

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2019/0596

(Activation of consent must be obtained from Northern Beaches Council)

EXISTING SITE PLAN



All Dimensions are in millimetres
Written Dimensions preferred to scale
All measurements to be checked on site
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Client
MR. & MRS. FORD
12 SORLIE ROAD
FRENCHS FOREST NSW 2086

Project
ALTERATION AND ADDITIONS
12 SORLIE ROAD
FRENCHS FOREST NSW 2086

Drawing
EXISTING SITE PLAN

DEVELOPMENT APPLICATION

PETER PRINCI architects
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Drawn PP	Job No.
Checked PP	Date May '19
Scale 1:200	Issue A

DA01

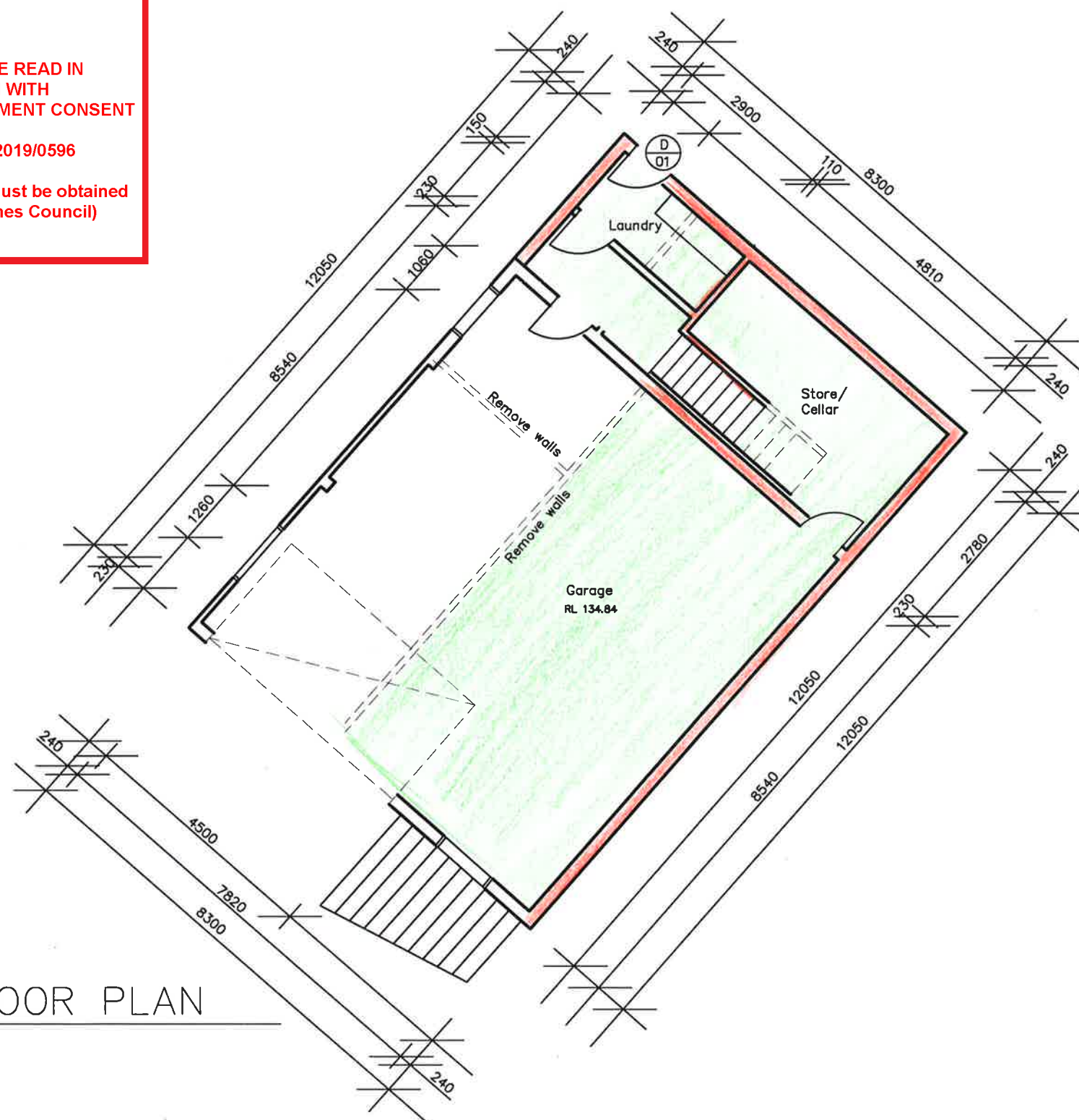


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LOWER FLOOR PLAN

SITE CALCULATIONS		
SITE AREA	912.00m2	
EXISTING FLOOR AREA	135.0m2	
PROPOSED FLOOR AREA	270.0m2	
GARAGE/STORE FLOOR AREA	90.0m2	
EXISTING IMPERVIOUS AREA	390.0m2	
PROPOSED IMPERVIOUS AREA	390.m2	
EXISTING LANDSCAPED AREA	390.0m2	42%
PROPOSED LANDSCAPED AREA	390.0m2	42%

BASIX SPECIFICATION	
Please refer to Basix Certificate for detailed information	
EXTERNAL WALLS	Light weight – Paint finish – Light Colour – R 2.0 insulation
INTERNAL WALLS	Timber studs with plasterboard over
FLOOR	Ground Floor – concrete floor Upper floor – timber floor
WINDOWS	Timber
CEILINGS TO LOWER FLOOR – Flat	Plasterboard –
CEILINGS TO UPPER FLOOR – Proposed – Raked	Plasterboard – R 2.0 insulation
ROOF – Metal	55mm Foil Backet Blanket
HOT WATER	Existing
FIXTURES	Showerheads must have a minimum rating of 3 star Taps with a minimum rating of 3 star to kitchen and bathrooms Toilets to have a minimum rating of 3 star
LIGHTING	40 % of new or altered lighting to be LED or Compact Fluorescent





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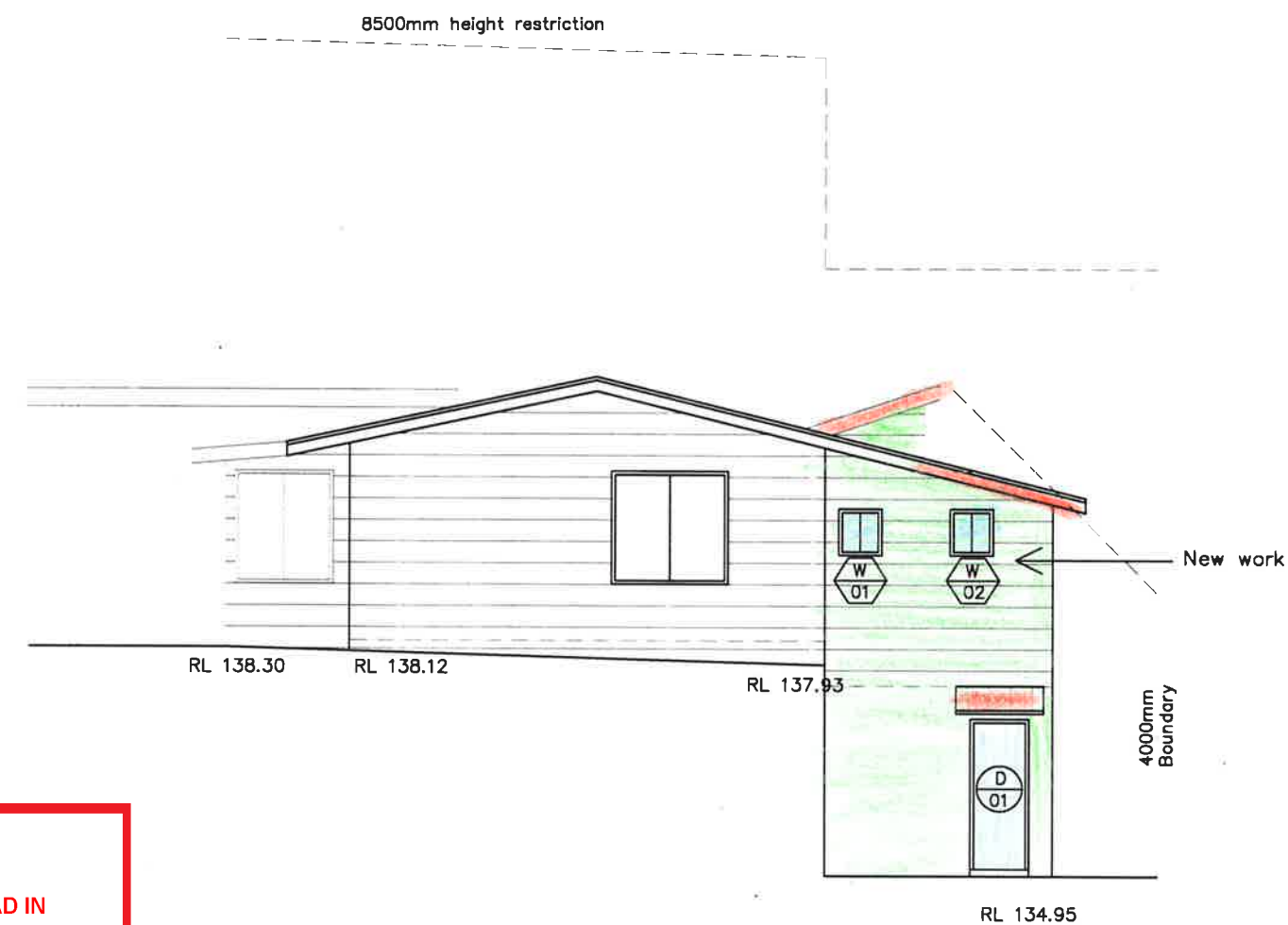
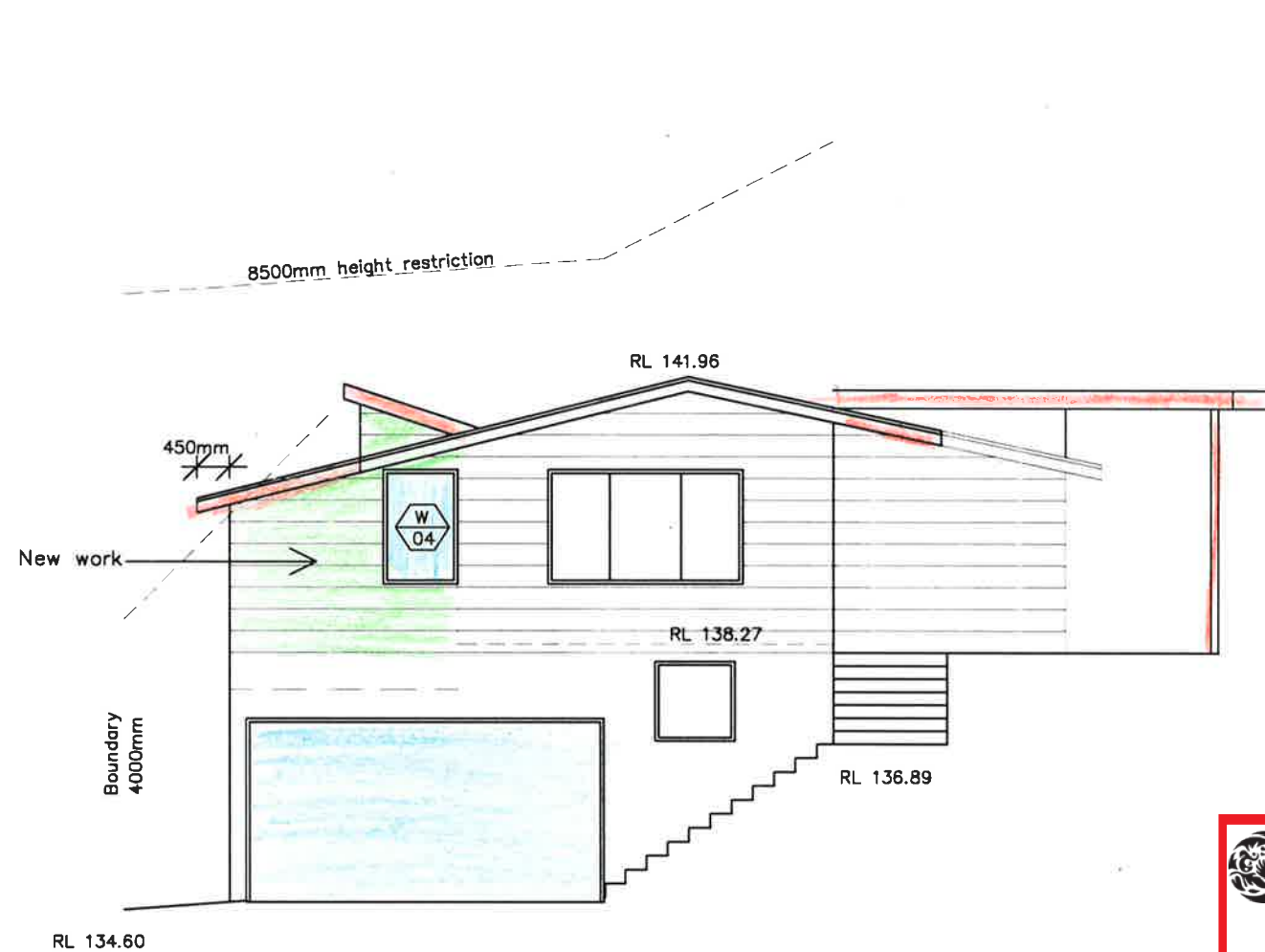
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Proposed Addition

Extended roof

ROOF PLAN





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 SOUTH-EAST ELEVATION
Proposed

 NORTH-WEST ELEVATION
Proposed

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
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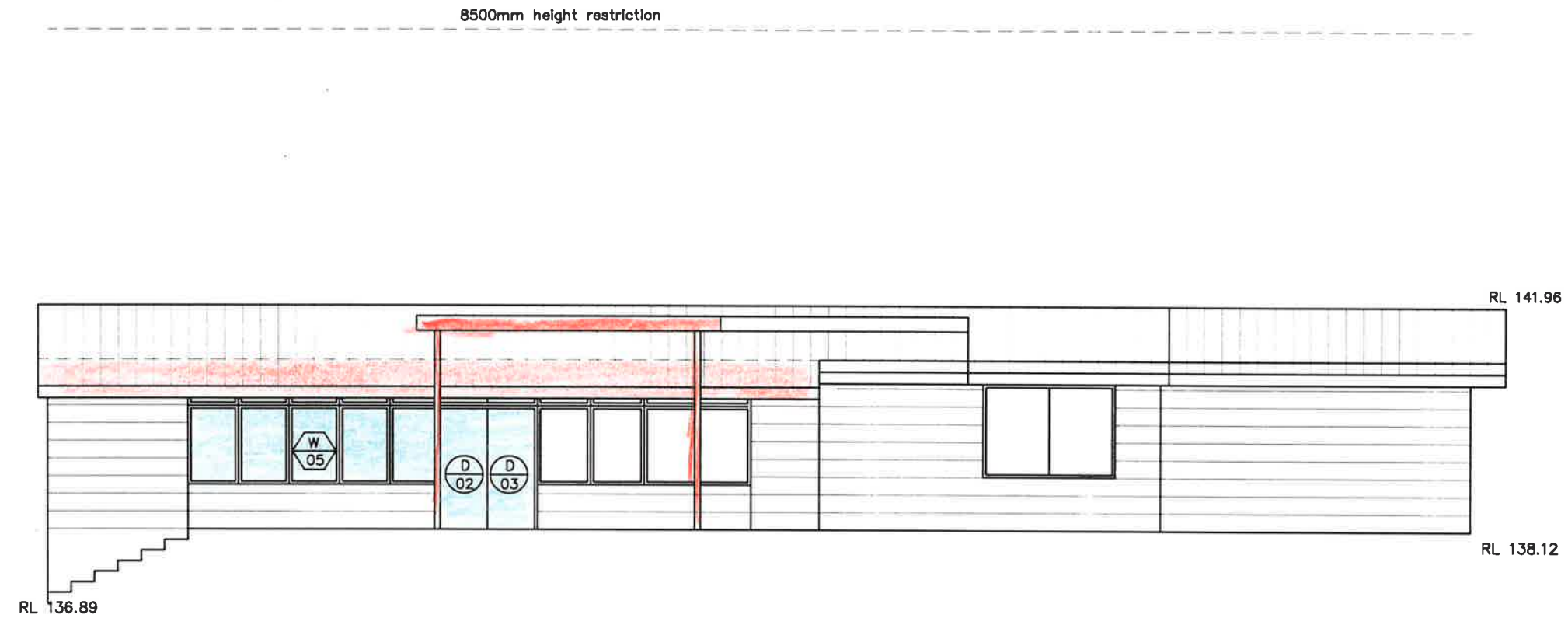
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ELEVATIONS

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DA05



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 NORTH — EAST ELEVATION

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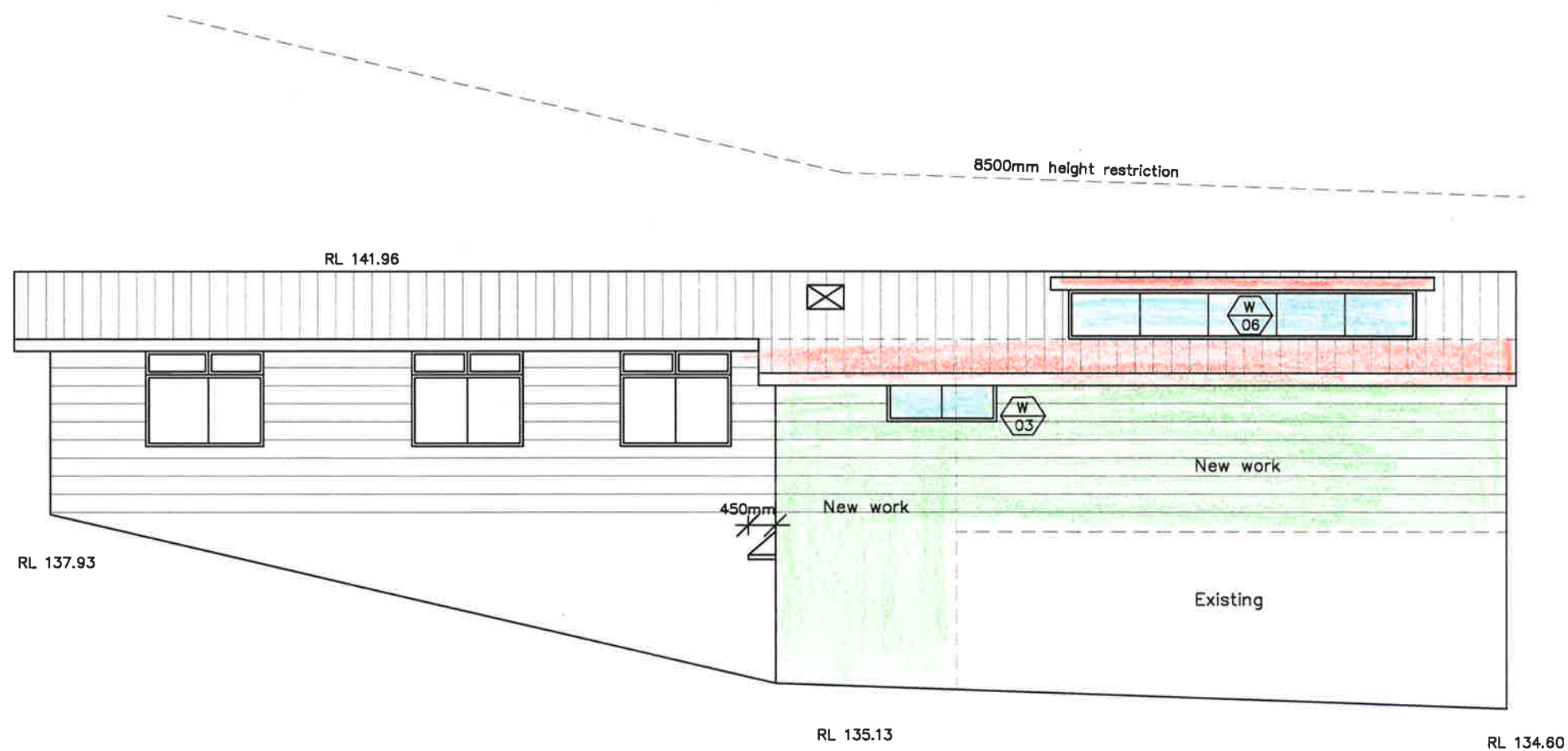
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ELEVATIONS

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DA06



 SOUTH — WEST ELEVATION

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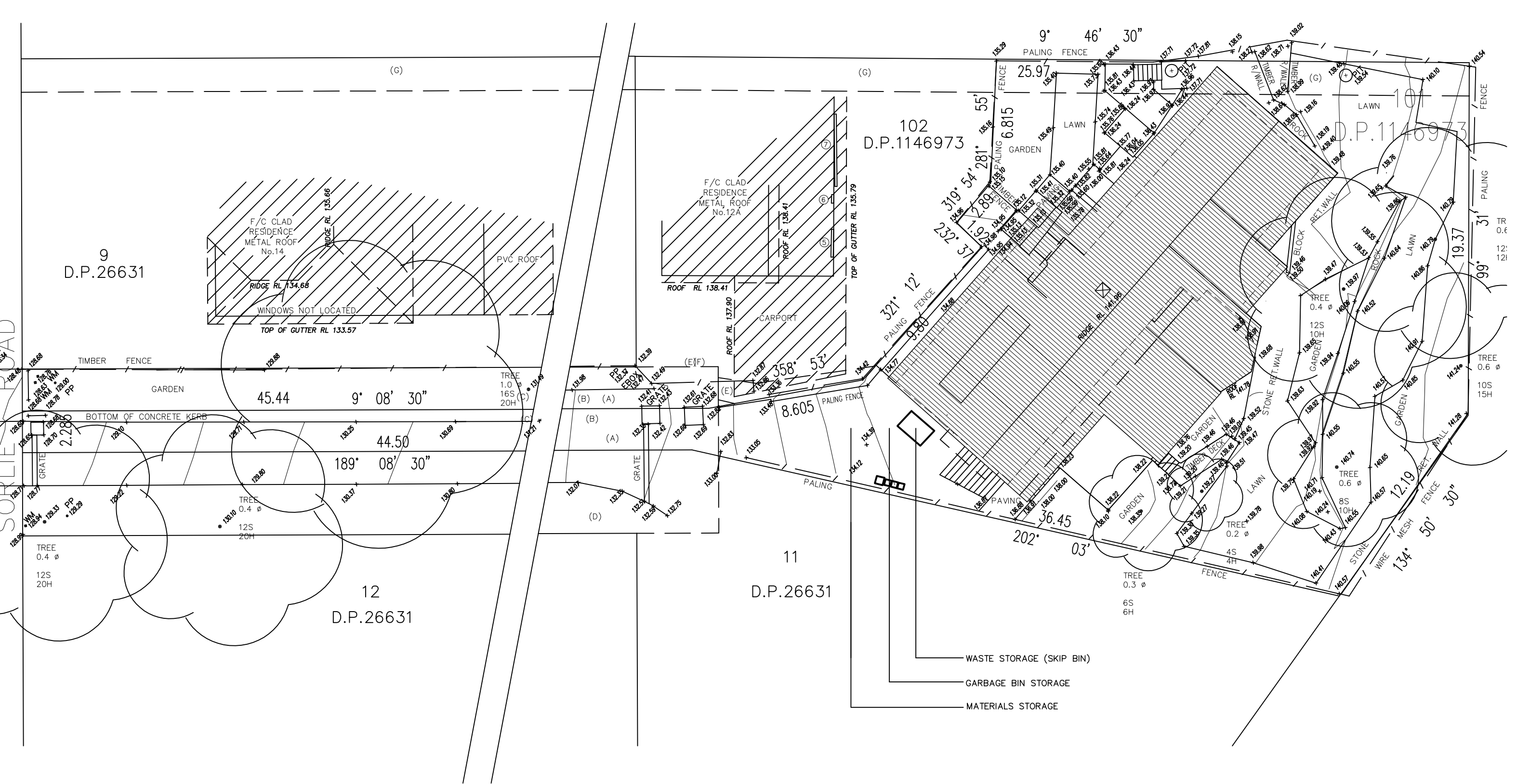
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Drawing No.
DA07



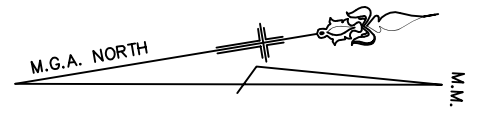
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WASTE MANAGEMENT PLAN

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WM01