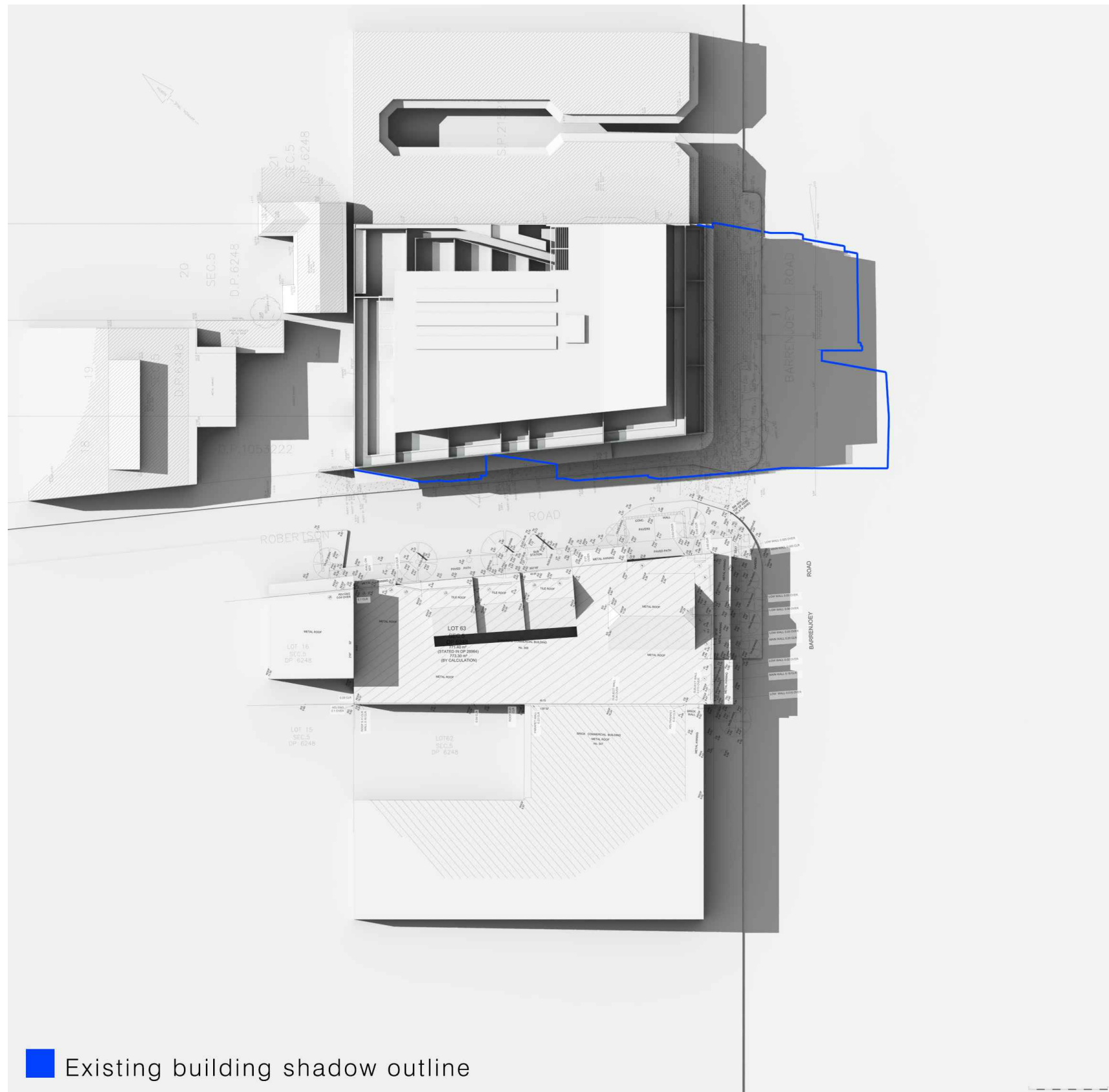
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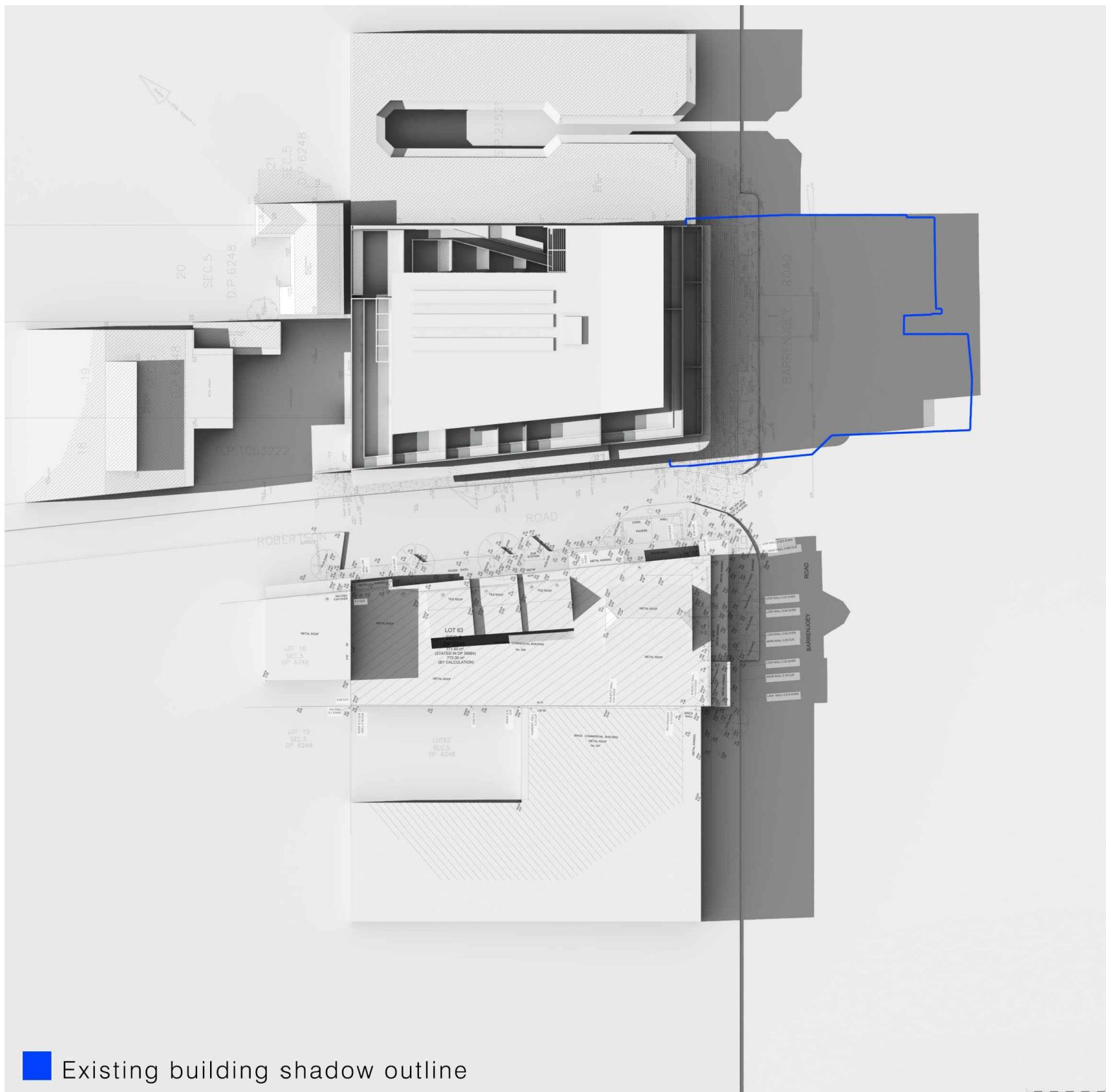
12:00pm
21th JUNE



1:00pm
21th JUNE



2:00pm
21th JUNE



3:00pm
21th JUNE

8.2

NATIONWIDE HOUSE

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TITLE
SHADOW DIAGRAMS
SHEET 02

SCALE NTS
APPROVED
DRAWN PG
CHECKED
DATE JAN 2019
STATUS DA

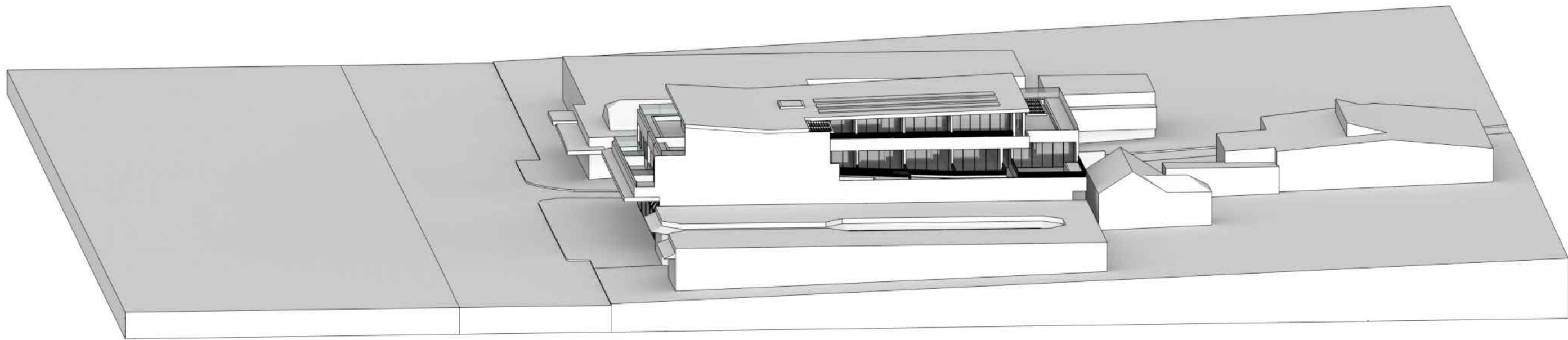
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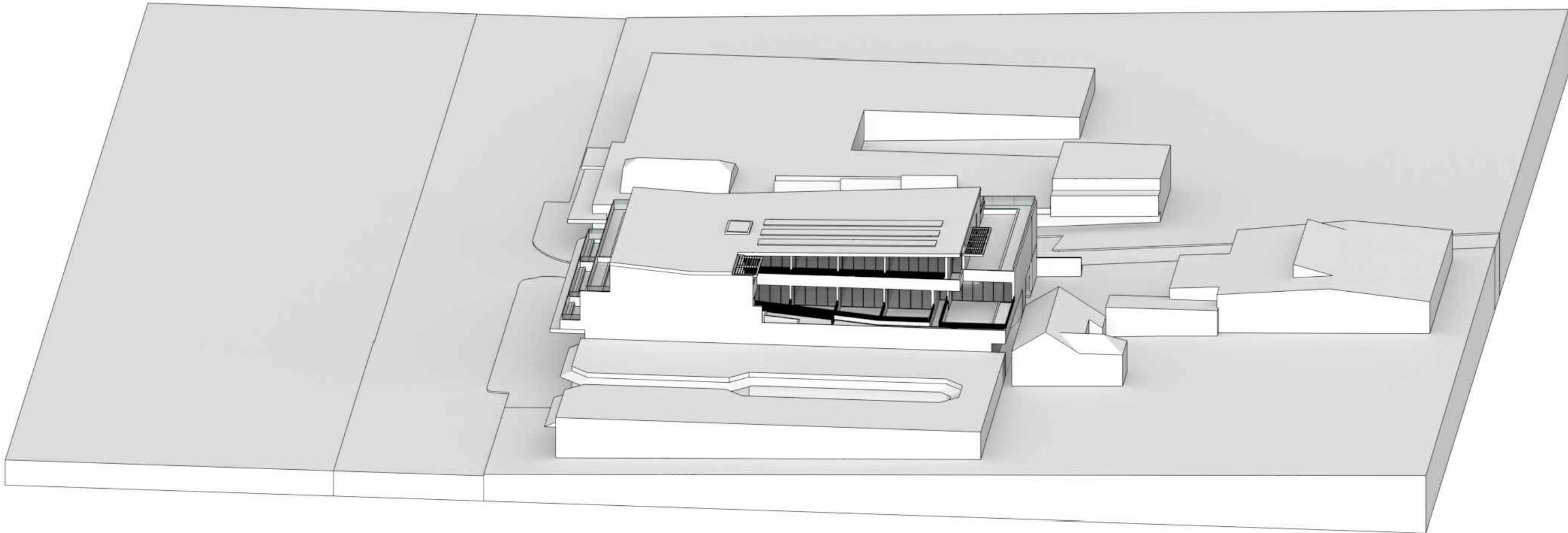
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ISSUE
07

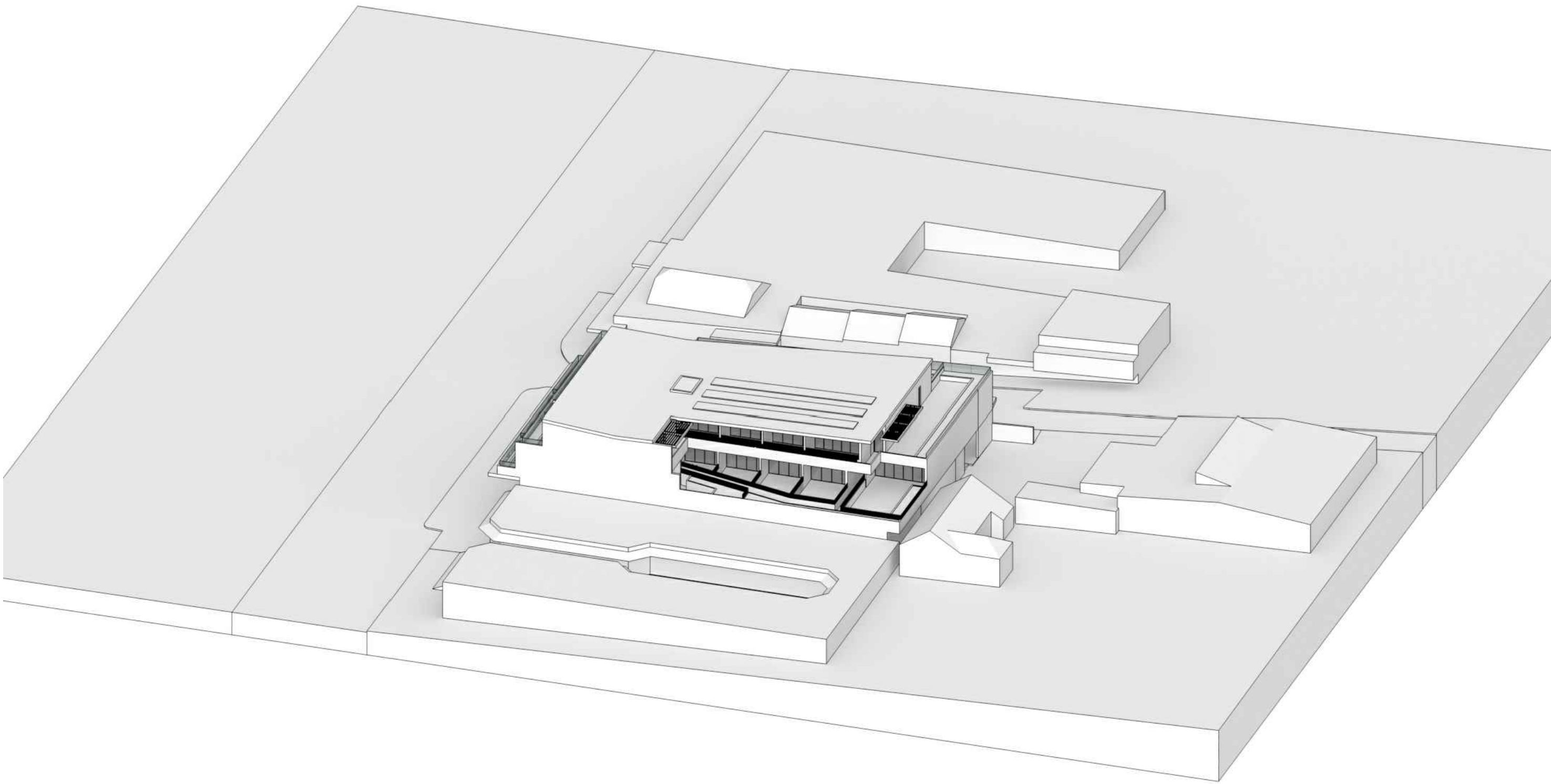
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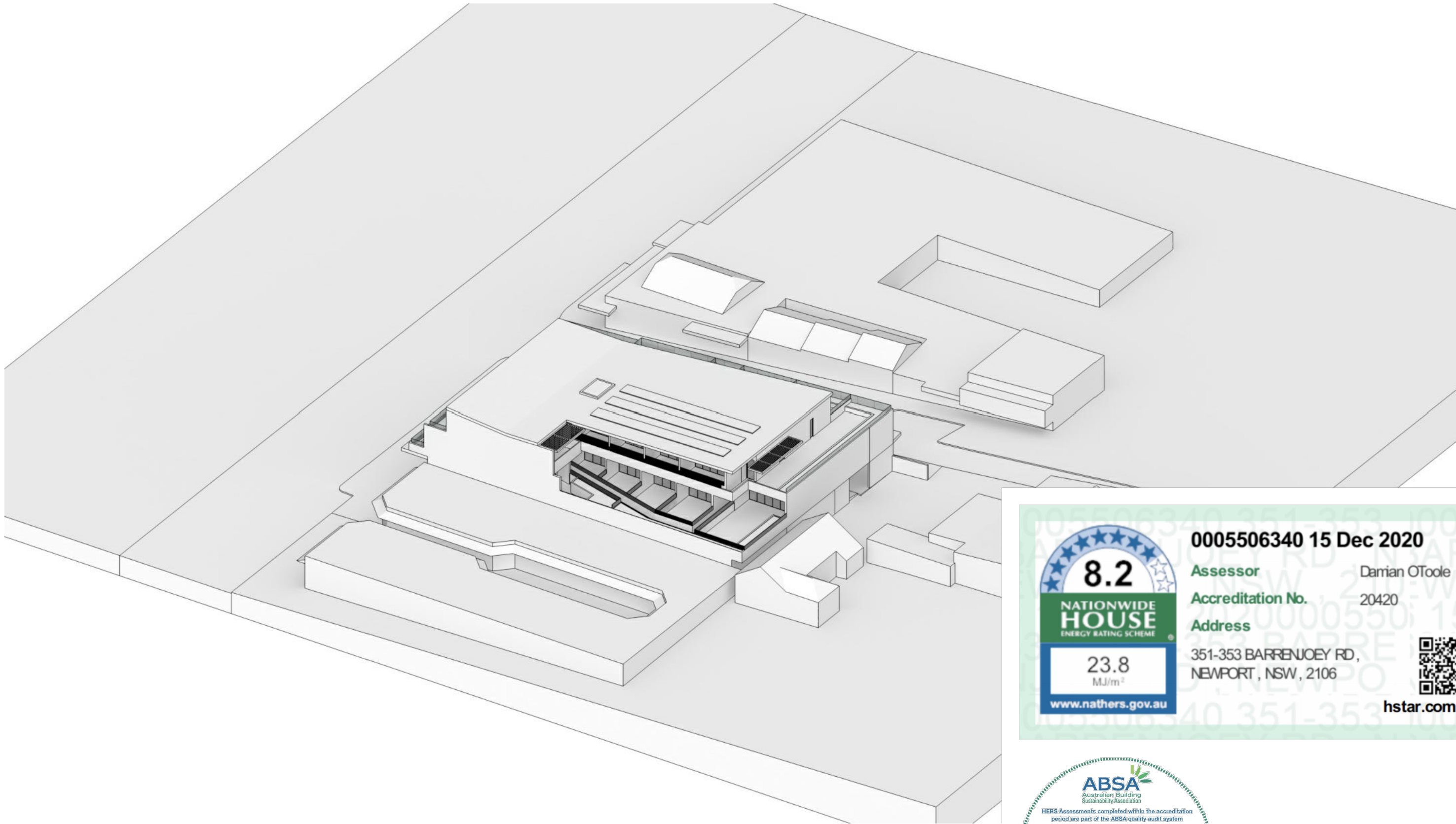
8:00am



9:00am



10:00am



11:00am

8.2

NATIONWIDE HOUSE

ENERGY RATING SCHEME

23.8

MJ/m²

www.nathers.gov.au

0005506340 15 Dec 2020

Assessor **Damian O'Toole**

Accreditation No. **20420**

Address **351-353 BARRENJOEY RD, NEWPORT, NSW, 2106**

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ABN 56 120 779 106
NOMINATED ARCHITECTS:
TONY GRAY 5303 & PAUL GOOSELL 6726
ARCHITECTS PTY LTD

P 02 9660 3644 www.crawford.com.au
E arch@crawford.com.au

06	20.12.16	DA ISSUE
ISSUE	DATE	AMENDMENTS

CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
**SOLAR STUDIES
SHEET 01**

SCALE
NTS

APPROVED
DRAWN
CHECKED
PG

DATE
JAN 2019

STATUS
DA

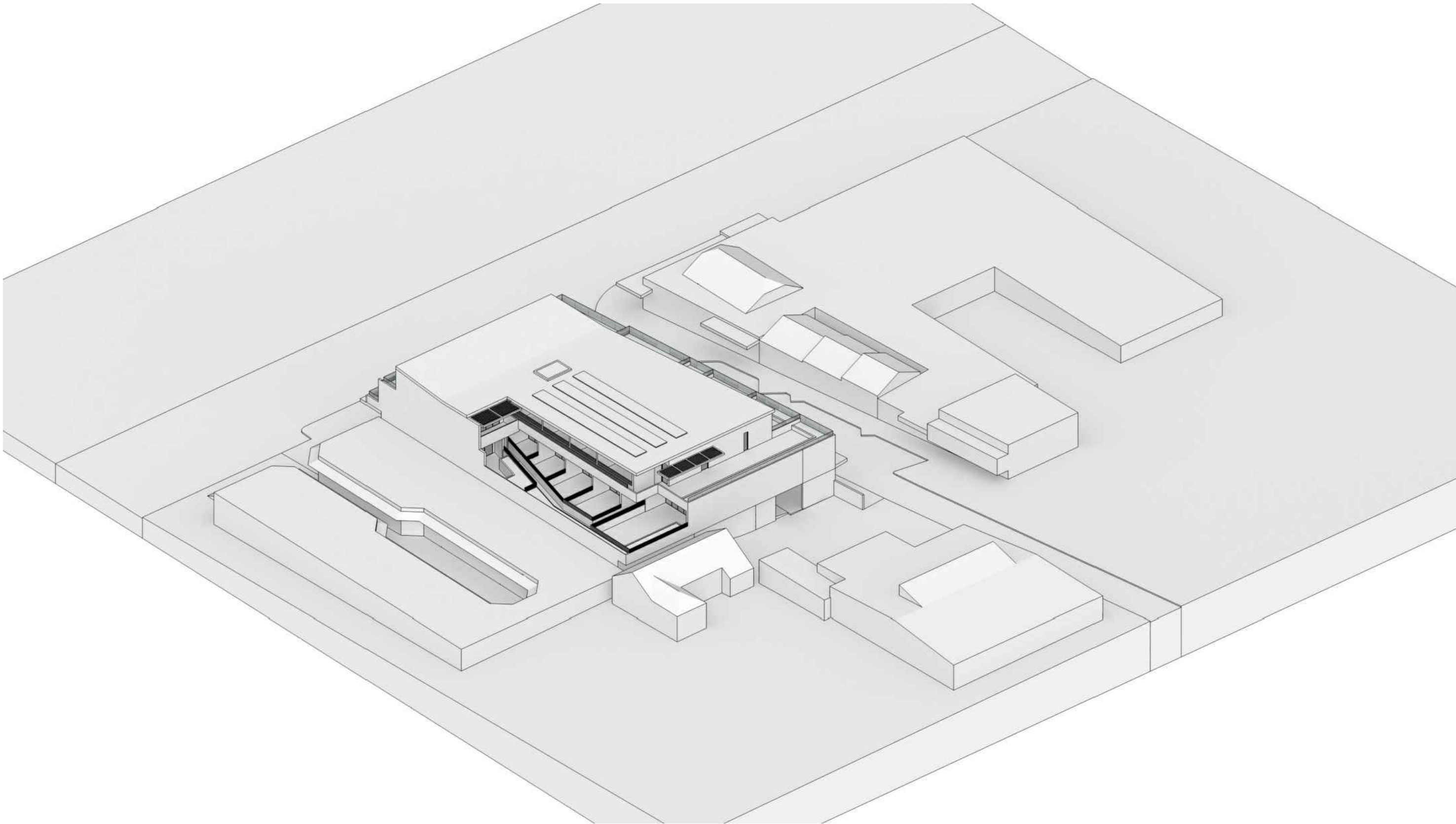
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18057

DRAWING NUMBER

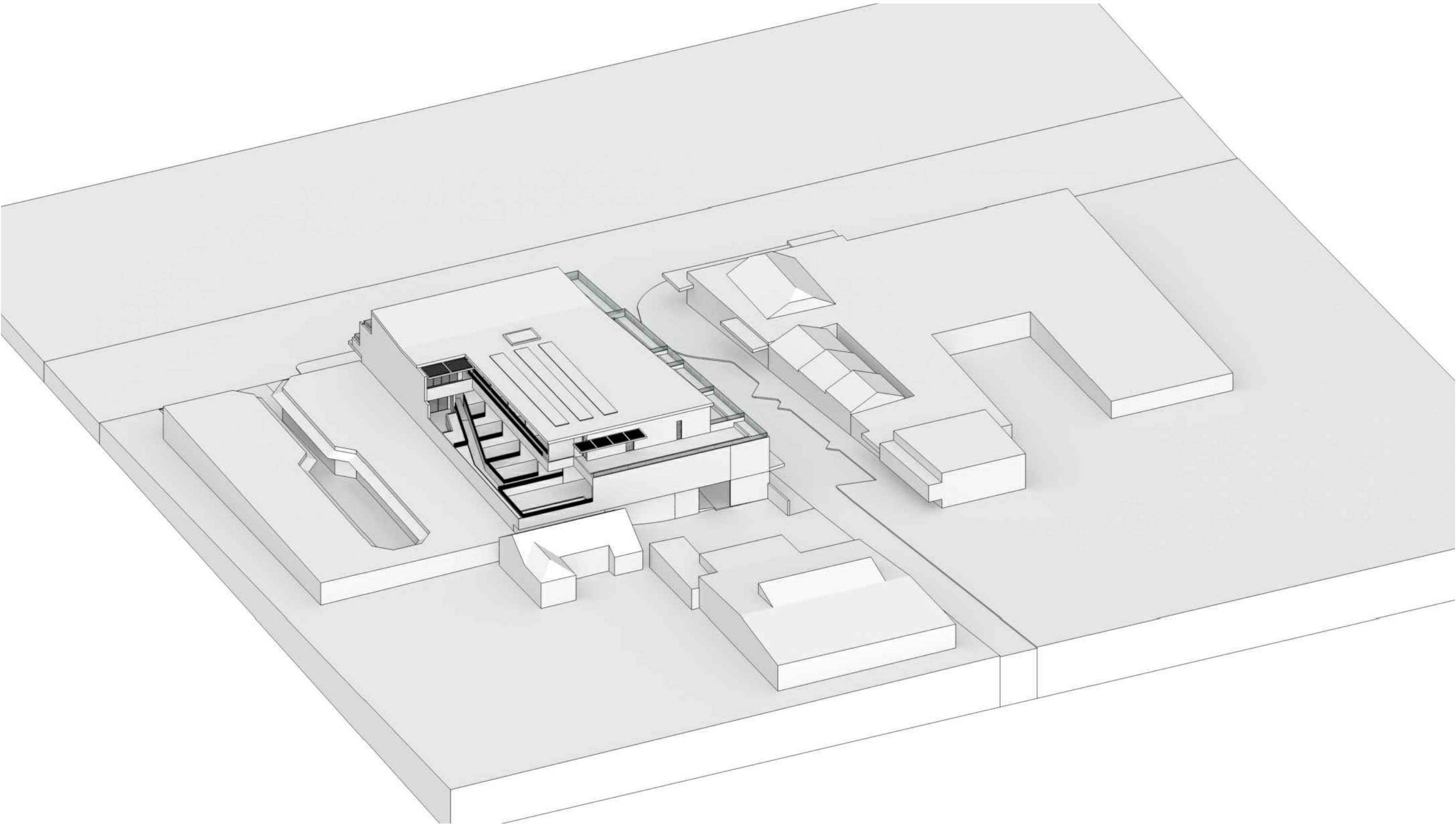
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ISSUE
06

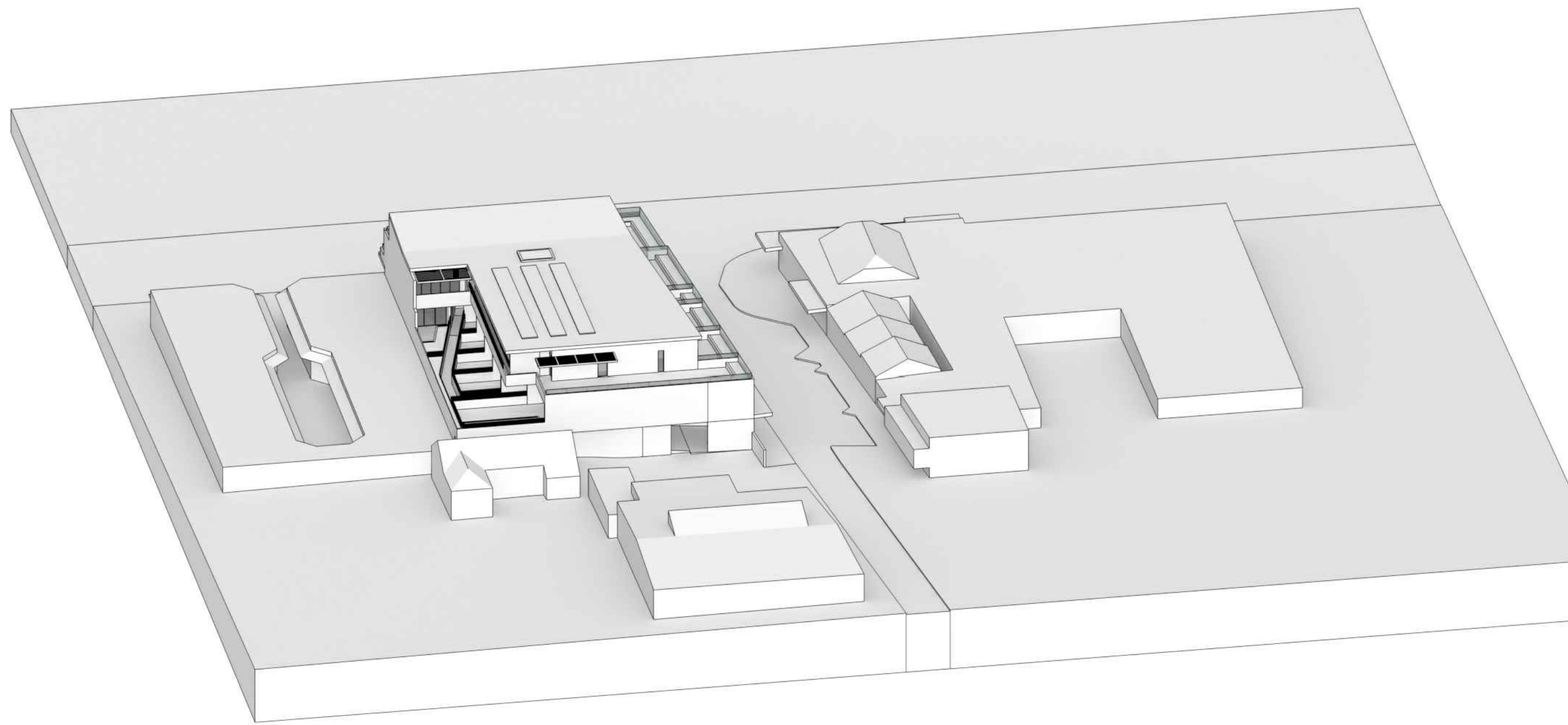
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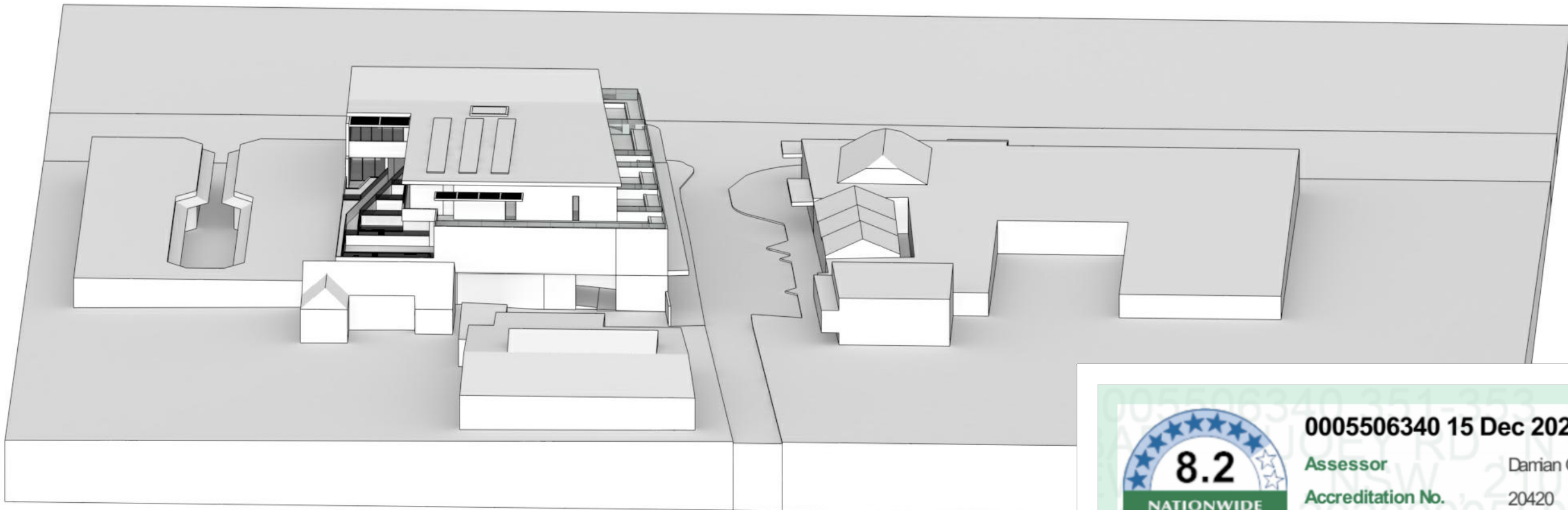
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1:00pm



2:00pm



3:00pm



8.2
NATIONWIDE
HOUSE
ENERGY RATING SCHEME

23.8
MJ/m²

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0005506340 15 Dec 2020

Assessor **Damian O'Toole**

Accreditation No. **20420**

Address
**351-353 BARRENJOEY RD,
NEWPORT, NSW, 2106**



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ABSA
Australian Building Sustainability Association

NABERS Assessments completed within the accreditation period are part of the ABSA quality audit system

Accreditation Period **01/04/2020-31/03/2021**

Assessor Name **Damian O'Toole**

Assessor Number **20420**

Assessor Signature 

This Accredited Assessor is authorised to use the NABERS Accredited logo and is required to follow the ABSA Code of Practice

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03	20.12.16	DA ISSUE
02	20.12.15	DA ISSUE
01	20.12.15	DA ISSUE
ISSUE	DATE	AMENDMENTS

CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106
LOT 65 & 66 SEC 5 DP 6248

TITLE
SOLAR STUDIES
SHEET 02

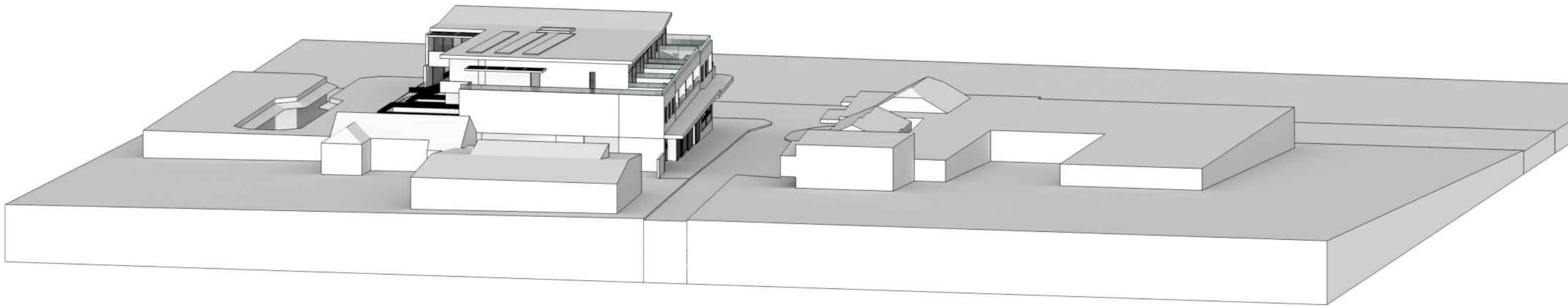
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DATE
JAN 2019
STATUS
DA

PROJECT NUMBER
18057

DRAWING NUMBER
A406

ISSUE
03

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4:00pm

8.2

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

23.8

MJ/m²

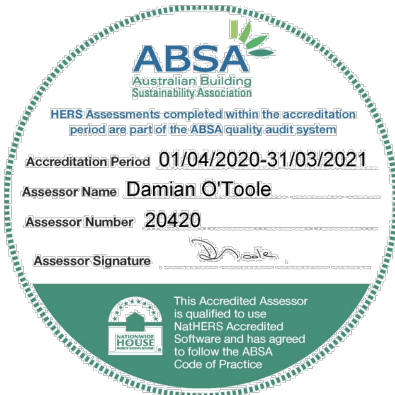
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02	20.12.15	DA ISSUE
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ISSUE	DATE	AMENDMENTS

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CLIENT
DEVELOPMENT LINK

PROJECT
MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106

LOT 65 & 66 SEC 5 DP 6248

TITLE
SOLAR STUDIES
SHEET 03

SCALE
APPROVED
DRAWN
CHECKED
DATE
STATUS

NTS
PG
JAN 2019
DA

PROJECT NUMBER
DRAWING NUMBER

18057
A407

ISSUE

03
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MIXED USE DEVELOPMENT

351-353 Barrenjoey Road, Newport NSW 2106

Development Application

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Drawing Schedule

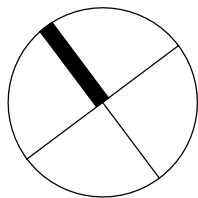
Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
101	Landscape Plan - Ground Floor	1:100
102	Landscape Plan - Level 1	1:100
103	Landscape Plan - Level 2	1:100
501	Landscape Details	AS SHOWN

PLANT SCHEDULE

	Botanic Name	Common Name	Mature Size	Pot Size	Density	Qty
GROUND FLOOR						
STREET TREES						
TL	Tristaniopsis 'Luscious'	Water Gum	9 x 7	100L	As Shown	3
SHRUBS & ACCENTS						
Ai	Alcantarea imperialis 'Rubra'	Imperial Bromeliad	1 x 1	300mm	As shown	2
PX	Philodendron 'Xanadu'	Xanadu Philodendron	1 x 1	300mm	As Shown	6
Ss	Spathiphyllum 'Sensation'	Peace Lily	1 x 1	300mm	As Shown	4
GRASSES & GROUND COVERS						
DSF	Dichondra Silver Falls	Silver Falls	.1 x .7	300mm	4/lm	59
PLANTING MATRIX						
Dc	Dianella congesta	Beach Flax Lily	0.5 x 1	150mm	3/m2	53
LV	Lomandra 'Verday'	Spiny-head mat-rush	0.5 x 1	150mm	3/m2	53
LEVEL 1						
SHRUBS & ACCENTS						
Ai	Alcantarea imperialis 'Rubra'	Imperial Bromeliad	1 x 1	300mm	As shown	23
PX	Philodendron 'Xanadu'	Xanadu Philodendron	1 x 1	300mm	As Shown	23
Ri	Raphiolepis indica 'Oriental Pearl'	Indian Hawthorne	1 x 1	300mm	As shown	106
Vo	Viburnum odoratissimum	Sweet Viburnum	3 x 2	300mm	As shown	34
GRASSES & GROUND COVERS						
Cg	Carpobrotus glaucascens	Pig Face	0.2 x 1	150mm	4/lm	132
DSF	Dichondra Silver Falls	Silver Falls	.1 x .7	300mm	4/lm	157
LEG	Lirope muscari 'Evergreen Giant'	Lirope	0.6 x 0.5	150mm	5/m2	29
LEVEL 2						
SHRUBS & ACCENTS						
Aa	Agave 'Blue Glow'	Blue Glow Agave	1 x 1	300mm	As Shown	21
CBB	Crassula 'Blue Bird'	Bluebird	1 x 1	300mm	As shown	39
PM	Pittosporum 'Miss Muffet'	Miss Muffet	1 x 1	300mm	As shown	98
Ri	Raphiolepis indica 'Oriental Pearl'	Indian Hawthorne	1 x 1	300mm	As shown	127
GRASSES & GROUND COVERS						
Cg	Carpobrotus glaucascens	Pig Face	0.2 x 1	150mm	4/lm	165
SCS	Sencio serpens	Blue Chalk Sticks	0.2 x 0.5	150mm	5/m2	148

D	ARCHITECTURAL COORDINATION	JM	NM	08.12.2020
C	STREET TREES ADDED	JM	NM	24.09.2019
B	FOR COMMENT	SM	NM	29.08.2019
A	FOR COMMENT	SM	NM	29.08.2019
Issue	Revision Description	Drawn	Check	Date

LEGEND



Client:
DEVELOPMENT LINK

Project:
Mixed Use Development
351-353 Barrenjoey Road
Newport NSW 2106

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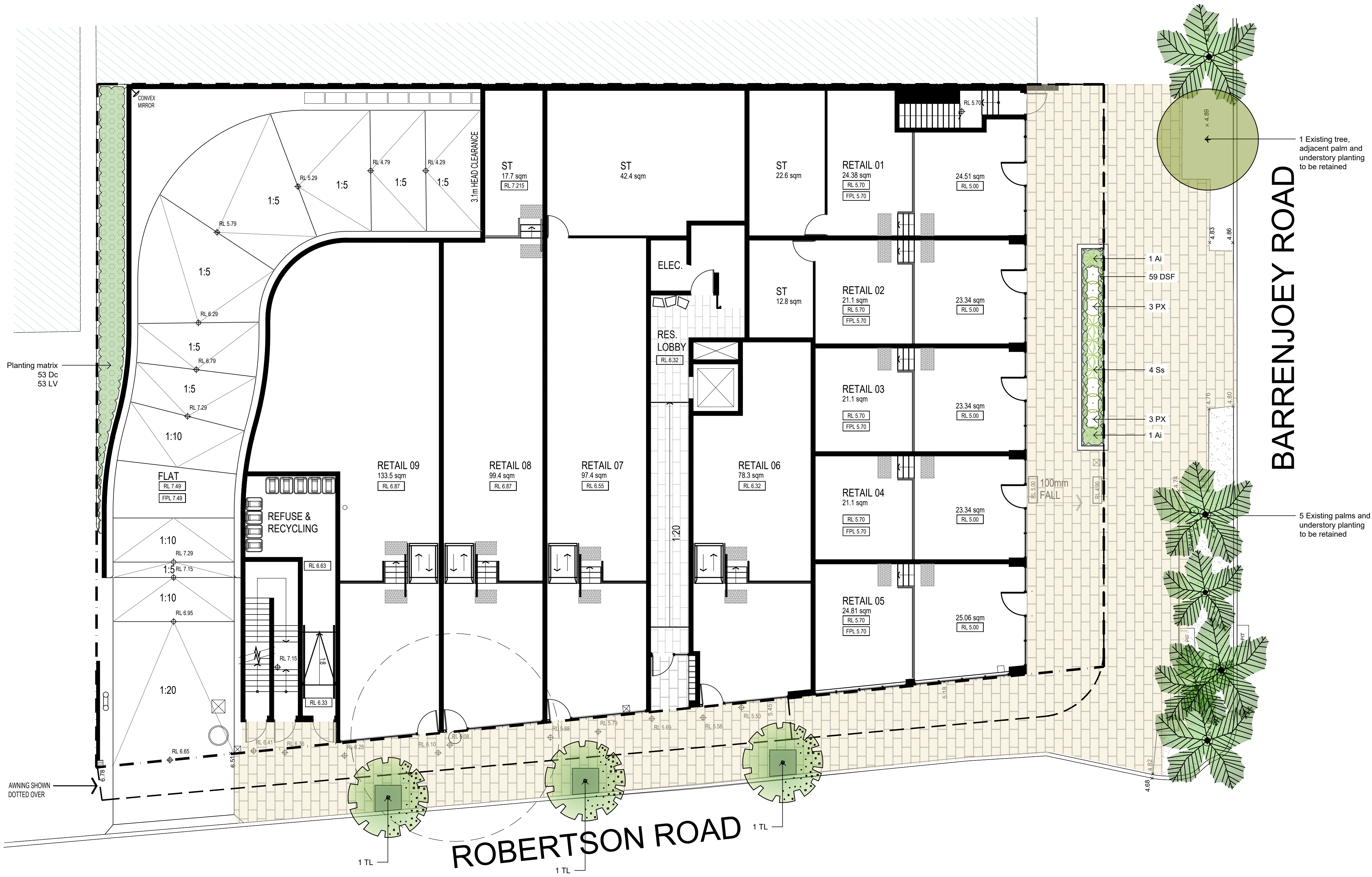
DEVELOPMENT APPLICATION

Drawing Name:
Landscape Coversheet

Scale:
Job Number:
Drawing Number:
Issue:
SS19-4170
000 D

NOT FOR CONSTRUCTION

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Issue	Revision Description	Drawn	Check	Date

LEGEND

Boundary

Fence

Building Above

Proposed Tree
(Refer Plant Schedule & Detail)

Tree to be Removed

Shrubs & Accents
(Refer Plant Schedule & Detail)

Groundcovers & Grasses
(Refer Plant Schedule)

Planting Matrix
(Refer Plant Schedule)

Synthetic Turf
(Refer Detail)

Timber Seat

Planter Wall

Unit Paving

Concrete Steppers

Timber Decking

Client:
DEVELOPMENT LINK

Project:
Mixed Use Development
351-353 Barrenjoey Road
Newport NSW 2106

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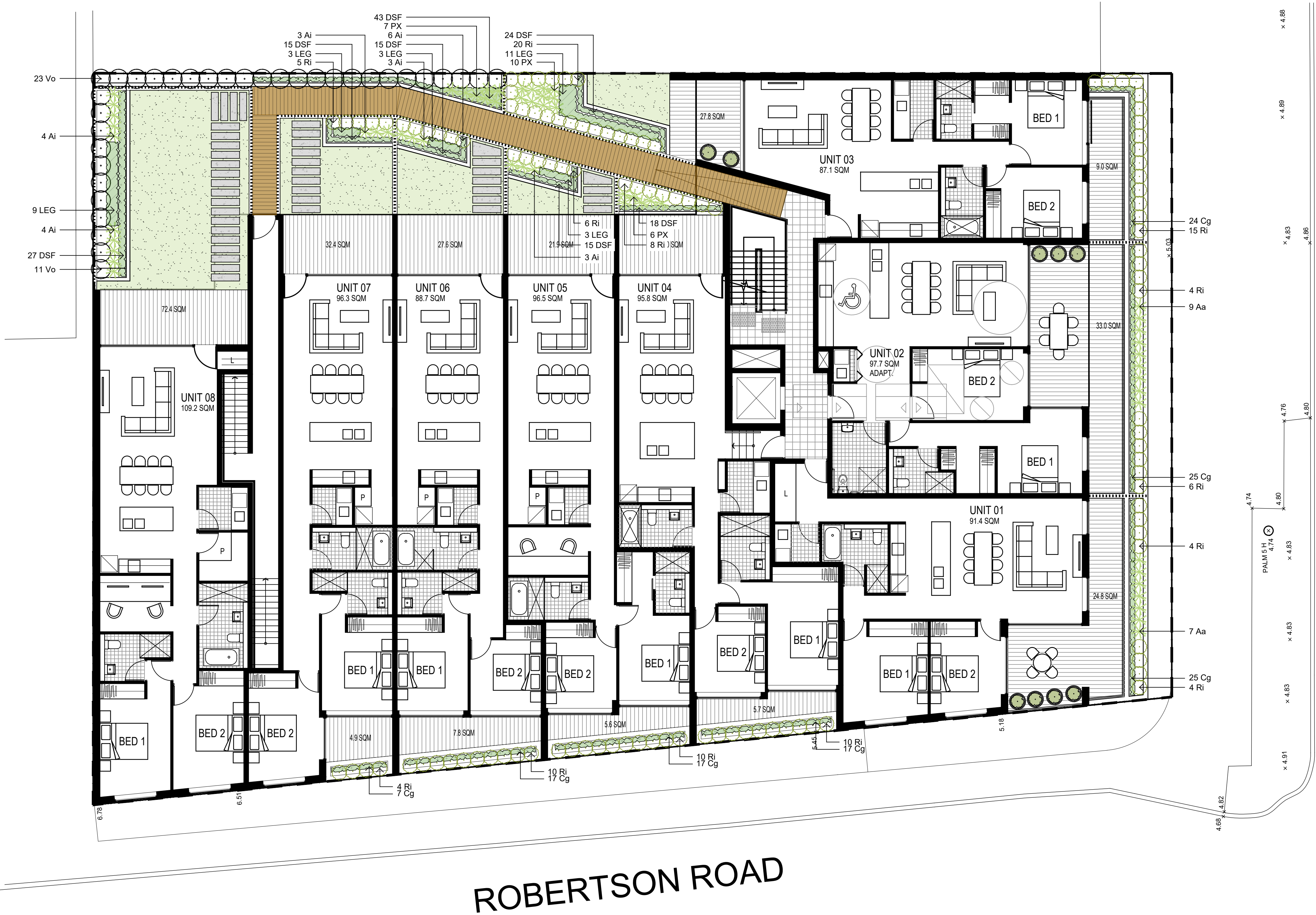
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Landscape Plan
Ground Floor

Scale: 1:100 @ A1
Job Number:
Drawing Number:
Issue:

SS19-4170 101 D

NOT FOR CONSTRUCTION

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A	FOR COMMENT	SM	NM	29.08.2019
Issue	Revision Description	Drawn	Check	Date

LEGEND

- Boundary
- Fence
- Building Above
- Proposed Tree (Refer Plant Schedule & Detail)
- Tree to be Removed
- Shrubs & Accents (Refer Plant Schedule & Detail)
- Groundcovers & Grasses (Refer Plant Schedule)
- Planting Matrix (Refer Plant Schedule)
- Synthetic Turf (Refer Detail)
- Timber Seat
- Planter Wall
- Unit Paving
- Concrete Steppers
- Timber Decking

Client:
DEVELOPMENT LINK

Project:
Mixed Use Development
351-353 Barrenjoey Road
Newport NSW 2106

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Drawing Name:
Landscape Plan
Level 1

Scale: 1:100 @ A1
Job Number:
Drawing Number:
Issue:

SS19-4170 102 D

NOT FOR CONSTRUCTION

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A	FOR COMMENT	SM	NM	29.08.2019
Issue	Revision Description	Drawn	Check	Date

LEGEND

Boundary

Fence

Building Above

Proposed Tree
(Refer Plant Schedule & Detail)

Tree to be Removed

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(Refer Plant Schedule & Detail)

Groundcovers & Grasses
(Refer Plant Schedule)

Planting Matrix
(Refer Plant Schedule)

Synthetic Turf
(Refer Detail)

Timber Seat

Planter Wall

Unit Paving

Concrete Steppers

Timber Decking

Client:
DEVELOPMENT LINK

Project:
Mixed Use Development
351-353 Barrenjoey Road
Newport NSW 2106

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DEVELOPMENT APPLICATION

Drawing Name:
Landscape Plan
Level 2

Scale: 1:100 @ A1
Job Number:
SS19-4170

0 1 2 3 4 5m
Drawing Number:
103
Issue:
D

BARRENJOEY ROAD

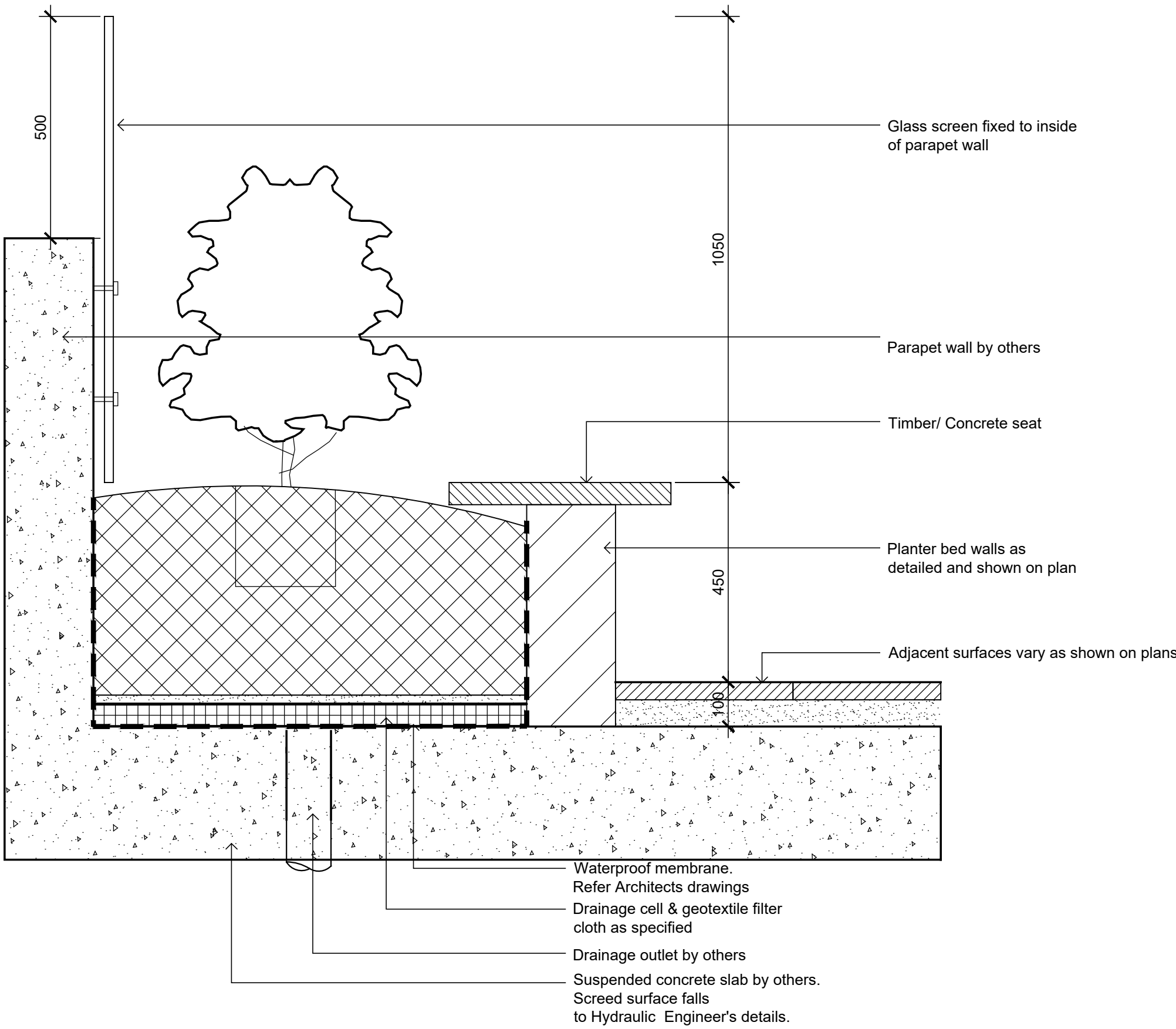
ROBERTSON ROAD

NOT FOR CONSTRUCTION

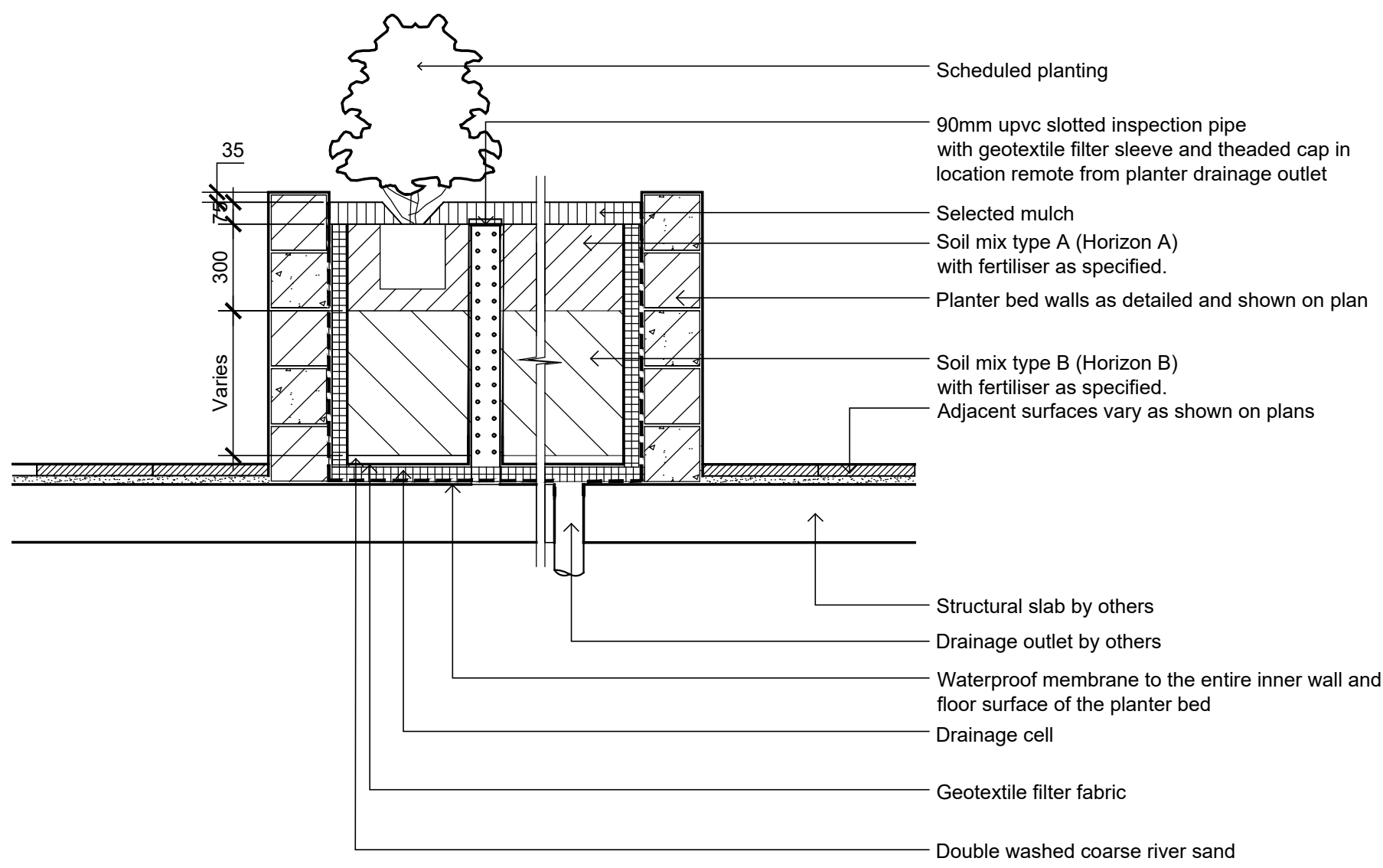
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B	FOR COMMENT	SM	NM	29.08.2019
A	FOR COMMENT	SM	NM	29.08.2019
Issue	Revision Description	Drawn	Check	Date

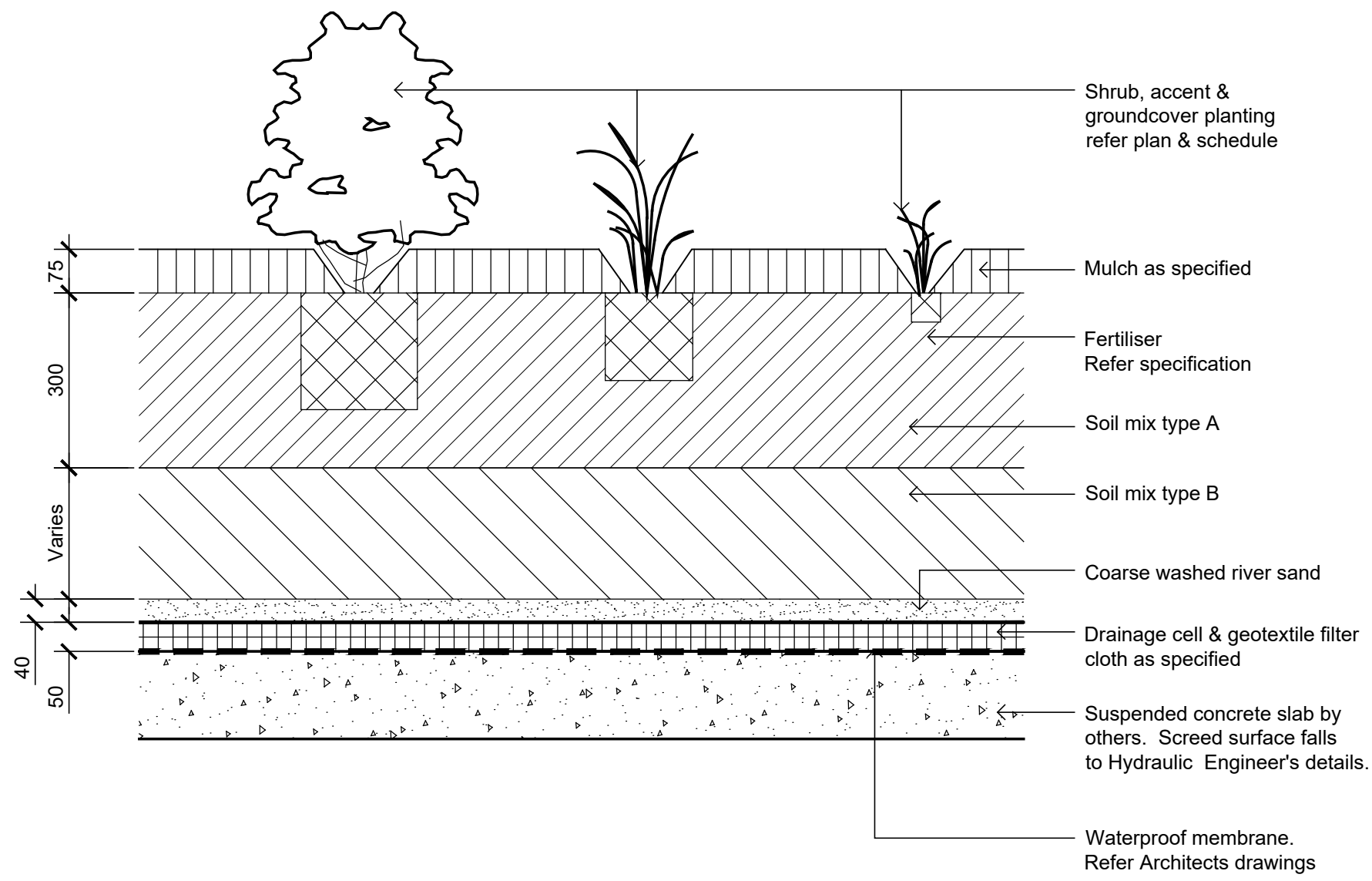
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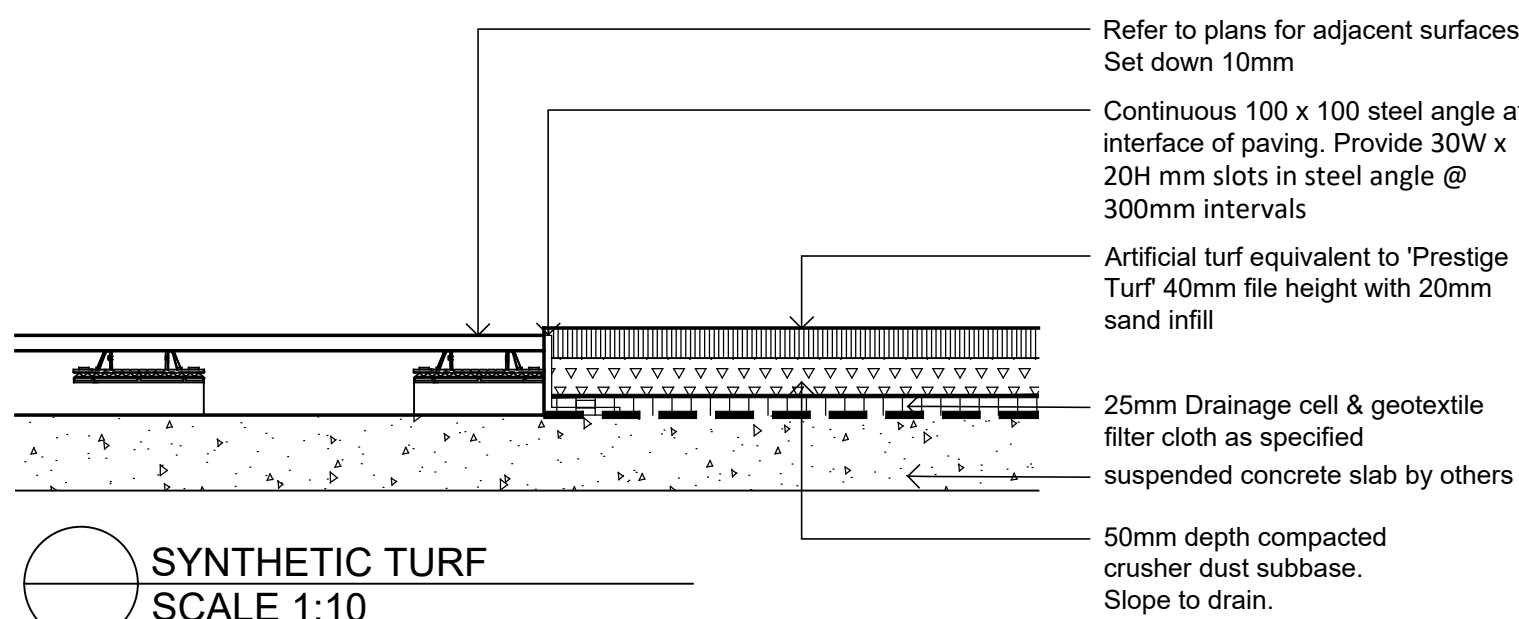
Section - Typical Raised Perimeter Planter
1:10



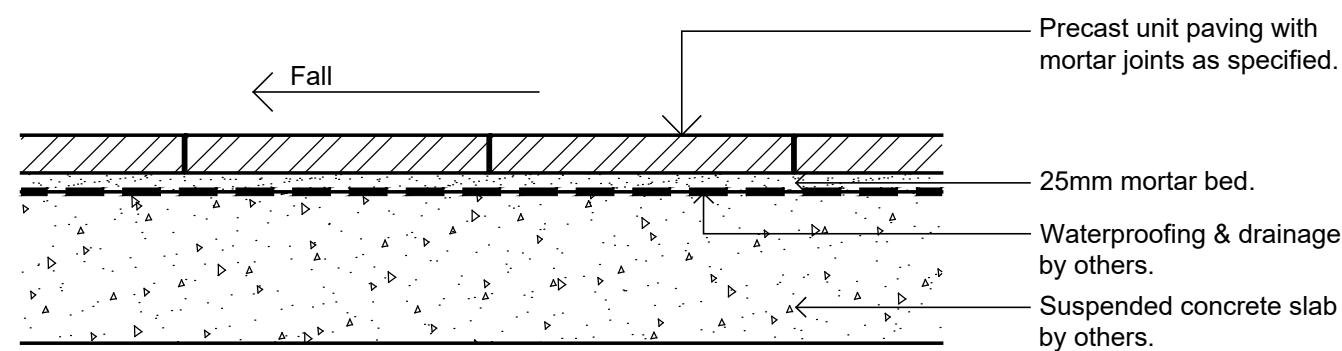
Section - Typical Raised Planter Bed on Structure
1:20
Inspection riser pipe



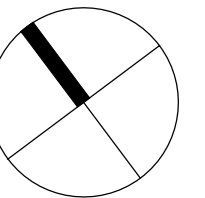
Detail Shrub Accent & Groundcover Planting on Structure
1:10



SYNTHETIC TURF
SCALE 1:10



PRECAST UNIT PAVERS ON SUSPENDED SLAB
SCALE 1:10



Client:
DEVELOPMENT LINK

Project:
Mixed Use Development
351-353 Barrenjoey Road
Newport NSW 2106

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DEVELOPMENT APPLICATION

Drawing Name:
Landscape Details

Scale: **AS SHOWN**
Job Number: Drawing Number: Issue:

SS19-4170

501 D

NOT FOR CONSTRUCTION

Proposed Development - Stormwater

351 Barrenjoey Road NEWPORT

Demlakian Engineers Pty Limited
T/A Demlakian Consulting Engineers
ABN 27 928 564 091
+61 (0)2 9955 4485
Demlakian.com.au



STORMWATER DRAINAGE NOTES:

GENERAL NOTES:

- D1. All levels are to Australian Height Datum (AHD), unless noted otherwise.
- D2. Dimensions shall not be scaled from drawings.
- D3. The Contractor must verify all dimensions on site prior to commencement of the works.
- D4. These plans shall be read in conjunction with the approved Architectural, Structural, Mechanical, Hydraulic, Electrical, Landscape & other Consultants drawings.
- D5. Where new work abuts existing, the Contractor shall ensure a smooth even profile free from abrupt changes.
- D6. The Contractor shall arrange for all survey setout & as-built to be performed by a Registered Surveyor.
- D7. Invert levels are given at critical locations. The Contractor/Drainer shall determine levels on minor drainage lines and confirm design levels.
- D8. Stormwater drains min. fall 1:100, unless noted otherwise.
- D9. Advise Engineer for inspection of all Stormwater works, pipes & pits, prior to covering. Provide as-built survey upon completion.
- D10. Construction of Drainage to conform with the requirements of the relevant Authority or Council.
- D11. Connections to new & existing drainage shall be neatly trimmed & cement rendered to a smooth finish.
- D12. All work shall be in accordance with AS3500 'National Plumbing & Drainage Code', unless noted otherwise.
- D13. The Contractor shall expose the full drainage route and point of discharge from the site and confirm levels prior to commencing construction.

EXISTING SERVICES:

- D14. The Contractor shall excavate for, locate and co-ordinate with all services within & beyond the property line prior to the commencement of the Works.
- D15. Existing services which are to remain shall be adjusted as necessary to suit the new Works.
- D16. Existing services no longer required shall be capped off and removed out of sight to the relevant authorities requirements.
- D17. Care is to be taken when excavating near existing services. Obtain services setout prior to works. Hand excavate as required to avoid damage to services.
- D18. Construct temporary services as required.

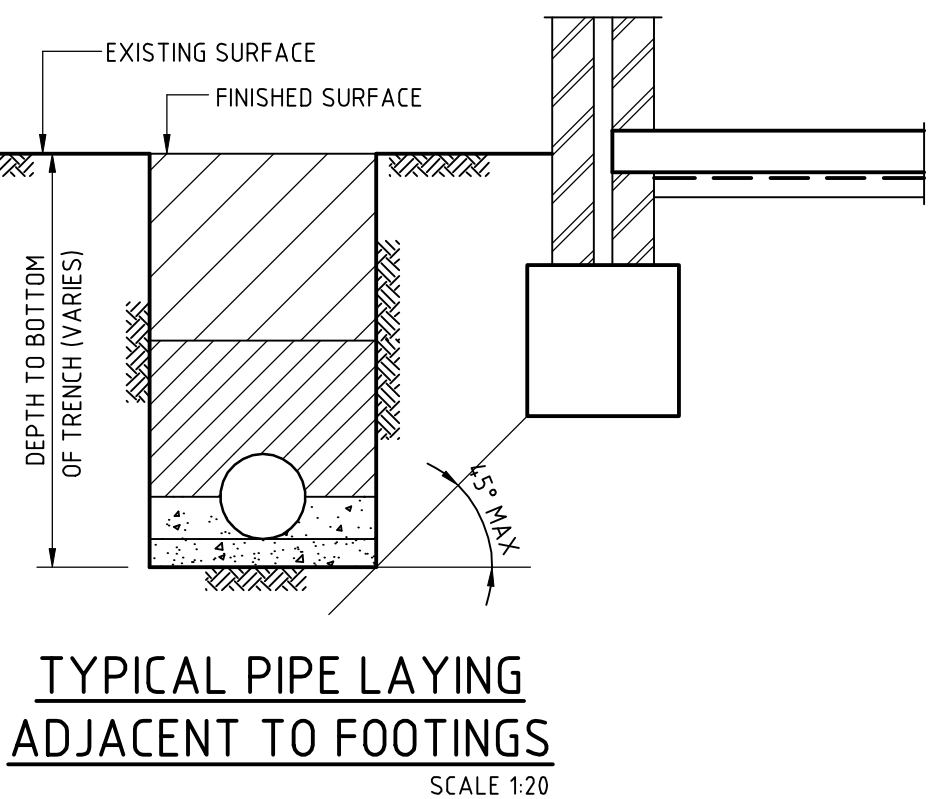
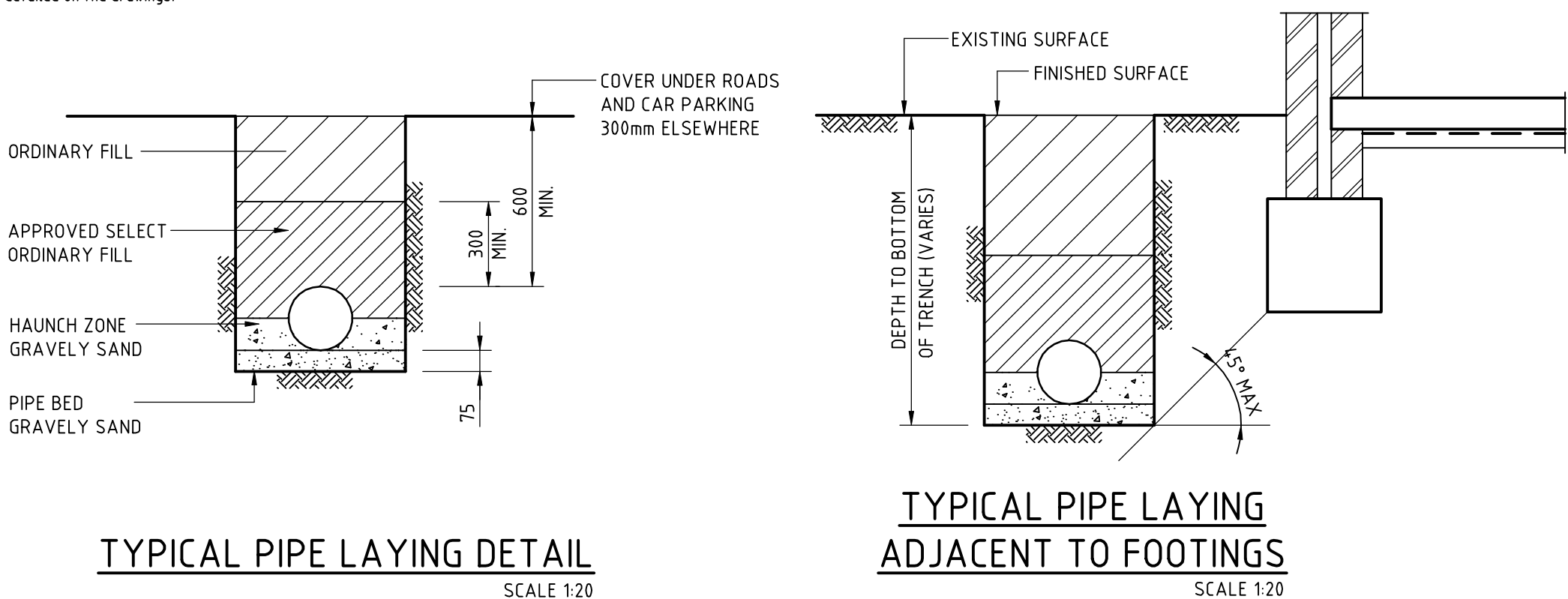
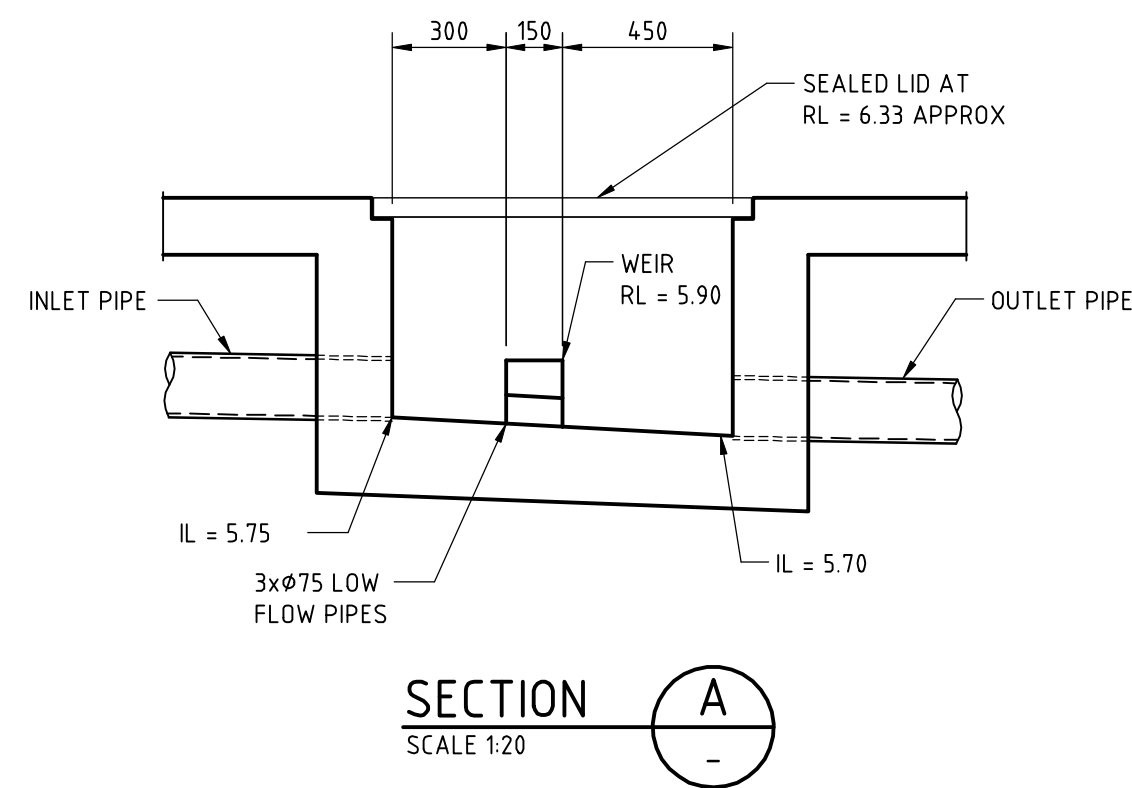
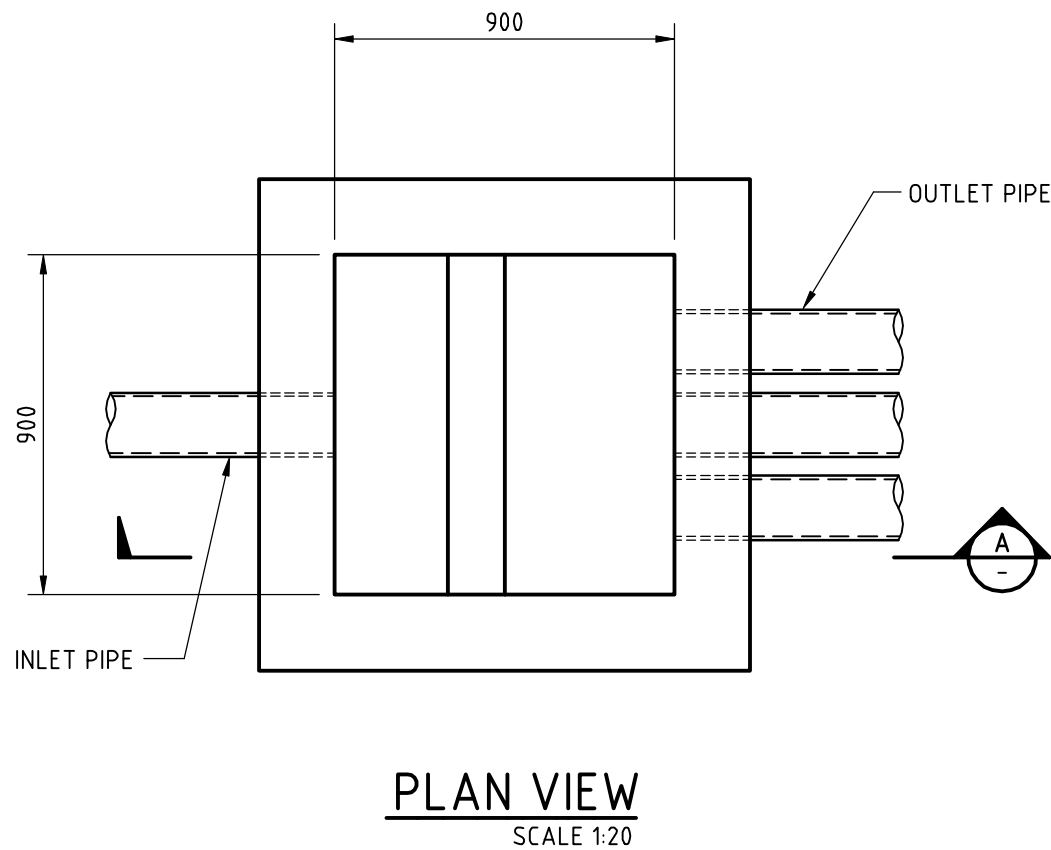
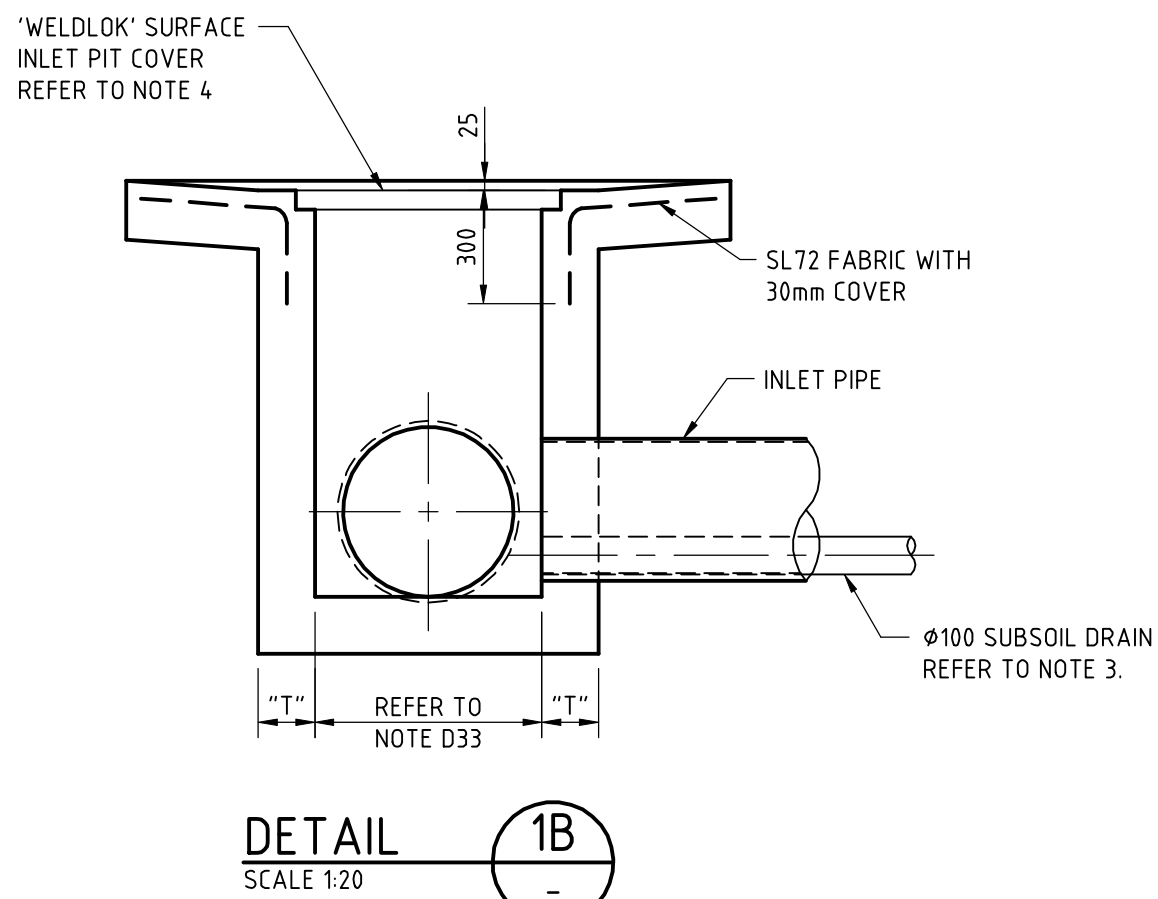
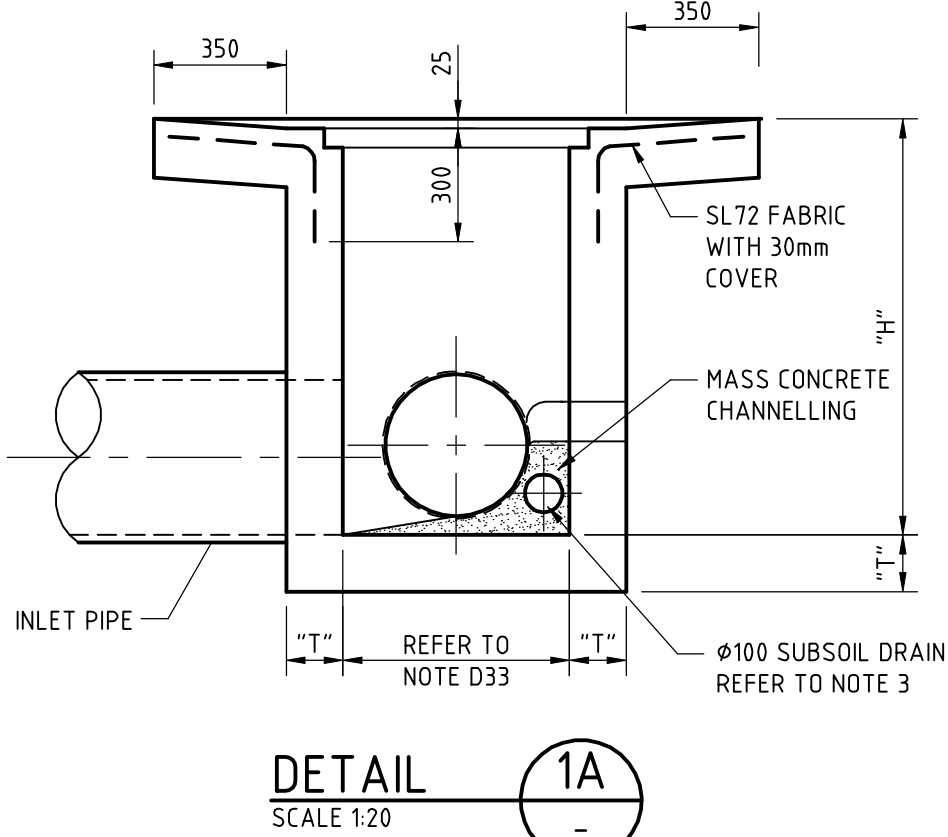
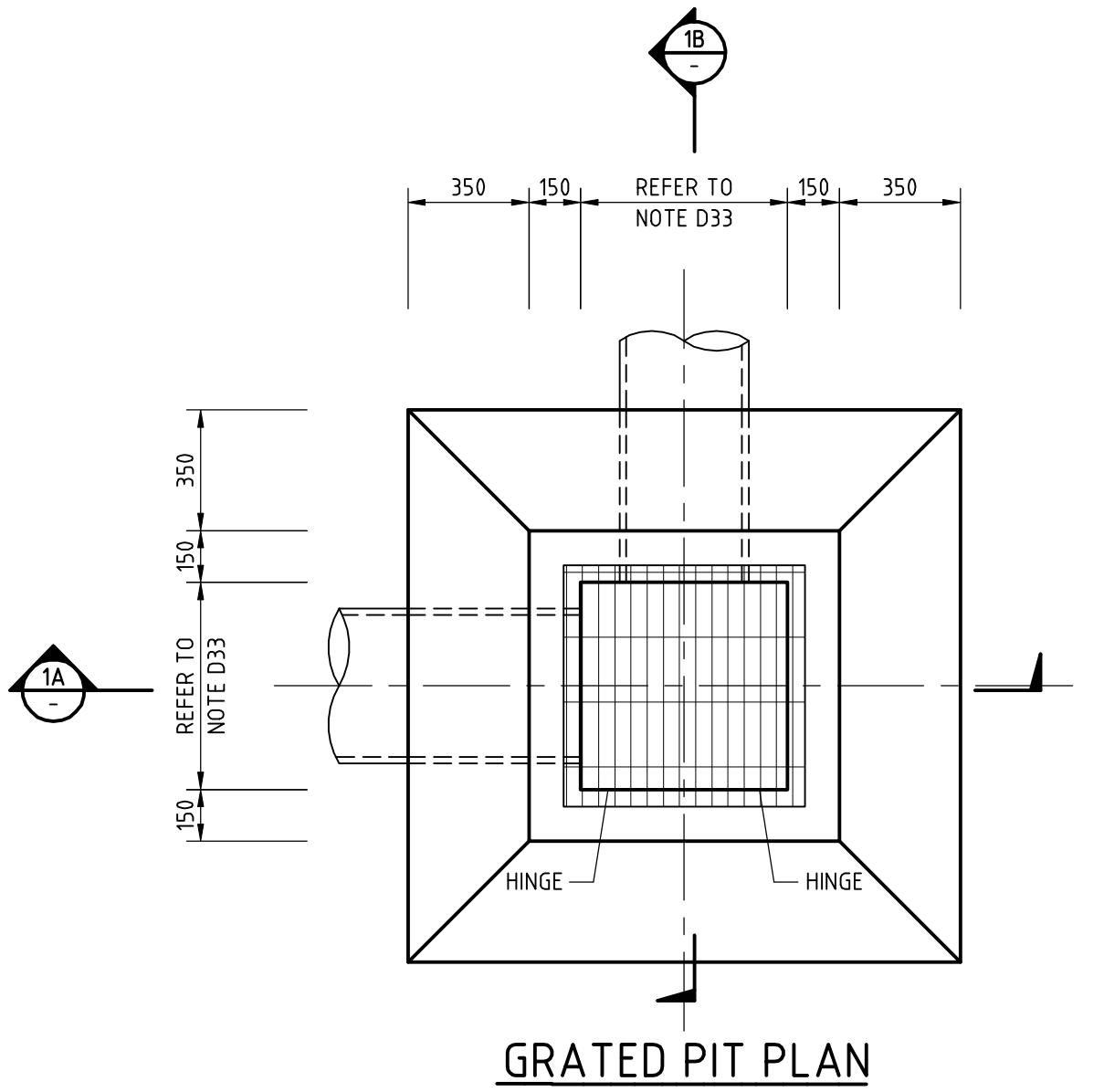
DRAINAGE PIPES:

- D19. UPVC type pipes shall be used for pipes not greater than 300mm diameter, unless noted otherwise. UPVC pipes shall have solvent welded watertight joints.
- D20. Pipe diameter greater than 300mm shall be FRC type pipe Class '3', unless noted otherwise.
- D21. Pipe laying, bedding & backfill to be in accordance with the specification and the pipe manufacturer's requirements.
- D22. Where UPVC drainage pipes pass under slabs, sewer grade pipes shall be used.
- D23. Contractor shall supply & install all proprietary fittings for connections & junctions.
- D24. Additional subsoil drainage may be required where site conditions & groundwater dictate. Refer to Engineer for site inspection.
- D25. Pipes to be 100Ø unless noted otherwise.
- D26. Outlet pipes from pits shall have invert level at least 30mm lower than the invert level of the lowest pipe entering the pit.
- D27. Inspection openings or stormwater pits shall be located where shown on the drawings and at the following locations:
a. Each point of connection
b. Even spacing not more than 30m apart
c. Each end of any inclined jump-up which exceeds 6m in length.
d. Each connection to an existing stormwater drain.
e. Any change of direction greater than 45°.
- D28. Inspection openings shall be min 150Ø and shall be plugged or capped in accordance with AS3500.
- D29. Planter boxes bases to be lined with 'Atlantis Drainage Cell' or approved equivalent wrapped in geotextile and draining to subsoil drainage pipes connected to the main stormwater system. Co-ordinate with requirements of Landscape Architect.
- D30. Junctions in stormwater drains shall be made by means of a proprietary coupler or for pipes of at least 350Ø opening cut as detailed on the drawings.

DRAINAGE PITS:

- D31. All pits and arrestors shall be constructed to the relevant authorities requirements. Provide local falls to pits.
- D32. Minimum cover to all reinforcement in concrete to be 40mm.
- D33. Minimum Drainage pit size shall be as follows:
- | Depth to Invert (mm) | Minimum Internal Dimensions (mm) | | |
|----------------------|----------------------------------|--------------------|-------------------|
| | Rectangular Width | Rectangular Length | Circular Diameter |
| ≤ 600 | 450 | 450 | 600 |
| > 600 ≤ 900 | 600 | 600 | 900 |
| > 900 ≤ 1200 | 600 | 900 | 1000 |
| > 1200 | 900 | 900 | 1000 |
- D34. All pits to have galvanised hinged lockable gratings equivalent to 'Grate Drainage Products Pty Ltd' heelguard type. Use Class B in general areas and Class D in areas subject to vehicles.
- D35. Drainage pit size may need to be increased over minimum to suit pipe size. Pit internal dimensions shall be at least 300mm greater than external diameter of corresponding pipe.
- D36. Pits deeper than 1000mm are to be fitted with step irons at 300mm centres. Contact Engineer for typical detail.
- D37. All exposed pit edges shall be rounded with 20mm radius or 20 x 20 chamfer.
- D38. Walls of cast insitu pits shall be 200mm (min.) thick concrete, grade N32, unless noted otherwise.
- D39. Pits shall be reinforced with SL81 fabric, central in walls & base slab U.N.O. Mesh to be lapped 400mm. Lap mesh at corners or use N12-200 "L" bars lapping 400 each way.
- D40. Approved precast pits may be used.
- D41. Bases of drainage pits shall be grouted to prevent ponding of water, unless noted otherwise.

LEGEND	
	Denotes stormwater pipe.
	Denotes subsoil drain.
	Denotes pipe diameter in mm.
	Denotes existing pipe.
	Pipe grade as a percentage (min)
	Denotes invert level.
	Denotes ground level.
	Denotes reduced level.
	Denotes stormwater pit.
	Denotes grated stormwater pit.
	Denotes kerb entry & roadway pit system (900 x 600)
	Denotes 100 wide x 100 min. depth grated drain type "ACO KS100" with Class A Antislip stainless steel heelguard grates U.N.O. Grated drains in areas subject to vehicle loads to be K100 and have Class D "ACO" perforated steel grating.
	Denotes downpipes.
	Denotes downpipe with spreader
	Represents 100mm round outlet, model T1A100/90F by speciality plumbing supplier. Cast iron RW0 with galvanised heavy duty flat grate.
	Represents smart drain with ø65 outlet pipe cast in slab and connected to surface drainage
	Planter drain "Specialty Plumbing Supplies" 100mm RW0 (T1A 100/90PB) with planter box insert

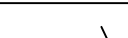


FLOW EQUALISATION PIT

DRAWING SCHEDULE

- SW00 STORMWATER NOTES & DRAWING SCHEDULE
- SW01 BASEMENT LEVEL 2 DRAINAGE CONCEPT PLAN
- SW02 GROUND FLOOR DRAINAGE CONCEPT PLAN
- SW03 SEDIMENT CONTROL PLAN
- SW04 SEDIMENT AND EROSION CONTROL DETAILS

DEMLAKIAN
INTELLIGENT THINKING

				
	P3	11.12.20	DRAWING REMOVED	DAW
	P2	21.04.20	PIT DETAIL ADDED	RAL
	P1	17.09.19	ISSUED FOR DEVELOPMENT APPLICATION	RAL
	REV.No	DATE	REVISION	BY

This drawing MUST be read in conjunction with ALL other drawings for this project including but not limited to all construction notes.

FOR DEVELOPMENT
APPLICATION

ARCHITECT: CRAWFORD ARCHITECTS

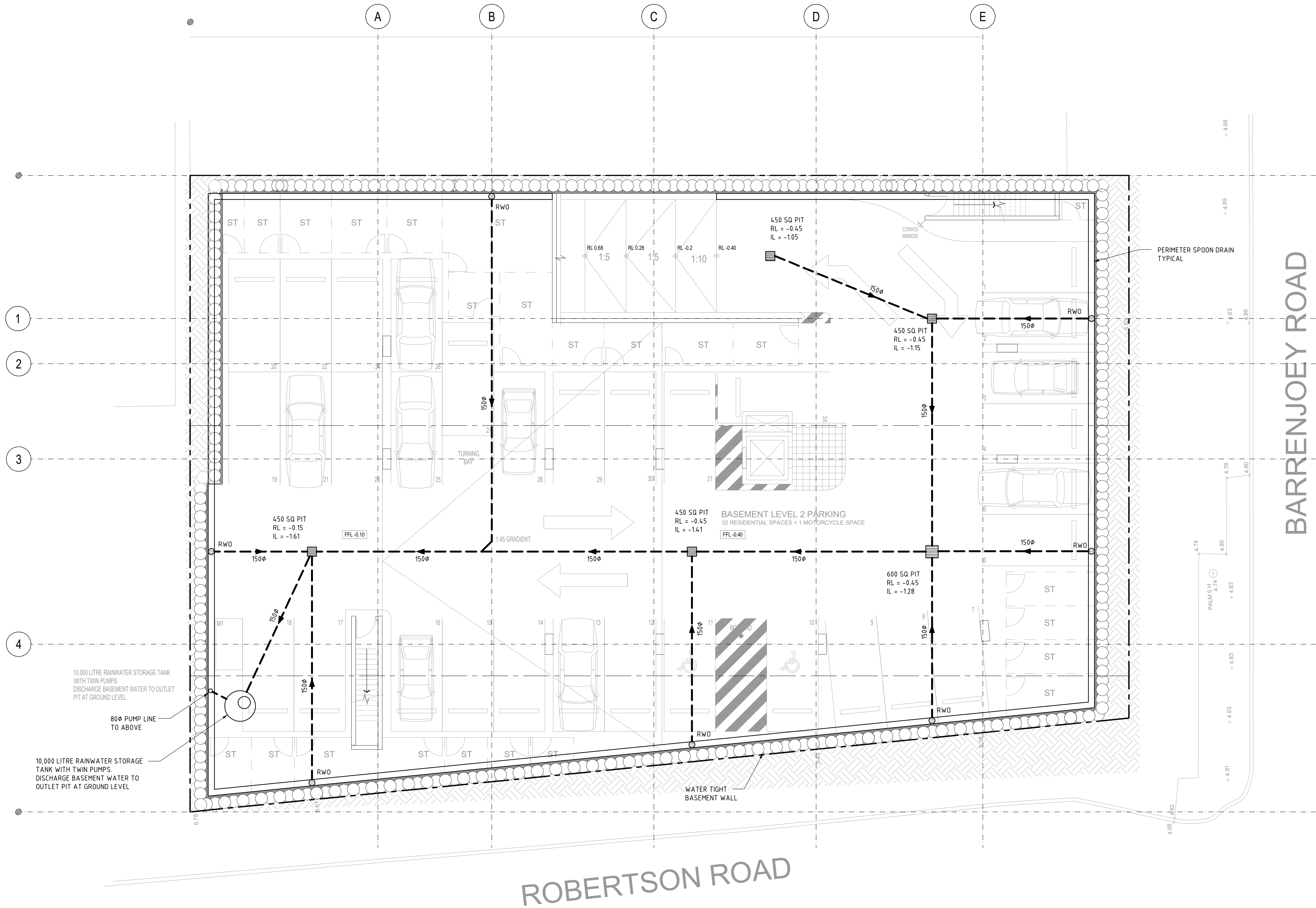
CLIENT: DEVELOPMENT LINK

PROJECT: Proposed Development
351 Barrenjoey Road NEWPORT

TITLE: STORMWATER NOTES & DRAWING SCHEDULE

219120	DESIGNED: DW
	DRAWN: RAL
	CHECKED: DW
	DW
DRAWING: SW00	REVISION: P3
DATE: SEP2020	

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BASEMENT LEVEL 2 DRAINAGE CONCEPT PLAN

ALL PIPES TO BE Ø100 UPVC @ 1% FALL, TYPICAL U.N.O. SCALE 1:100

- DENOTES STORMWATER PIPE
- DENOTES SUBSOIL DRAIN
- 150Ø DENOTES PIPE DIAMETER IN MM

	P5	11.12.20	ARCH LAYOUT UPDATED	DAW
	P4	20.04.20	STORMWATER LAYOUT REVISED	RAL
	P3	02.03.20	ARCH LAYOUT UPDATED	RAL
	P2	30.09.19	ARCH LAYOUT UPDATED	RAL
	REV.No	DATE	REVISION	BY

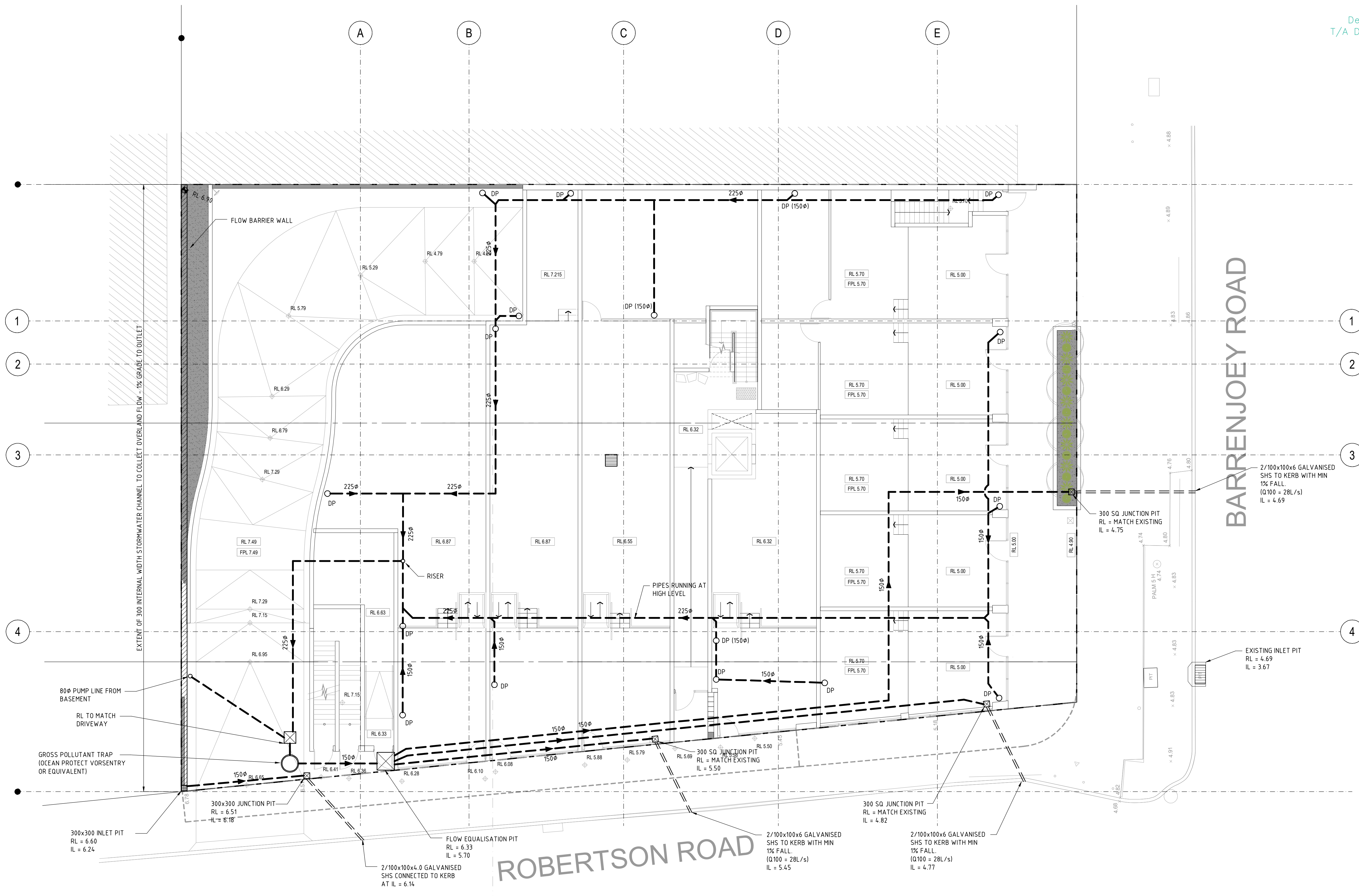
This drawing MUST be read in conjunction with ALL other drawings for this project including but not limited to all construction notes.

**FOR DEVELOPMENT
APPLICATION**

ARCHITECT:	CRAWFORD ARCHITECTS
CLIENT:	DEVELOPMENT LINK

PROJECT:	Proposed Development 351 Barrenjoey Road NEWPORT
TITLE:	BASEMENT LEVEL 2 DRAINAGE CONCEPT PLAN

219120	DESIGNED: DW
	DRAWN: RAL
	CHECKED: DW
SW01 P5	DATE: SEP2020



GROUND FLOOR DRAINAGE CONCEPT PLAN

ALL PIPES TO BE Ø150 UPVC @ 1% FALL, TYPICAL U.N.O. SCALE 1:100

- DENOTES STORMWATER PIPE
- DENOTES SUBSOIL DRAIN
- 100Ø DENOTES PIPE DIAMETER IN MM

NOTE:
ROOF DRAINAGE TO BE DESIGNED AS PART OF
FUTURE CONSTRUCTION CERTIFICATE STAGE

	P6	11.12.20	ARCH LAYOUT UPDATED	DAW
	P5	20.04.20	STORMWATER LAYOUT REVISED	RAL
	P4	06.03.20	LEVEL AMENDED	RAL
	P3	02.03.20	ARCH LAYOUT UPDATED	RAL
	REV.No	DATE	REVISION	BY

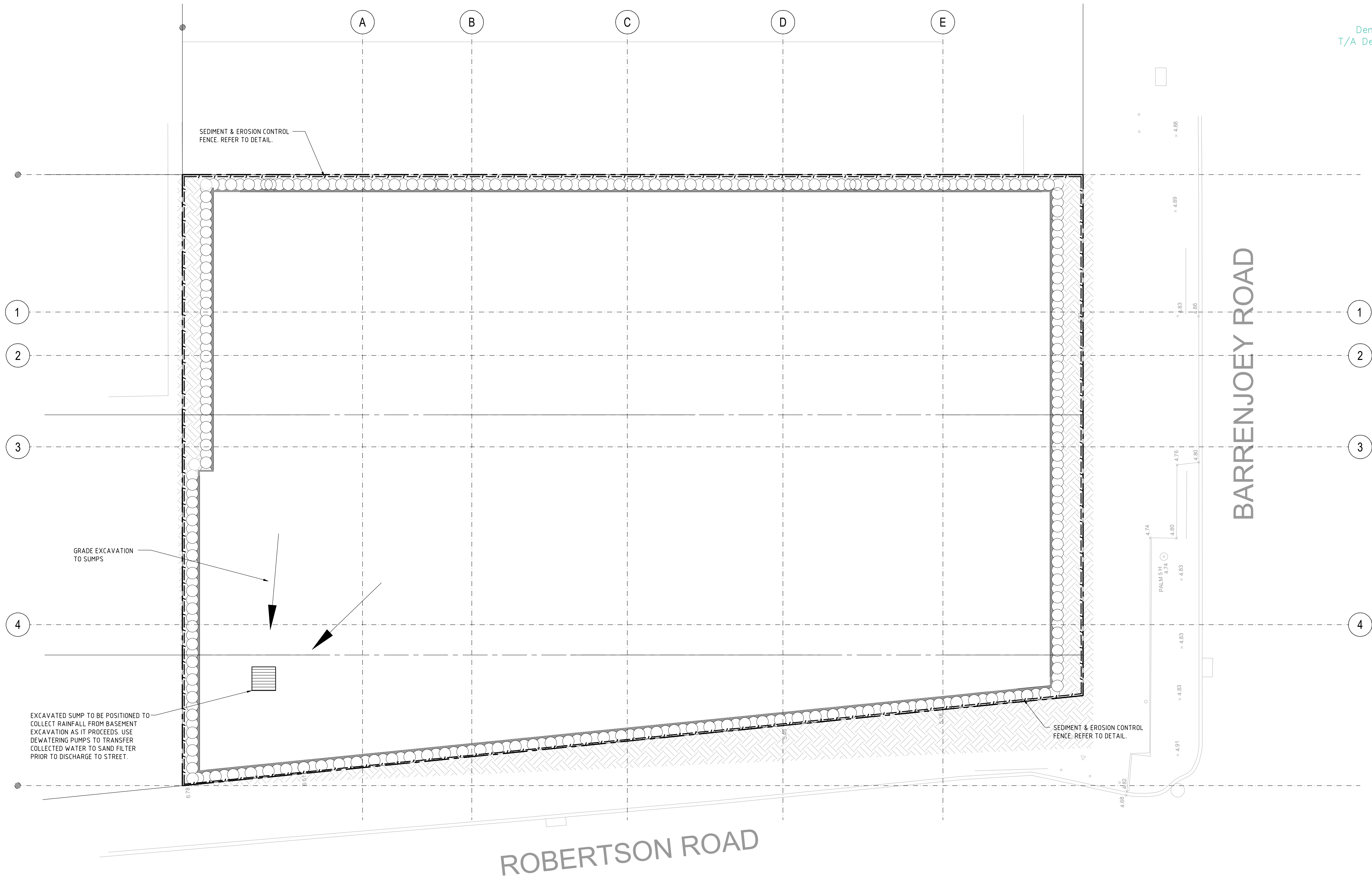
This drawing MUST be read in conjunction with
ALL other drawings for this project including
but not limited to all construction notes.

**FOR DEVELOPMENT
APPLICATION**

ARCHITECT:	CRAWFORD ARCHITECTS
CLIENT:	DEVELOPMENT LINK

PROJECT:	Proposed Development 351 Barrenjoey Road NEWPORT
TITLE:	GROUND FLOOR DRAINAGE CONCEPT PLAN

219120	DESIGNED: DW
SW02	DRAWN: RAL
P6	CHECKED: DW
SEP2020	DATE: DW



ROBERTSON ROAD

BARRENJOEY ROAD

SEDIMENT CONTROL PLAN

SCALE 1:100

- INDICATES SEDIMENT FENCE
- INDICATES HAY BALE WALL
- INDICATES TYPICAL DISTURBED CONSTRUCTION ZONE

EROSION & SEDIMENT CONTROL NOTES

- ALL EROSION & SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AS SHOWN ON THE DRAWINGS.
- DUST SHALL BE CONTROLLED BY REGULAR MOISTENING OF EXCAVATED SERVICES AND STOCKPILES.

This drawing MUST be read in conjunction with ALL other drawings for this project including but not limited to all construction notes.

FOR DEVELOPMENT
APPLICATION

ARCHITECT: CRAWFORD ARCHITECTS

CLIENT: DEVELOPMENT LINK

PROJECT: Proposed Development
351 Barrenjoey Road NEWPORT

TITLE: SEDIMENT CONTROL PLAN

219120

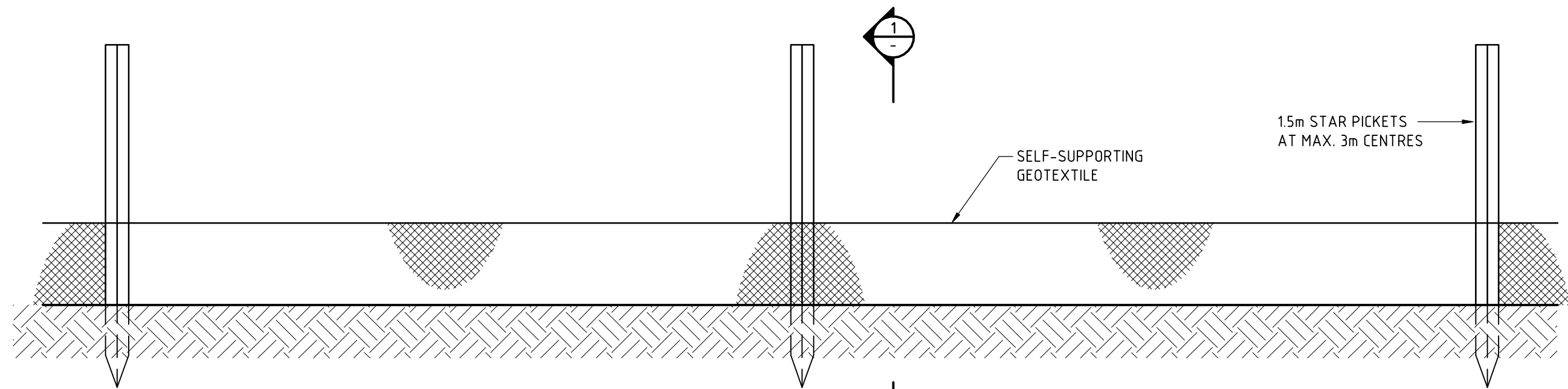
SW03 P5

DESIGNED: DW
DRAWN: RAL
CHECKED: DW

DATE: SEP2020

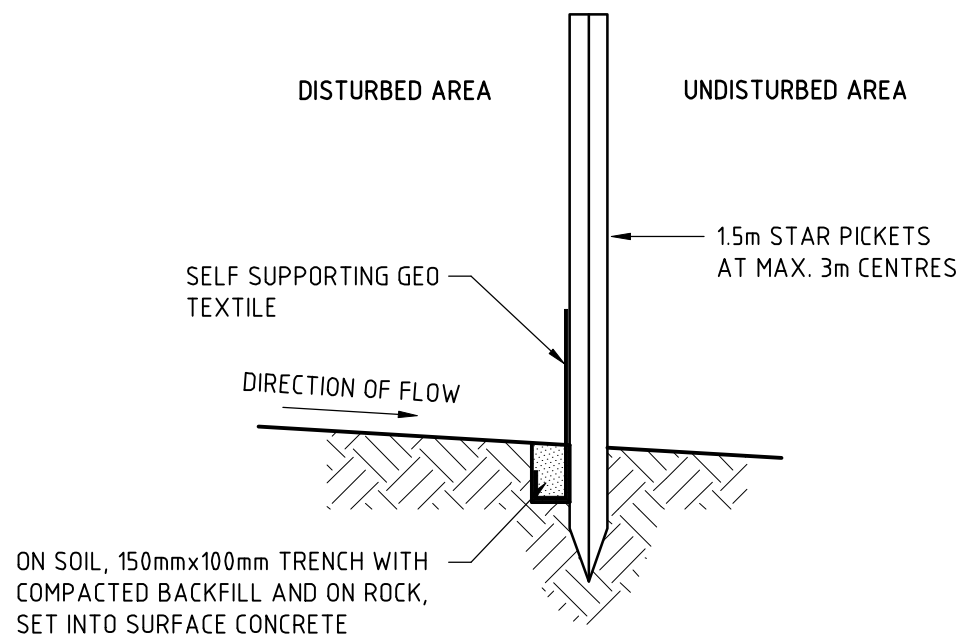
ORIGINAL: A1 DWG





STANDARD SEDIMENT FENCE

SCALE 1:20



SECTION 1

SCALE 1:20

SEDIMENT FENCE CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 15m LONG STAR PICKETS INTO GROUND, 3m APART.
3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FEBRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.

WIND EROSION FENCE CONSTRUCTION NOTES

1. INSTALL FENCE TO HEIGHT AND LOCATION AS SPECIFIED ON SEDIMENT & EROSION CONTROL PLAN.
2. CUT A CHANNEL 200mm DEEP ALONG FENCE LINE.
3. PLACE A WIRE AND LIGHT RESISTANT, OPEN-WEAVE POLYMER MESH WITH 40% POROSITY ON PREVAILING WIND SIDE OF FENCE.
4. FASTEN MESH TO ALL WIRES USING RING FASTENERS AT 100mm-150mm INTERVALS ON TOP AND 300mm INTERVALS ON OTHER WIRES.
5. USE ONE Ø75-Ø100mm TREATED ROUND POST EVERY 20 METRES.
6. STAR PICKETS TO BE FITTED WITH SAFETY CAPS.

EROSION & SEDIMENT CONTROL NOTES

1. ALL EROSION & SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AS SHOWN ON THE DRAWINGS.
2. THE TRUCK SHAKER SHALL BE REGULARLY CLEANED BY LIFTING, DISLODGING & REMOVING SPOIL.
3. THE TEMPORARY SEDIMENT TRAP PIT SHALL BE CLEANED REGULARLY. IN THE EVENT THE GEOTEXTILE FILTER BECOMES CLOGGED DURING DEWATERING OF THE EXCAVATION, PUMPING SHALL BE STOPPED AND THE FILTER CLEANED OR RENEWED.
4. DUST SHALL BE CONTROLLED BY REGULAR MOISTENING OF EXCAVATED SERVICES AND STOCKPILES.

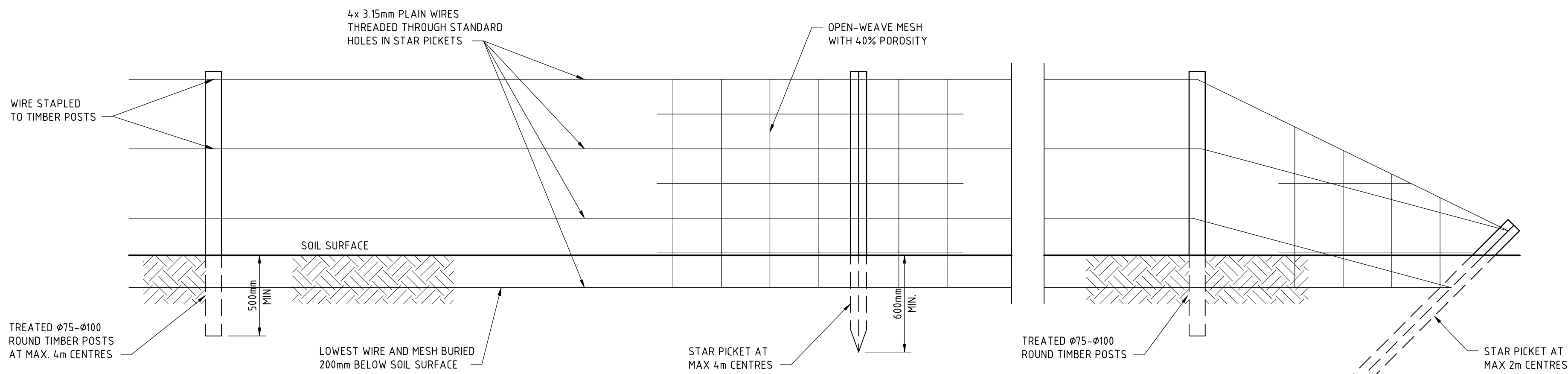
SOIL & WATER MANAGEMENT PLAN NOTES

A. CONSTRUCTION SEQUENCE

1. CONSTRUCT STABILISED SITE ACCESSSES.
2. INSTALL ALL BARRIER FENCING TO EXCLUDE ACCESS TO THE NOMINATED RESTRICTED AREAS.
3. CONSTRUCT EARTH BANKS AND CUT-OFF DRAINS TO DIRECT OVERLAND FLOW BEYOND THE SITE.
4. CONSTRUCT EARTH BANKS & CUT-OFF DRAINS TO DIRECT OVERLAND FLOW TO THE DESIGNATED OUTLET PIT.
5. STRIP AND STOCKPILE TOPSOIL FROM THOSE LANDS TO BE EXPOSED TO CONSTRUCTION ACTIVITIES.
6. UNDERTAKE WORKS ACCORDING TO THE ENGINEERING PLANS.

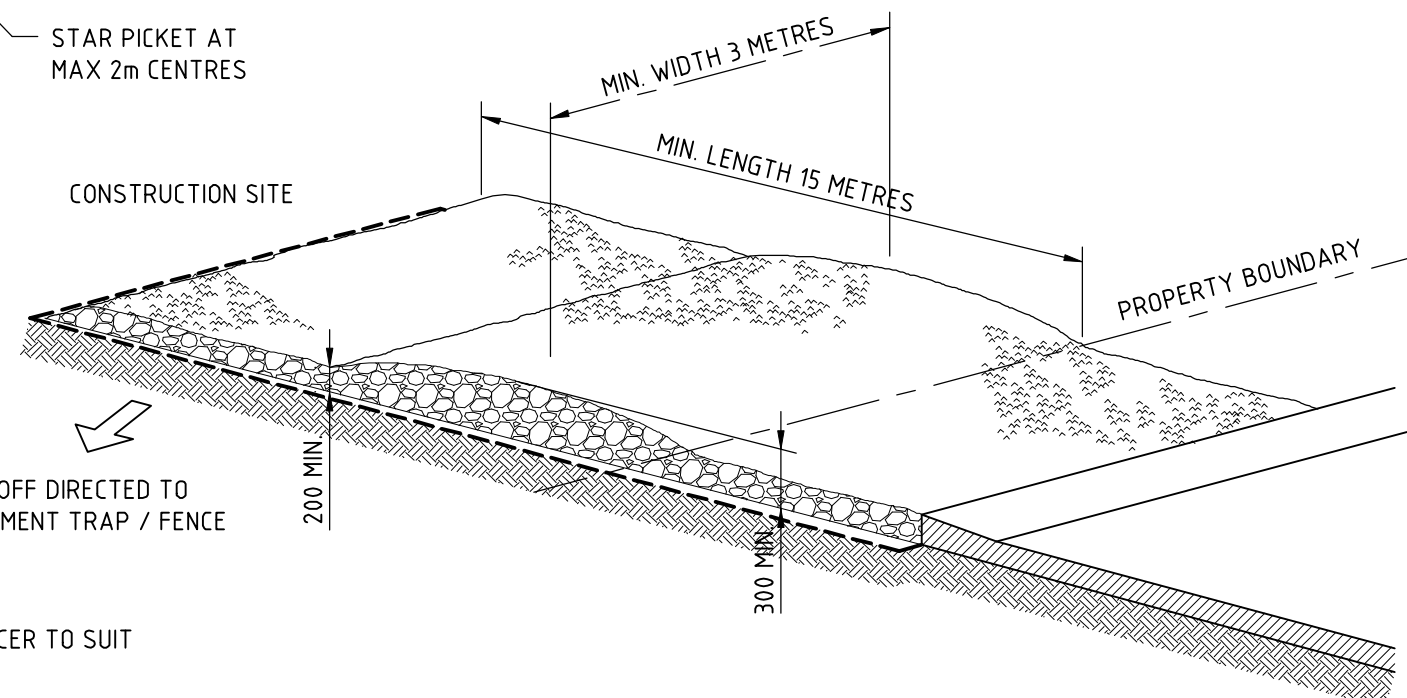
B. SITE INSPECTION MAINTENANCE CONDITIONS

1. WASTE BINS WILL BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE WILL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.
2. THE SITE SUPERINTENDENT WILL INSPECT THE SITE AT LEAST WEEKLY AND WILL:
 - a) ENSURE THAT DRAINS OPERATE PROPERLY AND TO EFFECT ANY NECESSARY REPAIRS;
 - b) REMOVE SPILLED SAND OR OTHER MATERIALS FROM HAZARD AREAS, INCLUDING LANDS CLOSER THAN FIVE METRES FROM AREAS OF LIKELY CONCENTRATED OR HIGH VELOCITY FLOWS ESPECIALLY WATERWAYS AND PAVED AREAS;
 - c) REMOVE TRAPPED SEDIMENT WHENEVER LESS THAN DESIGN CAPACITY REMAINS WITHIN THE STRUCTURE;
 - d) ENSURE REHABILITATED LANDS HAVE EFFECTIVELY REDUCED THE EROSION HAZARD AND TO INITIATE UPGRADING OR REPAIR AS APPROPRIATE;
 - e) MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN A FULLY FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE IS REHABILITATED; AND
 - f) REMOVE TEMPORARY SOIL CONSERVATION STRUCTURES AS THE LAST ACTIVITY IN THE REHABILITATION PROGRAM.
3. AS A PART OF THE STATUTORY "DILIGENCE AND CARE" RESPONSIBILITIES, THE SITE SUPERINTENDENT WILL KEEP A LOG BOOK, MAKING ENTRIES AT LEAST WEEKLY, IMMEDIATELY BEFORE FORECAST RAIN AND AFTER RAINFALL. ENTRIES WILL INCLUDE:
 - a) THE VOLUME AND INTENSITY OF ANY RAINFALL EVENTS;
 - b) THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS;
 - c) THE CONDITION OF VEGETATION AND ANY NEED TO IRRIGATE;
 - d) THE NEED FOR DUST PREVENTION STRATEGIES; AND
 - e) ANY REMEDIAL WORKS TO BE UNDERTAKEN.THE BOOK WILL BE KEPT ON-SITE AND MADE AVAILABLE TO ANY AUTHORISED PERSON ON REQUEST. IT WILL BE GIVEN TO THE PROJECT MANAGER AT THE CONCLUSION OF WORKS.



WIND EROSION FENCE

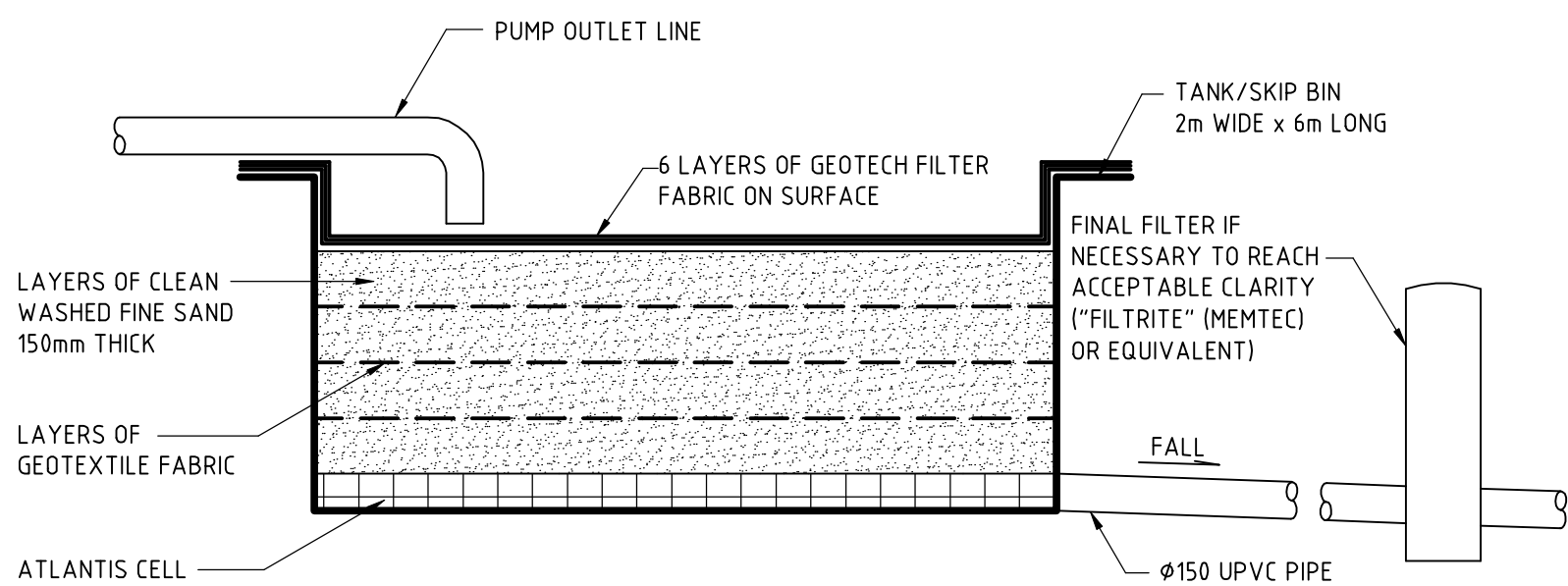
SCALE 1:20



STABILISED SITE ACCESS

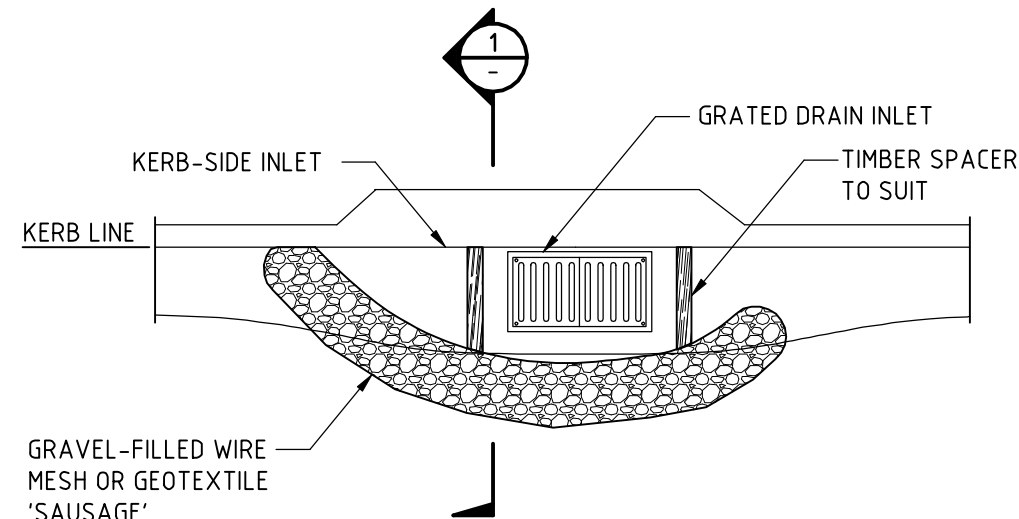
CONSTRUCTION NOTES - SITE STABILISATION ACCESS

1. STRIP TOPSOIL & LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE OR 30mm AGGREGATE. MINIMUM LENGTH 15m OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3m.
4. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR SEDIMENT TRAP.



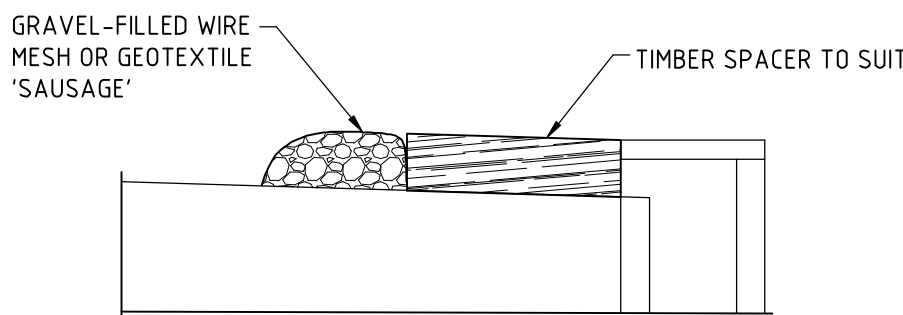
SAND FILTER DETAIL

SCALE 1:20



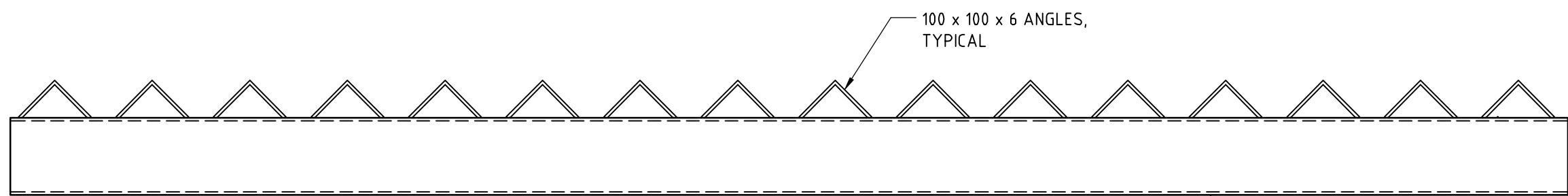
SEDIMENT TRAP SOCK ARRANGMENT

SCALE 1:50



SECTION 1

SCALE 1:20



NOTE:
EQUIVALENT PROPRIETARY SYSTEMS MAY BE
USED AS AN ALTERNATIVE

TYPICAL TRUCK SHAKER

SCALE 1:10

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FOR DEVELOPMENT
APPLICATION

ARCHITECT: CRAWFORD ARCHITECTS

CLIENT: DEVELOPMENT LINK

PROJECT: Proposed Development
351 Barrenjoey Road NEWPORT

TITLE: SEDIMENT & EROSION
CONTROL DETAILS

219120

DRAWING: SW04
REVISION: P2
DATE: SEP2020

DESIGNED: DW
DRAWN: RAL
CHECKED: DW
ORIGINAL: A1 DWG