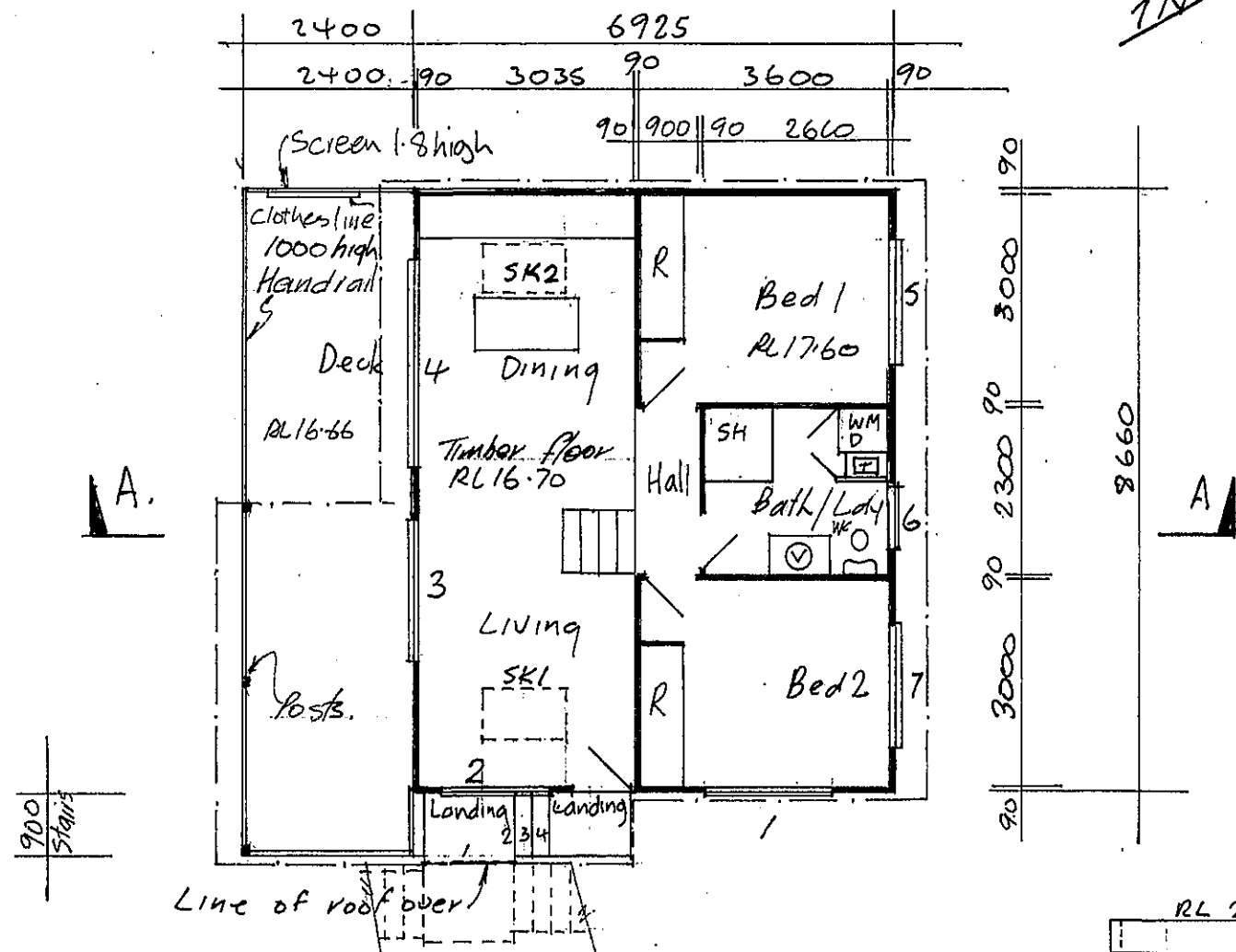
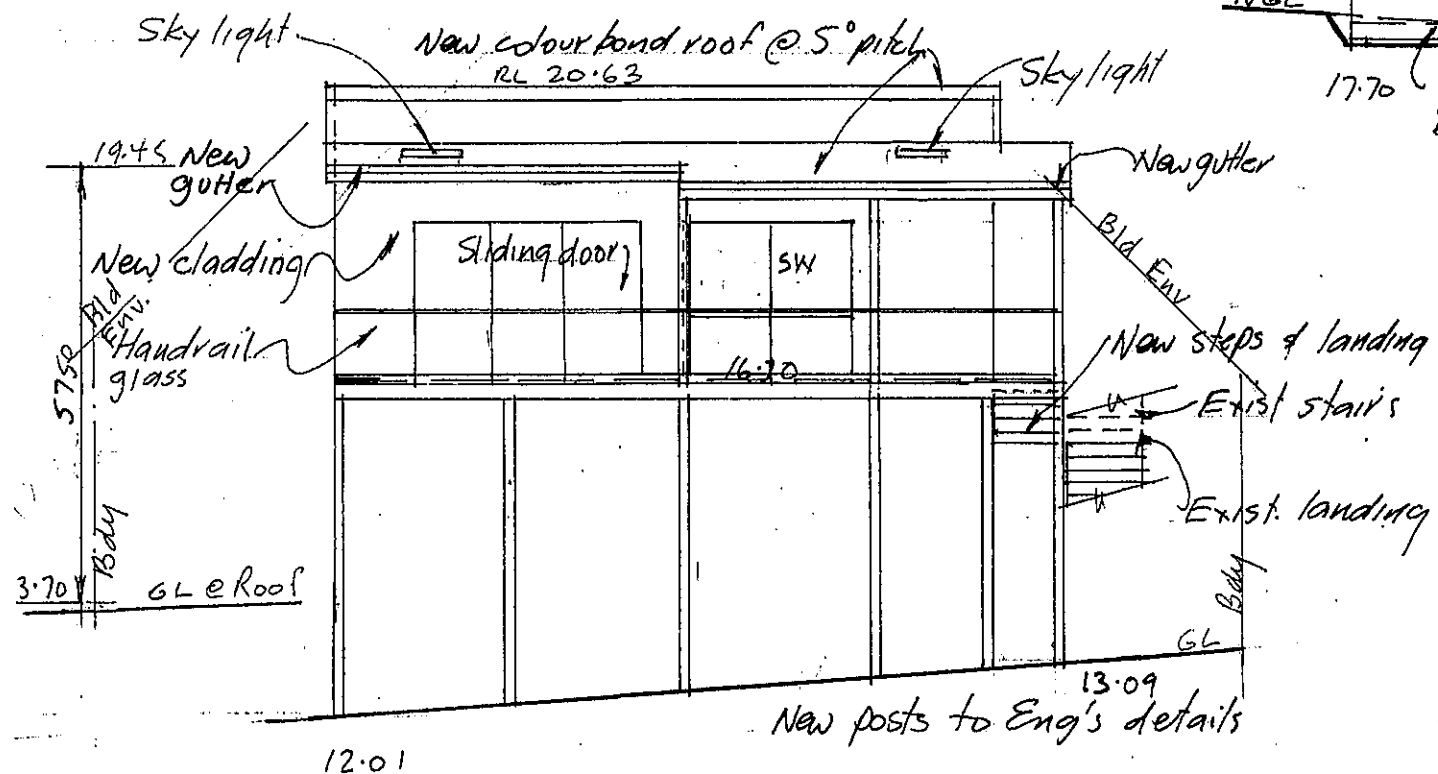
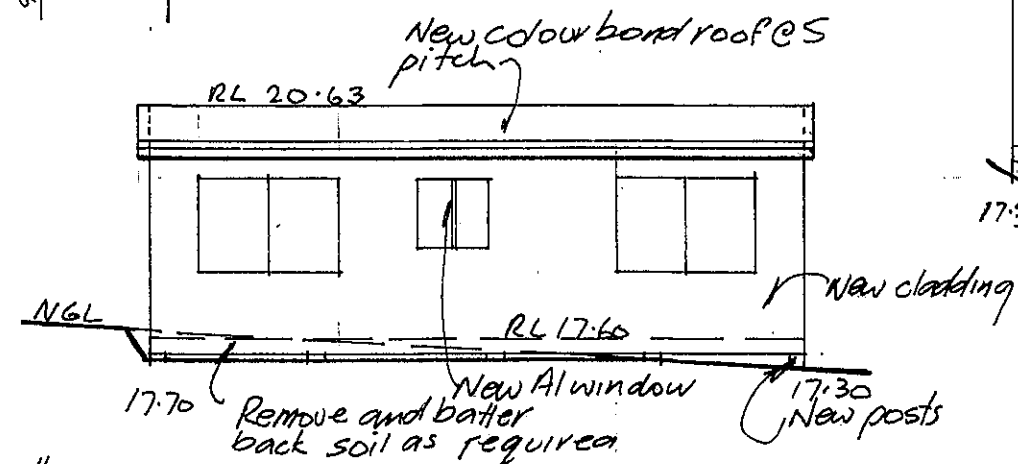




FLOOR PLAN Scale 1:100

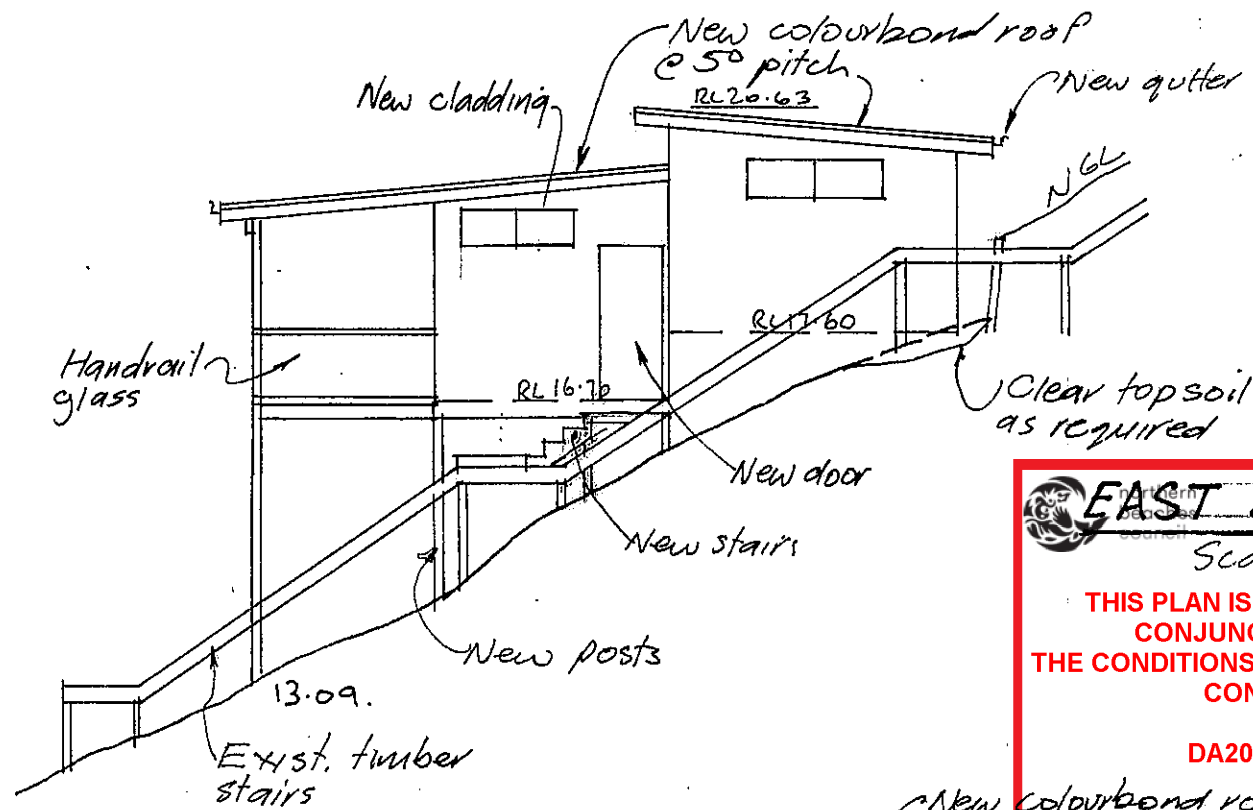


SOUTH ELEVATION Scale 1:100

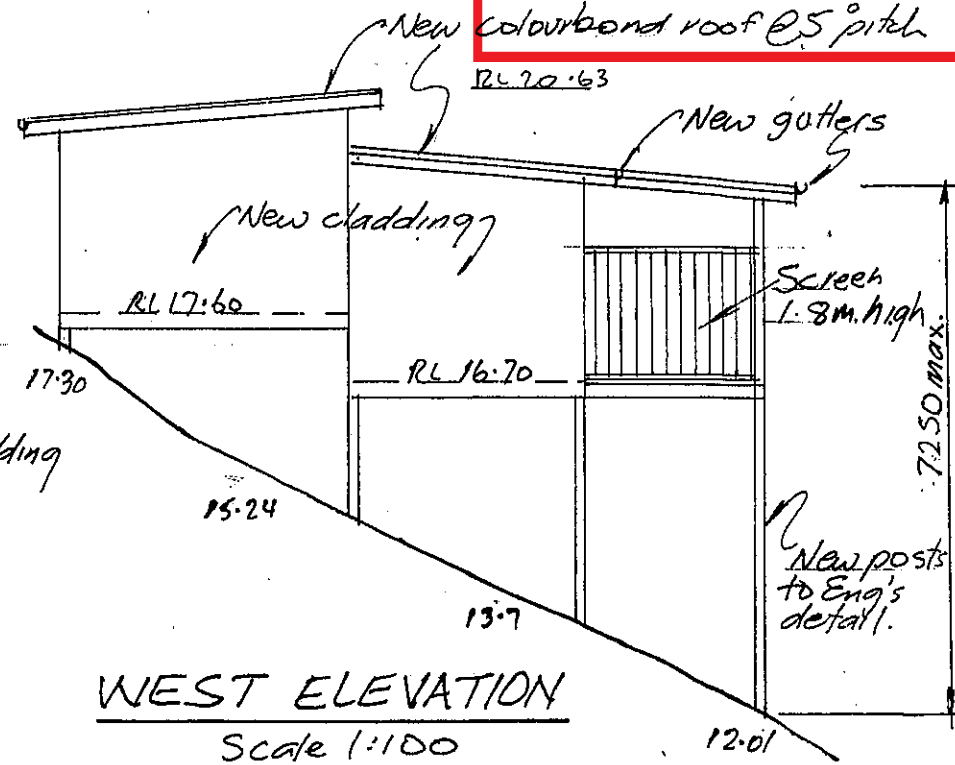


NORTH ELEVATION Scale 1:100

WINDOW SCHEDULE				
Code	Size	Direction	Area m ²	Type
1	0.5 x 1.8	E	0.9	W
2	0.5 x 1.5	E	0.75	W
3	2.1 x 2.1	S	4.41	W
4	2.1 x 3.0	S	6.30	Sl. door
5	1.2 x 1.8	N	2.16	W
6	0.9 x 0.9	N	0.73	Frosted
7	1.2 x 1.8	N	2.16	W
SK1	1.78 x 1.18	S	0.92	Sky light
SK2	1.78 x 1.18	S	0.92	Sky light



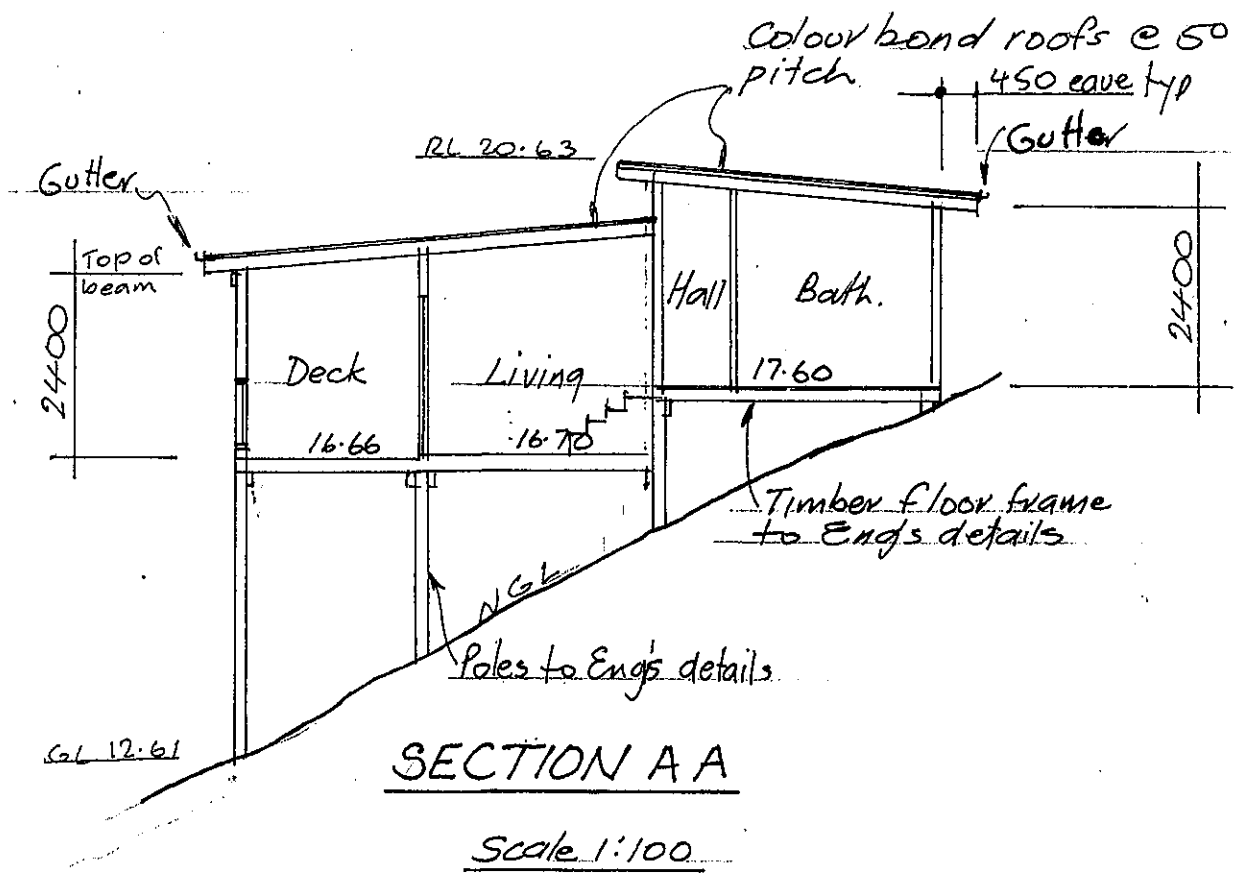
EAST ELEVATION
Scale 1:100
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2021/0457



WEST ELEVATION Scale 1:100

Amendment 'A' 2.2.21 Basic changes by R Conway.
PROPOSED NEW GRANNY FLAT
AT 44 NAREEN PDE. NTH. NARRABEEN
FOR MR. & MRS. McCABE

PLANS & ELEVATIONS
Scale 1:100 Date 11.1.21 Drawn by R. Conway
Phone. 0425314716 Drg. N° 20/6/1.A



NOTES & SPECIFICATION

1. All dimensions shall be checked on site prior to ordering materials
2. All materials and workmanship shall comply with S.A.A. code BCA and Basix report.
3. New roof shall be colourbond - medium colour @ 5° pitch
4. New floor framing shall be treated timber to Eng's details
5. New columns shall be to Eng's details
6. Internal linings shall be gyprock and villa board in wet areas
7. Wet areas shall be waterproofed
8. New deck shall be timber
9. New hand rails shall be glass, 1000 high
10. New external stairs and landings shall be treated timber or hardwood.
11. Internal stairs shall be timber
12. New deck posts shall be as per Eng's details
13. New foundations shall be concrete
14. New kitchen and bath/Ldy shall be connected into the Board's sewer system.
15. All roof water shall be collected and piped to tanks under the house with the overflow going to Councils kerb and gutter
16. S/W tanks shall be determined as per Basix Report.
17. Provide insulation as per Basix Report
18. New cladding shall be weatherex or similar F/c material
19. Windows and doors shall be improved aluminium
20. Fascia, gutter and down pipes shall be colourbond
21. Roof windows shall be Velux or similar
22. Excavate north easter corner under house, minor only
23. Tiling in kitchen & bath/Ldy as per owners request.
24. The Western wall and the first 500mm of the North & South walls shall be sound proof treated as they are near the inclinator

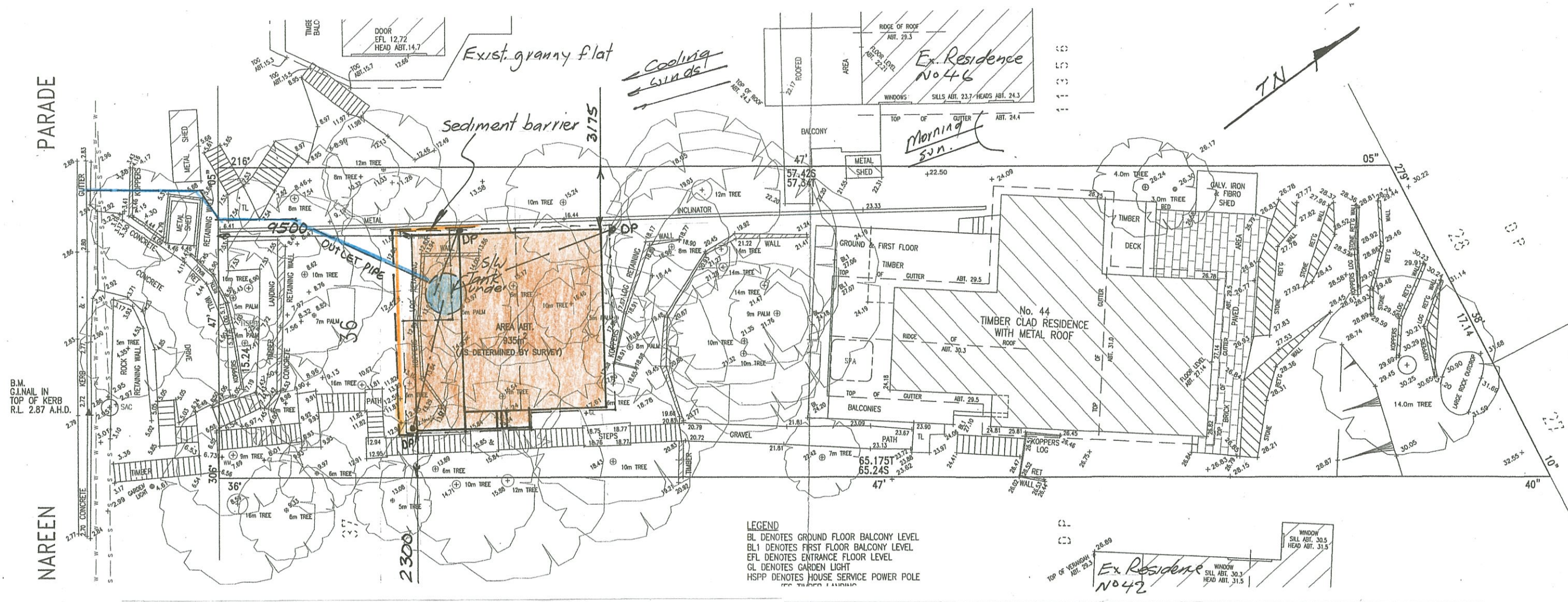


THIS PLAN IS TO BE READ IN
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CONSENT

DA2021/0457

PROPOSED NEW GRANNY FLAT
AT 44 NAREEN PDE. NTH. NARRABEEN.
FOR MR. & MRS. McCABE

SECTION A-A, NOTES & SPECIFICATION
Scale 1:100 Date 11.1.21 Drawn by R. Conway
Phone 0425 314716 20/6/21



SITE ANALYSIS, SITE, LANDSCAPE, STORMWATER & SEDIMENT CONTROL PLAN

Scale 1:200



THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/0457

DRAINAGE

All drainage shall discharge into Council's kerb & gutter after being piped to s/w tanks under the proposed building

DEMOLITION

There is no demolition for this project.

GEO TECHNICAL

A geotechnical report has been included in the application

WASTE MANAGEMENT

All waste shall be taken to Kimbriki or similar depot and recycled where possible. The Contractor shall be Stumpy's dumpies. Rubbish shall be covered at all times

EXTERNAL FINISHES

Roof & gutters - Colourbond - Medium colour Monument.
Walls - F/c sheeting
Windows - Aluminium, Antique White
Decks - Timber - tallow wood.
Supports - Treated timber or as per Engineer

SEDIMENT CONTROL

A sediment cloth design shall be used to control sediment entering Council's s/w system or neighbours res. see plan for location.

PROPOSED NEW GRANNY FLAT

AT 44 NAREEN PDE. NTH. NARRABEEN

FOR MR & MRS McCABE

SITE ANALYSIS PLAN

SITE, LANDSCAPE, SEDIMENT & DRAINAGE

Scale 1:100 Date 11.1.21 Drawn by R. Conway

Phone 0425314716

Drg. No 20/6/3