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A		PFD + SV1, 2, 3 & 4. (HT)	29.03.20			CLIENT: MR & MRS DOUGLAS		JOB NO: 17428	DATE: 9.12.19
B		VARY A, B & C (SB)	29.05.20			ADDRESS: LOT 21, No 57 HAY STREET COLLARROY NORTHERN BEACHES COUNCIL	DRAWN: HT	CHECKED: .	
C		VARY D & F (SB)	05.06.20				SCALE: 1 : 100	SHEET NO: 02	
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## LEGENDS

(720)	LIFT OFF DOOR HINGE
CJ*	CONTROL JOINT
MH	CEILING MAN HOLE
SA	SMOKE ALARM
DP	DOWN PIPE
AC DUCTS	AC DUCTS
AC CEILING GRILL	AC CEILING GRILL

PROVIDE SOLID CORE INTERNAL DOORS  
THROUGHOUT INCLUDING ROBE DOORS 2340 HIGH

PROVIDE INSULATION TO  
BALCONY CEILINGS

ELEVATION (A)

SEAMLESS FINISH

ALL WET AREA FLOORS  
TO BE RECESSED 50mm

**SEVERE MARINE  
CLASSIFICATION SL1**

ALL TRADES & SUPPLIERS TO COMPLY WITH  
THE BCA AND ALL RELEVANT AUST STANDARDS

**FIRST FLOOR**

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ACN 135 562 873  
Builders License No. 213 442C  
18 Pitt St, Paramatta NSW 2150  
Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:

CLIENT: MR &amp; MRS DOUGLAS

ADDRESS:

LOT 21, No 57 HAY STREET  
COLLAROY  
NORTHERN BEACHES COUNCIL

PREMIUM INCLUSIONS

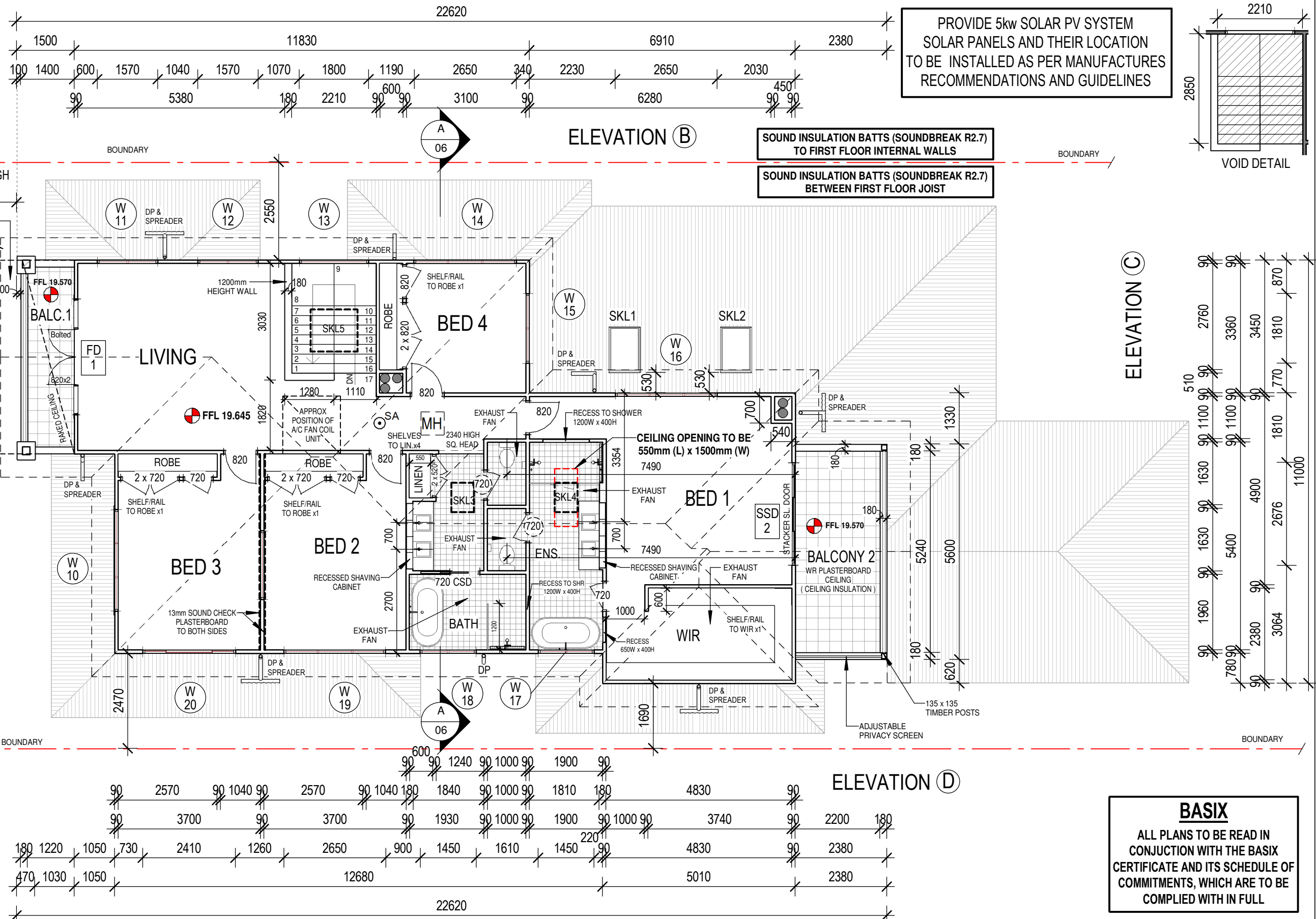
JOB NO: 17428 DATE: 9.12.19

DRAWN: HT CHECKED:.

SCALE: 1 : 100 SHEET NO: 03

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PROVIDE 5kw SOLAR PV SYSTEM  
SOLAR PANELS AND THEIR LOCATION  
TO BE INSTALLED AS PER MANUFACTURES  
RECOMMENDATIONS AND GUIDELINES

SOUND INSULATION BATTS (SOUNDBREAK R2.7)  
TO FIRST FLOOR INTERNAL WALLS

SOUND INSULATION BATTS (SOUNDBREAK R2.7)  
BETWEEN FIRST FLOOR JOIST

ELEVATION (C)

ELEVATION (D)

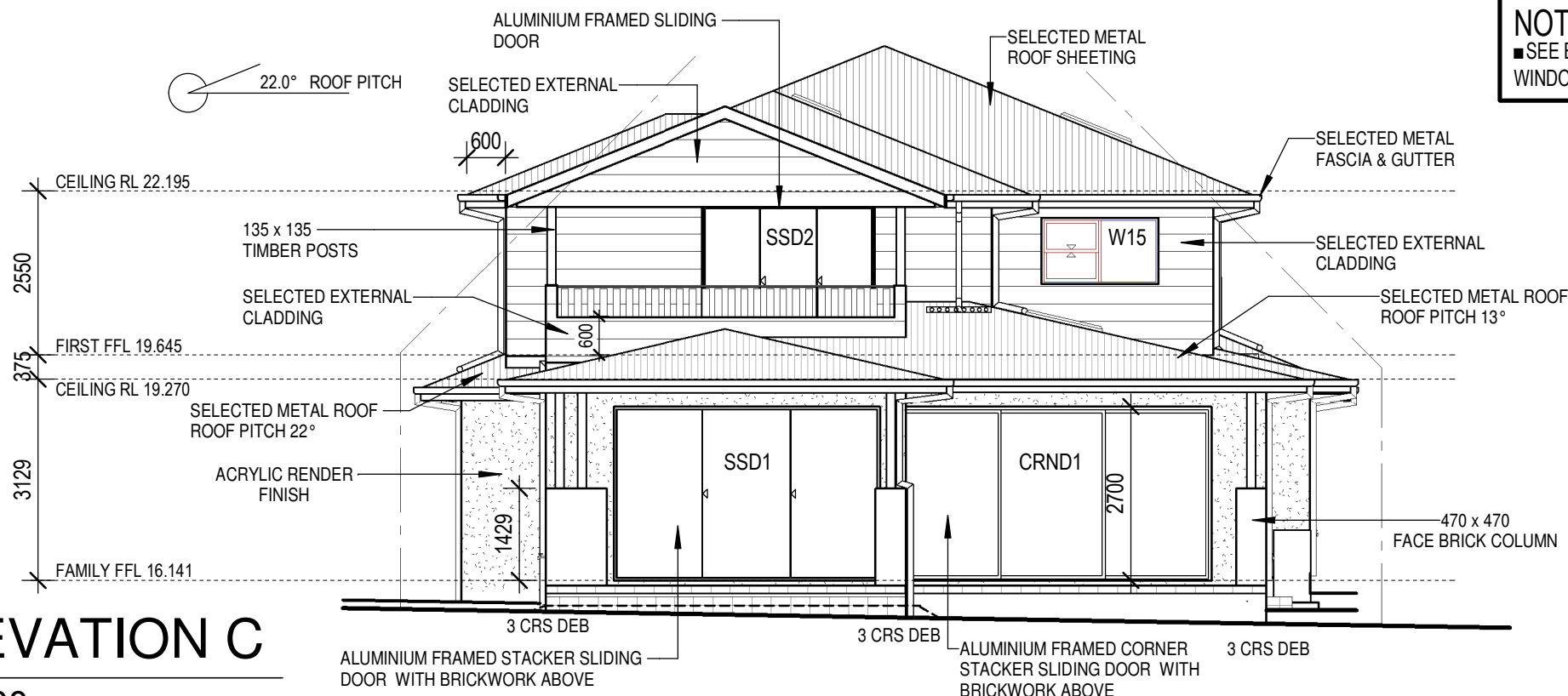
**BASIX**

ALL PLANS TO BE READ IN  
CONJUNCTION WITH THE BASIX  
CERTIFICATE AND ITS SCHEDULE OF  
COMMITMENTS, WHICH ARE TO BE  
COMPLIED WITH IN FULL



# ELEVATION C

1 : 100



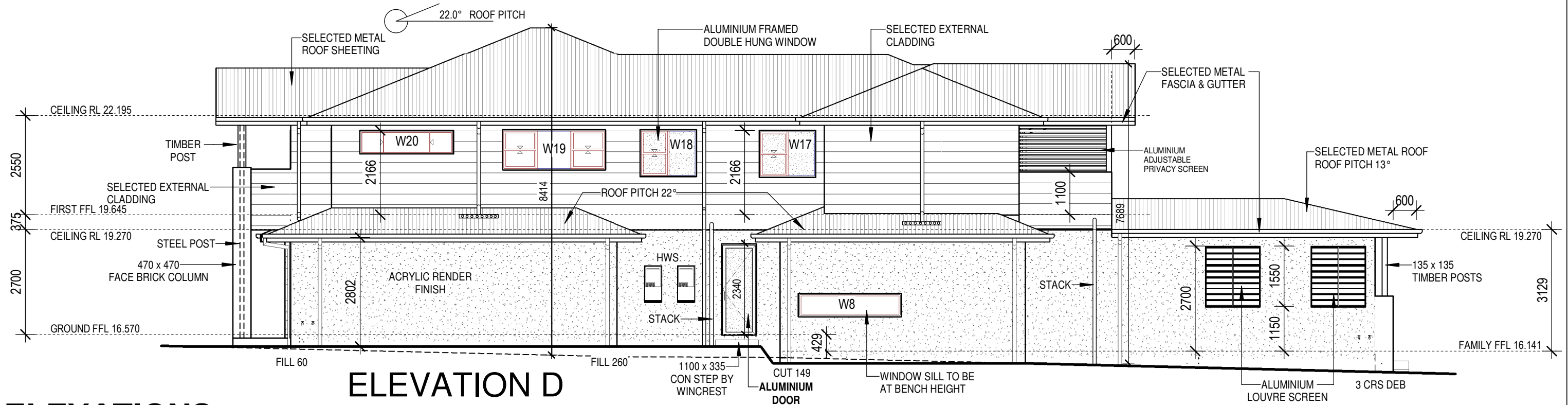
## NOTE:

SEE ELEVATIONS FOR ALL WINDOW HEADS HEIGHT

PROVIDE 5kw SOLAR PV SYSTEM  
SOLAR PANELS AND THEIR LOCATION  
TO BE INSTALLED AS PER MANUFACTURES  
RECOMMENDATIONS AND GUIDELINES

# ELEVATION D

1 : 100



## ELEVATIONS

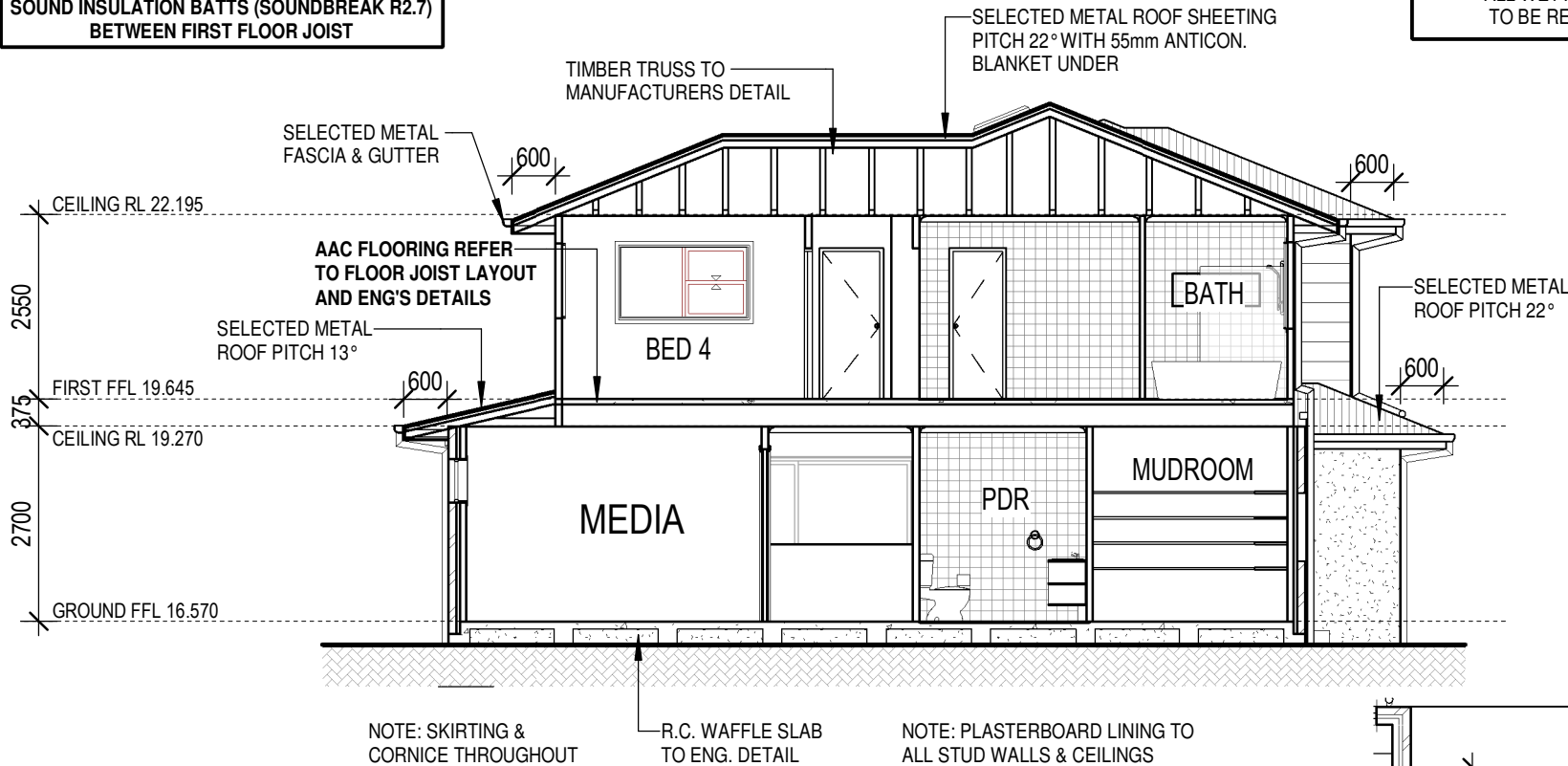
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SOUND INSULATION BATTS (SOUNDBREAK R2.7)  
TO FIRST FLOOR INTERNAL WALLS

SOUND INSULATION BATTS (SOUNDBREAK R2.7)  
BETWEEN FIRST FLOOR JOIST

## SEAMLESS FINISH

ALL WET AREA FLOORS  
TO BE RECESSED 50mm



## SECTION A - A

1 : 100

### GENERAL NOTES:

- PROVIDE GRANITGARD PEST CONTROL SYSTEM OR SIMILAR TO PERIMETER OF HOME AS REQUIRED BY CERTIFYING AUTHORITY.
- AS/NZS 3000-2000 ELECTRICAL REQUIREMENTS: SAFETY SWITCH TO FRIDGE & LIGHT CIRCUITS; ISOLATING SWITCH FOR WALL OVEN.
- PROVIDE R4.0 GLASSWOOL CEILING INSULATION TO ROOF SPACE OF LIVING AREAS.
- PROVIDE R2.5 GLASSWOOL WALL INSULATION TO EXTERNAL WALLS OF LIVING AREAS.
- WELS RATED KITCHEN, LAUNDRY & VANITY BASIN TAPS REQUIRED.
- PROVIDE SHOWERHEADS '3 STAR' RATED (>6 BUT <=7.5 L/min) IN ALL SHOWERS.
- WELS RATED TOILET CISTERNS REQUIRED.
- PROVIDE 3,000 LITRE WATER TANK.
- NO EXHAUST FANS UNLESS REQUIRED FOR MECHANICAL VENTILATION
- PROVIDE WEATHER STRIPS TO ALL EXTERNAL HINGED DOORS.
- GAS/ELECTRONIC INSTANTANEOUS HOT WATER SERVICE ( 6 STARS)
- 75mm GAP BETWEEN FRIDGE & WALL TO BE MAINTAINED.
- PROVIDE NATURAL GAS PLUMBING FOR COOKTOP & 1 INTERNAL HEATING POINT.
- MANHOLE POSITION IS APPROXIMATE ONLY AND MAY BE RE-POSITIONED ON SITE TO SUIT CONSTRUCTION CONSTRAINTS OR REQUIREMENTS

### SEVERE MARINE CLASSIFICATION SL1

ALL TRADES & SUPPLIERS TO COMPLY WITH  
THE BCA AND ALL RELEVANT AUST STANDARDS

### BASIX

ALL PLANS TO BE READ IN  
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COMMITMENTS, WHICH ARE TO BE  
COMPLIED WITH IN FULL

Window and Sl . door Schedule					
WT	Window No.	Height	Width	Window Style	Glazing
W	1	2050	1810	DOUBLE HUNG	CLEAR 6.38mm Comfortplus laminated
W	2	2050	610	FIXED	CLEAR DOUBLE GLAZED
W	3	600	1090	SLIDING	OBSC./TG TILED REVAEL
W	4	600	1810	SLIDING	CLEAR DOUBLE GLAZED
W	5	600	1810	SLIDING	CLEAR DOUBLE GLAZED
W	6	600	1450	SLIDING	CLEAR DOUBLE GLAZED
W	7	600	1450	SLIDING	CLEAR DOUBLE GLAZED
W	8	600	2650	FIXED	CLEAR
W	9	2057	1800	FIXED	
W	10	1200	2650	DOUBLE HUNG	CLEAR 6.38mm Comfortplus laminated
W	11	1030	1570	DOUBLE HUNG	CLEAR 6.38mm Comfortplus laminated
W	12	1030	1570	DOUBLE HUNG	CLEAR 6.38mm Comfortplus laminated
W	13	2057	1800	FIXED	CLEAR DOUBLE GLAZED
W	14	1029	2650	DOUBLE HUNG	CLEAR 6.38mm Comfortplus laminated
W	15	1029	1810	DOUBLE HUNG	CLEAR 6.38mm Comfortplus laminated
W	16	1029	2650	DOUBLE HUNG	CLEAR 6.38mm Comfortplus laminated
W	17	1200	1450	DOUBLE HUNG	OBSC./TG
W	18	1200	1450	DOUBLE HUNG	OBSC./TG
W	19	1029	2650	DOUBLE HUNG	CLEAR 6.38mm Comfortplus laminated
W	20	600	2410	SLIDING	CLEAR DOUBLE GLAZED
SSD	1	2700	4140	STACKER SL.DOOR	CLEAR 6mm VTOUGH GLAZING
SSD	2	2340	2676	STACKER SL.DOOR	CLEAR DOUBLE GLAZED
SKL	1	1180	780	SKYLIGHT	CLEAR DOUBLE GLAZED
SKL	2	1180	780	SKYLIGHT	CLEAR DOUBLE GLAZED
SKL	3	780	550	SKYLIGHT	CLEAR DOUBLE GLAZED
SKL	4	780	550	SKYLIGHT	CLEAR DOUBLE GLAZED
SKL	5	1140	1180	SKYLIGHT	CLEAR DOUBLE GLAZED
FD	1	2100	3010	FRENCH DOOR	CLEAR
CRND	1	2700	SEE DETAIL	CORNER STACKER	CLEAR 6mm VTOUGH GLAZING
AD	1	2340	896	ALUMINIUM DOOR	OBSCURE

#### NOTE:

Windows typically with standard glass - Awning Uw 6.35 & SHGC 0.64, Sliding Uw 6.42 & SHGC 0.76, Bifold door Uw 6.12 & SHGC 0.76, Double hung Uw 6.24 & SHGC 0.74, Sliding doors and stacking doors Uw 6.25 & SHGC 0.72

#### NOTE:

Windows typically with **double glazing** - Awning Uw 4.8 & SHGC 0.51, Sliding / fixed Uw 4.4 & SHGC 0.61, Double hung Uw 4.4 & SHGC 0.60

#### NOTE:

Doors typically with standard glass - Sliding doors and stacking doors Uw 6.25 & SHGC 0.72, Bifold door Uw 6.12 & SHGC 0.76

#### NOTE:

ALL BED ROOM WINDOW OPENINGS HIGHER THAN 2.0m FROM FINISHED GROUND LEVEL TO BE PROTECTED IN ACCORDANCE WITH CLAUSE 3.9.2.5 VOLUME 2 OF THE BUILDING CODE OF AUSTRALIA

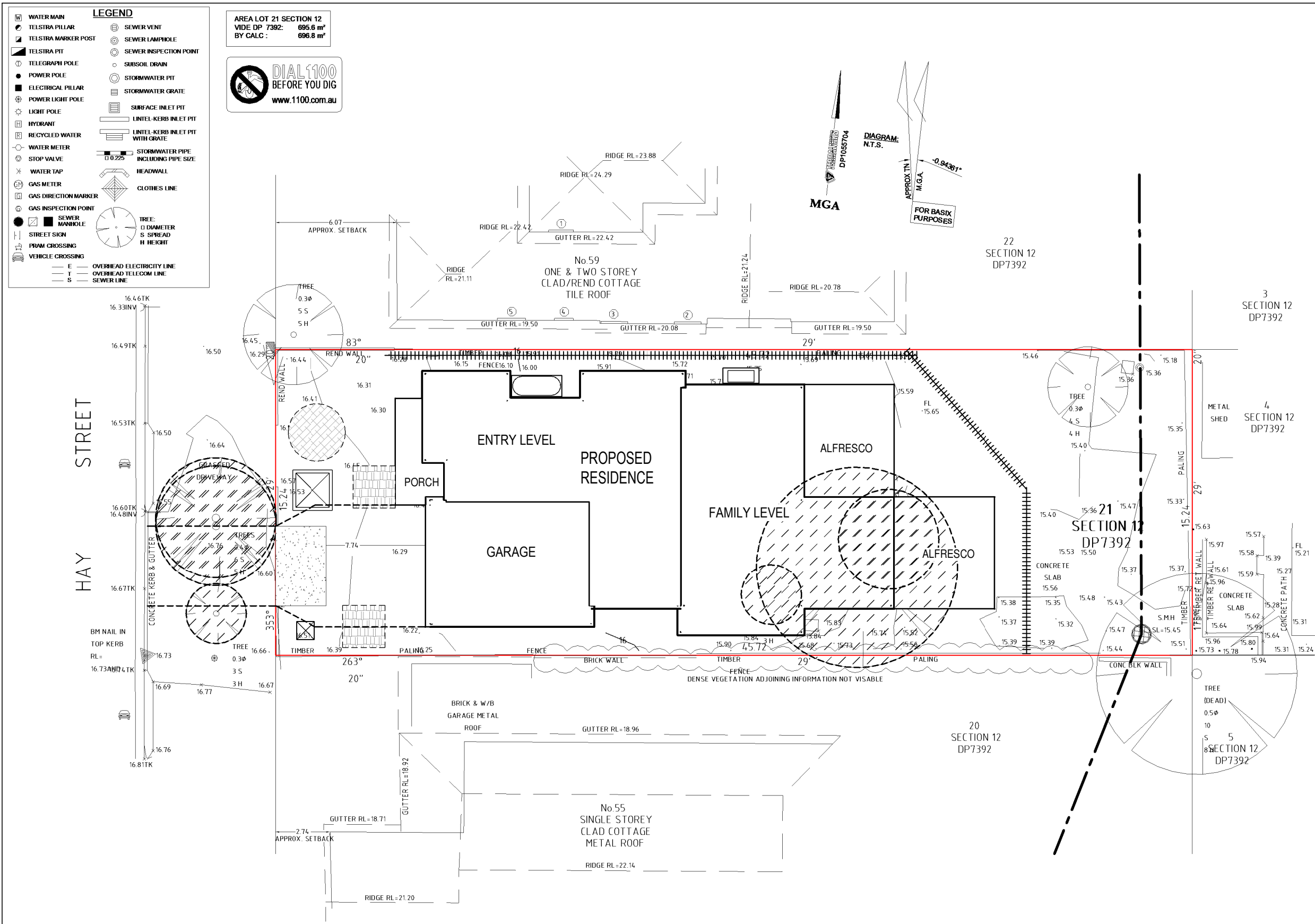
#### WINDOWS

ALL WINDOWS ON 250mm  
BRICK VENEER WALLS

137mm  
REVEALS

## SECTION/SCHEDULES

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**LEGEND**

Material Stockpile area.

Waste stockpile & material sorting area.

Storage recycling bins for segregated waste.

Chemical toilets.

Temporary builders d/way to E.P.A. requirements.

Fit standard 600 high green silt fence (refer to detail).

Trees to be removed.

**NOTE:** All waste materials to be taken to an approved waste disposal site.

**SOIL , SEDIMENT AND SITE MANAGEMENT PLAN**

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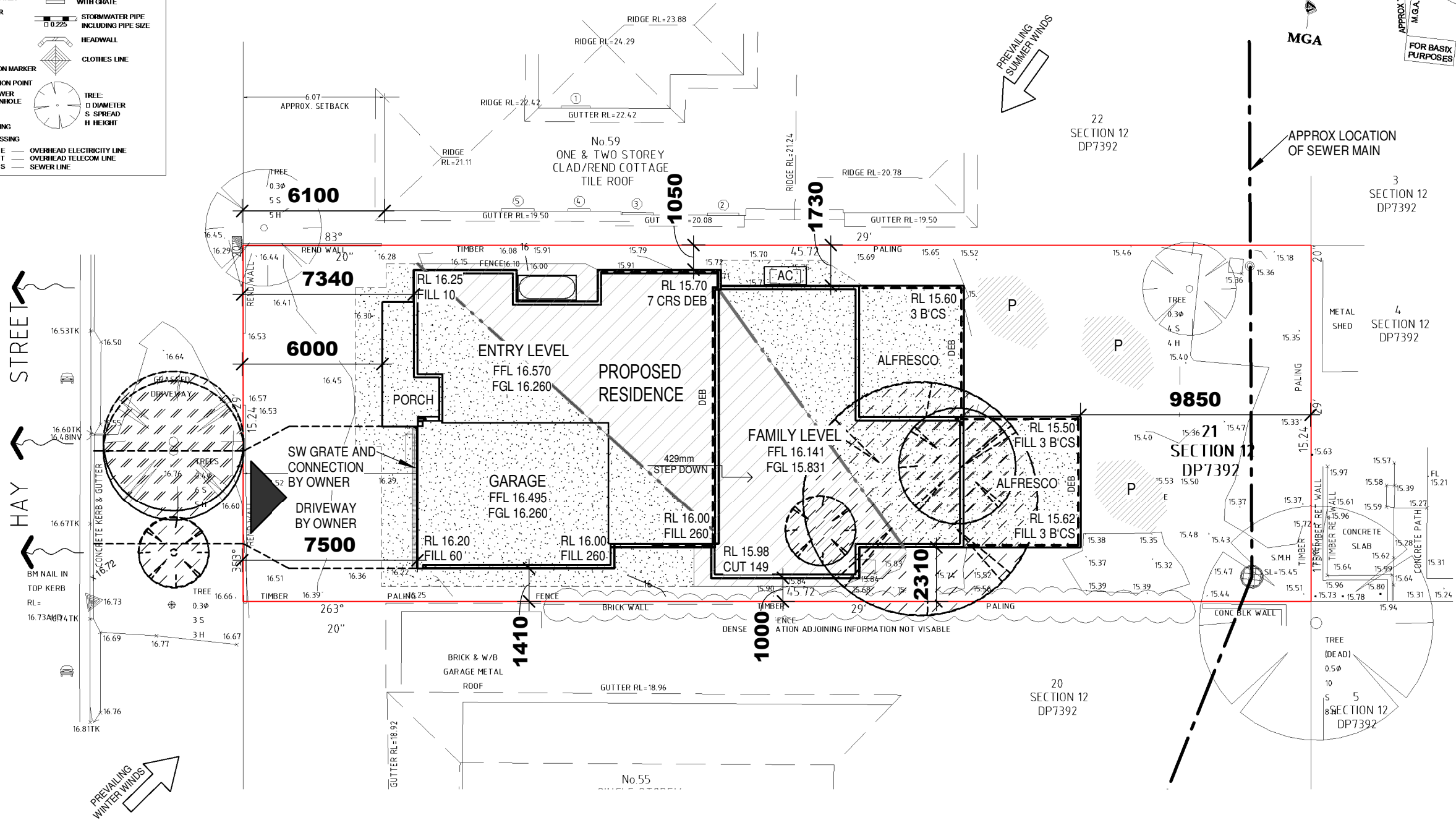
**LEGEND**

WATER MAIN  
TELSTRA PILLAR  
TELSTRA MARKER POST  
TELSTRA PIT  
TELEGRAPH POLE  
POWER POLE  
ELECTRICAL PILLAR  
POWER LIGHT POLE  
LIGHT POLE  
HYDRANT  
RECYCLED WATER  
WATER METER  
STOP VALVE  
WATER TAP  
GAS METER  
GAS DIRECTION MARKER  
GAS INSPECTION POINT  
SEWER MANHOLE  
STREET SIGN  
PRAM CROSSING  
VEHICLE CROSSING

SEWER VENT  
SEWER LAMPPOLE  
SEWER INSPECTION POINT  
SUBSOIL DRAIN  
STORMWATER PIT  
STORMWATER GRATE  
SURFACE INLET PIT  
UNTEL-KERB INLET PIT  
UNTEL-KERB INLET PIT WITH GRATE  
STORMWATER PIPE INCLUDING PIPE SIZE  
HEADWALL  
CLOTHES LINE  
TREE:  $\phi$  DIAMETER  
S SPREAD  
H HEIGHT

OVERHEAD ELECTRICITY LINE  
OVERHEAD TELECOM LINE  
SEWER LINE

AREA LOT 21 SECTION 12  
VIDE DP 7392: 695.6 m<sup>2</sup>  
BY CALC: 696.8 m<sup>2</sup>



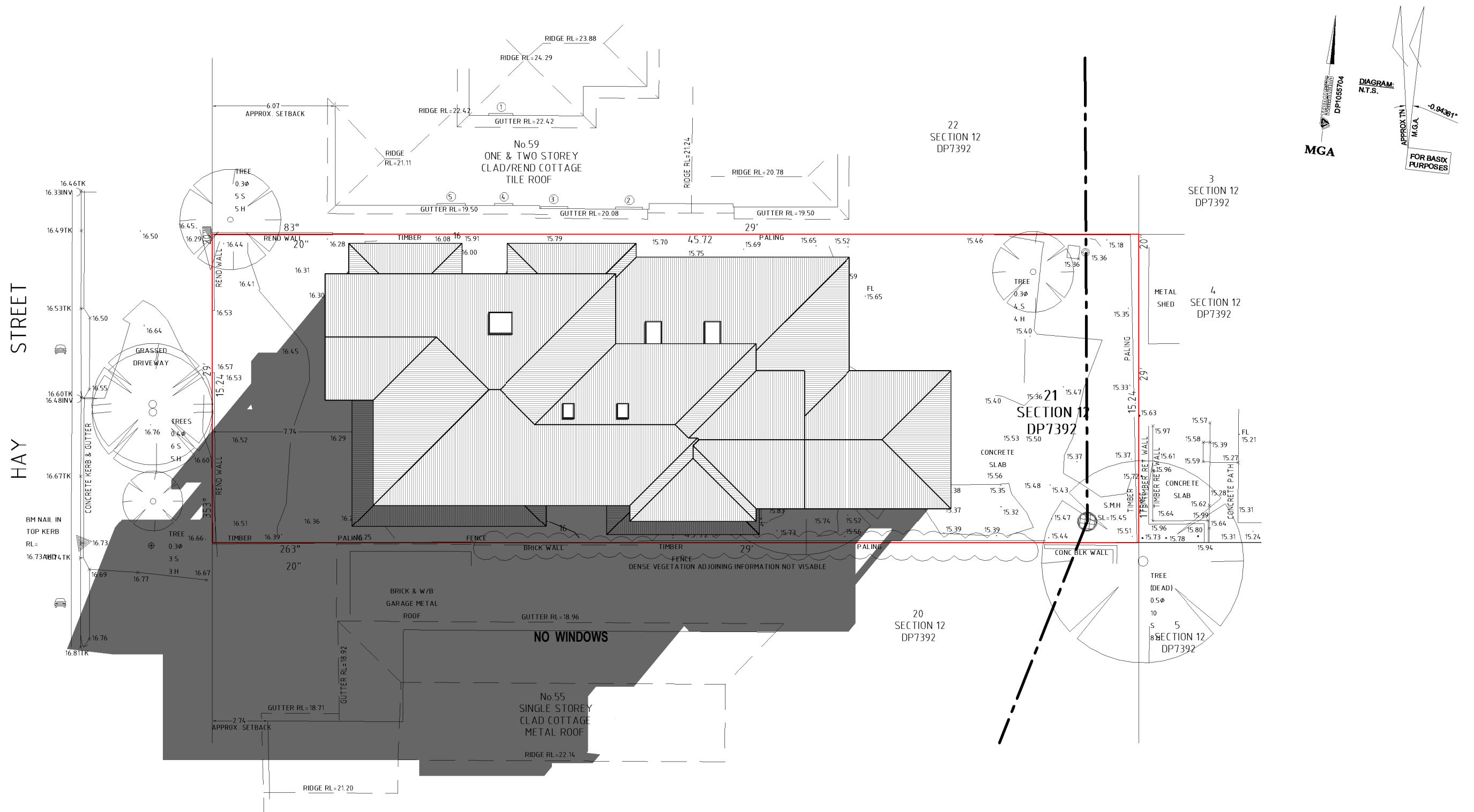
**LEGEND**

EXISTING TREES TO BE REMOVED  
EXISTING TREES TO BE RETAINED  
PROPOSED RESIDENCE.  
EXISTING ADJOINING RESIDENCE.  
EXISTING BUILDINGS TO BE DEMOLISHED.  
SITE BOUNDARY  
CONTOURS  
PRIVATE OPEN SPACE  
VIEWS  
VEHICULAR SITE ENTRY  
PREVAILING WINDS  
NOISE  
OVERLOOKING

# SITE ANALYSIS

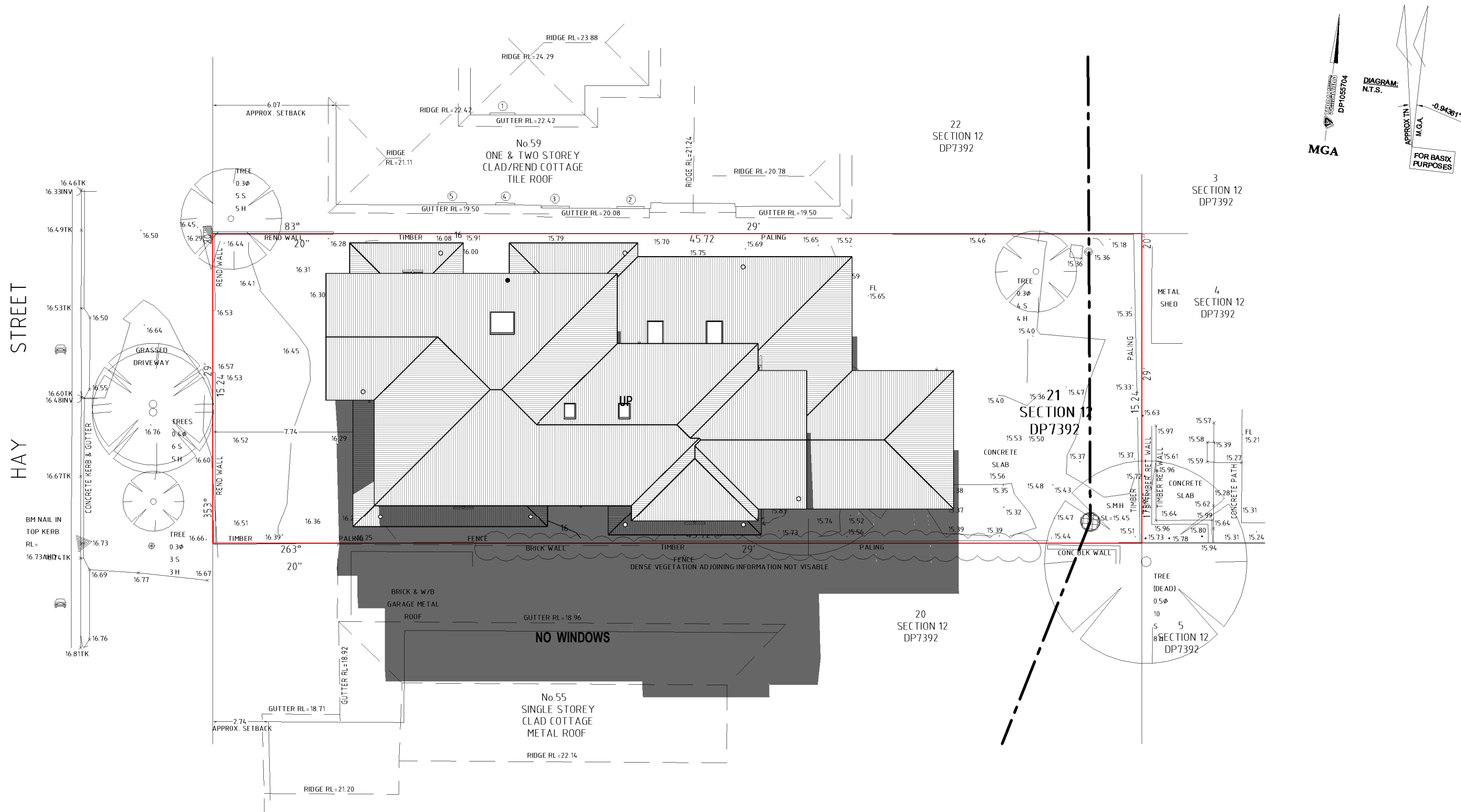
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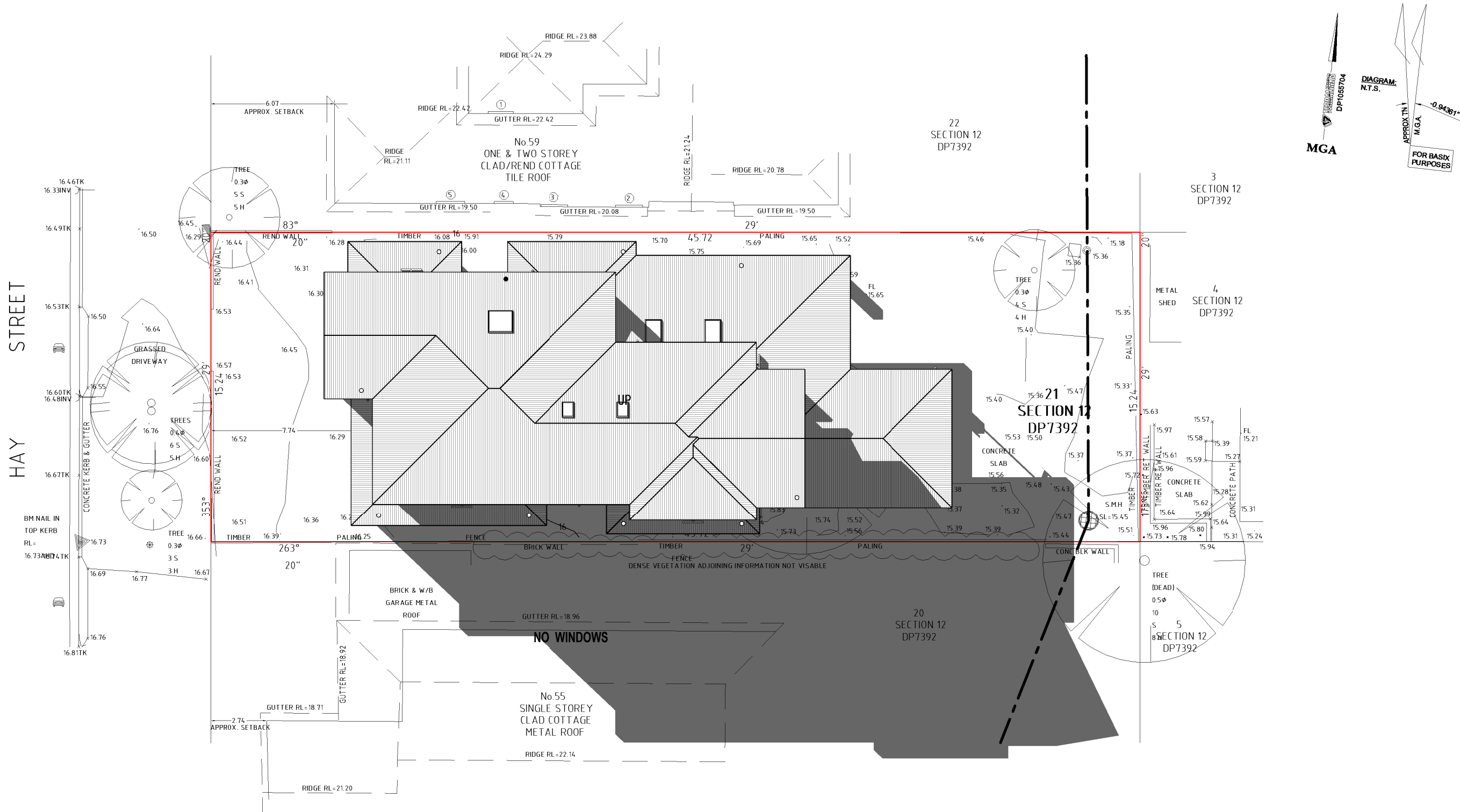
SHADOW DIAGRAM JUNE 21st 9AM

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# SHADOW DIAGRAM JUNE 21st 12PM

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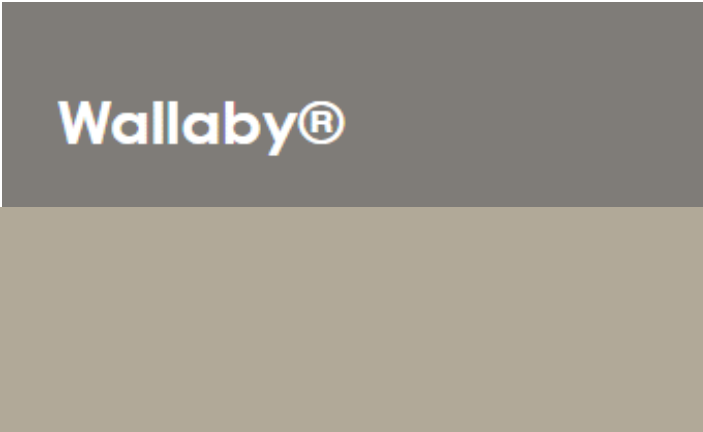
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# External Colour Selection Schedule



BESPOKE

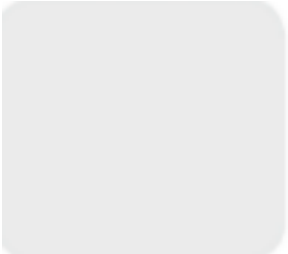
for: 5 Hay Street, Collaroy



Brimstone Smoke



EXTERNAL COLOR SELECTIONS Ref 17128					
Details			Selections		
Colourbond Roof			Wallaby		
Gutter/fascia/barge			Surfmist		
Render and Cladding			Taubmans Brimstone Smoke		
Rainwater tank			Surfmist		
Garage door			Surfmist		
Front door			Taubmans Silent Night		
Windows			Surfmist		



Surfmist



Silent Night