PROPOSED WORKS:

NEW POOL, NEW RETAINING WALL, NEW GLASS BALUSTRADING, NEW LOWER FLOOR EXTENSION, NEW GROUND FLOOR EXTENSION, NEW STEPS TO GARDEN AND NEW STAIRS TO NEW DECK.

D.P: 14137 LOT: 402.





Property Details

21 CONDOVER STREET NORTH Address: BALGOWLAH 2093

Lot/Section 402/-/DP14137 /Plan No:

Council: NORTHERN BEACHES COUNCIL

Warringah Local Environmental Plan 2011 (pub. 14-2-2014) Local Environmental Plans Land Zoning R2 - Low Density Residential: (pub. 9-12-2011)

Area B - Flanking Slopes 5 to 25

Height Of Building 8.5 m Floor Space Ratio NA Minimum Lot Size 600 m Heritage Land Reservation Acquisition Foreshore Building Line Landslide Risk Land Area A - Slope <5

1. Brickwork shall comply with AS 3700.

All brickwork shall be solidly bonded and laid on a full bed of 10mm. mortar with all joints filled. Wall ties spaced at 460mm. cts horizontally and 610mm. cts vertically or vice-versa and within 300mm of articulation joints, to comply with AS 2699.

Weep holes at max. 1200mm. centres to comply with AS 3700. 3. Damp-proof courses to be an approved waterproof cement mortar or

Firebox inserts shall be installed in accordance with manufacturers specifications and in accordance with AS 2918.

5. Top soil and all organic matter to be removed from under where a concrete

Structural steel and concrete to comply with the Structural Engineer's design

7. Reinforced concrete to be min. 25MPa. complying with AS 2870 - 1996,

(unless directed otherwise by structural Engineer) and;

- Trench mesh for concrete footings to be lapped a min, 500mm, and have a top and/or bottom cover of min. 50mm, unless directed otherwise by Engineer.

- Fabric mesh to be lapped a minimum of 225mm, and have a minimum top and/or bottom cover of 25mm, unless directed otherwise by Engineer.

Excavation of trenches for footings, drainage, sewerage, etc., to be in accordance with the requirements of the local Controlling Authorities.

Safety switches to be installed to the requirements of the local Controlling Authority.

12. From information provided, the design wind speed is N3 (41m/s)

ALL WINDOWS TO BE WHITE COLOUR

HOUSE TO BE PAINTED WHITE

14. Provide Bush fire preventative measures where required by local Council.

13. No part of any building to encroach Site or Title boundaries

11. All glazing to comply with AS 1288-2006.

9. Smoke detectors to comply with AS 3786 and must also comply with the

Subfloor ventilation;
 150mm. min. bearer to ground clearance for strip flooring.
 200mm. min. bearer to ground clearance for sheet flooring.
 Minimum 7500mm*/Metre of external masonry veneer wall.

Minimum 22000mm²/Metre of internal dwarf walls.

bituminous paper placed 75mm, below floor level.

A second course to be laid 1 or 2 brick courses higher

NA

BASIX*Certificate

Alterations and Additions

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Date of issue: Friday, 04, March 2022

Planning, Industry &

240mm. Minimum

Risers and Treads to be constant in size throughout the flight.

Ensure gap between treads does not exceed 125mm. or provide infills to block access if larger.

Min. 2000mm. vertical head clearance when measured from the nosing of the

Handrail to be a constant minimum 865mm high above the nosing of treads and minimum 1000mm. high above all landings, balconies and the like that exceed 1000mm, above the finished adjacent ground or floor level.

Stair to be min. 750mm. wide when measured clear of all obstructions.

17. Termite prevention works must be in accordance with AS 3660.1 - 2000.

18. For buildings in close proximity to the sea, ensure that all steelwork, brick cavity ties, steel lintels, etc. that are embedded or fixed into masonry, be protected in accordance with AS 1650 or AS 3700-1988 Table 2.2, hot dipped galvanised iron,

19. The Builder to take all measures necessary to ensure the stability of new and/or

existing structures during construction and generally ensure the watertightness of all

for the purpose expressly notified to the author. Any other person who uses or relies on these plans without the written consent of Avalon Granny Flats does so at their own risk and no responsibility is accepted by Avalon Granny Flats for such use and/or reliance.

The Owner/Builder and/or subcontractor to confirm all dimensions, setbacks and levels prior to commencing construction, ordering materials or preparing shop drawings and shall be responsible for ensuring that all building works conform to the Building Code of Australia, AS codes (current editions) Building regulations, local by-laws and Town Planning requirements. All discrepancies must be referred to the editions of the confirmation of the c

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23. These notes are neither exhaustive nor a substitute for regulations, statutory requirements, building practice or contractual obligations and unless expressated otherwise, are provided only as a guide.

No responsibility is accepted for their use.

Balusters and rails, etc., to have max. spacing of 125mm.

Wire balustrading to comply with Table 3.9.2.1 of the BCA.

16. Figured dimensions shall always take precedence over scale

21. DO NOT SCALE OFF DRAWINGS.

this office for clarification.

21 Condover Street, North Balgowlah 21 Condover Street North Balgowlah 2093 Street address Lot number Dwelling type Separate dwelling house My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa). Type of alteration and

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Goal Zero Thermal Performance Assessors

ABN (if applicable): 82907709467

Bushfire Planning & Design

Central Coast, Newcastle, Hunter & Sydney

Bushfire Hazard Assessment

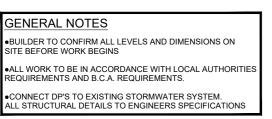
21 Condover Street North Balgowlah 2093 (Lot 402/-/DP14137).

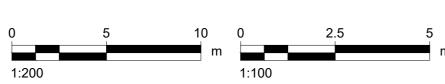


Project Details					
Assessed as:	Residential Infill				
Assessed by	Matthew Noone (BPAD Accreditation No. BPAD-PD 25584)				
Highest BAL on any facade	BAL-29				
Planning for Bushfire Protection (2019) Compliance		fire Protection in a	vant specification and requirements ccordance with Section 4.14 of the nt Act 1979.		
Project Description	Alterations and Additions.				
Report Number	BR-437021-B				
Date of Issue	10/05/2022	Report Validity:	1 year from date of issue		

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NOTE: IMAGES ARE FOR VISUALISATION PURPOSES ONLY. REFER TO DRAWINGS FOR ACTUAL DETAILS





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ARCHITECTURAL DRAFTING 3D VISUALISATION
DEVELOPMENT APPLICATION ASSISTANCE **COUNCIL COMPLIANT PLANS**

EXISTING BUILDING OUTLINE PROPOSED WORK

bear

Date				
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DP N	No.	14137		
LOT	No.	402		
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No.		Revision/Is	sue	Date

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BEN & LORI MACOUN 21 CONDOVER ST NORTH BALGOWLAH

NSW 2093

BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS RELEVENT TO SETTING OUT AND OFF-SITE FABRICATION WORK SHALL BE VERIFIED BY THE BUILDER BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. DIMENSIONS SHALL NOT BE OBITAINED BY SCALING THE DRAWINGS.

DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION

AND NO PART SHALL BE OVERSTRESSED.
ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS
OF THE SAA CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE

EXPRESSED IN METRES.
FLASHINGS AND DAMPROOF COURSE TO BE PLACED IN ACCORDANCE WITH GOOD BUILDING PRINCIPLES WHETHER SHOWN ON THE DETAILS OR NOT.
THIS DRAWING TO BE READ IN CONJUNCTION WITH HIA GENERAL HOUSING SPECIFICATION.

Foundations

LINDERELOOR FILL SHALL BE IN ACCORDANCE WITH AS 2870

TERMITE TREATMENT SHALL BE IN ACCONDANCE WITH AS 3660.1
THE UNDERFLOOR VAPOUR BARRIER SHAL BE IN ACCORDANCE WITH AS 2870
REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH AS 3600,

Masonry

Timber Framing

T1. ALL TIMBER FRAMEWORK SHALL COMPLY WITH AS 1684.

M1. ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS/NZS 4455, AS/NZS 4456 AND AS 3700.

M2. CONCRETE BLOCKS ARE TO BE IN ACCORDANCE WITH AS 2733 M2. CUNCRETE BLOCKS ARE 10 BE IN ACCURDANCE WITH AS 2733.

M3. ALL DAMP PROOF COURSES SHALL COMPLY WITH AS 3700 AND AS 2904.

M4. CAVITY VENTILATION (WEEP HOLES) SHALL BE IN ACCORDANCE WITH AS 3700.

M5. MORTAR SHALL COMPLY WITH AS 3700, JOINT TOLERANCES SHALL BE IN ACCORDANCE

ROOF FRAMING TO BE IN ACCORDANCE WITH AS 1684.

TIMBER ROOF TRUSSES TO MANUFACTURERS DETAILS AND SPECIFICATIONS.

TIMBER BRACING TO BE IN ACCORDANCE WITH AS 1684.

M6. ALL WALLT IES SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2699 AND BE INSTALLED IN ACCORDANCE WITH AS 3700.

Claddings & Linings C1. THE LINING OF WET AREA WALLS SHALL BE CONSTRUCTED IN

C2. ACCORDANCE WITH AS 3740. ALL INTERNAL WET AREAS AND BALCONIES OVER INHABITABLE ROOMS TO BE WATER PROOFED TO AS 3740.

T1. CEMENT MORTAR AND OTHER ADHESIVES SHALL COMPLY WITH AS 3958.1 T2. INSTALLATION OF TILES SHALL BE IN ACCORDANCE WITH AS 3958.

Joinery

J1. ALL INTERNAL AND EXTERNAL TIMBER DOOR AND DOOR SETS SHALL BE IN ACCORDANCE WITH AS 1909. TIMBER DOORS AND DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2688 AND AS 2689.

J2. ALL GLAZING SHALL COMPLY WITH AS 1288.

Steel Framing

ALL STEEL FRAMING INCLUDING FLLORS, WALLS AND ROOF FRAMING SHALL BE INSTALLED

Roofing

R1. CONCRETE AND TERRACOTTA TILES SHALL COMPLY WITH AS 2049 AND BE INSTALLED IN ACCORDANCE WITH AS 2050.

R2. METAL RAINWATER GOODS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2179

AND INSTALLED IN ACCORDANCE WITH AS 2180.

R3. SARKING TO COMPLY AND BE FIXED IN ACCORDANCE WITH AS/NZS 4200.1 & AS/NZS4200.2.
R4. WEATHERPROOFINGS AND FLASHINGS SHALL COMPLY WITH AS 2904, AS 1804

11/2/2022

14137 LOT No. 402

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ARCHITECTURAL DRAFTING

3D VISUALISATION

DEVELOPMENT APPLICATION

ASSISTANCE

COUNCIL COMPLIANT PLANS

EXISTING BUILDING OUTLINE

General Notes

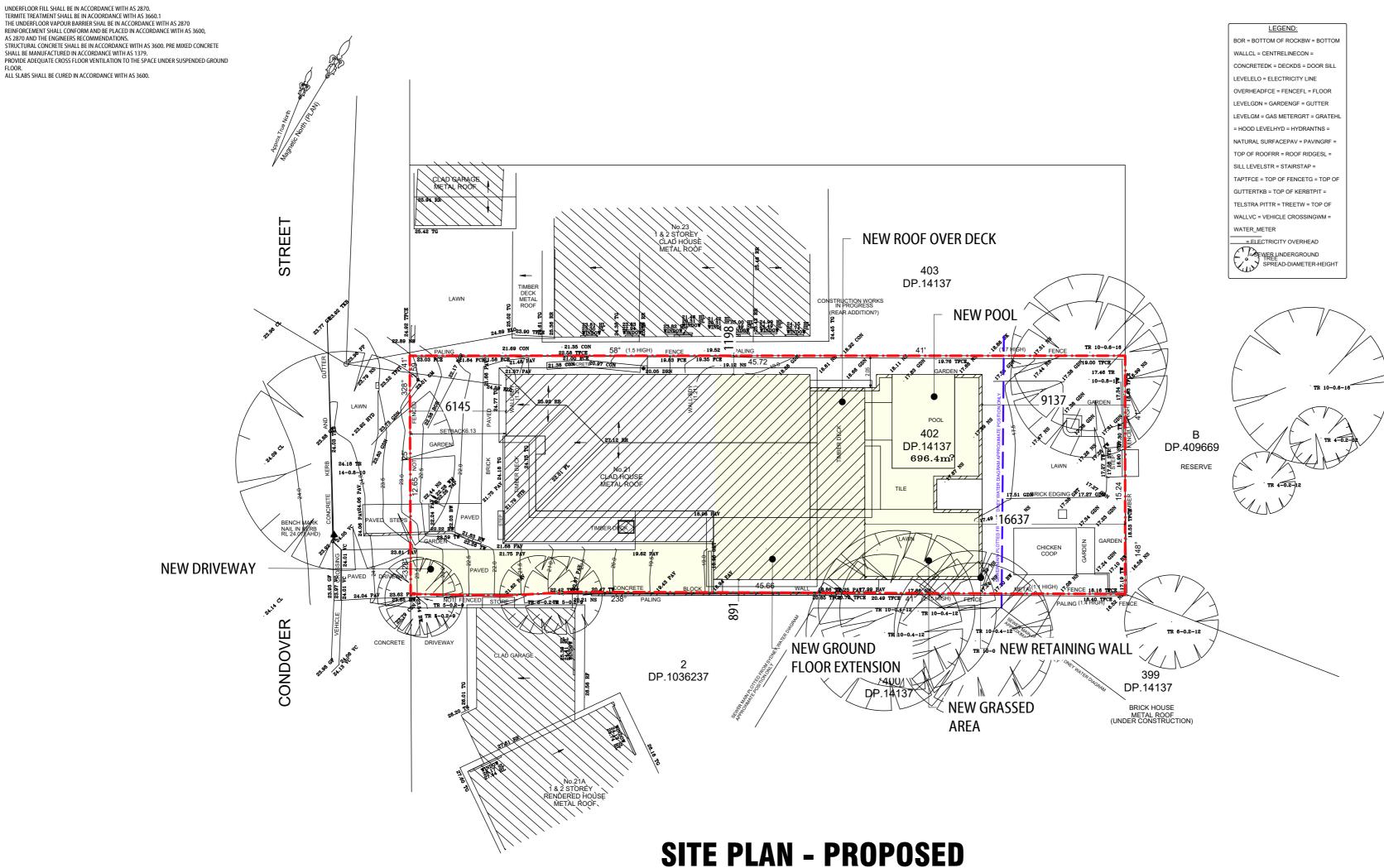
PROPOSED WORK

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XXXX Date

BEN & LORI MACOUN 21 CONDOVER ST



GENERAL NOTES •BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS

•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES •CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

10 0 1:200 1:100

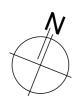
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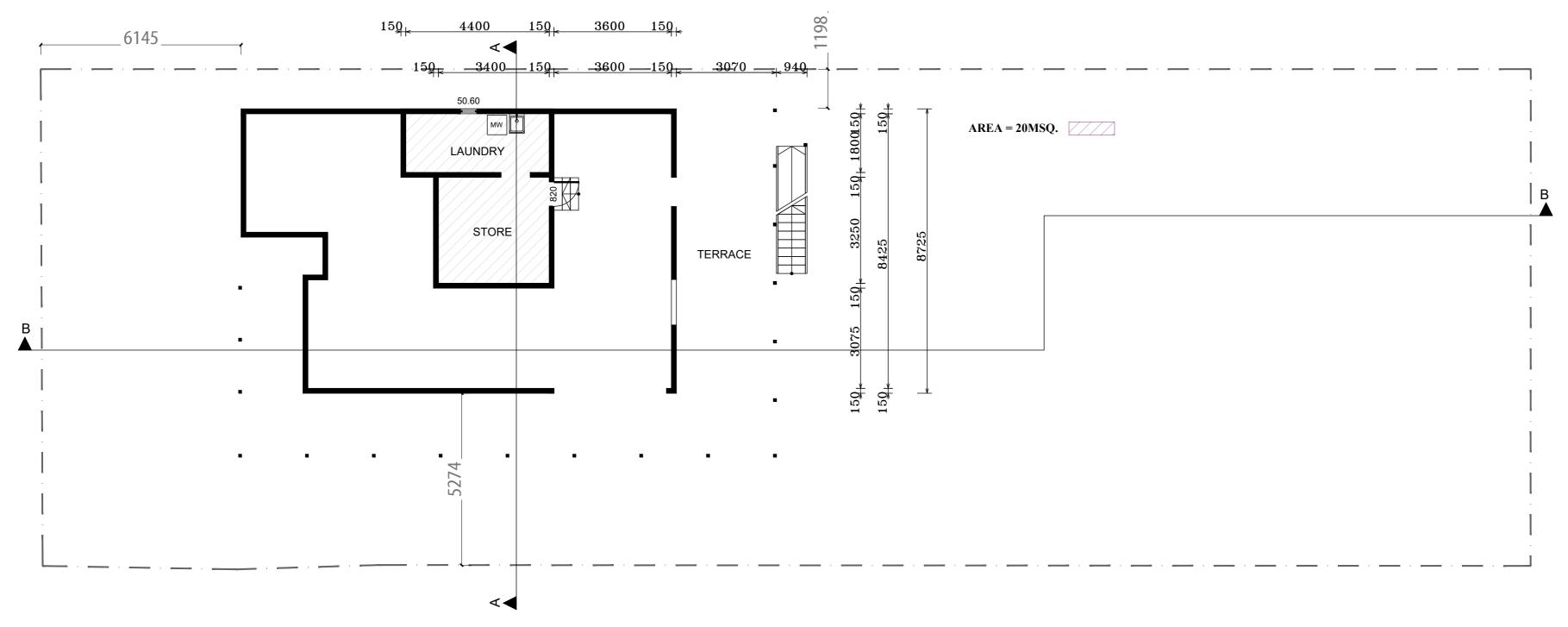
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SCALE 1:200

NORTH BALGOWLAH NSW 2093







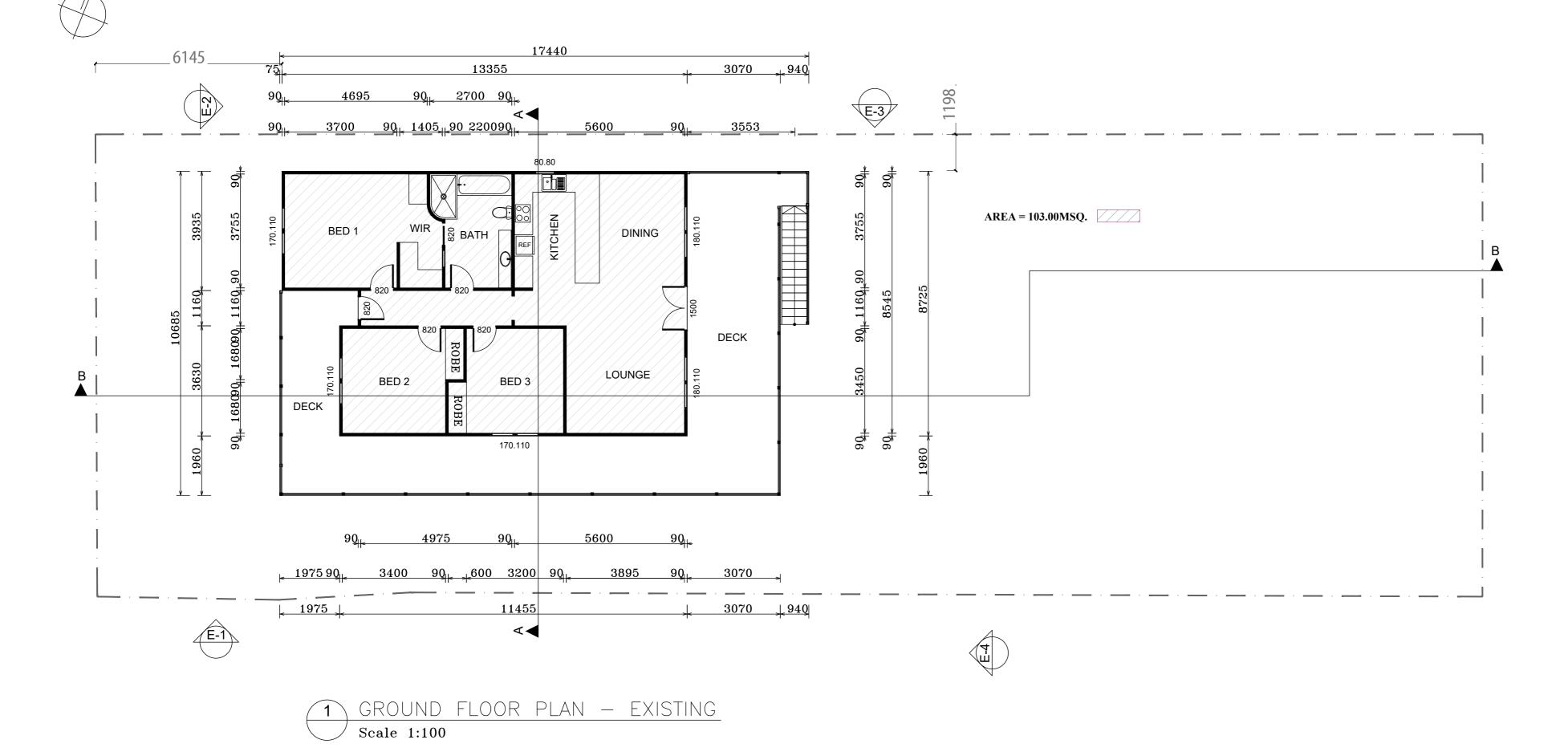
LOWER FLOOR PLAN - EXISTING Scale 1:100



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3D VISUALISATION
DEVELOPMENT APPLICATION COUNCIL COMPLIANT PLANS EXISTING BUILDING OUTLINE PROPOSED WORK General Notes |bear 🦹 cottage DP No. 14137 LOT No. 402 ISSUED FOR DA XXXX DRAFTING HELP

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EXISTING BUILDING OUTLINE PROPOSED WORK **General Notes** cottage DP No. 14137 LOT No. 402 ISSUED FOR DA xxxx Date Revision/Issue DRAFTING HELP

ARCHITECTURAL DRAFTING & DESIGN SERVICES 5/470 Sydney Rd Balgowlah 2093 NSW www.draftinghelp.com.au 02 87763474 Project Name and Address **BEN & LORI MACOUN** 21 CONDOVER ST NORTH BALGOWLAH NSW 2093

ARCHITECTURAL DRAFTING 3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE COUNCIL COMPLIANT PLANS

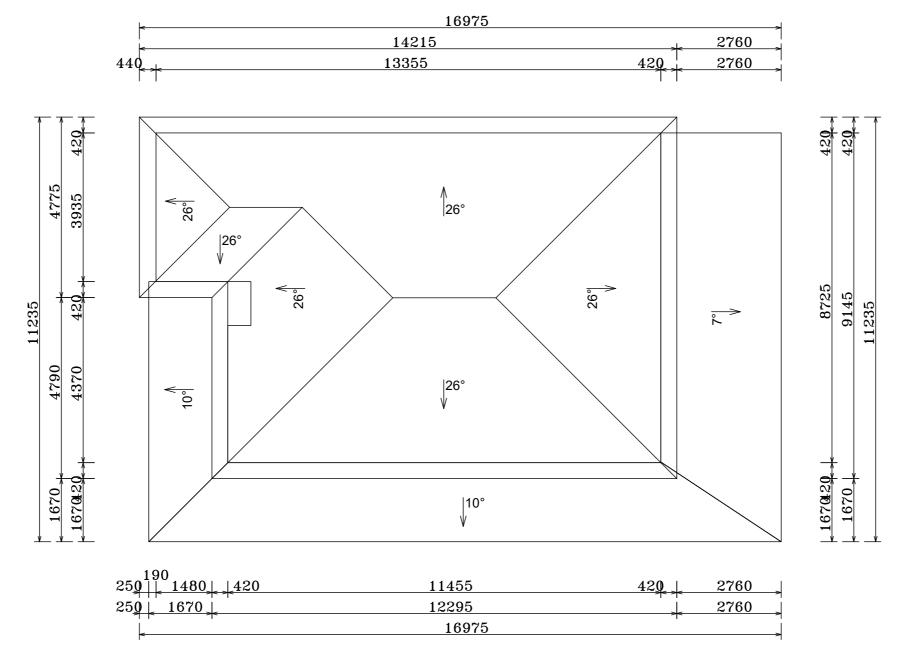
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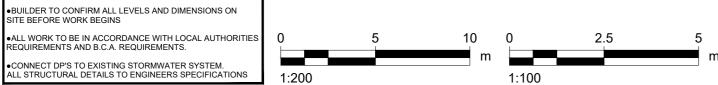
•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS. 10 •CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS 1:200 1:100

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1 ROOF PLAN - EXISTING
Scale 1:100



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3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WOR

General Notes



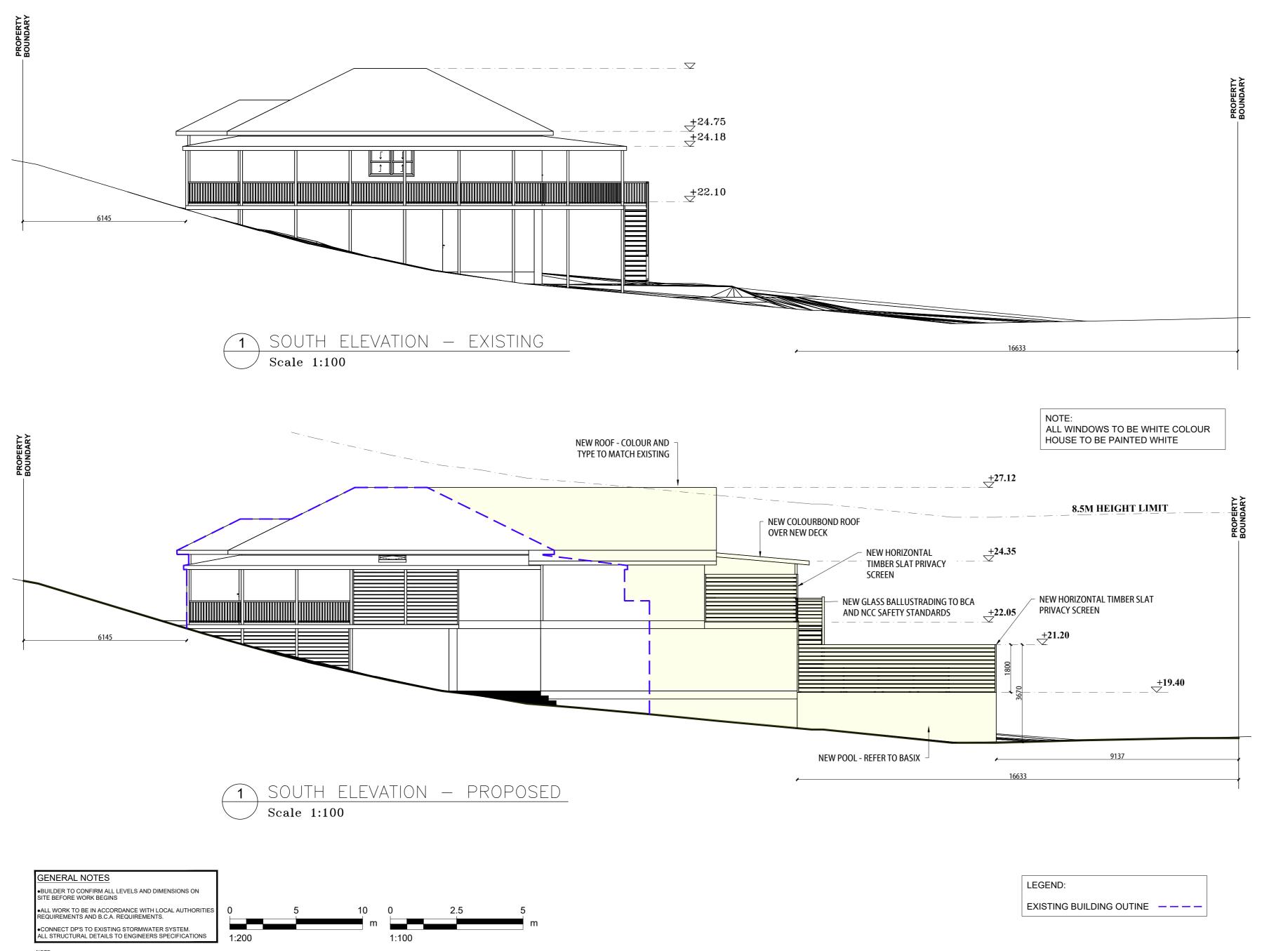
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Project ADDITONS AND ALTERATIONS	Sheet
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Project Name and Address



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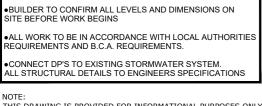
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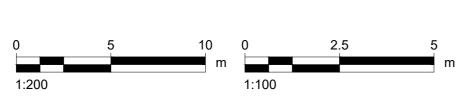
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21 CONDOVER ST

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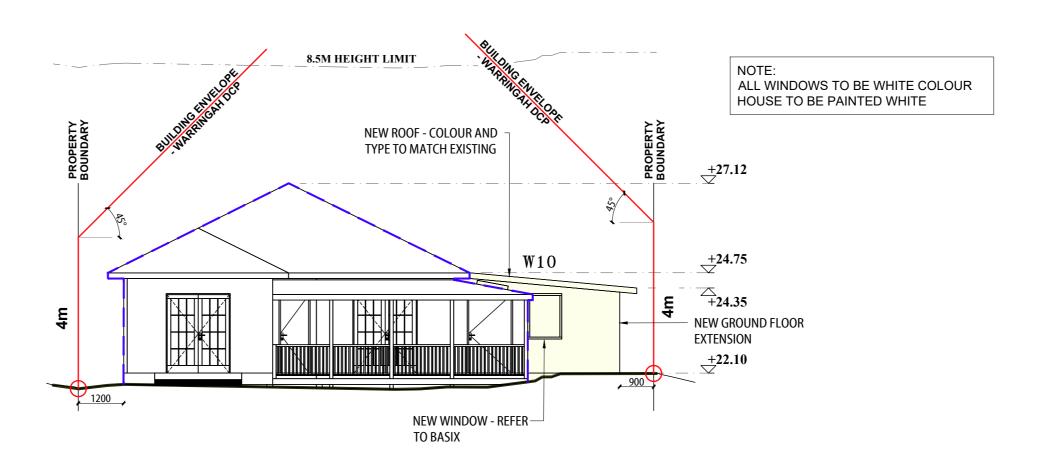




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1 WEST ELEVATION — EXISTING
Scale 1:100



1 WEST ELEVATION - PROPOSED

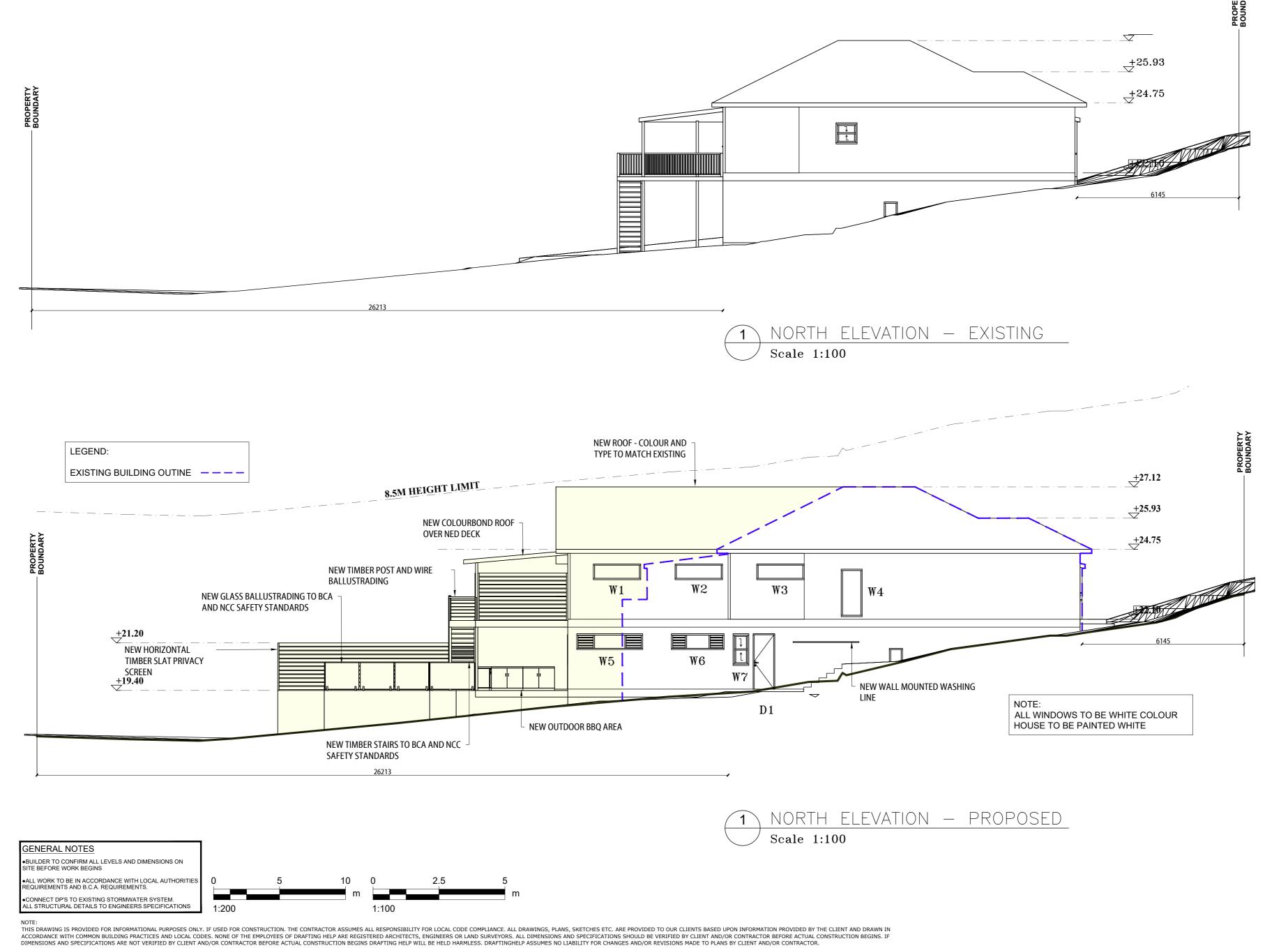
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LEGEND:

EXISTING BUILDING OUTINE ----

ARCHITECTURAL DRAFTING 3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE COUNCIL COMPLIANT PLANS EXISTING BUILDING OUTLINE **General Notes** proudly bear 🖫 cottage DP No. 14137 LOT No. 402 ISSUED FOR DA XXXX

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Select, store, handle and install proprietry products or systems in accordance with the published recommendations of the manufacturer or supplier.

Dimensions and Setout

Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

CONCRETE CONSTRUCTION

Concrete structures generally to AS3600. Ground slabs and footings to AS2870. Ready-mixed concrete to AS1379. All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required. Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.

SWIMMING POOL FENCING AND WARNING NOTICES (RESUSCITATION CHART) SHALL BE MANUFACTURED, DESIGNED, CONSTRUCTED, LOCATED AND MAINTAINED IN ACCORDANCE WITH THE SWIMMING POOLS ACT 1992 AND REGULATIONS. THE FENCING AND WARNING NOTICES (RESUSCITATION CHART) **SHALL BE PERMANENT STRUCTURES.**

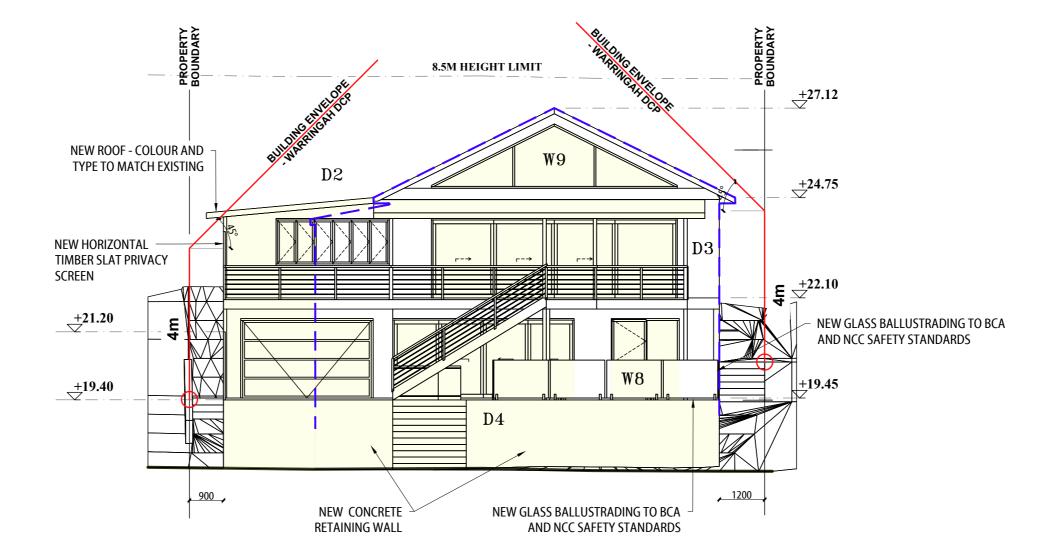
ALL WORKS TO SWIMMING POOL BARRIER ARE TO COMPLY WITH NSW SWIMMING POOLS ACT, REGULATIONS, (NCC) BCA AND AUSTRALIAN STANDARDS AS-1926.1 - 2012, AS-1926.2 2007 & AS - 1288-2006, ELECTRICAL AS -3000-2018. BUILDER AND INSTALLERS TO CONFIRM ALL MEASUREMENTS AND LOCATIONS AT TIMES OF FINAL SITE MEASURE, AND THEY ARE FULLY RESPONSIBLE FOR INSTALLING A COMPLIANT SWIMMING POOL BARRIER.

AUSTRALIAN STANDARDS (INCLUDING BUT NOT LIMITED) TO: **SWIMMING POOLS ACT 1992;** DA2021/0959 PAGE 12 OF 25 **SWIMMING POOLS AMENDMENT ACT 2009; SWIMMING POOLS REGULATION 2018 AUSTRALIAN STANDARD AS1926 SWIMMING POOL SAFETY** AUSTRALIAN STANDARD AS1926.1 PART 1: SAFETY BARRIERS FOR SWIMMING POOLS

(VI) AUSTRALIAN STANDARD AS1926.2 PART 2: LOCATION OF SAFETY BARRIERS FOR

 $\overline{}$ +24.75 +22.10 ± 19.45 900 , 1200 EAST ELEVATION — EXISTING

Scale 1:100



EAST ELEVATION - PROPOSED Scale 1:100

LEGEND:

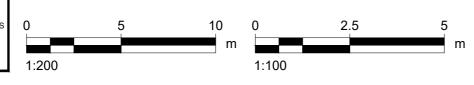
EXISTING BUILDING OUTINE ----

GENERAL NOTES

•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS

•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.

◆CONNECT DP'S TO EXISTING STORMWATER SYSTEM ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



SWIMMING POOLS

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BEARERS AND JOISTS: SPAN AND SPACING OF BEARERS AND JOISTS IS TO CONFORM TO AS1684 SERIES OF STANDARDS IN CONJUCTION WITH SUP; PORTING SUPPLEMENTS RELEVANT TOT HE APPLCABLE WIND CLASSIFICATION AND STRESS.

ALL TIMBER GENERALLY SHALL BE OF THE DURABILITY AND STRESS GRADE SPECIFIED AND OR COMPLY WITH AS1720

ROOF BRACING IN ACCORDANCE WITH TRUSS MANUFACTURERS DETAIL AND SECTION 8 OF AS 1684.

WALL FRAMING: WALL FRAME, SIZES AND SPACING SHALL BE IN ACCORDANCE WITH AS1684 OR AS SPECIFIED BY A PRACTISING ENGINEER,

ARCHITECTURAL DRAFTING 3D VISUALISATION
DEVELOPMENT APPLICATION

ASSISTANCE

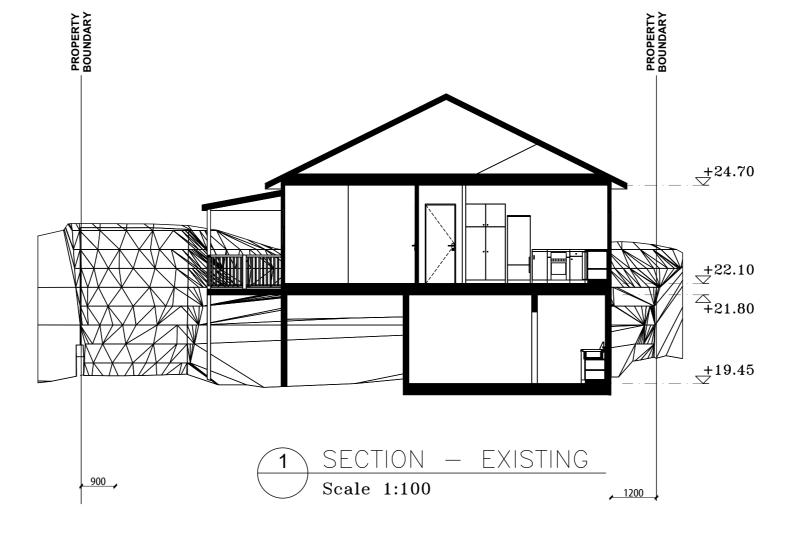
COUNCIL COMPLIANT PLANS

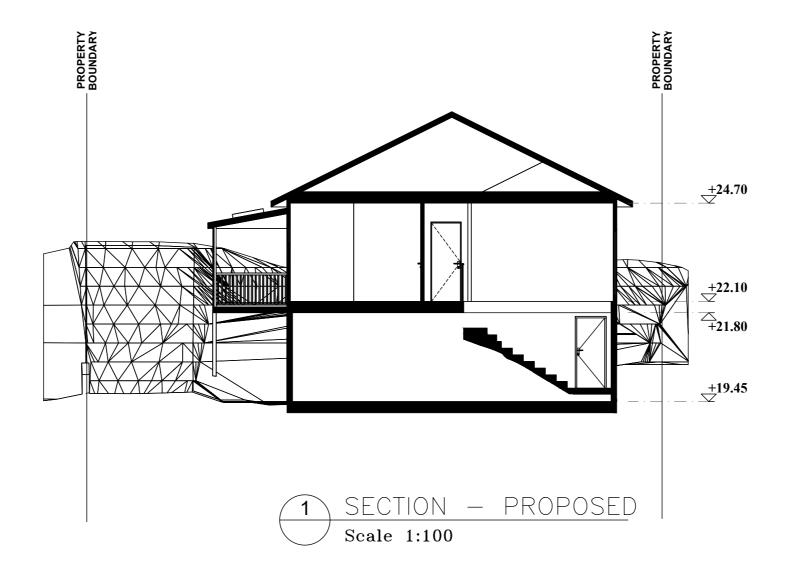
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General Notes

14137 LOT No. 402 ISSUED FOR DA Date





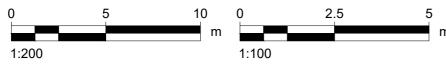




REQUIREMENTS AND B.C.A. REQUIREMENTS.

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3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes



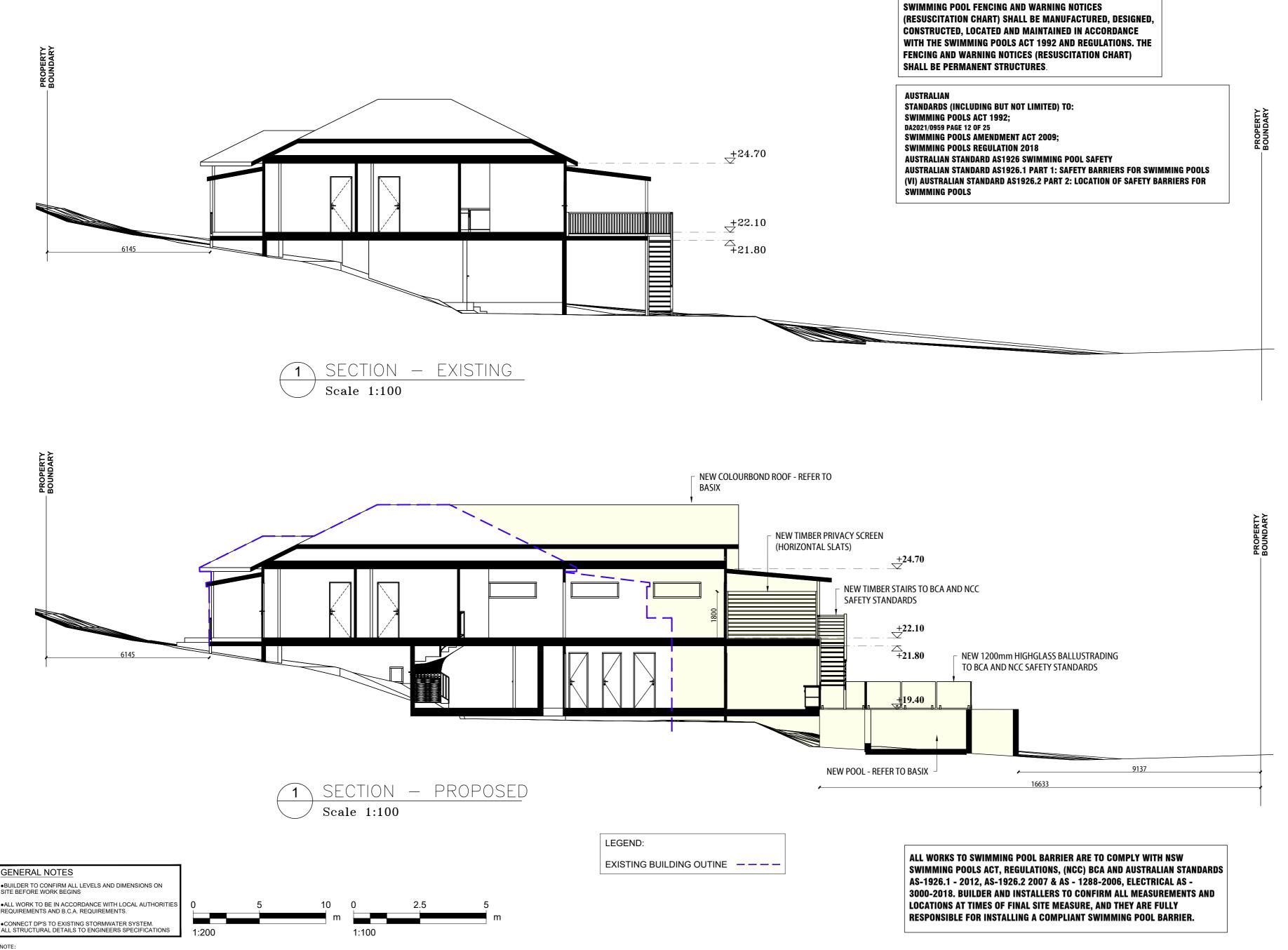
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ARCHITECTURAL DRAFTING 3D VISUALISATION DEVELOPMENT APPLICATION
ASSISTANCE COUNCIL COMPLIANT PLANS EXISTING BUILDING OUTLINE PROPOSED WORK cottage 11/2/2022 Scale

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ISSUED FOR DA XXXX Date

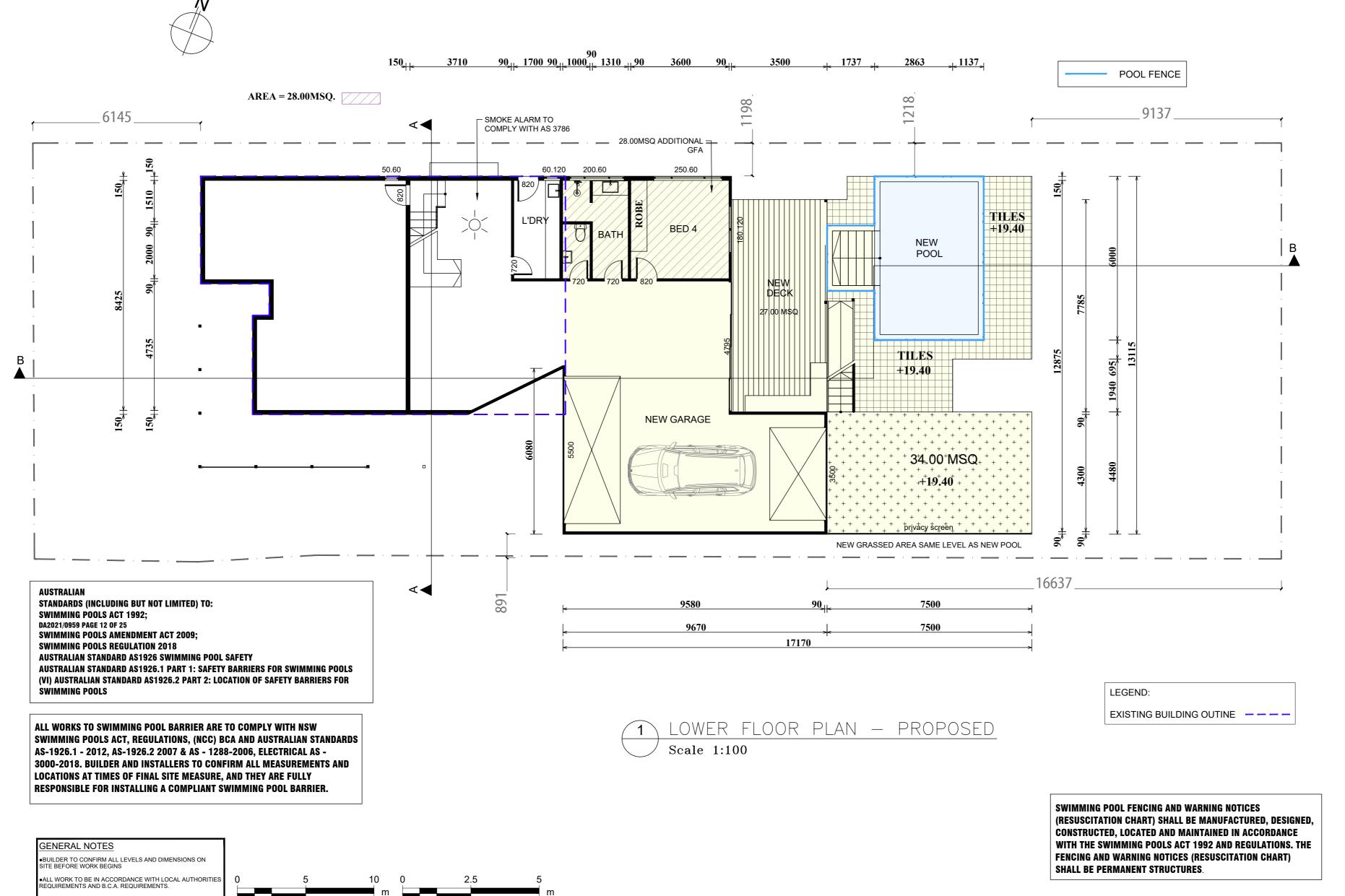


Project Name and Address BEN & LORI MACOUN 21 CONDOVER ST NORTH BALGOWLAH NSW 2093

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ARCHITECTURAL DRAFTING 3D VISUALISATION
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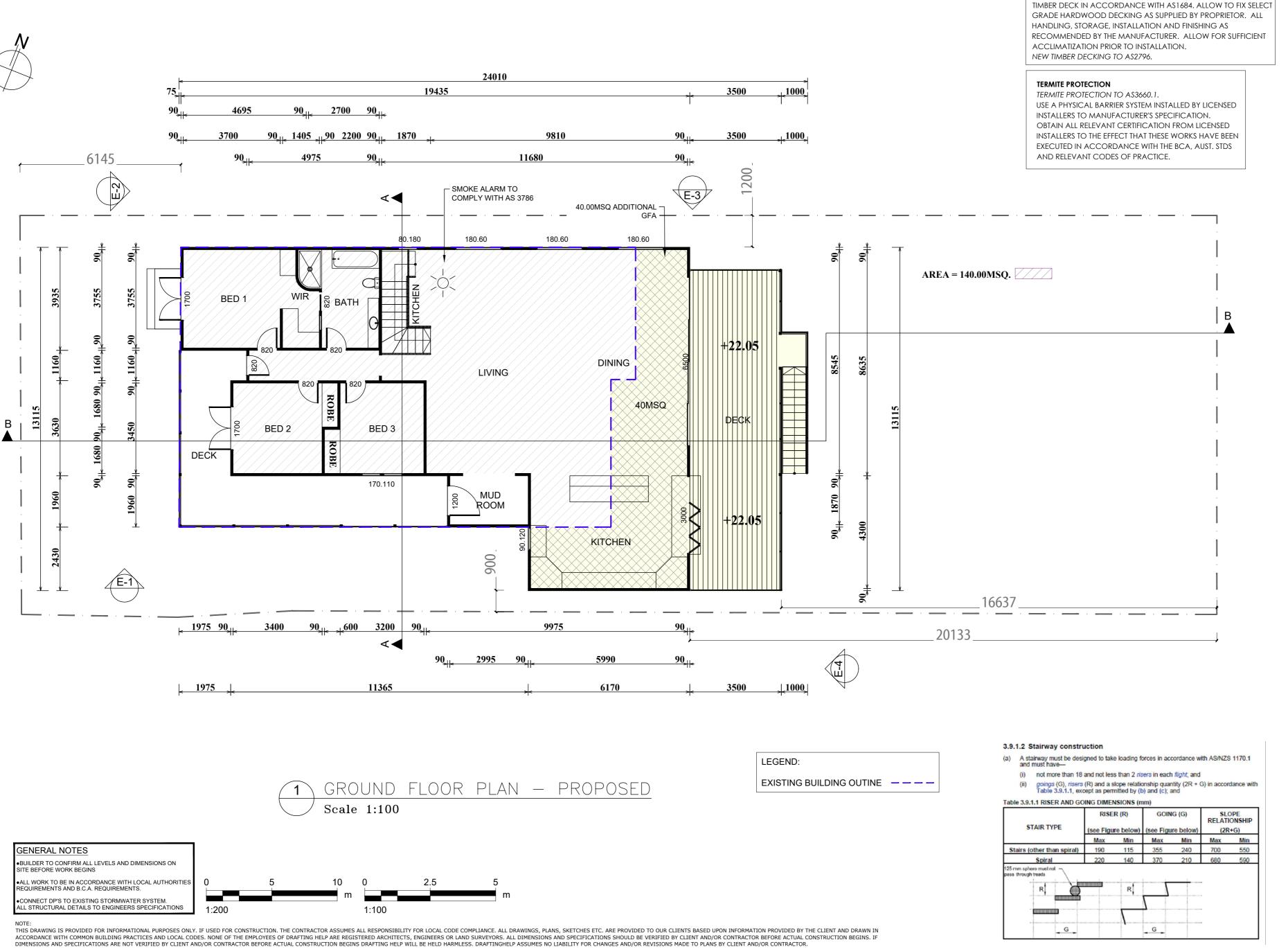
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DEVELOPMENT APPLICATION
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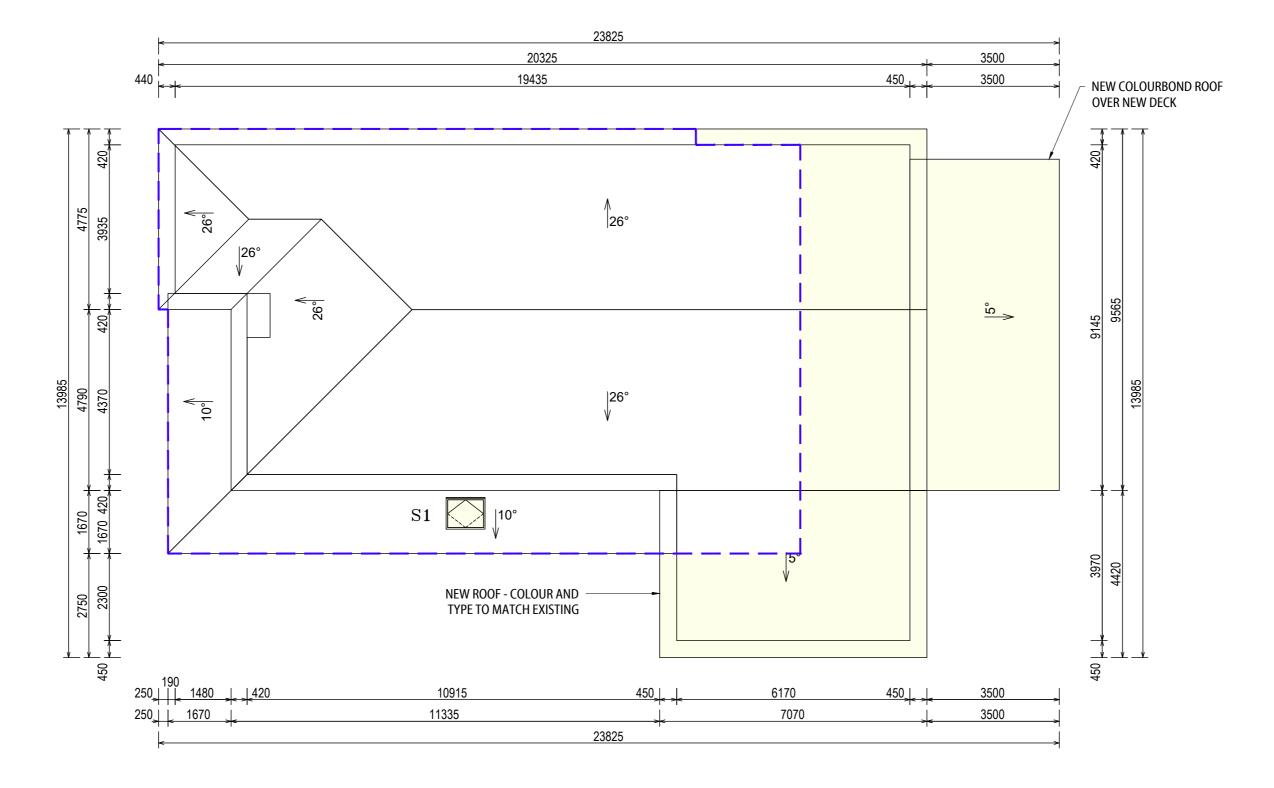
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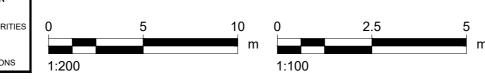
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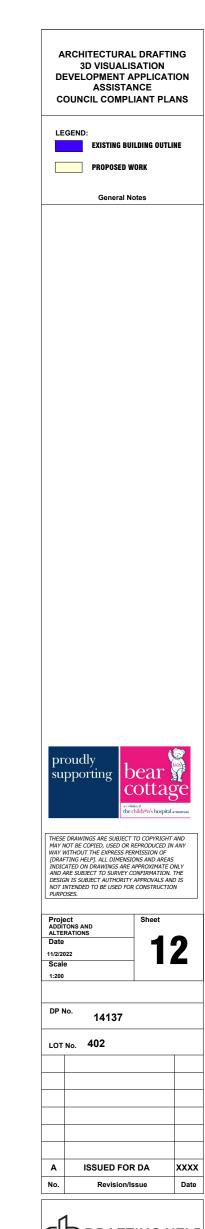
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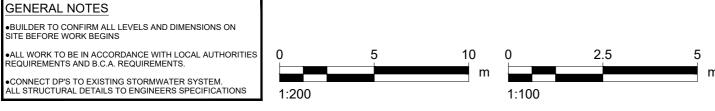
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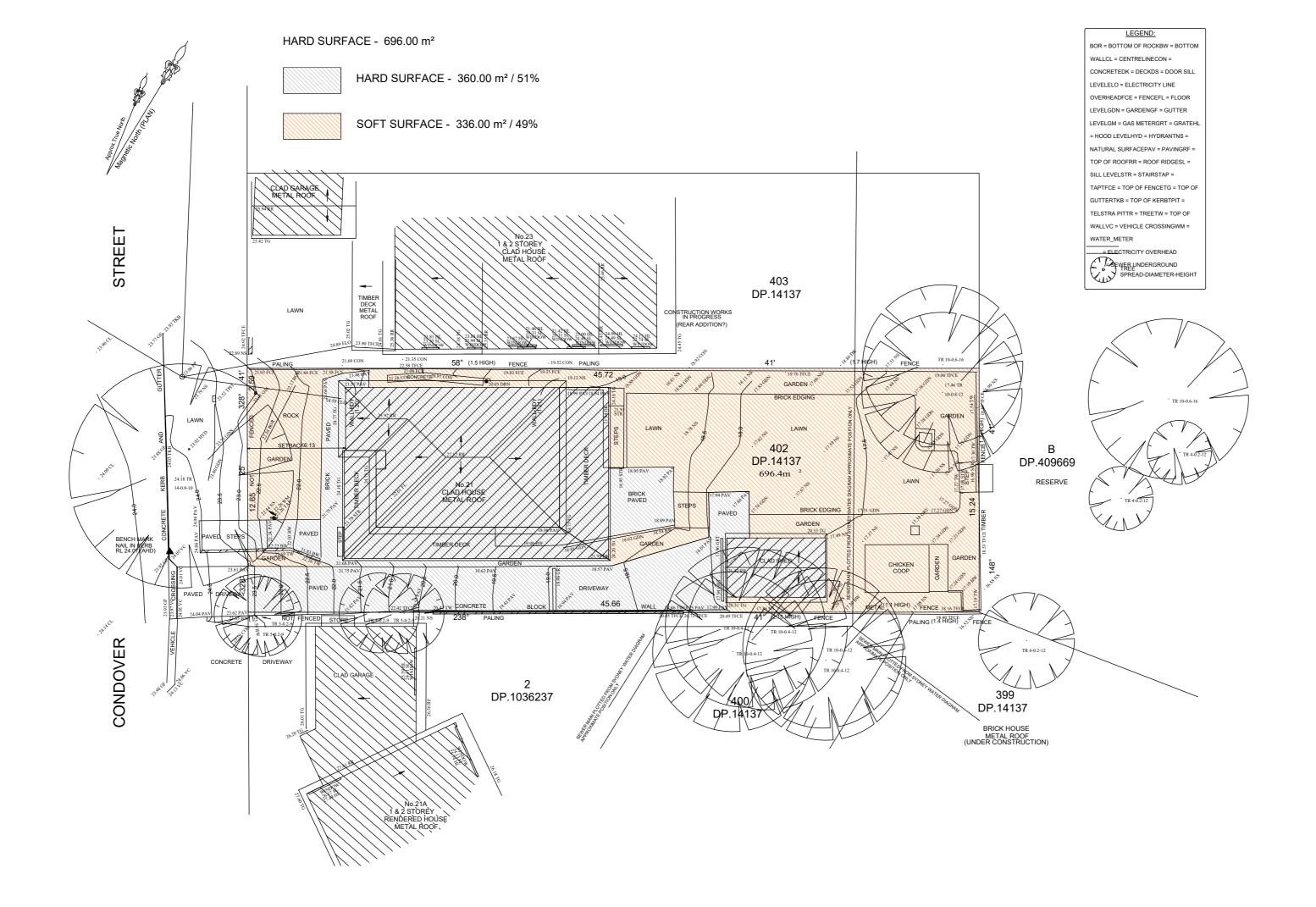
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LANDUSE DIAGRAM - EXISTING

SCALE 1:200

3D VISUALISATION DEVELOPMENT APPLICATION ASSISTANCE COUNCIL COMPLIANT PLANS EXISTING BUILDING OUTLINE

ARCHITECTURAL DRAFTING

General Notes

DP No. 14137 LOT No. 402

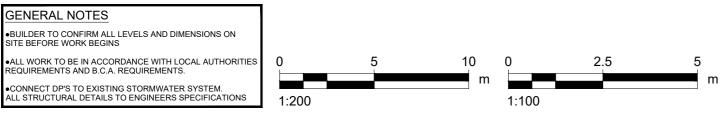
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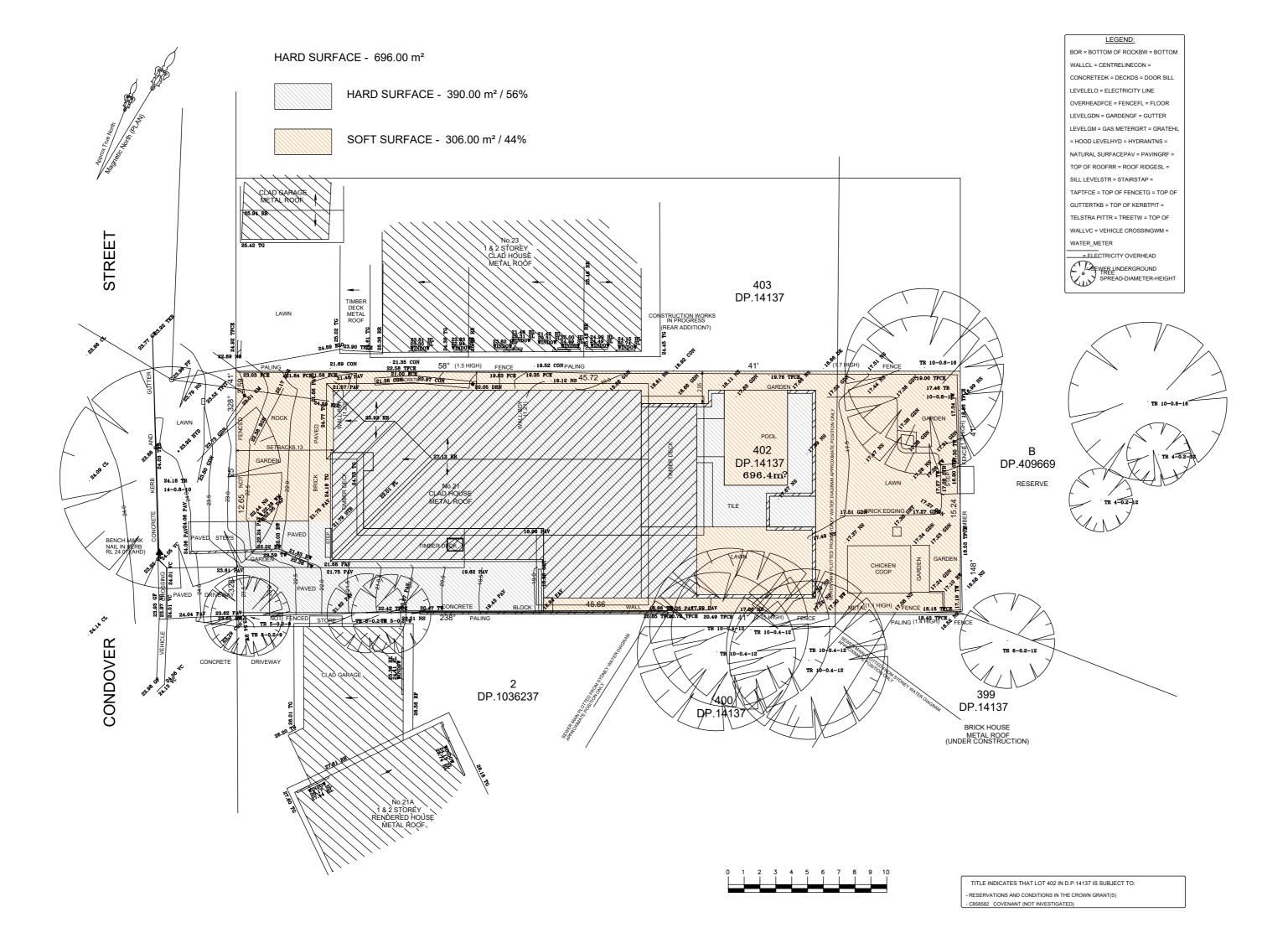
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3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

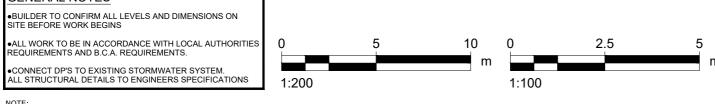


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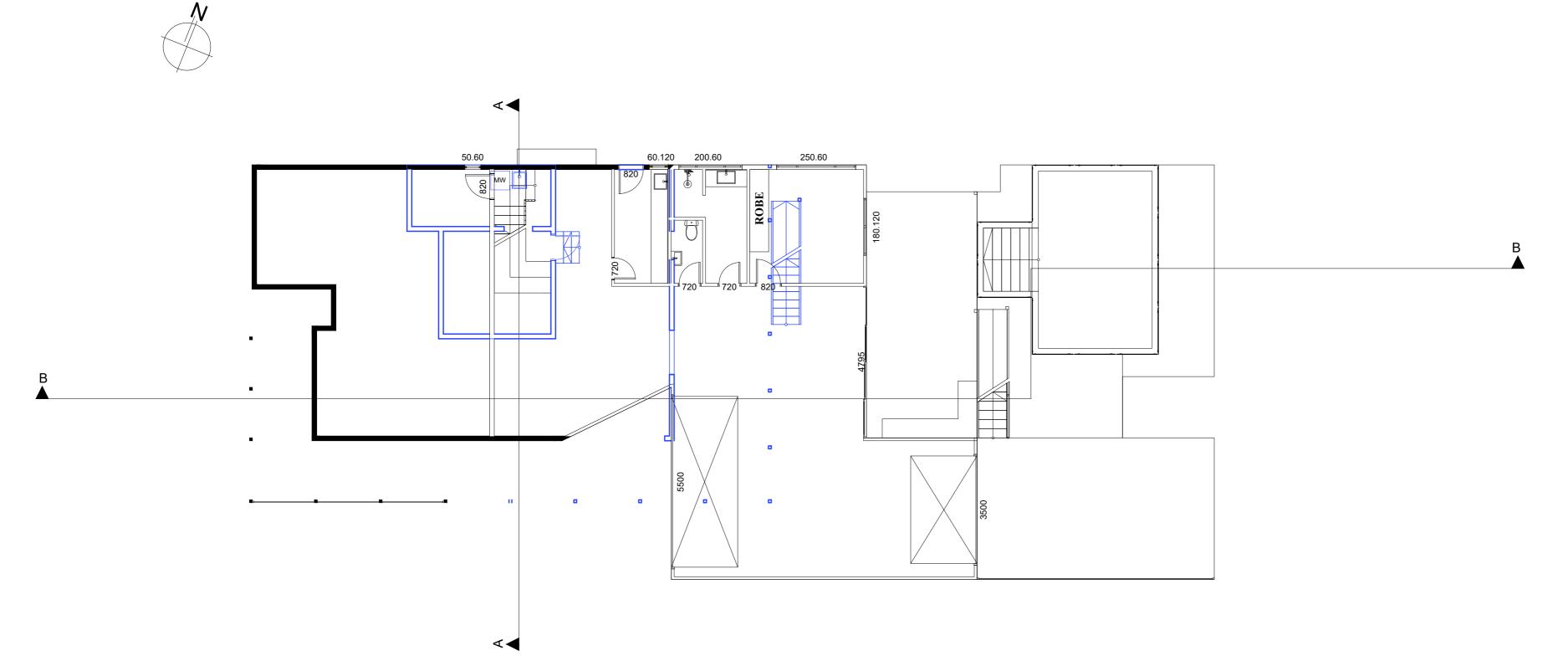
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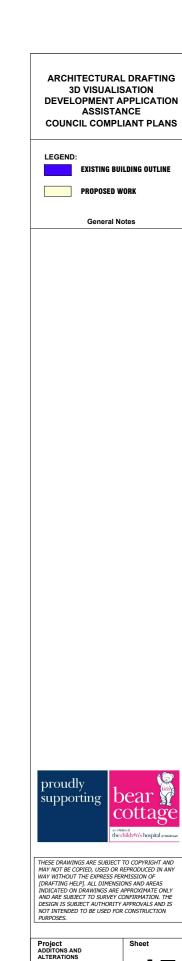
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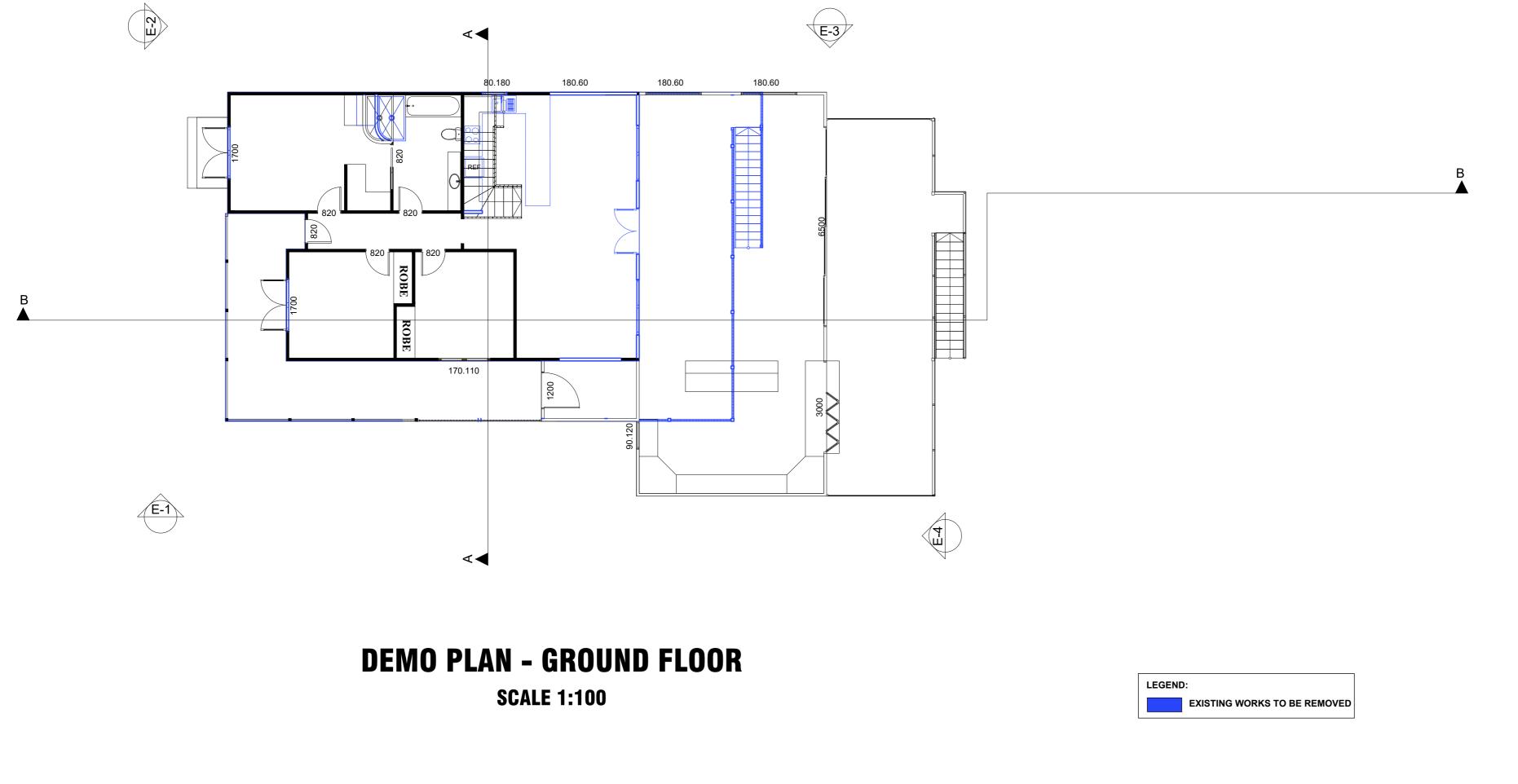






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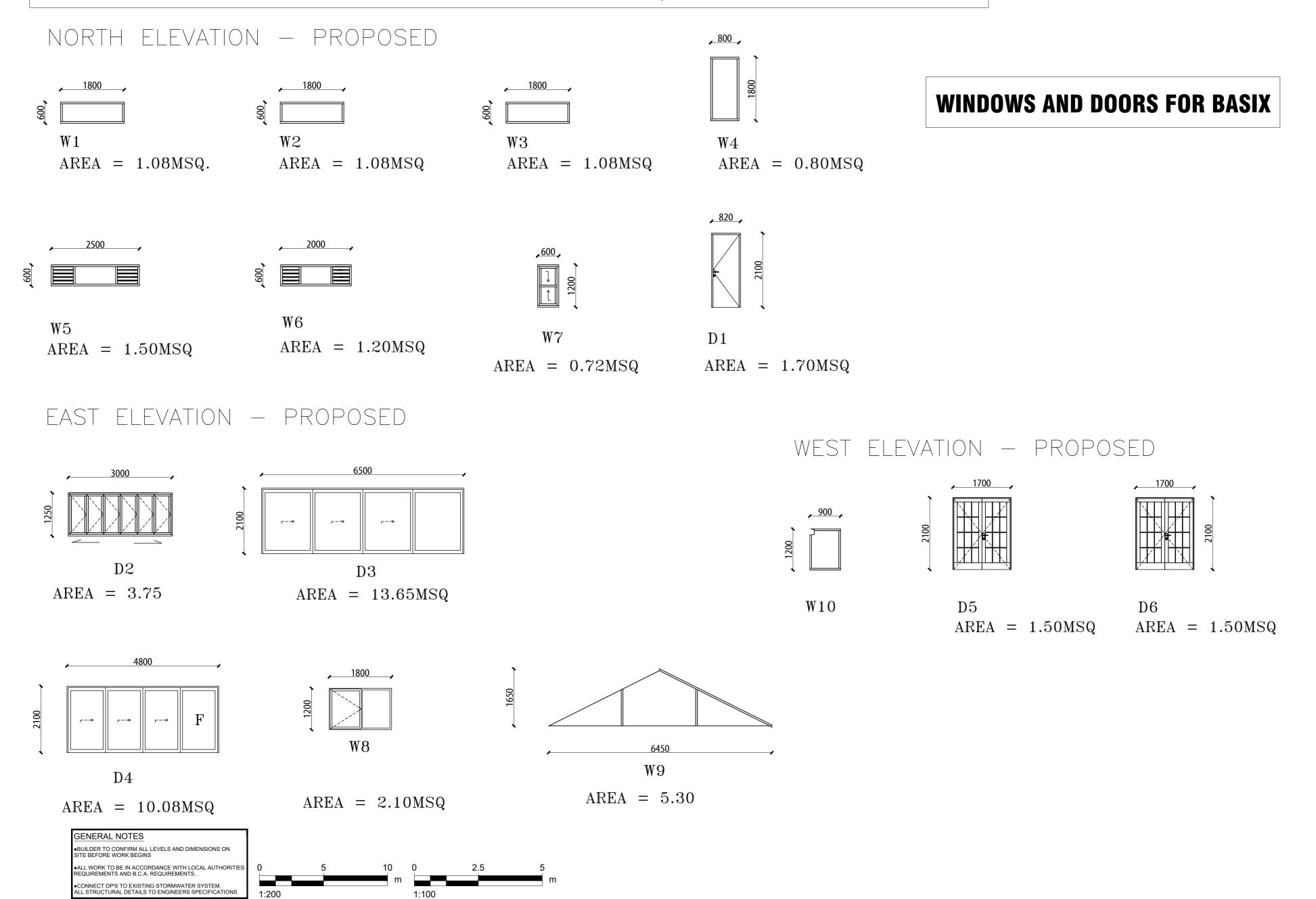
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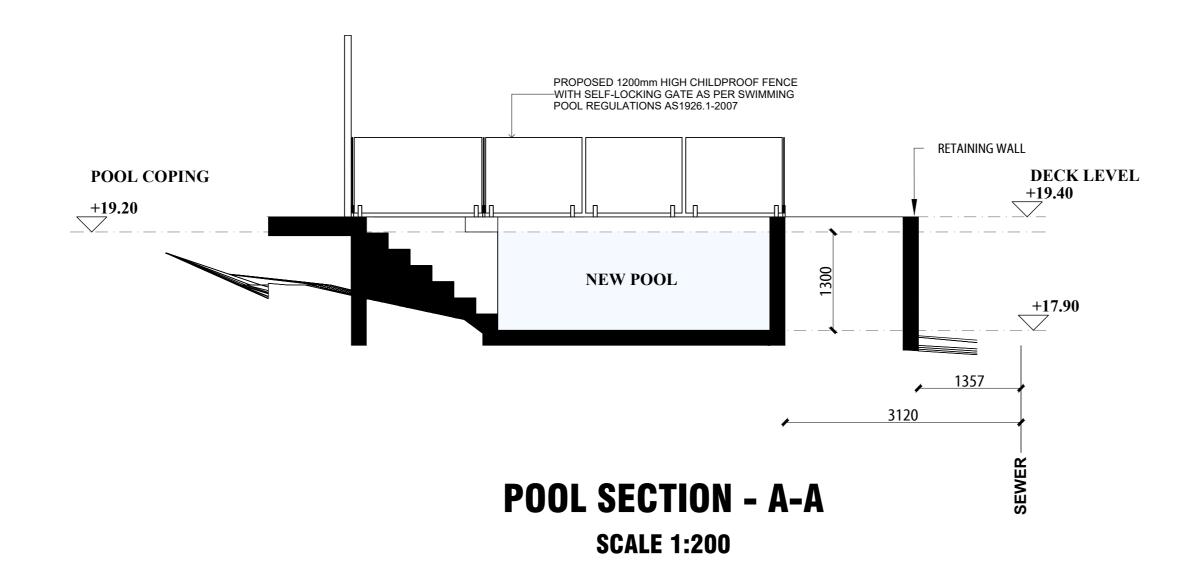
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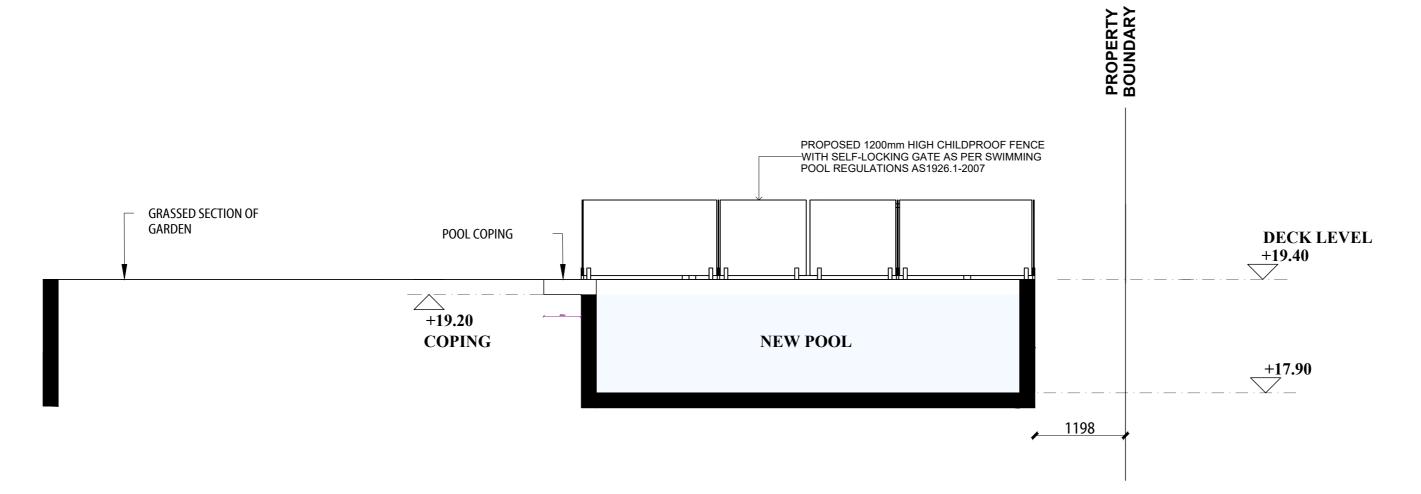
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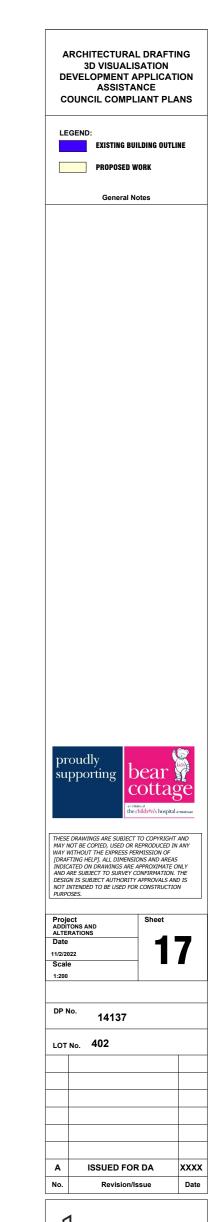




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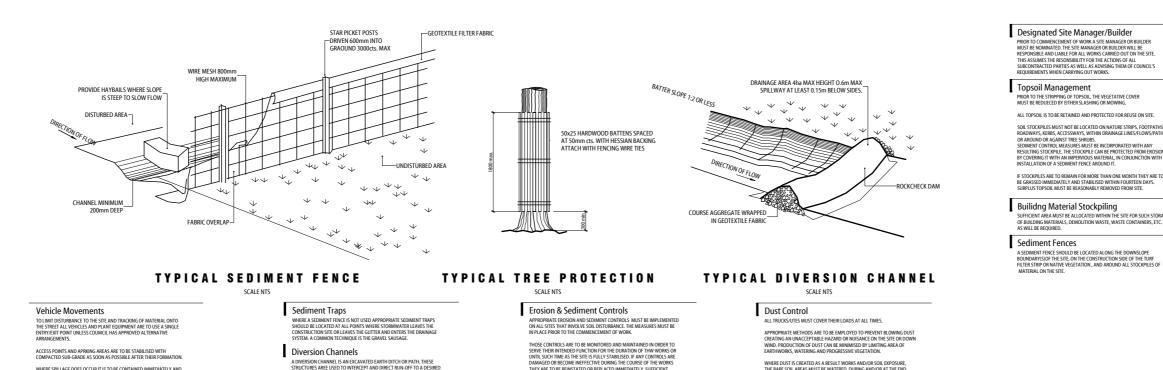
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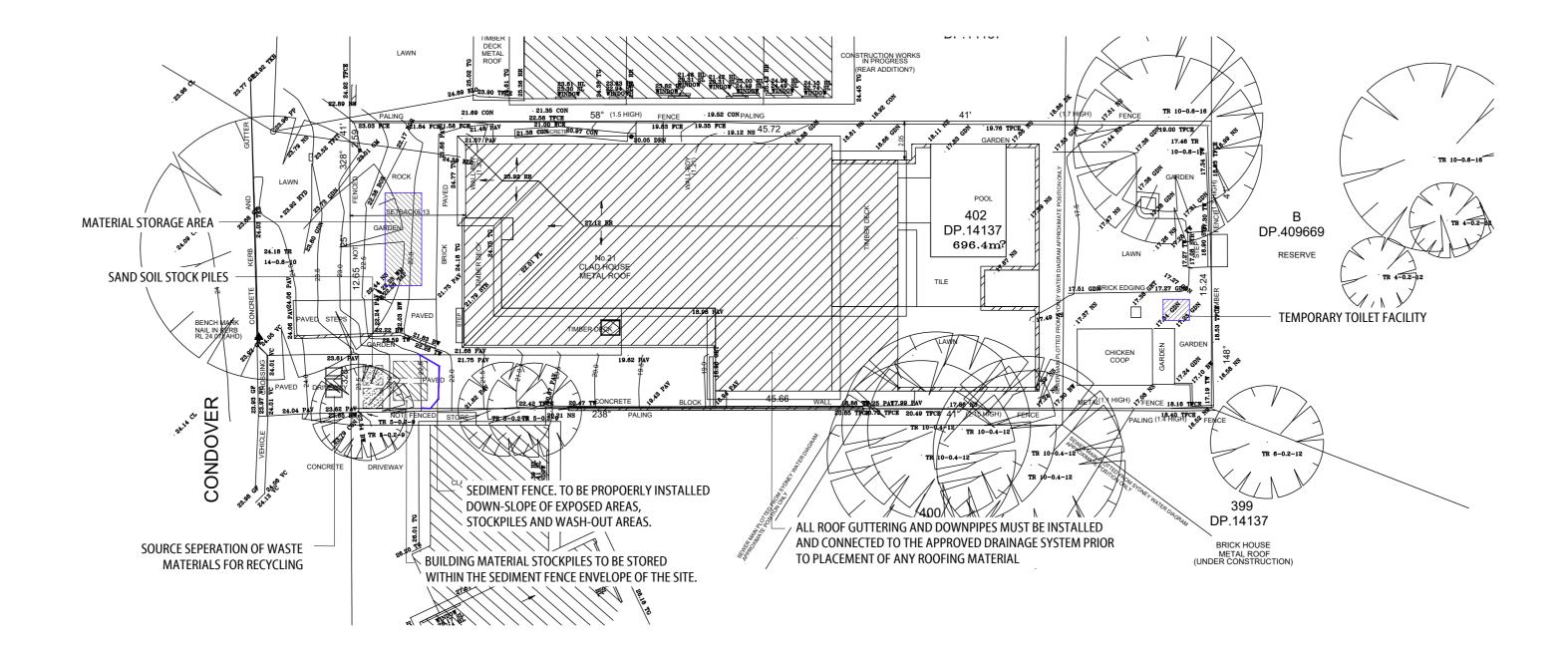




ARCHITECTURAL DRAFTING 3D VISUALISATION **DEVELOPMENT APPLICATION** ASSISTANCE COUNCIL COMPLIANT PLANS EXISTING BUILDING OUTLINE General Notes bear 🖁 cottage 14137 LOT No. 402 ISSUED FOR DA XXXX DRAFTING HELP www.draftinghelp.com.au 02 87763474 Project Name and Address **BEN & LORI MACOUN** 21 CONDOVER ST **NORTH BALGOWLAH** NSW 2093

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•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON

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SEDIMENT & EROSION CONTROL PLAN

GENERAL NOTES

SITE BEFORE WORK BEGINS

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ASSISTANCE COUNCIL COMPLIANT PLANS

EXISTING BUILDING OUTLINE

PROPOSED WORK

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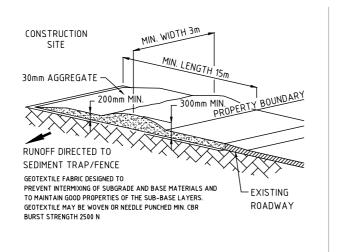


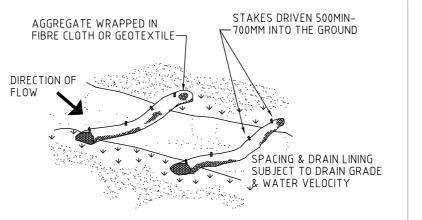
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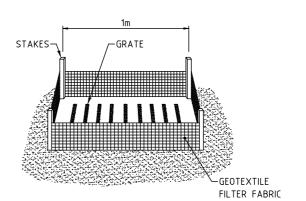
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Project Name and Address



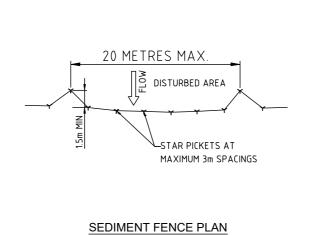


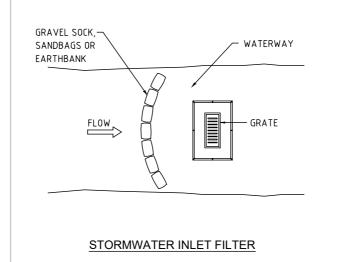


STABILISED SITE ACCESS

GRAVEL SOCK CHECK DAM

GEOTEXTILE STORMWATER INLET FILTER





Avoid contamination of stormwater with sediment. Use diversion devices to reduce the volume of stormwater reaching the disturbed area. On compact urban sites avoid overland flow through the work area by installing the final stormwater drainage system as early as possible in the construction process. Before installation of the final stormwater system, install an up-slope perimeter bank and catch drain connected to a temporary drop pipe, to take uncontaminated stormwater directly to the stormwater system. On steep sites, line catch drains with turf or geotextile fabric.

CONTROLLING CONTAMINATION ON SITE

Uncontaminated stormwater from the channel should discharge to the stormwater system. In some cases discharge onto non-erodable areas of land is permissible. Check with your local council. Do not allow discharge into neighbouring properties. Roof drainage must discharge to the stormwater system, unless rainwater is being harvested. Complete the final stormwater drainage system before the roof is installed. Connect using either temporary or permanent downpipes

POST-CONSTRUCTION AND EROSION CONTROL

Stabilise the site as soon as possible after construction, or while the last trades are finishing, to minimise the potential for ongoing soil erosion.

Turf lawns are commonly used to stabilise soil but their high water consumption can be an environmental burden. Native ground cover plants do the same thing with considerably lower water use. Avoid replacing native vegetation with turf.

protect soil and support plant growth. Mulch spread to a depth of
75-100mm minimises soil and water loss and controls weed growth. Mulch
may be less suitable on steep sites and in high wind areas.
Temporary, quick germinating grasses such as rye and oats can be used
to stabilise soil until slower growing plants can be established. This
method is only effective after the grass seeds have germinated and
established a root structure.

Semi permeable paving can be used to stabilise areas of the site. Avoid excessive use of hard surfaces that prevent stormwater being absorbed. Biodegradable erosion control mats are useful when revegetating steep slopes.

Integrate landscaping strategy with sediment control. For example, diversion channels and trenches that filter sediment can be used with rubble in the base to create a deep root planting opportunity.

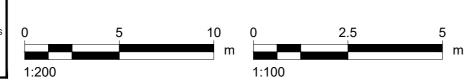
SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS

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3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

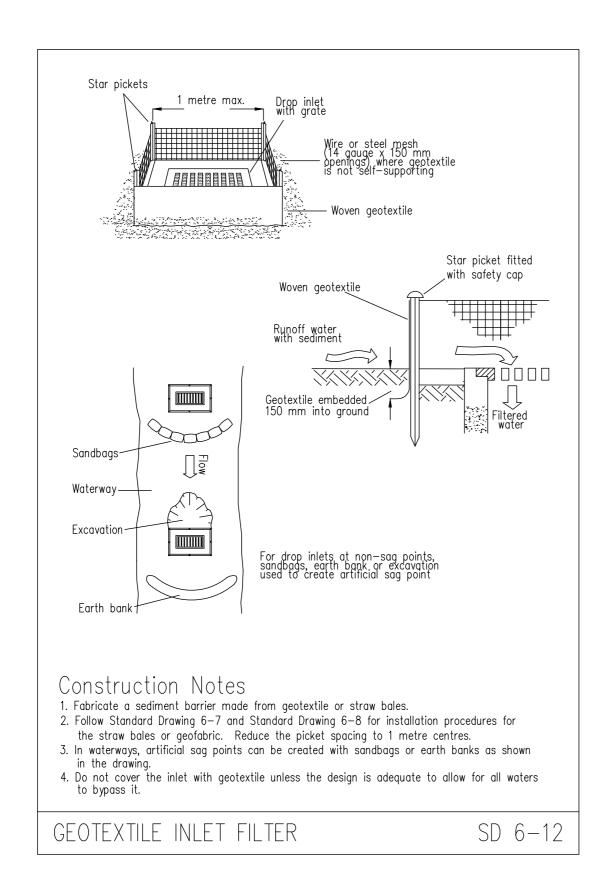
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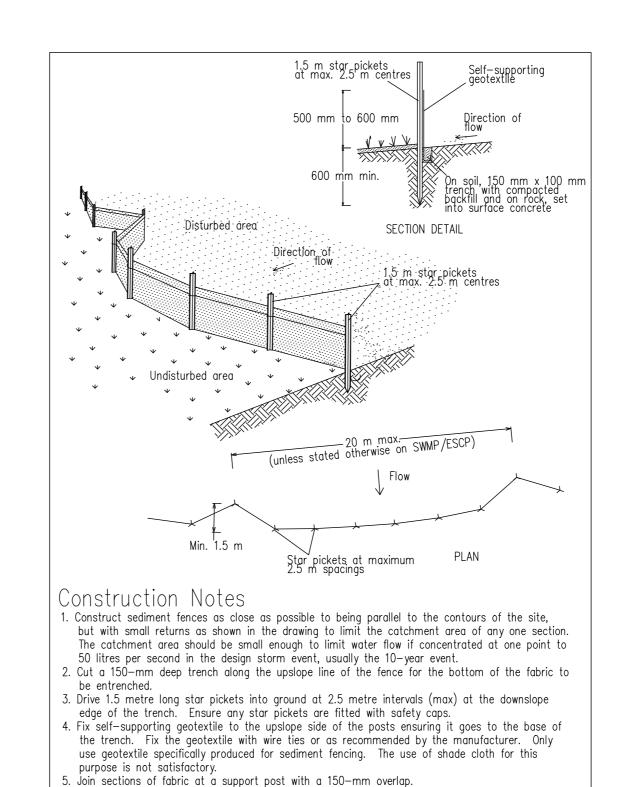


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6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

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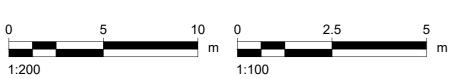
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GENERAL NOTES

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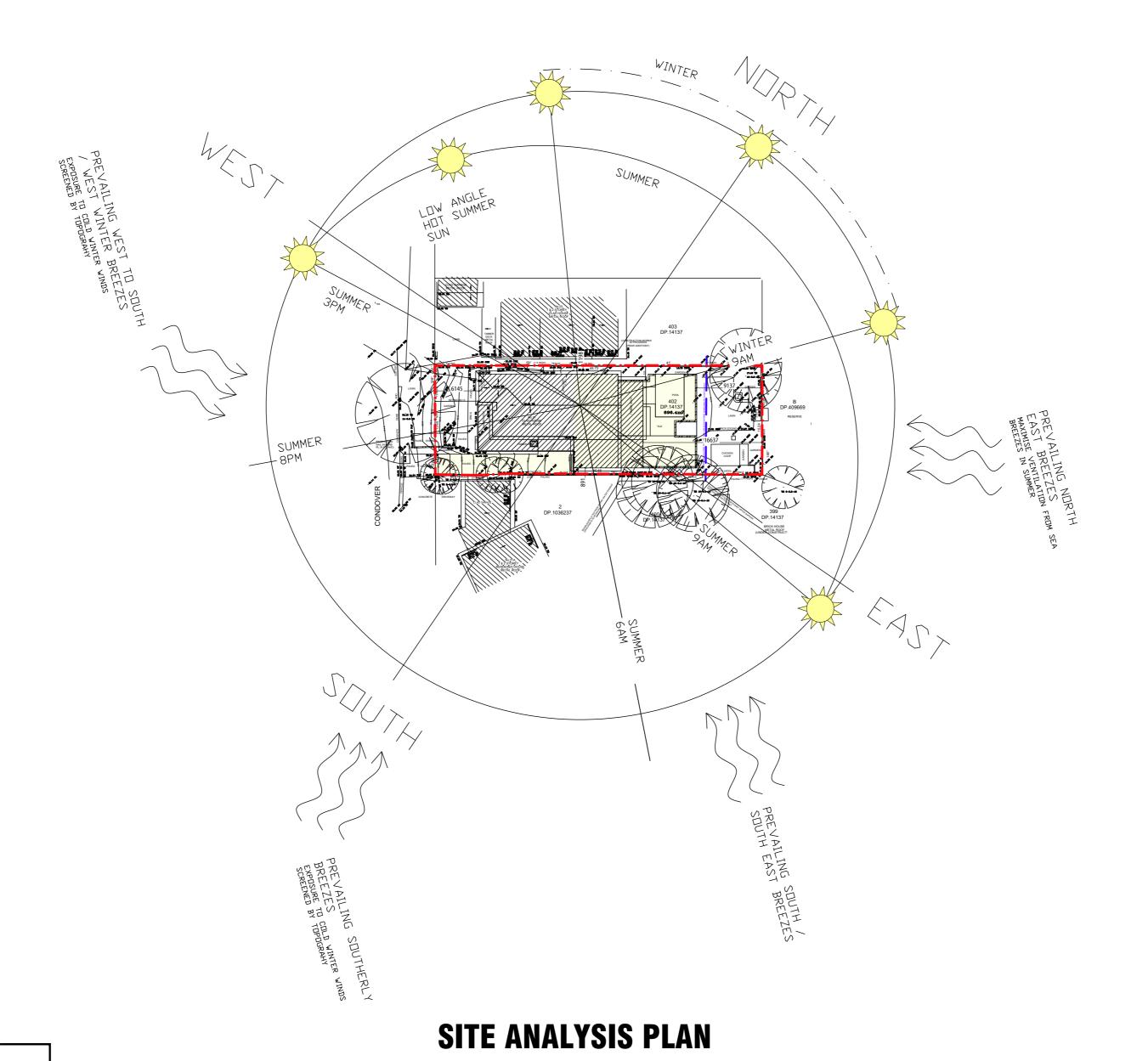
Project Name and Address

BEN & LORI MACOUN
21 CONDOVER ST

NORTH BALGOWLAH

NSW 2093

5/470 Sydney Rd Balgowlah 2093 NSW www.draftinghelp.com.au 02 87763474



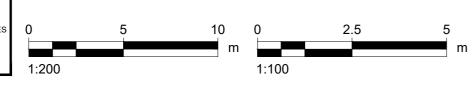
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Project Name and Address

PRELIMINARIES

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install proprietry products or systems in accordance with the published recommendations of the manufacturer or

Dimensions and Setout

Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

TERMITE PROTECTION

Termite protection to AS3660.1.

Use a physical barrier system installed by licensed installers to manufacturer's specification.

Obtain all relevant certification from licensed installers to the effect that these works have been executed in accordance with the BCA, Aust. Stds and relevant codes of practice.

SITE PREPARATION

Groundworks for slabs and footings to AS2870.

Demolition to AS2601.

Avoid erosion, contamination and sedimentation of the site, surrounding areas and drainage systems. Limit clearing of the Site to areas to be occupied by the Works, paving and landscaping. Grub out or grind stumps of all trees to be removed from the site.

EXCAVATIO

Excavate to give the levels and profiles required for construction, site services, paving and landscaping. Allow for compaction and settlement. Confirm bearing capacity for foundations is adequate. Provide even bearing surfaces for load-bearing elements including footings. Grade to ground surface externally to drain ground or surface water away from the buildings without ponding. Remove all loose material, debris and organic matter prior to placing fill, ground slabs and load-bearing elements. Compact the ground to achieve required density.

VAPOUR BARRIERS

All vapour barriers to AS2870.

Provide vapour barriers below all ground concrete slabs (if required) on sand blind surface sufficient to cover hard projections. Barriers to be minimum 0.2mm thick impact resistant polyethylene film. Provide ant-caps between any brick or stone piers and sub walls and

SERVICE TRENCHES

Excavate trenches as required to bring all services to the Works. Trenches to be straight between manholes, inspection points and junctions where practicable, of minimum depth required to adequately accommodate relevant service. Obtain inspection approvals where relevant prior to backfilling. Backfilling to be compacted to prevent subsidence.

CONCRETE CONSTRUCTION

Concrete structures generally to AS3600.
Ground slabs and footings to AS2870.
Ready-mixed concrete to AS1379.
All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required.
Compaction, curing and formwork stripping to comply with Aust. Stds and

TIMBER AND STEEL CONSTRUCTION

codes of practice.

All timber framing and flooring to A\$1684, A\$1720.1 where relevant. Structural steelwork to A\$4100. Preparation of metal surfaces to A\$1627. Flashing and damp-proof courses to A\$2904.

DOORS AND WINDOWS

All doors and windows generally to AS2047.1 as per door and window schedule.

To match existing upvc system throughout. Reuse existing doors and windows as

Install flashings, weather-bars, drips, storm moulds etc. to prevent water entering building between frames and the building structure. Install all door and window sets plumb, level, straight and true, adequately anchored and free of building loads and structural deflection.

LIMINICS

All plasterboard linings to AS2588, 13mm thick sheets to ceilings, 10mm thick sheets to walls. Moisture resistant plasterboard to be used in all wet areas.

All fibre cement linings to AS2908.2, walls - 9mm-thick sheets, suspended soffits -

9mm-thick sheets, floors - 18mm thick sheets.

All installation to AS2589.1. Linings to be fixed to framing at recommended spacing. Ensure all linings are level, plumb, straight and true as applicable.

Provide recessed edge sheets and finish flush with perforated reinforcing tape.

Provide flashings, trim and sealants to effectively waterproof wet areas. Provide timber trim as detailed and where necessary to make neat junctions between components and finishes. Provide Rondo stopping bead profile to ceiling planes.

WATERPROOFING AND WET AREAS

All waterproofing to AS3740. All liquid and sheet membrane systems to be specific for their intended purpose, installed to manufacturer's specification, property and effectively terminated at perimeters and drainage outlets. Provide certification by a credited certifier for waterproofing works prior to executing subsequent stages of Works. Provide a written guarantee for all waterproofing membranes of not less than 12 years.

TILING

All tiles to be cut to fit neatly around fixtures and fittings and at perimeters. Drill holes with damaging tile faces. Return tiles into sills, reveals, and opening. Butt up to returns, frames, fittings and other finishes. Distribute variations in hue, colour and pattern uniformly by mixing tiles or tile batches before laying. Allow beddings to set and attain working strength before opening areas to traffic. Set out tiles from the centre of floors and walls. Align joints between floors and walls where possible. Grade floor tiling even falls to floor wastes. Ensure level junctions to walls. Achieve minimum falls of 1 in 100 generally and 1 in 60 in shower wastes. Junctions between tiled floors and other materials to be finished with corrosion-resistant metal dividing strip fixed to the substrate. Do not compromise waterproof membrane. Bath cavities to be ventilated with min. 2 ventilation points.

FLOOR COATINGS AND COVERINGS

Polished concrete slab to be helicoptered burnish finish to Proprietor's specification.

Timber Floor coating to be 2 - 3 coats of Bona Mega (Silk Matt), applied using a Bona Roller or applicator. A coverage rate of 8 10m² / litre should be observed. Application to manufacturers specification.

PAINTINGAll painting AS2311 and paint manufacturer's specifications.

Clean off marks, paint spots and stains progressively.

Touch up damaged paintwork with original paint batch where possible.

Refer to finishes schedule for details of painted finishes.

Steelwork

Fabricate and erect all structural steelwork in accordance with Structural Engineer's drawings and specifications. Submit shop drawings to Designer and Engineer for approval before commencing fabrication. All welds to be free of slag. Remove all swarf from steelwork and surrounds immediately after it is deposited. All proprietry fixings to be compatible with steelwork finish. Obtain certification from Structural Engineer to the effect that these works have been executed satisfactorily.

Flooring and Decking Strip flooring to AS1684.

Particleboard sheet flooring to A\$1859.1, installed to A\$1860. Fibre-cement flooring to A\$2908.2. New timber decking to A\$2796.

Ensure building is sufficiently protected from weather prior to installing all strip- and sheet-flooring.

Decking

Timber deck in accordance with AS1684. Allow to fix select grade hardwood decking as supplied by Proprietor. All handling, storage, installation and finishing as recommended by the manufacturer. Allow for sufficient acclimatization prior to installation.

Wall framing

All framing to AS1684.

Provide additional noggings etc. where required to fix linings, cladding, hardware, fixtures, fittings and accessories.

Provide damp proof courses under bottom plate of external clad-frame walls on slabs or dwarf masonry walls. Provide flashings to all external openings sufficient to prevent entry of moisture and wind-driven rain and other precipitation.

MASONRY CONSTRUCTION

Masonry generally to A\$3700 and masonry units to A\$4455.

Provide ant-caps between any brick or stone piers sub walls and timber bearers.

INSULATION AND SARKING

Provide flexible membrane material normally used for waterproofing, vapour retarding or thermal reflective insulation.

All bulk insulation to AS3742, installed to AS3999.

All sarking material to AS4200.1.

Fit all botts tightly between framing members, and support securely. Provide vapour-permeable sarking under cladding which does not provide a permanent weatherproof seal, including boards or planks fixed in exposed locations where wind-driven rain can penetrate the joints. Apply to the outer face of external studs from top plate down over bottom plate and flashing. Run across studs and lap min. 150mm at joints. Provide roof sarking as part of roof insulation. Finish sarking at least 50mm clear of ridges.

ROOFING GUTTERING DOWNPIPES

new 150mm half-round guttering throughout with matching support brackets as selected

new 90mm dia downpipes as shown new roof tiles (as required to rear extended roof only) to match existing installed in acc with manufacturers specifications

installed in acc with manufacturers specifications existing roof tiles to be carefully removed for reuse to front extended roof

ROOF PLUMBING

All roof plumbing to AS2179.1 and AS2180.

All fasteners and mechanically fastened joints to be sealed with silicone sealant. Flashing projections above and through roofing with 2-part apron flashing and over-flashing, min. 100mm overlap. Allow for independent movement between roofing and projection. All cover and under-flashing materials to be electrolytically compatible with roof sheeting and rainwater goods. Provide minimum 0.48 BMT sheet steel cappings and fascias pre-formed to profiles indicated on details prior to delivery. All cappings and flashings to be in single, continuous lengths. All accessories and fixings as per sheet metal fabricator's recommendation. All guttering and roof sheeting to achieve minimum falls as per Aust. Stds and sheet metal manufacturer's recommendation.

CABINETRY

Allow to build in and fit off all sinks and tubs, and other plumbing fixtures to be supplied by Proprietor.

Allow to co-ordinate between electrical and plumbing trades during installation of all cabinetry.

ARCHITECTURAL METALWORK

All metalwork strictly to Structural Engineers specification where applicable and to Designer's details. Confirm all measurements on site before fabrication. Prefabricate components off-site where possible for on-site fixing. All work to be set into position truly plumb, square and level and secured to suit loadings in vertical and horizontal alianment.

PLUMBING DRAINAGE AND GAS INSTALLATIONS

All plumbing and drainage work strictly in accordance with AS3500. All gas installations to AS5601. Install piping in straight lines and to minimum uniform grades where required. Ensure all piping is installed to prevent vibration and water-hammer whilst permitting thermal movement. Prevent direct contact with incompatible metals. Lines in sub-floor spaces to be min. 150mm clear of ground level. Ensure adequate access for inspection and maintenance where required.

Stormwater and Wastewater

Use temporary covers during construction to openings and keep system free of debris. Flush system clean upon completion. Connect subsoil drains to groundwater drainage system. Laundry tub, washing machine and kitchen sink to be plumbed directly into drainage lines via dedicated charged waste. Do not plumb through floor waste.

Rainwater Storage

All plumbing and drainage work strictly in accordance with AS1273 / AS2179 / AS3500.

First flush devices to be fitted to all downpipes. All inlets and outlets to

Gas
Gas supply to be installed to Local Authority Requirements.On
completion of installation and testing, turn on isolation and control

valves and purge and charge the installation.

DOMESTIC ELECTRICAL AND MECHANICAL INSTALLATIONS

All domestic electrical works to AS3018.

be protected with suitable mosquito barrier.

All mechanical installations to A\$1668.

All telecommunications installations to A\$1501.8.

Provide switches, outlets and plates generally in accordance with wiring diagrams. Provide control switchgear, circuit breakers and earth leakage protection devices as required. Provide for installation of exhaust fans where required, appropriate to the use and size of the rooms to be ventilated. Connect and duct ceiling grilles to suitable, rainproof exterior outlets. Install smoke alarms as required by Aust. Stds and BCA.

Test all electrical installations, smoke alarms and mechanical ventilation prior to completion.

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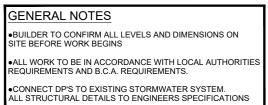
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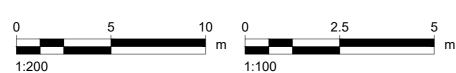
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Drafting Help Terms and Conditions

In these terms and conditions (Terms), Drafting Help means Drafting Help ACN: 621 017 007 and You means the person listed in the \mathbf{Q} uote (being the \mathbf{q} uote to which this document is attached) as the client of Drafting Help (and Your has a similar meaning).

You agree to, and will be bound by, these Terms upon the earlier of Your written or oral confirmation to Drafting Help to commence the Services (being the services specifically set out in the Quote, subject to any exclusions or assumptions in the Quote); and You making any payment to Drafting Help in connection with the Services. You agree that you have been given the opportunity to read and understand these Terms.

- 1. You have engaged Drafting Help to perform the Services and agree to pay Drafting Help the Fee (being the fee set out in, or calculated in accordance with, the Quote and these Terms) in accordance with these Terms. If, at any time, You seek to end or cancel these Terms prior to the f. Drafting Help is entitled to include limitation and disclaimer wording in all of the Deliverables to completion of the Services, without limiting Drafting Help's rights, Drafting Help may suspend the performance of the Services, and You must pay Drafting Help the balance of the Fee, immediately.
- 2. Subject to these Terms, Drafting Help will perform the Services with due care and skill.
- 3. You will pay the Fee in the manner, and at the times, set out in the Quote. If You do not comply with this paragraph, Drafting Help may immediately suspend the performance of the Services until such time as You have complied with this paragraph.
- 4. You will pay a default interest rate on any overdue payments at the rate of 18% per annum (calculated and compounding daily). This paragraph 4 survives termination of these Terms.
- 5. You will provide Drafting Help with all assistance, documentation, information and instructions requested by Drafting Help to enable Drafting Help to perform the Services (Input). If You do not comply with this paragraph, Drafting Help may itselfcarry out those activities at Your cost (calculated in accordance with the rates and prices set out in the Quote).
- 6. Drafting Help will not be held responsible for any error, defect, omission, fault, inconsistency, discrepancy or ambiguity in or between the designs or documents prepared by or on behalfof Drafting Help in (or incidental to) the performance of the Services (Deliverables), to the extent caused by Your failure to comply with, or any Input provided by or on behalf of You for the purpose of, paragraph 5. This paragraph 6 survives termination of these Terms.
- 7. If Drafting Help is asked to, or is required to perform:
- a. services or activities which are different, or in addition, to the Services, You will pay Drafting Help for those services and activities; and
- b. the Services in an order or sequence, or within a period of time, which is different to what Drafting Help had originally planned to perform those Services, You will pay Drafting Help the additional costs it suffers or incurs as a result of complying with the revised order, sequence or timing,
- in accordance with the rates and prices set out in the Quote (or, where those rates or prices are not applicable, in accordance with reasonable rates and prices determined by Drafting Help).
- 8. You acknowledge and agree that the Fee is subject to change (and may be increased) where any fee, contribution, charge or third party cost increases (or a new fee, contribution, charge or third party cost is introduced) after the date Drafting Help issued the Quote.
- 9. Despite anything to the contrary (to the maximum extent permitted by law):
- a. Drafting Help excludes all terms implied by statute, in fact, at law or on any other basis;
- b. You acknowledge and agree that Drafting Help and its employees and consultants are not registered architects, engineers or surveyors;

- third party will be permitted to use or rely upon the Deliverables, and Drafting Help will not be liable or responsible for any use, reliance or adaptation of the Deliverables;
- d. You acknowledge and agree that the Services and the Deliverables are subject to inherent limitations having regard to the nature and the scope of the Services, and the circumstances in which they have been commissioned and are to be delivered (and, specifically, the Deliverables are not, and are not intended to be, plans or drawings for construction and should not be used or relied upon for this purpose);
- e. You acknowledge and agree that Drafting Help is not liable or responsible for any work or services carried out or performed by any third party, including in relation to any survey, report, plan or drawing which Drafting Help relied upon, used, adopted or modified (directly or indirectly) in the performance of the Services;
- the foregoing effect;
- g. in no event will Drafting Help be liable or responsible for any claim (or cost, expense, liability, loss or damage) caused or contributed to by any act or omission of You or any third party;
- h. in no event will Drafting Help be liable or responsible for economic loss, loss of contract or goodwill, loss of profit or revenue, loss of business opportunity, loss of use, loss of reputation, loss ofdata, loss ofproduction or production stoppage, financing or holding costs, increased expenses of operation or any indirect or consequential loss; and
- i. Drafting Help's total liability arising out ofor in connection with the Quote, these Terms, the Services and the Deliverables will not exceed the Fee (in aggregate),

and these limitations and exclusions will apply whether the claim is based on breach of contract, tort (including negligence), under any warranty, under any indemnity, under statute, in equity or otherwise. This paragraph 9 survives termination of these Terms.

- 10. Drafting Help will retain ownership in all intellectual property rights (including moral rights and copyright) in or arising from the Services and the Deliverables, and You (and any of Your contractors or consultants) must not do anything which may infringe any of those intellectual property rights or the intellectual property rights of third parties (and, if any infringement does arise, You will indemnify Drafting Help for any loss or liability it suffers or incurs as a result). This paragraph 10 survives termination of these Terms.
- a. You are in breach of these Terms, and You fail to rectify the breach within 14 days after being notified by Drafting Help; or
- b. the Services are not completed by [insert date] as a result or consequence of (directly or indirectly) any event or circumstance which is beyond Drafting Help's reasonable control,
- Drafting Help may (without limiting its rights at law) terminate these Terms and You will be obliged to pay the balance of the Fee to Drafting Help immediately. This paragraph 11 survives termination of these Terms.
- 12. If You have any issue or concern in relation to the Services or Deliverables, You must raise those issues or concerns to Drafting Help in writing within 7 days of first becoming aware of the issue or concern. If You do not comply with this paragraph, to the maximum extent permitted by law, You will have no claim against Drafting Help (and You release and discharge Drafting Help from any such claim). This paragraph 12 survives termination of these Terms.
- 13. No provision of these Terms will be construed adversely to Drafting Help because Drafting Help was responsible for the preparation of these Terms.
- c. You acknowledge and agree that the Services are performed solely for Your benefit, and that no

 14. The Quote and these Terms constitute the entire agreement between Drafting Help and You in connection with the Services and the Deliverables, and prevail over and supersede all other communications or documentation entered into or exchanged between the parties.
 - 15. These Terms are governed by the law in New South Wales, and each party irrevocably submits to the non-exclusive jurisdiction of courts exercising jurisdiction in New South Wales.



ARCHITECTURAL DRAFTING 3D VISUALISATION DEVELOPMENT APPLICATION ASSISTANCE COUNCIL COMPLIANT PLANS

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Project ADDITONS AND ALTERATIONS	Sheet
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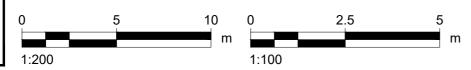
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•CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1214 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	~	~	~
The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area.		✓	~
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		V	~
Outdoor swimming pool			
The swimming pool must be outdoors.	V	V	V
The swimming pool must not have a capacity greater than 50 kilolitres.	V	V	1
The swimming pool must have a pool cover.		V	~
The applicant must install a pool pump timer for the swimming pool.		V	V
The applicant must install the following heating system for the swimming pool that is part of this development: gas.		V	~

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: gas instantaneous.	V	V	V
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		~	~
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		V	V
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		~	~
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		1	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered the table below, except that a) additional insulation is not required for parts of altered construction with the construction of the const	ion is not required where the area of new constr		√	V	V
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)				
suspended floor above garage: framed (R0.7).	nil				
floor above existing dwelling or building.	nil				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
internal wall shared with garage; plasterboard (R0.36) $$	nil				
flat ceiling, pitched roof	ceiling: R1.20 (up), roof: foil backed blanket (55 mm)	light (solar absorptance < 0.475)			
raked ceiling, pitched/skillion roof: framed	ceiling: R1.50 (up), roof: foil backed blanket (55 mm)	light (solar absorptance < 0.475)			

01							Chaman	Chaman	Cartif
Glazing requi	irements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and	glazed do	ors							
					ading devices, in accordance with t each window and glazed door.	he specifications listed in the table below.	√	√	~
The following re	equirements r	nust also	be satisfie	ed in relation	to each window and glazed door:			✓	~
have a U-value	and a Solar I	Heat Gain	Coefficie	nt (SHGC) n		d glass may either match the description, or, e below. Total system U-values and SHGCs		✓	✓
have a U-value must be calcula	and a Solar lited in accord	Heat Gain	Coefficie National	nt (SHGC) n Fenestration	o greater than that listed in the table	or glazing, or toned/air gap/clear glazing must be below. Total system U-values and SHGCs The description is provided for information		✓	✓
					each eave, pergola, verandah, bald han 2400 mm above the sill.	cony or awning must be no more than 500 mm	~	✓	~
Pergolas with p	olycarbonate	roof or si	milar trans	slucent mater	rial must have a shading coefficient	of less than 0.35.		✓	✓
					window or glazed door above which must not be more than 50 mm.	th they are situated, unless the pergola also		✓	✓
Overshadowing specified in the					t and distance from the centre and	the base of the window and glazed door, as	✓	✓	✓
Windows an	d glazed d	loors gl	azing re	quiremen	its				
Window / door		Area of		_	Shading device	Frame and glass type			
no.		glass inc. frame (m2)	Height (m)	Distance (m)					
W1	N	1.08	0.78	2.1	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W2	N	1.08	0.78	2.1	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			

Glazing requ	irements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door	Orientation	Area of	Oversha	dowing	Shading device	Frame and glass type			
no.		glass inc. frame (m2)	Height (m)	Distance (m)					
W3	N	1.08	0.78	2.1	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W4	N	1.88	2.18	2.1	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W5	N	1.5	3.43	2.1	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W6	N	1.2	3.43	2.1	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W7	N	0.72	4.03	2.1	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W8	E	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W9	E	5.76	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W10	W	1.08	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
D2	E	3.75	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D3	E	13.65	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D4	E	10.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D5	w	3.57	0	0	awning (fixed) >=900 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
D6	W	3.57	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS •ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.

•CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

0	5	10	0	2.5	5
		m		2.0	m
1:200			1:100		

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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes



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Project Name and Address