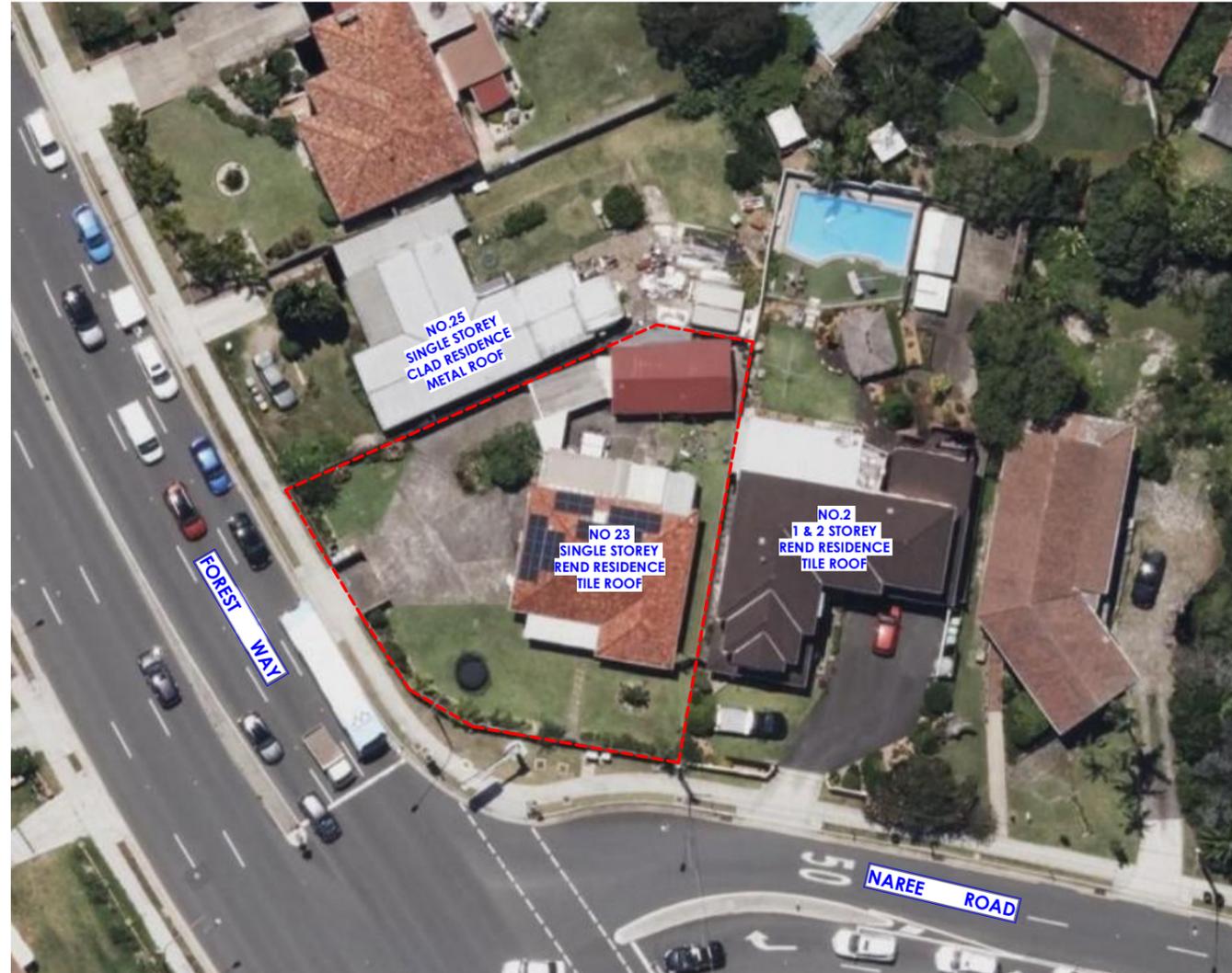


# DEVELOPMENT APPLICATION (DA) FOR DEMOLITION OF EXISTING SINGLE STOREY GARAGE AND CONSTRUCTION OF A DETACHED SECONDARY DWELLING AT 23 FOREST WAY, FRENCHS FOREST, NSW 2086 LOT B & DP 377587



PROJECT	23 Forest Way , Frenchs Forest,		
BASIX NOTES: DWELLING (Granny Flat)			
ITEM	TYPE	INSULATION / RATING/ SIZE	
FLOOR	CSOG	N/A	
EXTERNAL WALL	BRICK VENEER	R 2.0	
ROOF	METAL DECK ROOF	R 1.3	
CEILING	FLAT	R 4.0	
WINDOWS	ALUMINUM FRAME -CLEAR GLASS	WINDOW TYPE	U VALUE
		Aluminium B SG Clear	6.7
			SHGC
			0.7
WATER	ALL SHOWER HEAD	4 STAR	
	ALL TOILET FLUSHING SYSTEMS	4 STAR	
	ALL KITCHEN TAPS	4 STAR	
	ALL BATH ROOM TAPS	4 STAR	
	RAINWATER TANK	1000L	
ENERGY	HOT WATER SYSTEMS	GAS INSTANTANEOUS 5 STAR	
	AIR CONDITION	1 PHASE 2.5 STAR AVERAGE ZONE	
	COOKING	GAS COOKTOP ELECTRIC OVEN	
	LIGHTING	LED	
ALTERNATIVE ENERGY	PHOTOVOLTAIC SYSTEM	n/a	

## ARCHITECTURAL DRAWING LIST

SHEET NO.	SHEET NAME	REVISION	ISSUE DATE
A01	COVER SHEET	C	22/04/2025
A02	GENERAL NOTES	C	22/04/2025
A03	SITE SURVEY	C	22/04/2025
A04	DEMOLITION PLAN	C	22/04/2025
A05	SITE PLAN & SITE ANALYSIS	C	22/04/2025
A06	GROUND FLOOR PLAN	C	22/04/2025
A07	ROOF PLAN & DOORS/WINDOWS SCHEDULE	C	22/04/2025
A08	ELEVATIONS & SECTIONS	C	22/04/2025
A09	SHADOW DIAGRAM - SHEET 1	C	22/04/2025
A10	SHADOW DIAGRAM - SHEET 2	C	22/04/2025
A11	SHADOW DIAGRAM - SHEET 3	C	22/04/2025
A12	NOTIFICATION PLAN	C	22/04/2025
A13	BASIX & NATHERS CERTIFICATE - SHEET 1	C	22/04/2025
A14	BASIX & NATHERS CERTIFICATE - SHEET 2	C	22/04/2025

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- Where services drawings are required, those drawings/details precedence over Architectural drawings.
- All services to be located and verified by the builder with the relevant Authorities prior to the commencement of any building work.

CLIENT: Mr. Jasbir Dayal & Mrs. Kamaljit Kaur

PROJECT ADDRESS:  
23 FOREST WAY, FRENCHS FOREST, NSW 2086

THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION ONLY

DRAWING TITLE:

COVER SHEET

PROJECT No: 2342  
SCALE: AS NOTED @ A3

ISSUE	AMENDMENT	DATE
A01		
A	PRELIMINARY ISSUE	25/03/2025
B	DRAFT DA SET	26/03/2025
C	ISSUED FOR DA	22/04/2025
N		



**BUILDING DESIGN SAFETY NOTES**  
**THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THIS PROJECT.**  
**THIS INCLUDES (BUT IS NOT LIMITED TO): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, OPERATORS, MAINTAINORS, RENOVATORS, DEMOLISHERS ETC.**

**1. FALLS, SLIPS & TRIPS**

**A) WORKING AT HEIGHTS**

- During Construction  
Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than 2 m. However, construction of this building will require workers to be working at heights where a fall in excess of two meters is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two meters is a possibility.
- During operation or maintenance  
For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two meters is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

**B) SLIPPERY OR UNEVEN SURFACES**

All the floor finishes have been selected by the Builder/Owner. The Architect has not been involved in the selection of surface finishes. The owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

**C) STEPS, LOOSE OBJECTS AND UNEVEN SURFACES**

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to the workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

**2. TRAFFIC MANAGEMENT**

**A) FOR BUILDING ON A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING ROAD:**  
Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

**B) FOR BUILDING WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED:**  
Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of the loading areas and trained traffic management personnel should be adopted for the work site.

**3. FALLING OBJECTS**

**A) LOOSE MATERIALS OR SMALL OBJECTS**

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below:

- Prevent or restrict access to areas below where the work is being carried out.
- Provide toeboards to scaffolding or work platforms.
- Provide protective structure below the work area.
- Ensure that all persons below the work area have Personal Protective Equipment (PPE).

During Construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should insure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

**B) BUILDING COMPONENTS:**  
Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

**4. MANUAL TASKS**

Components within this design with a mass excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specifications.

**5. SERVICES**

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous materials. Existing services are located on and around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

**A) LOCATIONS WITH UNDERGROUND POWER:**

Underground power lines may be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

**B) LOCATIONS WITH OVERHEAD POWER LINES:**

Overhead power lines may be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright colored tape or signage should be used or a protective barrier provided.

**6. HAZARDOUS SUBSTANCES**

**A) ASBESTOS**

For alterations to a building constructed prior to 1990: 1990 - it therefore may contain asbestos  
1983 - it therefore is likely to contain asbestos

Asbestos can be in cladding material or in fire retardant insulation material. In either case, the Builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

**B) POWDERED MATERIALS**

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear PPE including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

**C) TREATED TIMBER**

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, maintenance or demolition should ensure good ventilation and wear PPE including protection against inhalation of harmful materials when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

**D) VOLATILE ORGANIC COMPOUNDS**

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. PPE may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

**E) SYNTHETIC MINERAL FIBRE**

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with skin, eyes or other sensitive parts of the body. PPE including protection against inhalation of harmful materials should be used when installing, removing or working near bulk insulation material.

**F) TIMBER FLOORS**

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. PPE may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

**7. PUBLIC ACCESS**

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

**8. HIGH RISK ACTIVITY**

All electrical work should be carried out in accordance with the code of Practice: Managing Electrical risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using plant should be carried out in accordance with Code of Practice: Managing risks of plant at the workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

**9. CONFINED SPACES**

**A) EXCAVATION**  
Construction of this building and some maintenance on this building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical adequate support for the excavation area should be provided to prevent collapse. Warning signs and barriers to prevent unauthorised access to all excavations should be provided.

**B) ENCLOSED SPACES**  
For buildings with enclosed spaces where maintenance or other access may be required. Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

**C) SMALL SPACES**  
For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

**10. OPERATIONAL USE OF BUILDING - RESIDENTIAL BUILDINGS**

This building has been designed as a residential building. If, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

LEGEND	
AC	Air Conditioner as per BASIX
BC	Brick Column
BG	Box Gutter
BM	Bench Mark
CSD	Cavity sliding door
DP	Down Pipe
DPR	Down Pipe with Rain Water Head
DPS	Down Pipe with spreader
DW	Dishwasher
EG	Eaves Gutter
GM	Gas Meter
GSIP	Grated Surface inlet Pit
H	Hydrant
HWS	Hot water unit as per BASIX
JB	Junction Pit
KIP	Kerb inlet Pit
MH	Manhole
MV	Microwave
NS	Natural Surface
PC	Pram Crossing
RWT	Rain water tank as per BASIX
S	Sewer
T	Tree
TEL	Telstra Pit
VC	Vehicle crossing
WM	Washing Machine
WMT	Water Meter

SYMBOLS	
Smoke Alarm	
Mechanical Vent	
Floor Waste	
Set-out point	
Fall	
Slab step	
Tap water	
Tap Gas	
Tap	
Man Hole	

**NOTES**

The following building elements need to be installed as per manufacturers specifications and requirements.

- Roofing
- Capping
- Gutters
- Fascias
- Eaves
- Flashings
- Downpipes
- Brick veneer
- Aluminium Doors & Windows
- Panel lift doors
- Hot water system-mounted on brick wall with recessed kit.
- Air Conditioner
- Solar panels & inverters
- Rain water tank
- Smoke alarms
- Mechanical vents
- Fence

**Building Specifications – NCC 2022 – ABCB Housing Provisions**

**Site preparation:**  
**Termite risk Management** - Termite management system to be provided in accordance with HP Part 3.5 and AS 3660.1 and/or AS 3660.3.  
**Drainage** - Drainage to site to comply with HP Part 3.3 OR AS/NZS 3500.3 in accordance with NCC 2022 H2D2.  
**Masonry - Vertical articulation joints** - Masonry articulation joints to be provided as specified in HP 5.6.8 or AS 4773.2 or AS 3700.  
**Frame** - Timber Frames & Trusses – Designed and constructed to AS/NZS 1170.1 – 2002, AS/NZS 1170.2 – 2021, AS 1684.2 – 2021, AS 1720.1 – 2010, AS 1720.5 – 2015 and AS 4440 -2004 -Installation of nailplated timber roof trusses.  
**Frame - Steel Frames** - Designed and constructed to NASH Part 1 & 2, AS 4100 & AS/NZS 4600.  
**Subfloor ventilation** - Sub-floor ventilation and clearance compliance with NCC Housing Provisions Part 6.2.  
**Gutters & downpipes** - Downpipes & Gutters to comply with NCC Housing Provisions Part 7.4 OR AS/NZS 3500.3.  
**Timber and composite wall cladding** - Cladding material to be in accordance with HP Part 7.5 OR for AAC-AS 5146.1 OR for metal wall cladding AS 1562.1.  
**Roof and wall cladding** - All Roof and wall cladding to be designed and installed in accordance with NCC 2022 H1D7.  
**Glazing** - All glazing to be in accordance with H1D8 & H2D7 of the NCC Volume Two, Section 8 of the Housing Provisions & Australian Standards AS 1288, 2047, 4055. (Basix requirements to be addressed also)  
**Health and amenity:**  
**Wet area waterproofing** - Wet area in accordance with H4D1, H4D2 & H4D3 of the NCC Volume Two and Part 10.2 of the Housing Provisions OR Clauses 10.2.1 to 10.2.6 & 10.2.12 and AS 3740.  
**Floor Waste - Wet Area** - All provided floor waste to have floor falls to them between 1:50 – 1:80 as per NCC Housing Provisions Clause 10.2.12.  
**External waterproofing** - External waterproofing for roofing systems on flat roofs, roof terraces, balconies and terraces and other similar horizontal surfaces located above internal spaces of a building compliant with NCC Volume 2 H2D8 & AS 4654.1 & 2.  
**Condensation management:**  
**External wall construction** - Where pliable building membrane in installed in an external wall it is comply with HP 10.8.1 and AS 4200.1 & 2.  
**Exhaust systems:**  

- The bathroom &/or sanitary compartment/s with an exhaust system and NOT provided with complaint natural ventilation must be interlocked to rooms light switch and have off timer set for 10 minutes after the light is switched off.
- The room/s with an exhaust system and not provided with compliant natural ventilation must be provided with make-up air from adjacent room of 14,000mm2 which is approx. a 20mm undercut of a 700mm door or 18mm from an 820mm door.
- The exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of— (a) 25 L/s for a bathroom or sanitary compartment; and (b) 40 L/s for a kitchen or laundry.

**Ventilation of roof spaces** - In climate zones 6, 7 & 8 a roof space must be ventilated in accordance with HP Part 10.8.3.  
**Safe movement and access:**  
**Stairway and ramp construction** - Stairways and ramps to be constructed to HP Part 11.2.  
**Barrier and handrails:**  

- Barrier and handrails to be constructed to HP Part 11.3.
- Handrail to stairs having a change in elevation exceeding 1m required to be provided at a height not less than 865mm to NCC Housing Provisions Clause 11.3.5.
- Bedroom windows where the FFL is 2m or more above the surface beneath are to have window restrictors OR screens (crim-safe style mesh) installed as per NCC Housing Provisions Clause 11.3.7.
- Windows other than bedroom with FFL 4m or more above adjacent surface to have sill or barrier minimum 865mm above FFL as per NCC Housing Provisions Clause 11.3.8.

**HP = ABCB Housing Provisions**  
**Disclaimer: Please refer the appropriate NCC, Housing Provisions, Australian Standards for full details**

**• ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL & STORMWATER DESIGN, DRAWINGS AND DETAILS PREPARED BY THE ENGINEER**

**• ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE BASIX & NATHERS CERTIFICATE**

**ALL BUILDING WORKS TO COMPLY WITH:**

- NCC VOLUME 2 BUILDING CODE OF AUSTRALIA 2022
- HOUSING PROVISIONS STANDARD 2022
- ALL RELEVANT AUSTRALIAN STANDARDS (INCLUDING AMENDMENTS)



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 NSW ARCHITECT REGISTRATION NO.11754

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**CLIENT: Mr. Jasbir Dayal & Mrs. Kamaljit Kaur**

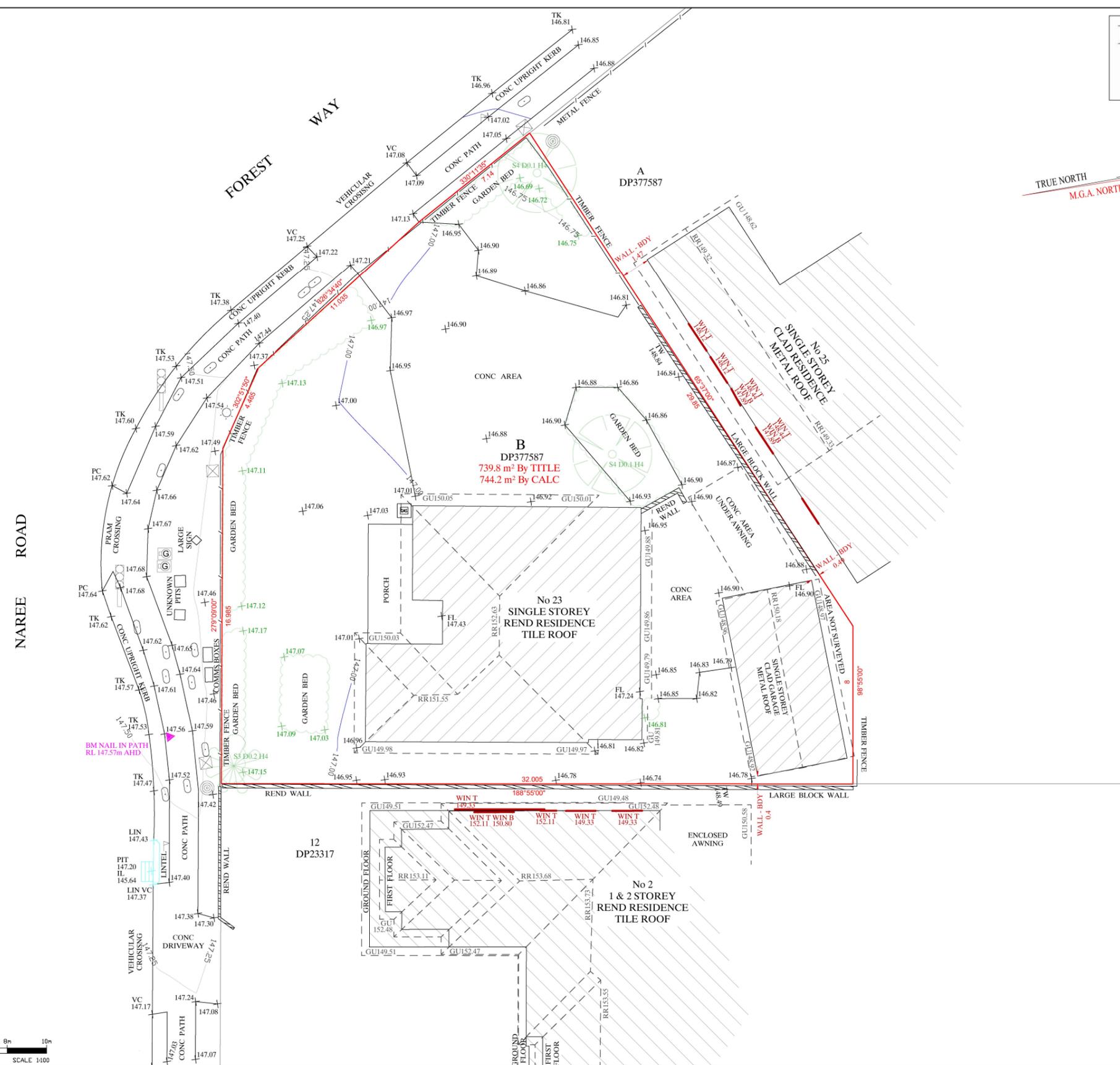
**PROJECT ADDRESS: 23 FOREST WAY, FRENCHS FOREST, NSW 2086**

**THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION ONLY**

**DRAWING TITLE: GENERAL NOTES**

**PROJECT No: 2342**  
**SCALE: AS NOTED @ A3**

A02	ISSUE	AMENDMENT	DATE			
				A	PRELIMINARY ISSUE	25/03/2025
				B	DRAFT DA SET	26/03/2025
C	ISSUED FOR DA	22/04/2025				



I HEREBY CERTIFY THE BOUNDARIES SHOWN HEREON ARE TRUE AND CORRECT AT THE TIME OF SURVEY AND ARE SURVEYED BOUNDARIES.

*T. Sigley*

SIGNED: TIMOTHY J. SIGLEY  
REGISTERED LAND SURVEYOR: SU1009054  
SURVEYING & SPATIAL INFORMATION ACT 2002



PROJECT No: **25031**  
SHEET 1 of 1

DETAIL & CONTOUR SURVEY  
LOT B IN DP377587  
No. 23 FOREST WAY FRENCHS  
FOREST 2086  
LGA: NORTHERN BEACHES

CLIENT: JASBIR S. & KAMALJIT K. DAYAL  
FIELD: RH DRAFT: RH ORIGIN OF LEVELS:  
APPROVED: TJS PM6975 RL 147.316m  
SURVEY DATE: 12.02.25 CONTOURS: 0.25  
DATUM: AHD SCALE: 1:100 @ A1

SYMBOLS:  
KERB OUTLET  
TEL COMMS PIT  
POWER POLE  
LIGHT POLE  
MANHOLE

WATER METER  
WATER HYDRANT  
SEWER LAMP HOLE  
VENT  
GARRAGE BIN  
SIGN

STOP VALVE  
GAS MAIN  
GAS PIT  
SEWER VENT  
ELECTRIC BOX  
TRAFFIC LIGHT

TRAFFIC PIT  
ELECTRIC PILLAR  
SEWER MAIN  
TENANCE SHAFT  
INSPECTION PIT

ABBREVIATIONS:  
BB BOTTOM OF BANK  
BOL BOLLARD  
BM BENCHMARK  
BK BACK OF KERB  
DG DUTCH GABLE  
EAV EAVE  
EB EDGE OF BITUMEN  
FL FLOOR LEVEL  
GU TOP OF GUTTER  
IL INVERT LEVEL  
KU KERB OUTLET  
PC PRAM CROSSING  
PI PIPE INVERT  
PO PIPE OVERT

RR ROOF RIDGE  
TB TOP OF BANK  
TK TOP OF KERB  
TW TOP OF WALL  
VC VEHICULAR CROSSING  
PIV PIPE INVERT  
WIN B BOTTOM OF WINDOW

Notes: Boundaries must be defined prior to any construction. Appropriate authorities must be contacted prior to construction. Approximate area shown only. Bearings relate to north point in red. Accuracy of features on this plan must be verified by "Radon Associates" prior to use for any purpose other than survey purpose. Features include but not limited to trees, pits, buildings, services and other improvements. Only visible services have been located. Contours and spot heights indicate general topography only. Tree spreads & trunk diameters shown are diagrammatic only and tree heights are estimated. Only visible improvements/services will be shown. Survey correct to date shown as "survey date". Information contained in this plan belongs to "Radon Associates" and may not be distributed in any way or form without prior permission from "Radon Associates", this survey is supervised by registered surveyor Timothy J. Sigley, SU1009054. This note is an integral part of this plan including subsequent sheets.

REVISION	DATE	COMMENT
00	21.02.2025	ORIGINAL

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**GENERAL NOTES:**

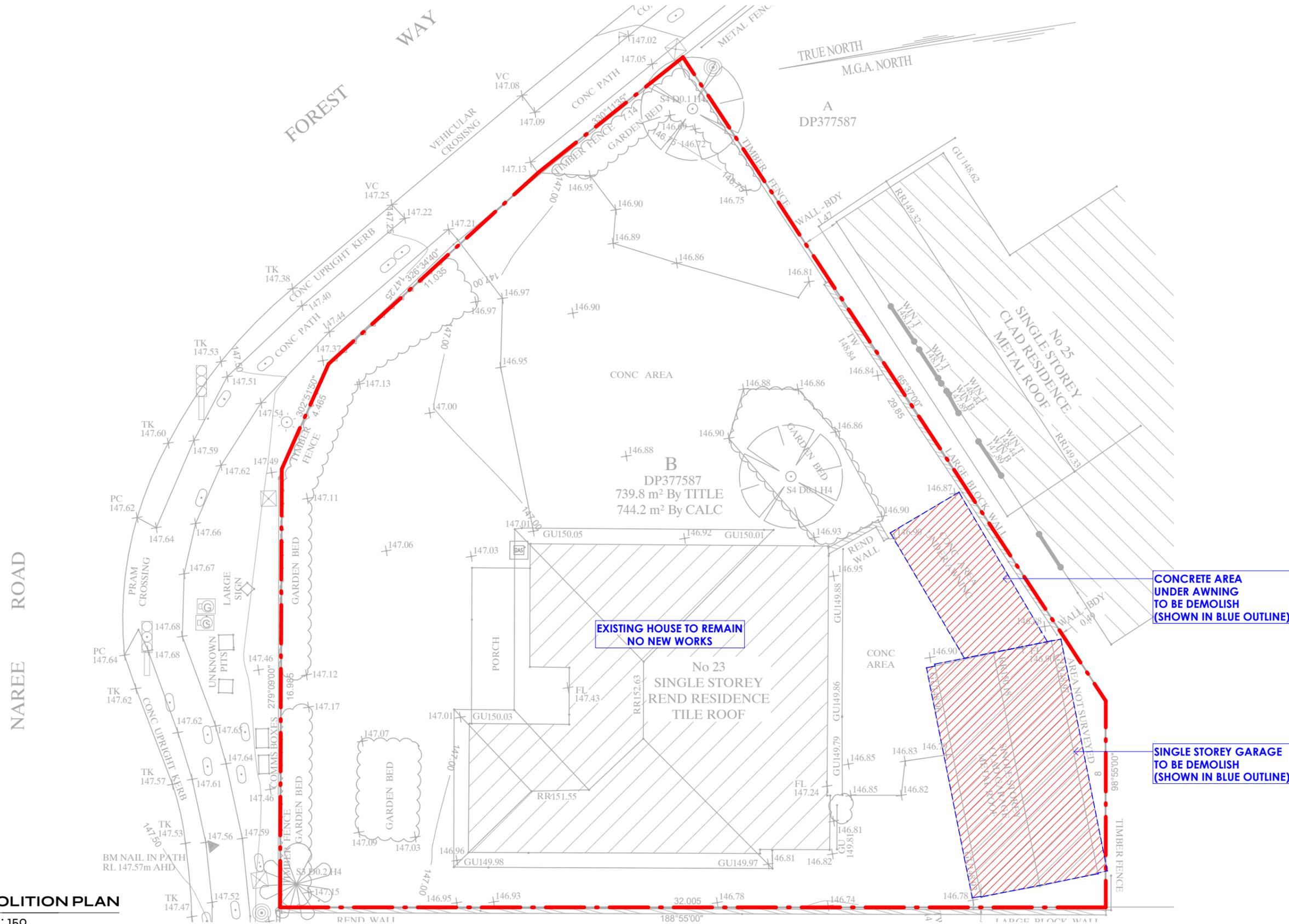
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PROJECT ADDRESS:  
23 FOREST WAY, FRENCHS FOREST, NSW 2086  
THESE DRAWINGS HAVE BEEN ISSUED FOR  
DEVELOPMENT APPLICATION ONLY

DRAWING TITLE:  
SITE SURVEY  
PROJECT No: 2342  
SCALE: AS NOTED @ A3

A03 C	ISSUE	AMENDMENT	DATE
	A	PRELIMINARY ISSUE	25/03/2025
	B	DRAFT DA SET	26/03/2025
	C	ISSUED FOR DA	22/04/2025



**EXISTING HOUSE TO REMAIN  
NO NEW WORKS**

**CONCRETE AREA UNDER AWNING  
TO BE DEMOLISH  
(SHOWN IN BLUE OUTLINE)**

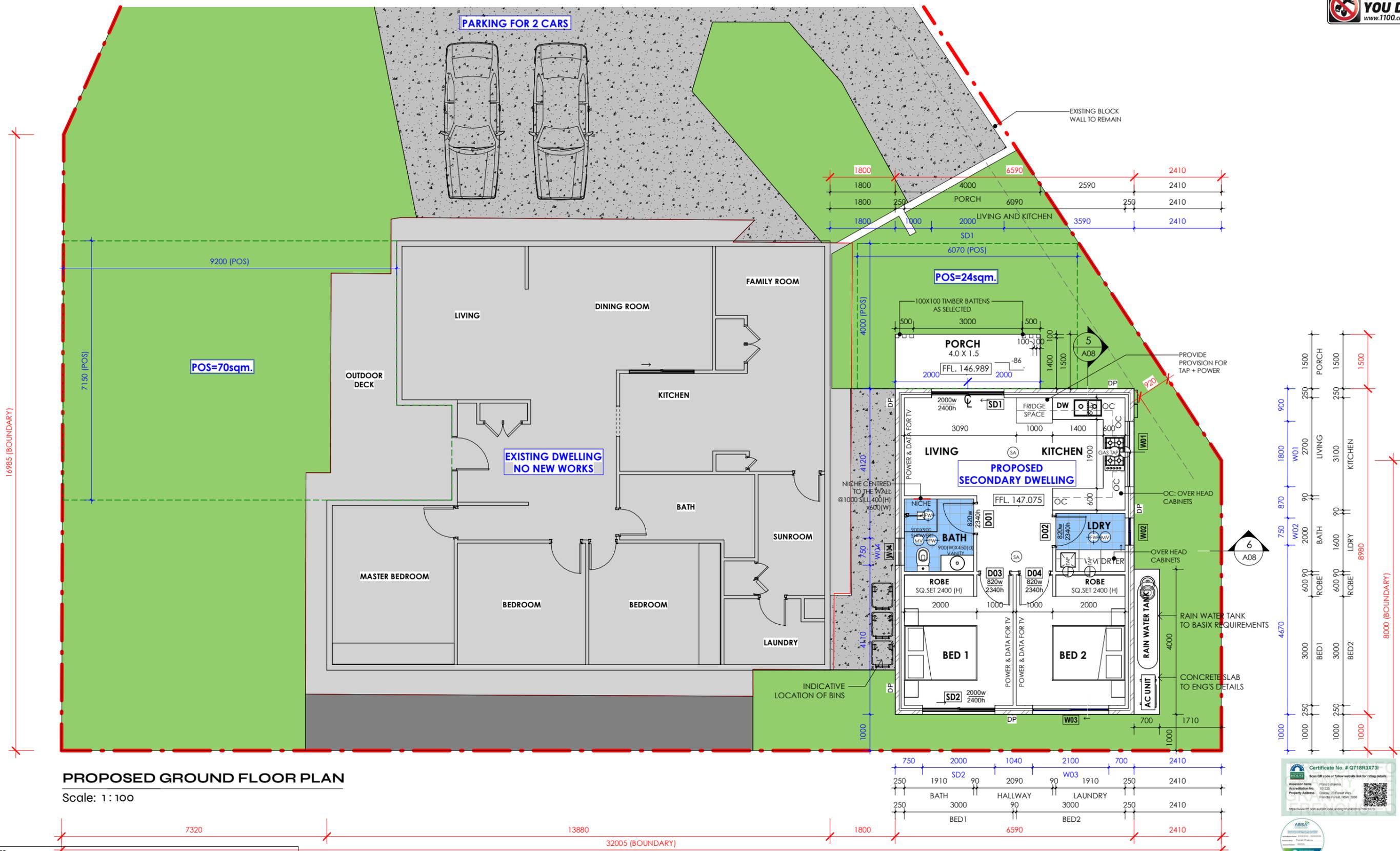
**SINGLE STOREY GARAGE  
TO BE DEMOLISH  
(SHOWN IN BLUE OUTLINE)**

**DEMOLITION PLAN**

Scale: 1 : 150

**NOTES:**  
 • ALL DEMOLITION TO BE CARRIED OUT BY LICENSED CONTRACTORS  
 • DEMOLITION TO COMPLY WITH AS2601-2001





**GENERAL NOTES:**

- BUILDER TO PROVIDE SLAB UNDER RWT, AC OUTDOOR UNIT & BINS AREA
- BUILDER TO PROVIDE PROVISION FOR DISHWASHER, LAUNDRY MACHINE, DRYER, FRIDGE & TV
- BUILDER TO PROVIDE PROVISION OF WATER CONNECTION IN FRIDGE SPACE
- KITCHEN RANGEHOOD DUCTED TO FACADE AND TO COMPLY WITH REQUIREMENTS OF NCC
- ALL ROBES IN THE BEDROOM 600mm DEEP, UNLESS OTHERWISE NOTED
- STAIR RISERS, TREADS & BALUSTRADES TO COMPLY WITH REQUIREMENTS OF NCC
- ALL STAIRS STRUCTURE TO STRUCTURAL ENG'S DETAILS AND AS PER NCC PART 11.2
- BALUSTRADES AS REQUIRED TO STRUCTURAL ENG'S DETAILS & NCC REQUIREMENTS

• LOCATIONS OF MECH. VENTS, SMOKE ALARMS & FLOOR WASTE SHOWN ON PLANS IS INDICATIVE ONLY.  
**BUILDER TO COORDINATE ON SITE AND COMPLY WITH NCC & RELEVANT AUSTRALIAN STANDARDS**

- SMOKE ALARM IN ACCORDANCE WITH NCC PART 9.5.2, 9.5.4 & AS3786
- SMOKE ALARM POWDERED FROM CONSUMER MAINS SOURCE AND INTERCONNECTED
- EXHAUST FROM ALL BATHROOMS/SANITARY COMPARTMENT, KITCHEN & LAUNDRY TO COMPLY WITH NCC PART 10.8. THEY NEED TO DISCHARGE DIRECTLY TO OUTDOOR AIR/EXTERNALLY DUCTED.
- THIS EXHAUST SYSTEM MUST BE INTERLOCKED WITH ROOM'S LIGHT SWITCH AND INCLUDE A RUN-ON TIMER SO THAT THE EXHAUST SYSTEM CONTINUES TO OPERATE FOR 10 MINUTES AFTER THE LIGHT SWITCH IS OFF.

**WALL TYPES:**  
**EXTERNAL WALLS:**  
 SINGLE LEAF FACE BRICK VENEER (110mm) + INSULATION TO BASIX + ONE LAYER OF 10MM STANDARD PLASTERBOARD SCREW FIXED TO TIMBER FRAME SPACED A MIN. 20MM OFF MASONRY. FRAME TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.  
**INTERNAL WALLS:**  
 10MM PLASTERBOARD SCREW FIXED TO TIMBER STUD FRAME.

**WET AREAS:**

- TO COMPLY WITH NCC PART 10.2 & AS3740
- WATERPROOFING NEEDS TO BE EITHER COMPLY WITH PART 10.2 OF THE ABCB HOUSING PROVISIONS STANDARD 2022 (BCA) OR AS 3740.2021 & 10.2.1 TO 10.2.6 AND 10.2.12 OF THE ABCB HOUSING PROVISIONS STANDARD 2022
- FALL TO FLOOR WASTE TO BE MINIMUM 1:80 TO MAXIMUM 1:50



M: 0490 505 091  
 E: projects@rajnisikriarchitects.com.au  
 ABN: 61 678 773 236  
 NSW ARCHITECT REGISTRATION NO.11754

**GENERAL NOTES:**

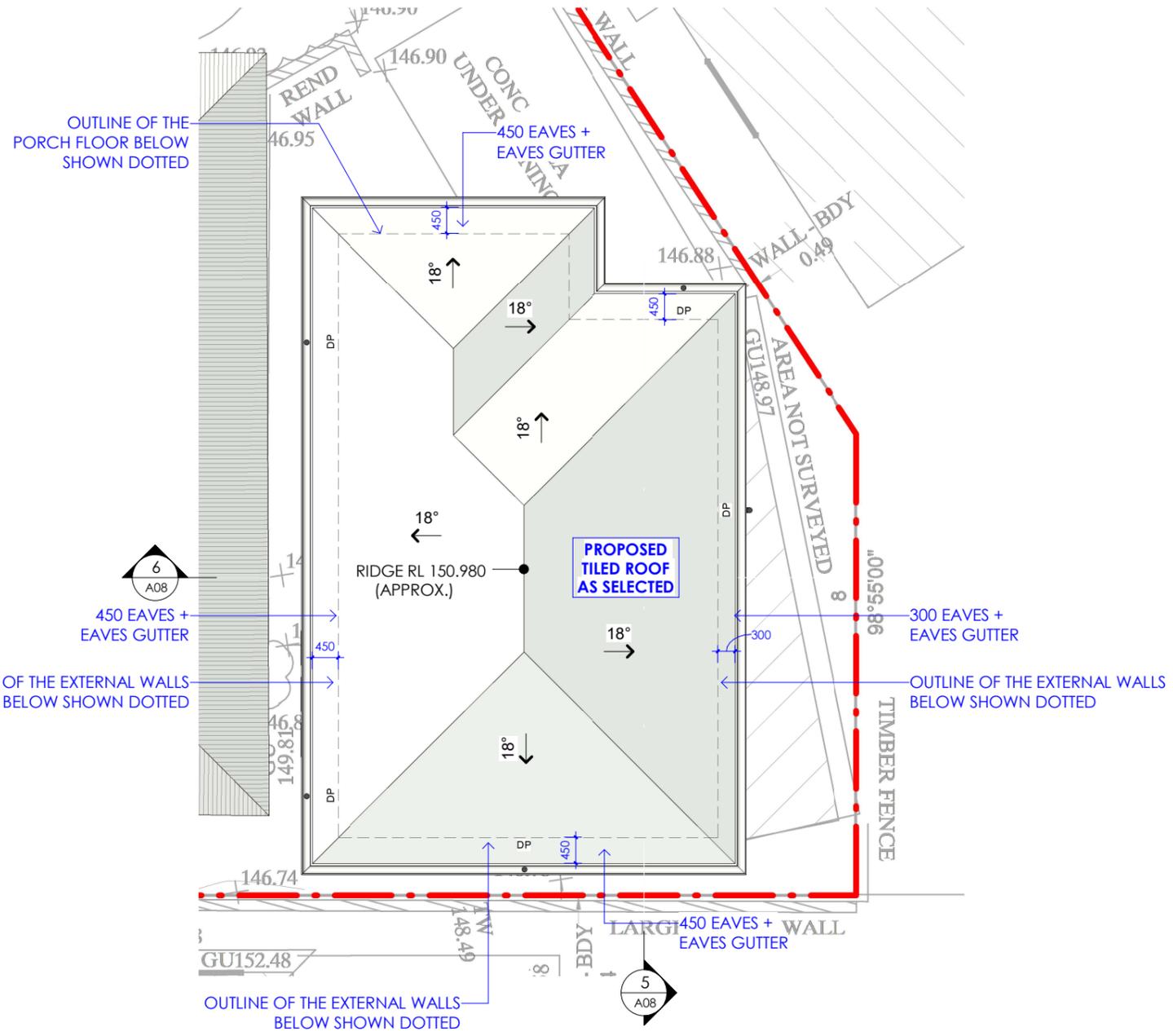
- Do not scale drawings & refer to written dimensions only.
- All dimensions are in millimetres.
- All levels to Australian Height Datum.
- All dimensions, levels, areas, boundaries and contours to be checked & verified before commencement of work. Notify any discrepancies, errors or omissions to attention of the Architect.
- Drawings shall not be used for construction purposes until issued for construction.

- All works to comply with the National Construction Code (NCC) and the Australian Standards (including amendments).
- All drawings to be read in conjunction with drawings, reports and specifications of the specialist consultants including but not limited to: Structural, Hydraulics, Electrical, Mechanical, Fire, Stormwater, Access, BASIX, Acoustics, Landscape & Survey.
- Where services drawings are required, those drawings/details precedence over Architectural drawings.
- All services to be located and verified by the builder with the relevant Authorities prior to the commencement of any building work.

**CLIENT:** Mr. Jasbir Dayal & Mrs. Kamaljit Kaur  
**PROJECT ADDRESS:**  
 23 FOREST WAY, FRENCHS FOREST, NSW 2086  
**THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION ONLY**

**DRAWING TITLE:**  
 GROUND FLOOR PLAN  
**PROJECT No:** 2342  
**SCALE:** AS NOTED @ A3

A06 C	ISSUE	AMENDMENT	DATE
	A	PRELIMINARY ISSUE	25/03/2025
	B	DRAFT DA SET	26/03/2025
	C	ISSUED FOR DA	22/04/2025



**ROOF PLAN**  
Scale: 1 : 100

DOOR SCHEDULE				
NO.	WIDTH	HEIGHT	LOCATION	COMMENTS
D01	820	2340	BATH	TIMBER HINGED DOOR
D02	820	2340	LDRY	TIMBER HINGED DOOR
D03	820	2340	BED 1	TIMBER HINGED DOOR
D04	820	2340	BED 2	TIMBER HINGED DOOR

WINDOW SCHEDULE					
NO.	WIDTH OPENING	HEIGHT OPENING	SILL HEIGHT	HEAD HEIGHT	LOCATION
W01	1800	600	900	1500	KITCHEN
W02	750	1500	900	2400	LDRY
W03	2100	1200	1200	2400	BED 2
W04	750	600	1800	2400	BATH

SLIDING DOOR SCHEDULE			
NO.	WIDTH	HEIGHT	LOCATION
SD1	2000	2400	PORCH
SD2	2000	2400	BED 1

**GENERAL NOTES (DOORS & WINDOWS):**

- GLAZING – ALL GLAZING TO BE IN ACCORDANCE WITH H1D8 & H2D7 OF THE NCC VOLUME TWO, SECTION 8 OF THE HOUSING PROVISIONS & AUSTRALIAN STANDARDS AS 1288, 2047, 4055.
- ALL BASIX REQUIREMENTS TO BE ADDRESSED
- ALL DOORS & WINDOWS SIZES ARE NOMINAL ONLY. TO BE MEASURED & VERIFIED ON SITE PRIOR TO ANY ORDERING.
- ALUMINIUM FRAMED & POWDER COAT FINISH WINDOWS & GLAZED DOORS AS PER THE BASIX REQUIREMENTS
- ALL INTERNAL TIMBER DOOR FRAMES TO BE PAINTED WITH SUITABLE PAINT FINISH UNLESS OTHERWISE NOTED.
- ALL WET AREA & WIR GLAZING TO BE OBSCURE. SHOWER SCREENS AND WET AREA WINDOWS TO HAVE TOUGHENED GLASS.
- PROVIDE 4 HINGES FOR DOORS WITH HEIGHT OVER 2100mm AND ALL TOILET DOORS TO BE FITTED WITH LIFT OFF HINGES.
- ALL CAVITY DOORS & SQUARE SET OPENINGS TO MATCH DOOR HEIGHTS
- LOCKS TO BE PROVIDED TO ALL EXTERNAL DOORS & WINDOWS
- WEATHER SEALS TO BE PROVIDED TO ALL EXTERNAL DOORS & WINDOWS
- PROVIDE BRICK SILL EXTERNALLY, TIMBER SILL INTERNALLY
- WHERE FLOOR LEVEL IS >2M ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS <1.7M, ANY OPENABLE WINDOW IN A BEDROOM MUST BE RESTRICTED TO A 125MM OPENING.**

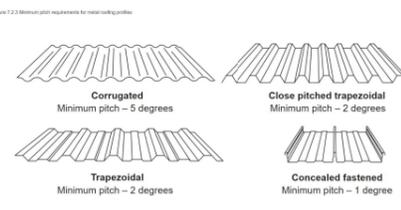
**NOTES:**

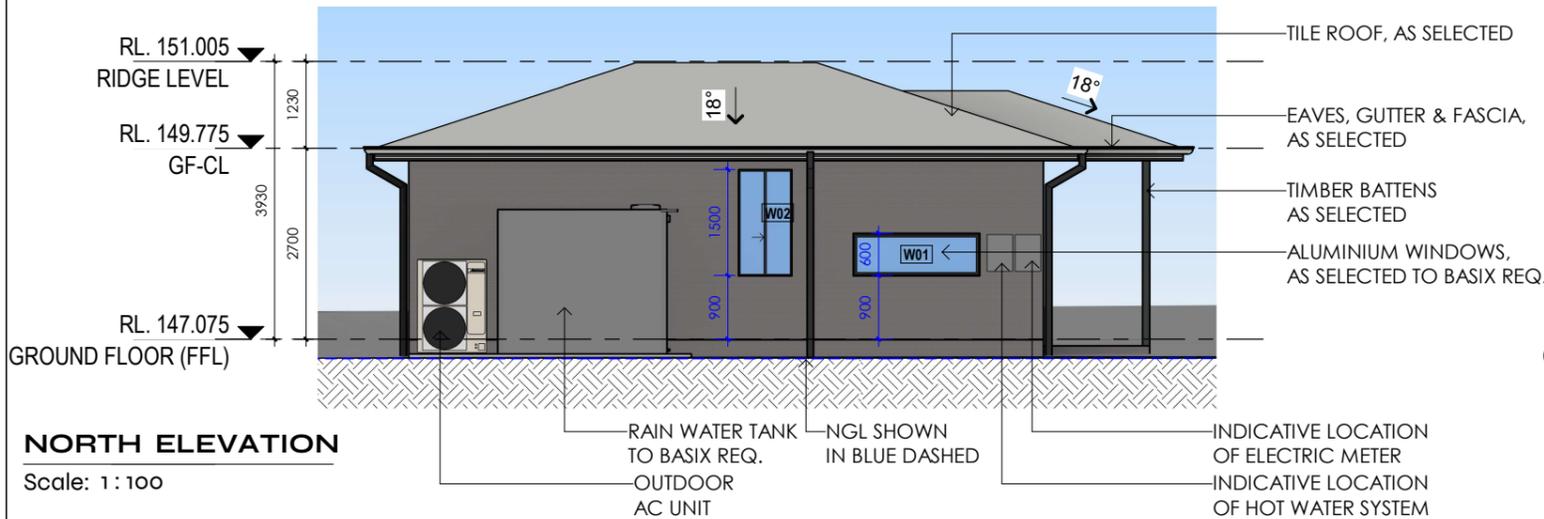
- ALL ROOF CLADDING IS TO BE IN ACCORDANCE WITH AS.1562.1
- ALL GUTTERS & DOWNPIPES TO COMPLY WITH NCC PART 7.4 AND AS/NZS 3500.3: 2021
- ALL ROOF AND WALL CLADDING TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NCC 2022 H1D7
- ROOFSHEETING, CAPPING, GUTTERS, FASCIA & DOWNPIPES TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND REQUIREMENTS.
- ALL DOWNPIPES TO JOIN COUNCIL'S STORM WATER SYSTEM.
- ALL DOWNPIPES TO BE PVC, CIRCULAR & PLUMBER TO CONNECT THE DP'S TO GUTTER.
- LOCATION OF DOWNPIPES IS INDICATIVE ONLY, TO BE COORDINATED ON SITE BY THE PLUMBER.

**ROOF PLAN TO BE READ IN CONJUNCTION WITH THE STORMWATER DESIGN, DRAWINGS AND DETAILS**

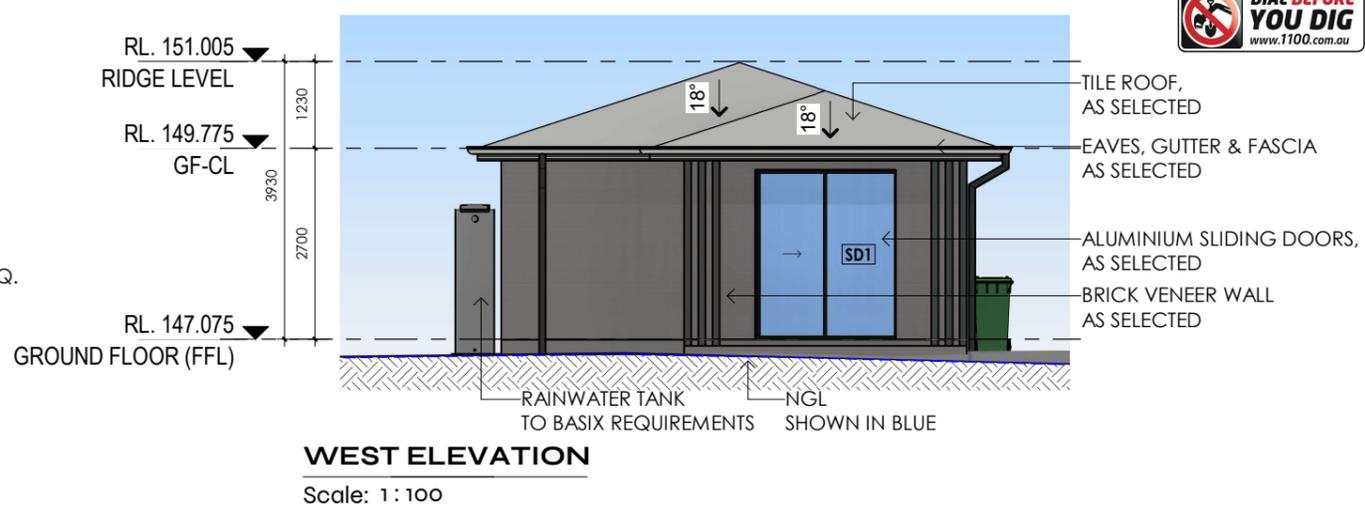
**VENTILATION OF ROOF SPACES TO COMPLY WITH NCC REQUIREMENTS (HP PART 10.8.3)**

**MIN. PITCH REQUIREMENTS FOR METAL ROOFING PROFILES TO NCC PART 7.2**

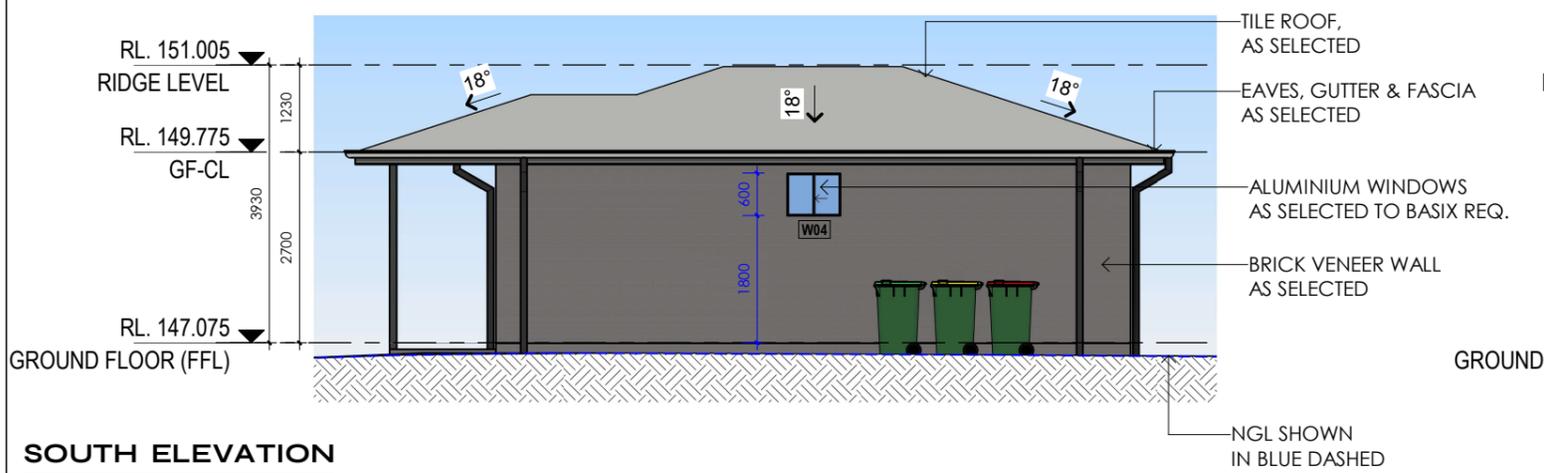




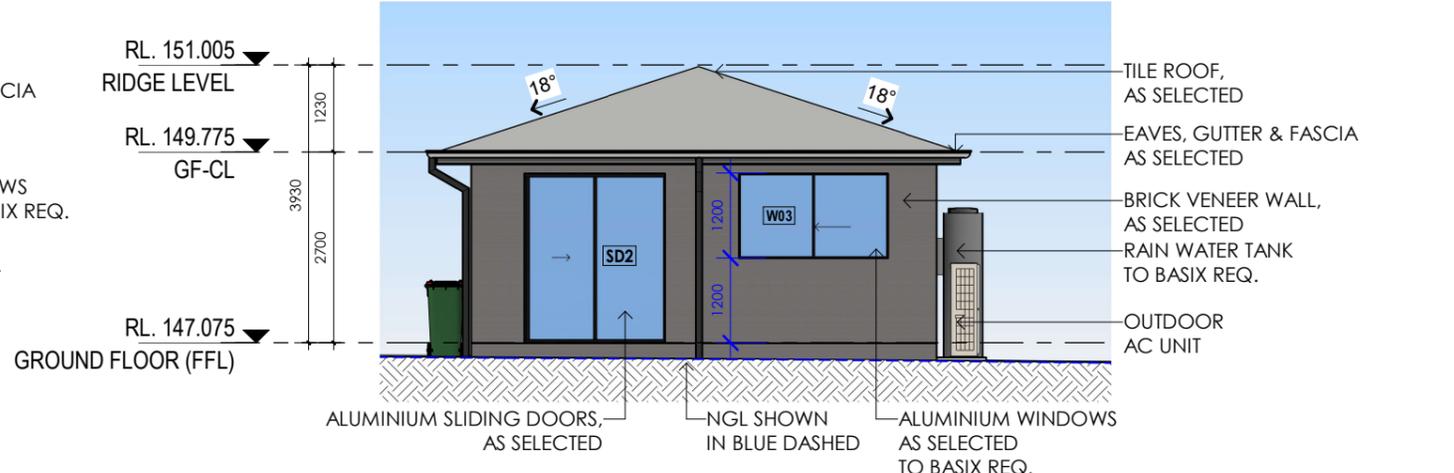
**NORTH ELEVATION**  
Scale: 1 : 100



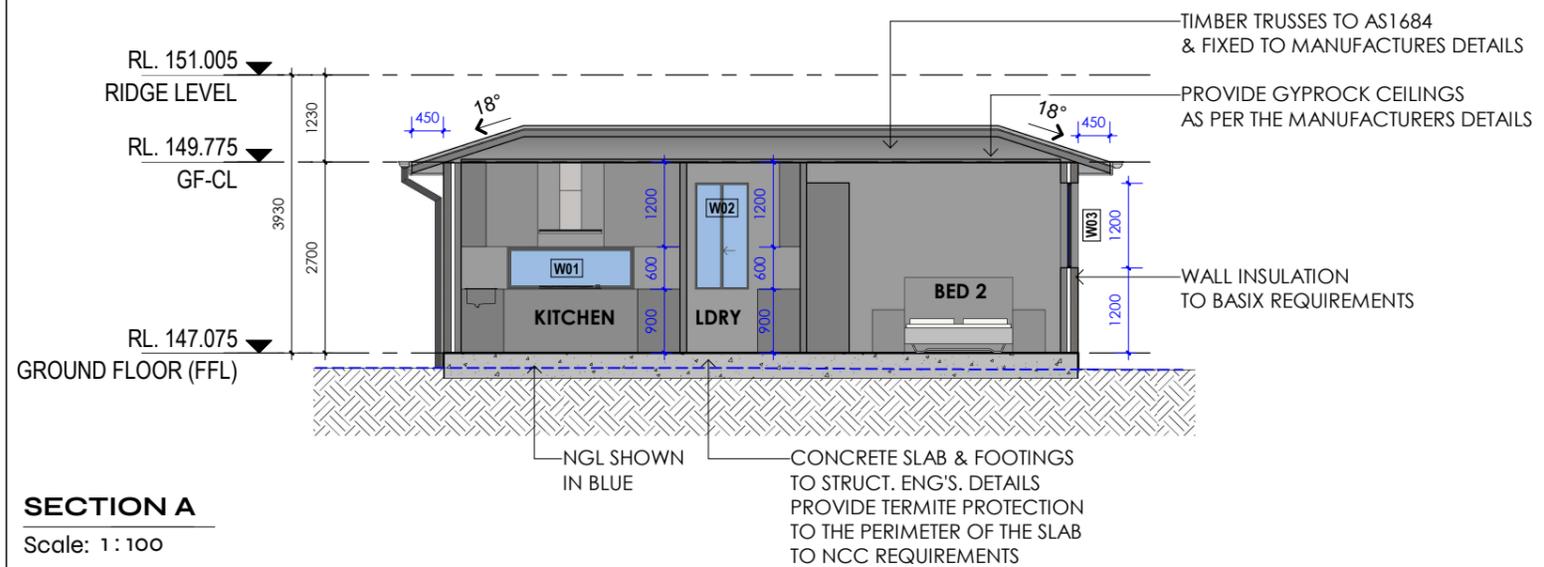
**WEST ELEVATION**  
Scale: 1 : 100



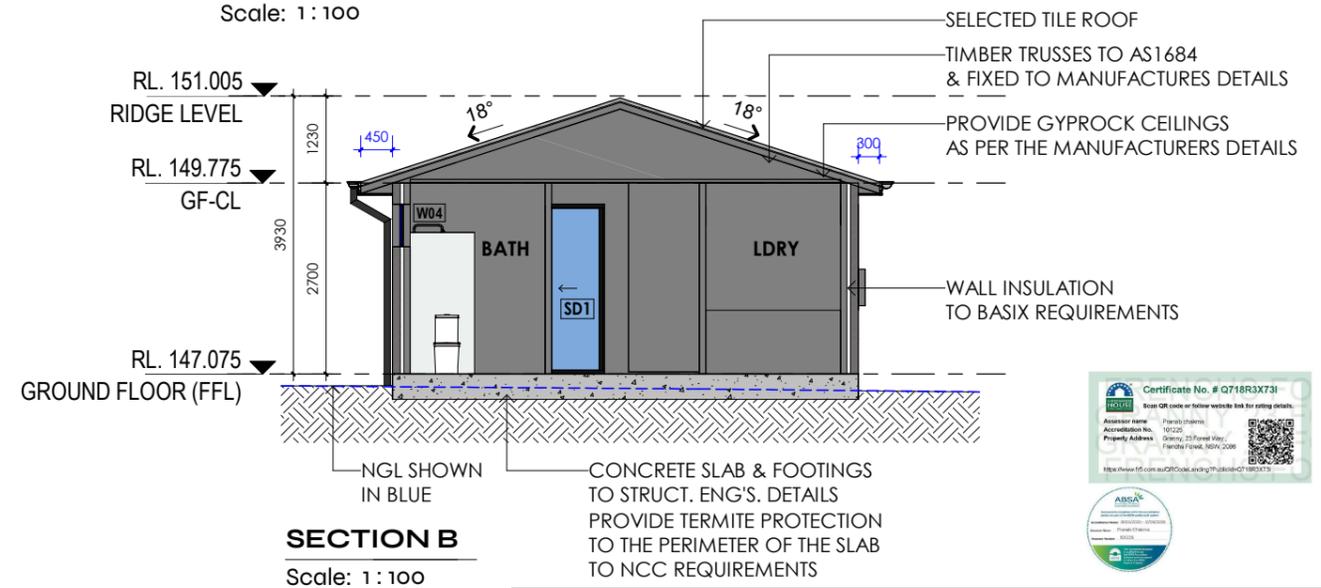
**SOUTH ELEVATION**  
Scale: 1 : 100



**EAST ELEVATION**  
Scale: 1 : 100



**SECTION A**  
Scale: 1 : 100



**SECTION B**  
Scale: 1 : 100



**NOTES: REFER STRUCTURAL ENGINEER'S DRAWINGS & DETAILS FOR THE FOLLOWING;**

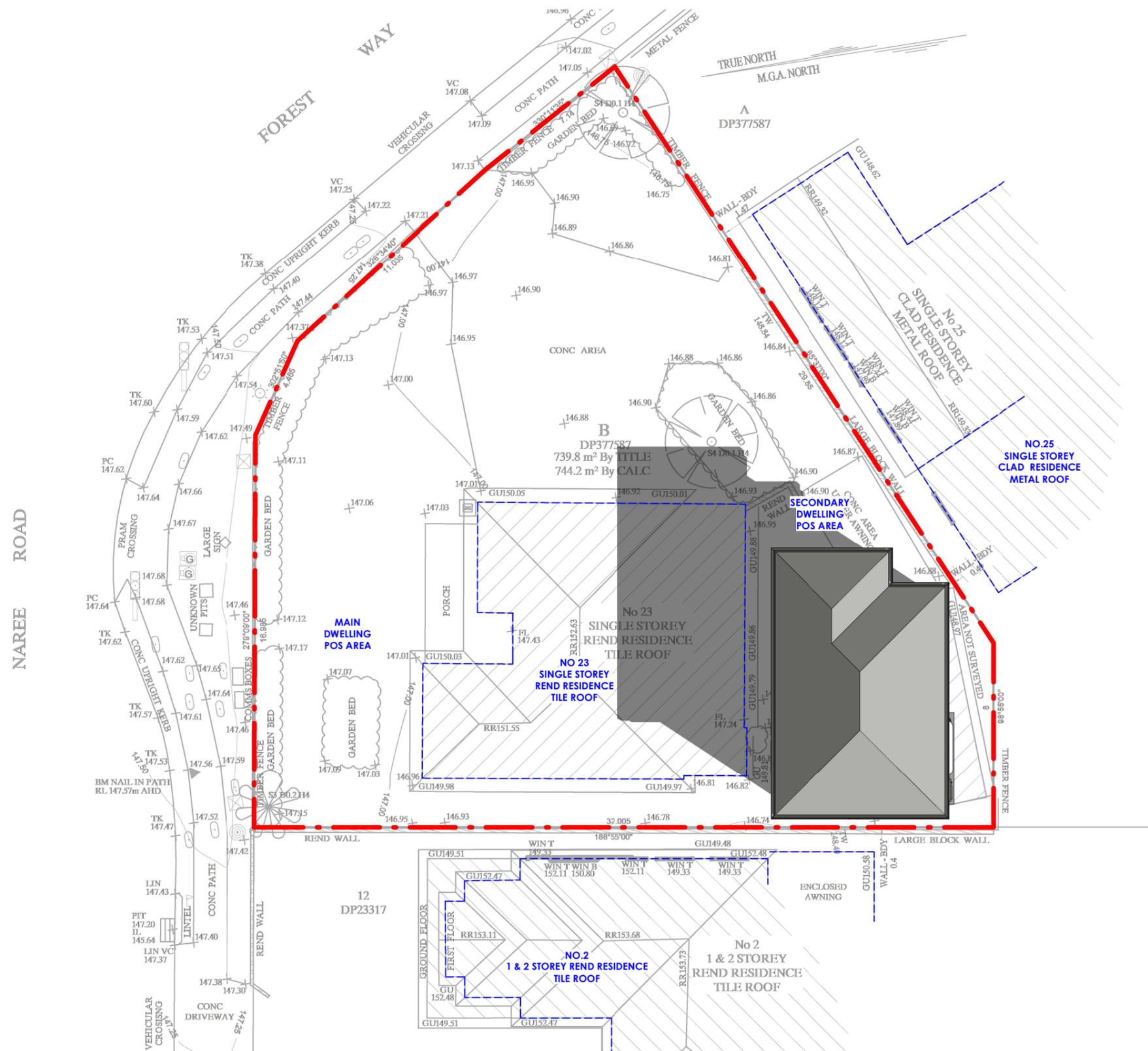
- CONCRETE SLAB & FOOTINGS, EDGE/DROP BEAM DETAILS AND ALL BRICK REBATES
- EXPANSION JOINTS (WHERE REQUIRED) TO BE PROVIDED AS PER NCC/AUSTRALIAN STANDARDS.
- FLOOR FINISH LEVEL NEEDS TO BE 150MM ABOVE THE NATURAL GROUND LEVEL.

• BUILDING ELEVATIONS TO BE READ IN CONJUNCTION WITH FINISHES SCHEDULE

REFER BASIX CERTIFICATE FOR WALLS, CEILING AND ROOF INSULATION

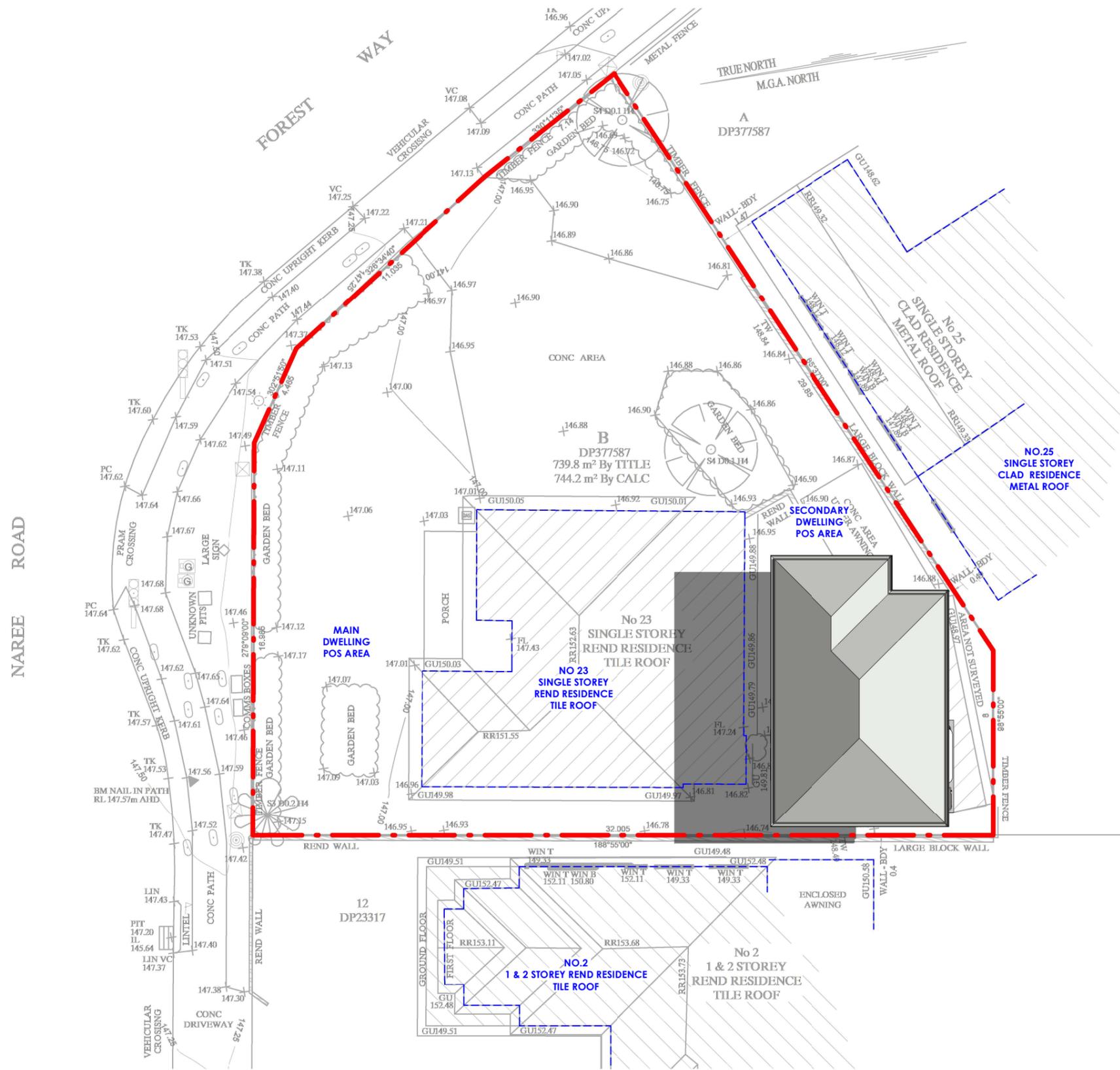
- TIMBER & SHEET WALL CLADDING TO COMPLY WITH NCC PART 7.5.2, 7.5.4 & 7.5.7
- EAVES & SOFFIT LININGS TO COMPLY WITH NCC PART 7.5.5
- PARAPET CAPPINGS TO COMPLY WITH NCC PART 7.5.8

A08 C N	ISSUE	AMENDMENT	DATE
	A	PRELIMINARY ISSUE	25/03/2025
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	C	ISSUED FOR DA	22/04/2025



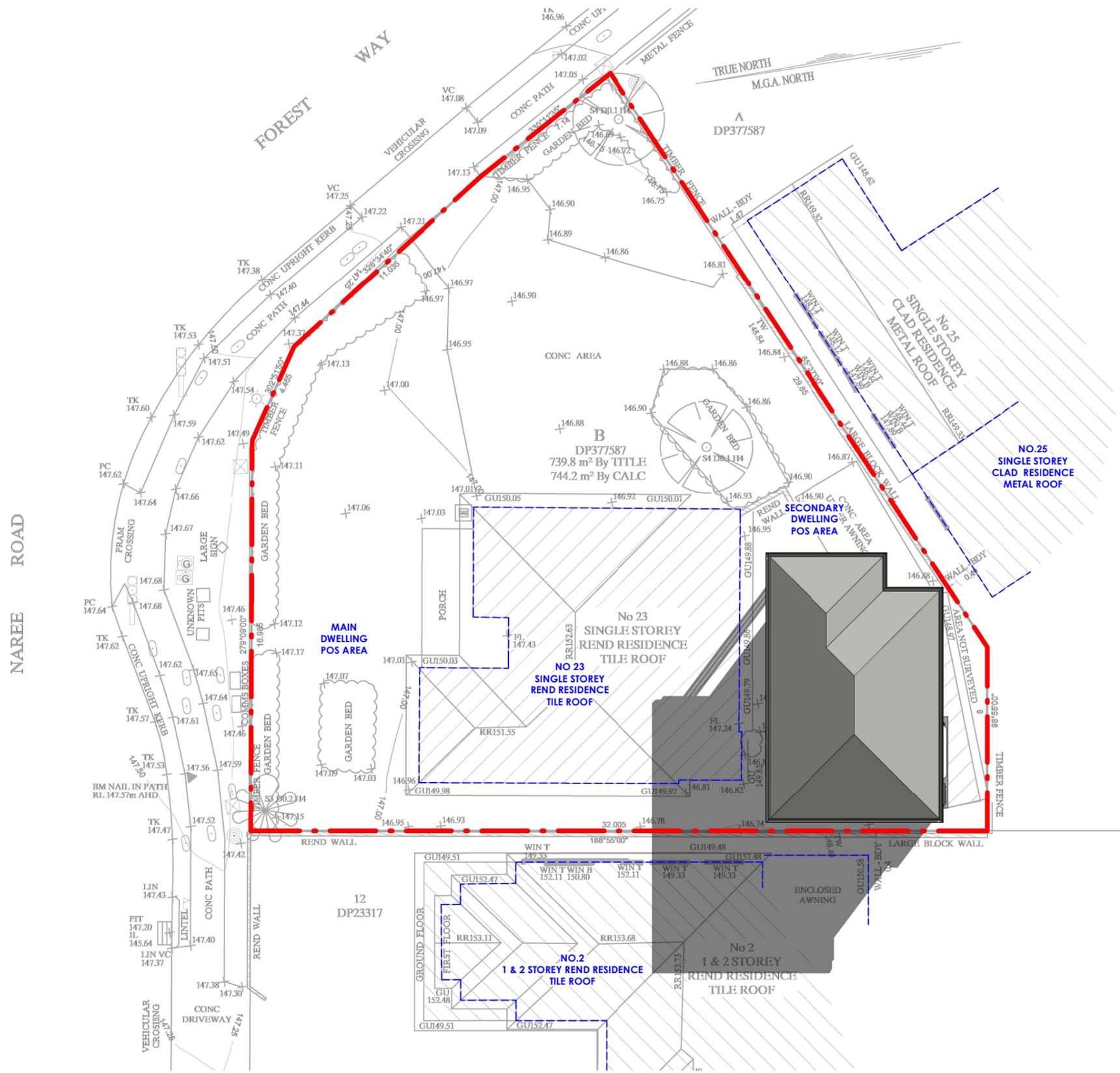
**SHADOW DIAGRAM - 21st JUNE - 9AM**

Scale: 1 : 200



**SHADOW DIAGRAM - 21st JUNE - 12PM**

Scale: 1 : 200



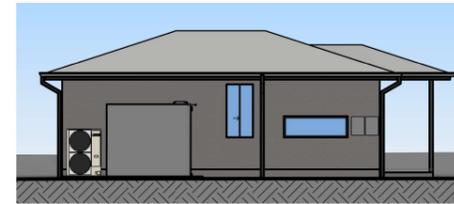
**SHADOW DIAGRAM - 21st JUNE - 3PM**  
Scale: 1 : 200



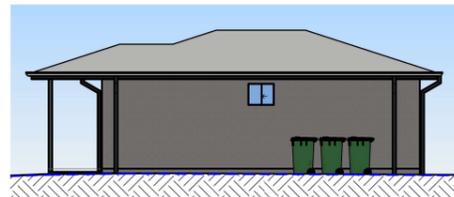
**PROPOSED SITE PLAN**  
Scale: 1 : 500



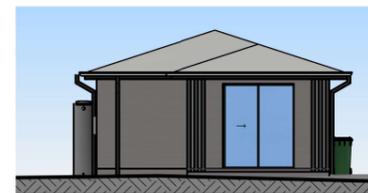
**EAST ELEVATION**  
Scale: 1 : 200



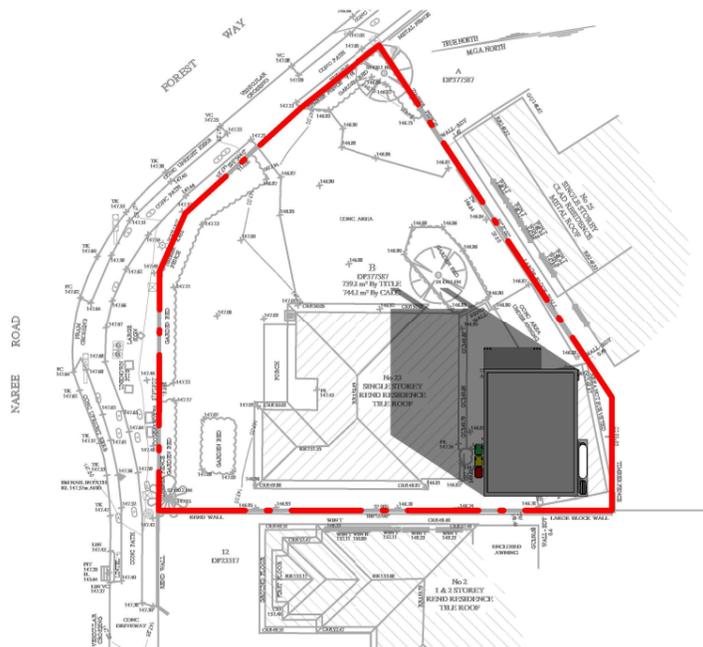
**NORTH ELEVATION**  
Scale: 1 : 200



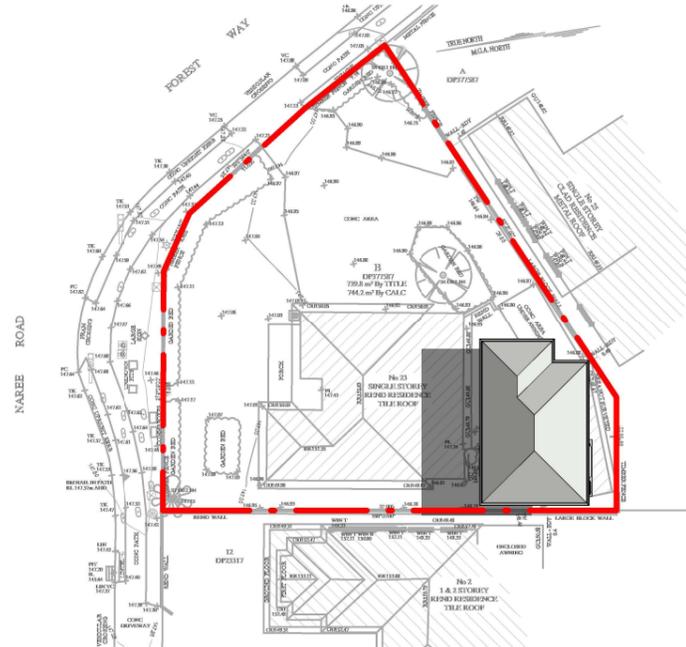
**SOUTH ELEVATION**  
Scale: 1 : 200



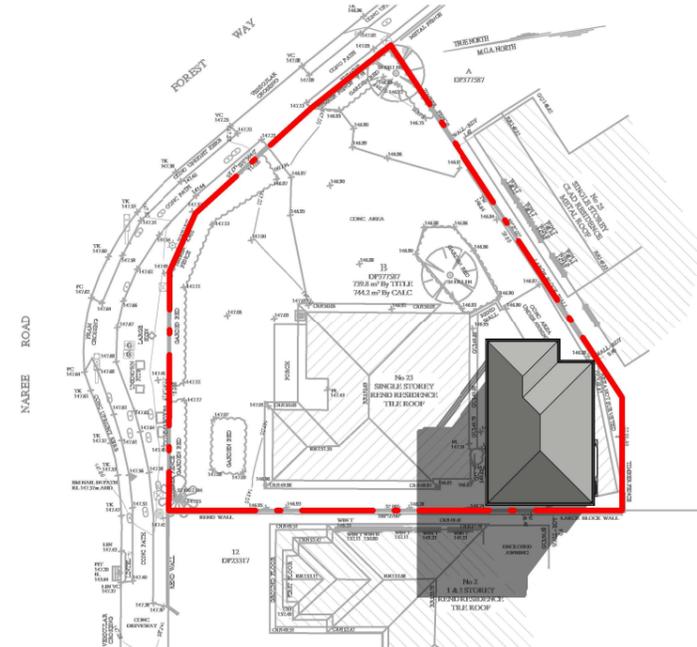
**WEST ELEVATION**  
Scale: 1 : 200



**SHADOW DIAGRAM - 21st JUNE - 9AM**  
Scale: 1 : 500



**SHADOW DIAGRAM - 21st JUNE - 12PM**  
Scale: 1 : 500



**SHADOW DIAGRAM - 21st JUNE - 3PM**  
Scale: 1 : 500

# BASIX™ Certificate

Building Sustainability Index  
www.planningportal.nsw.gov.au/development-and-assessment/basix

## Single Dwelling

Certificate number: 17899135

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary  
Date of issue: Wednesday, 02 April 2025  
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NatHERS certificate Q718R3X731.

Project summary		
Project name	23 Forest Way Frenchs Forest	
Street address	23 FOREST Way FRENCHS FOREST 2096	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP377587	
Lot no.	B	
Section no.	-	
Project type	dwelling house (detached) - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✓ 42	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 69	Target 68
Materials	✓ -9	Target n/a

Certificate Prepared by	
Name / Company Name:	PAUL&DAVID CONSULTING PTY LTD.
ABN (if applicable):	

## Description of project

Project address		Assessor details and thermal loads	
Project name	23 Forest Way Frenchs Forest	NatHERS assessor number	101225
Street address	23 FOREST Way FRENCHS FOREST 2096	NatHERS certificate number	Q718R3X731
Local Government Area	Northern Beaches Council	Climate zone	56
Plan type and plan number	Deposited Plan DP377587	Area adjusted cooling load (MJ/m <sup>2</sup> /year)	17
Lot no.	B	Area adjusted heating load (MJ/m <sup>2</sup> /year)	13
Section no.	-		
Project type		Project score	
Project type	dwelling house (detached) - secondary dwelling	Water	✓ 42 Target 40
No. of bedrooms	2	Thermal Performance	✓ Pass Target Pass
Site details		Energy	✓ 69 Target 68
Site area (m <sup>2</sup> )	744	Materials	✓ -9 Target n/a
Roof area (m <sup>2</sup> )	87		
Conditioned floor area (m <sup>2</sup> )	43.3		
Unconditioned floor area (m <sup>2</sup> )	6.9		
Total area of garden and lawn (m <sup>2</sup> )	0		
Roof area of the existing dwelling (m <sup>2</sup> )	185		
Number of bedrooms in the existing dwelling	3		

**ALL DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX AND NATHERS CERTIFICATE**



## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install tap taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 1000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 80 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development.		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Simulation Method</b>			
<b>Assessor details and thermal loads</b>			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Construction</b>			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓
<b>Construction</b>			
	Area - m <sup>2</sup>	Insulation	
floor - concrete slab on ground, conventional slab	50.2	none	
external wall: brick veneer, frame: timber - H2 treated softwood	all external walls	fibreglass batts or roll+ foilsarking	
internal wall: plasterboard, frame: timber - H2 treated softwood	46.7	none	
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood	87	ceiling: fibreglass batts or roll; roof: foil backed blanket	

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Glazing</b>			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓
<b>Frames</b>		Maximum area - m2	
aluminium		14.77	
timber		0	
uPVC		0	
steel		0	
composite		0	
<b>Glazing</b>		Maximum area - m2	
single		14.77	
double		0	
triple		0	

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted, Energy rating: 2.5 star (average zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted, Energy rating: 2.5 star (average zone)		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted, Energy rating: 2.5 star (average zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted, Energy rating: 2.5 star (average zone)		✓	✓
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
<b>Artificial lighting</b>			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
<b>Other</b>			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.



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E: projects@rajnisikriarchitects.com.au  
ABN: 61 678 773 236  
NSW ARCHITECT REGISTRATION NO.11754  
ALL DRAWINGS & DOCUMENTS REMAIN COPYRIGHT OF RAJNI SIKRI ARCHITECTS PTY LTD & MAY NOT BE USED WITHOUT THE WRITTEN CONSENT.

**GENERAL NOTES:**  
• Do not scale drawings & refer to written dimensions only.  
• All dimensions are in millimetres.  
• All levels to Australian Height Datum.  
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• All drawings to be read in conjunction with drawings, reports and specifications of the specialist consultants including but not limited to: Structural, Hydraulics, Electrical, Mechanical, Fire, Stormwater, Access, BASIX, Acoustics, Landscape & Survey.  
• Where services drawings are required, those drawings/details precedence over Architectural drawings.  
• All services to be located and verified by the builder with the relevant Authorities prior to the commencement of any building work.

**CLIENT: Mr. Jasbir Dayal & Mrs. Kamaljit Kaur**  
**PROJECT ADDRESS: 23 FOREST WAY, FRENCHS FOREST, NSW 2086**  
**THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION ONLY**

**DRAWING TITLE: BASIX & NATHERS CERTIFICATE - SHEET 1**  
**PROJECT No: 2342**  
**SCALE: AS NOTED @ A3**

**A13**  
**C**  
**N**

ISSUE	AMENDMENT	DATE
A	PRELIMINARY ISSUE	25/03/2025
B	DRAFT DA SET	26/03/2025
C	ISSUED FOR DA	22/04/2025

