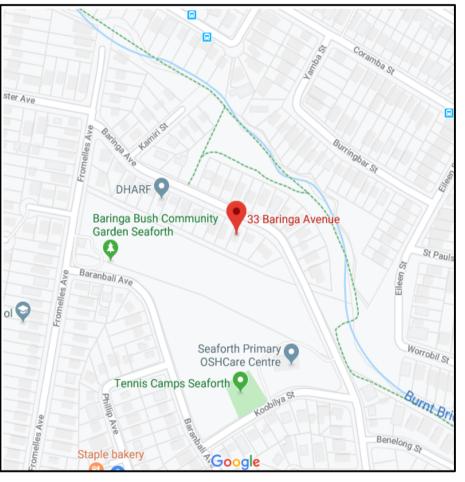
DEVELOPMENT APPLICATION PROPOSED MINOR ALTERATIONS AND ADDITIONS TO THE RESIDENCE RESIDENTIAL DEVELOPMENT

33 Baringa Avenue, **Seaforth NSW**

DRAWING LIST

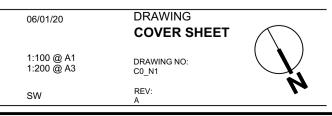
SHEET NO	SHEET TITLE	DATE
C0	COVER SHEET	15.01.2020
C1	SITE PLAN	15.01.2020
C2	FLOOR PLAN	15.01.2020
C3	EASTERN ELEVATION	15.01.2020
C4	WESTERN ELEVATION	15.01.2020
C5	SOUTHERN ELEVATION	15.01.2020
C6	NOTIFICATION PLAN	15.01.2020
C7	SITE ANALYSIS PLAN	15.01.2020
C8	SEDIMENT CONTROL PLAN	15.01.2020
C9	FIRST FLOOR PLAN	15.03.2020

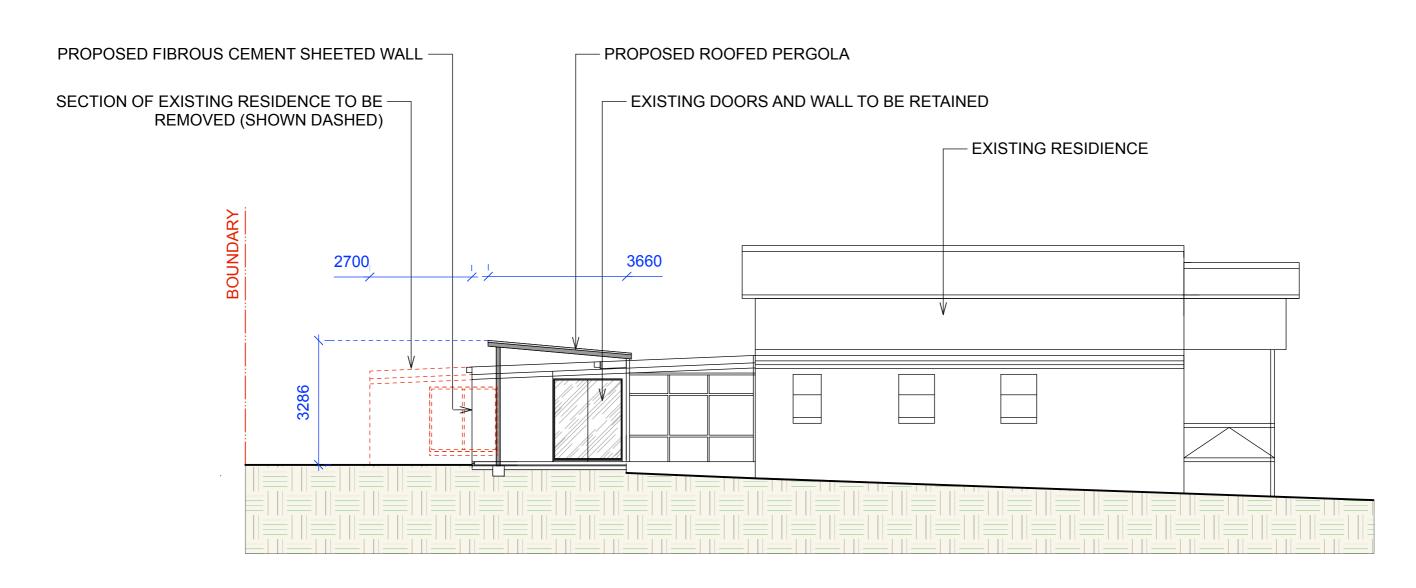
SITE LOCATION



CONTOUR	PROJECT David & Nadine Day	NOTES comply with building code of australia and all relevant australian standards all works shall be in accordence with development application and construction certificate conditions of consent all levels to ahd refer to survey information relating to existing site data	<u>DATE REV. ISSUE</u> 06/01/20_A	DATE:
LANDSCAPE ARCHITECTURE PO Box 698 MONA VALE NSW 1660 Tel: 0434 500 705 - AIDLM	33 Baringa Avenue, Seaforth NSW 2092	verify all dimensions prior to works do not scale from drawings use figured dimentions in preference to scaling refer all descrepancies to landacape architect for determination this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of contour landscape architects.		SCALE: DRAWN:







	PROJECT	NOTES	DATE REV. ISSUE	DATE:
CONTOUR	David & Nadine Day	comply with building code of australia and all relevant australian standards all works shall be in accordence with development application and construction certificate conditions of consent all levels to and refer to survey information relating to existing site data verify all dimensions point overks	06/01/20_A	00015
LANDSCAPE ARCHITECTURE	33 Baringa Avenue,	do not scale from drawings use figured dimentions in preference to scaling refer all descreancies to landscace architect for determination		SCALE:
PO Box 698 MONA VALE NSW 1660	Seaforth NSW 2092	this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of contour landscape architects.		
Tel: 0434 500 705 - AIDLM				DRAWN:

ELEVATION A SCALE 1:100 (DIAGRAMMATIC ONLY)

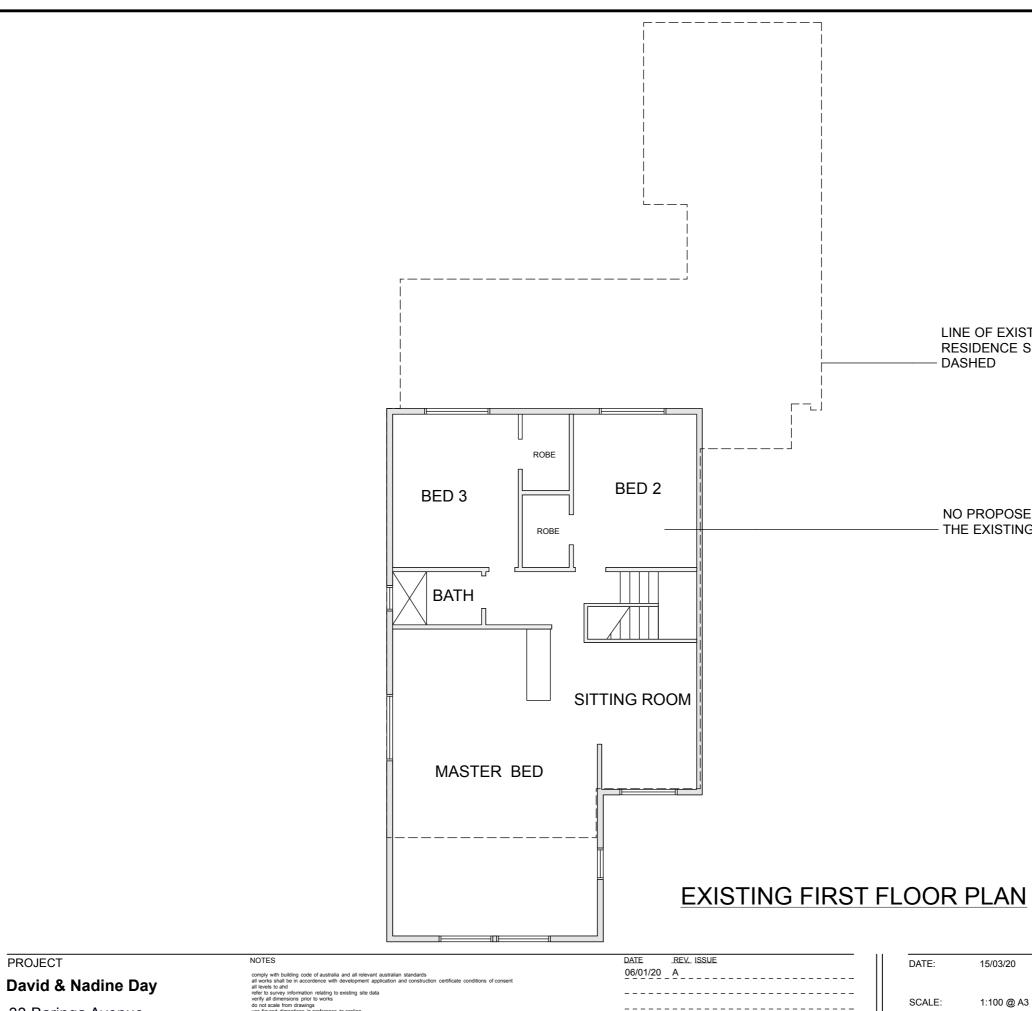
06/01/20

1:100 @ A3

DRAWING NO: C3_N1 REV:

DRAWING

EASTERN ELEVATION



uced in any way without prior written pe

LANDSCAPE	ARCHIT	ECTURE
PO Box 698 MC Tel: 0434 5		

CONTOUR

33 Baringa Avenue, Seaforth NSW 2092

5/03/20	DRAWING FIRST FLOOR PLAN		
:100 @ A3	DRAWING NO: C9_N1		
W	REV: A		

15

1:

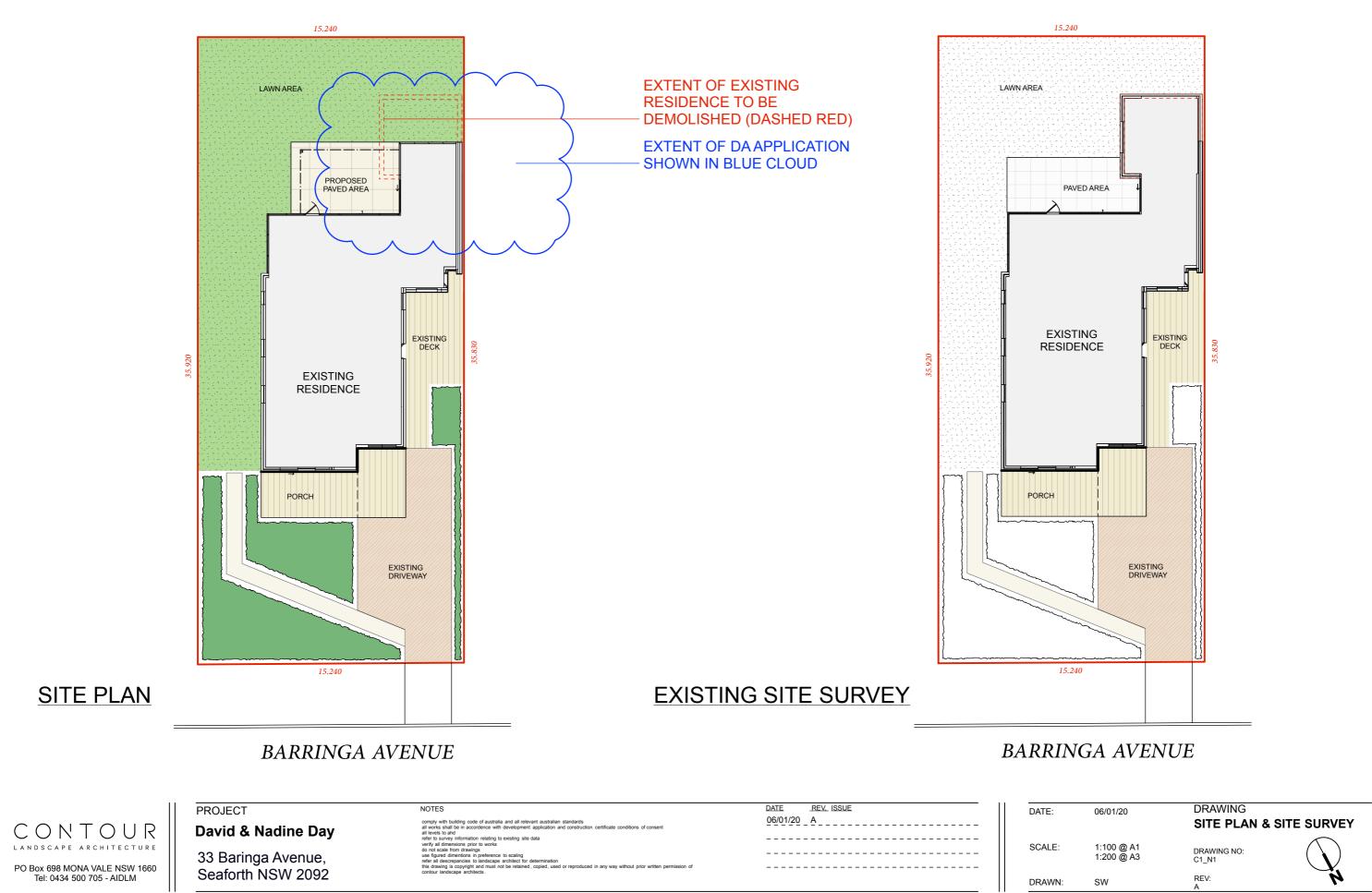


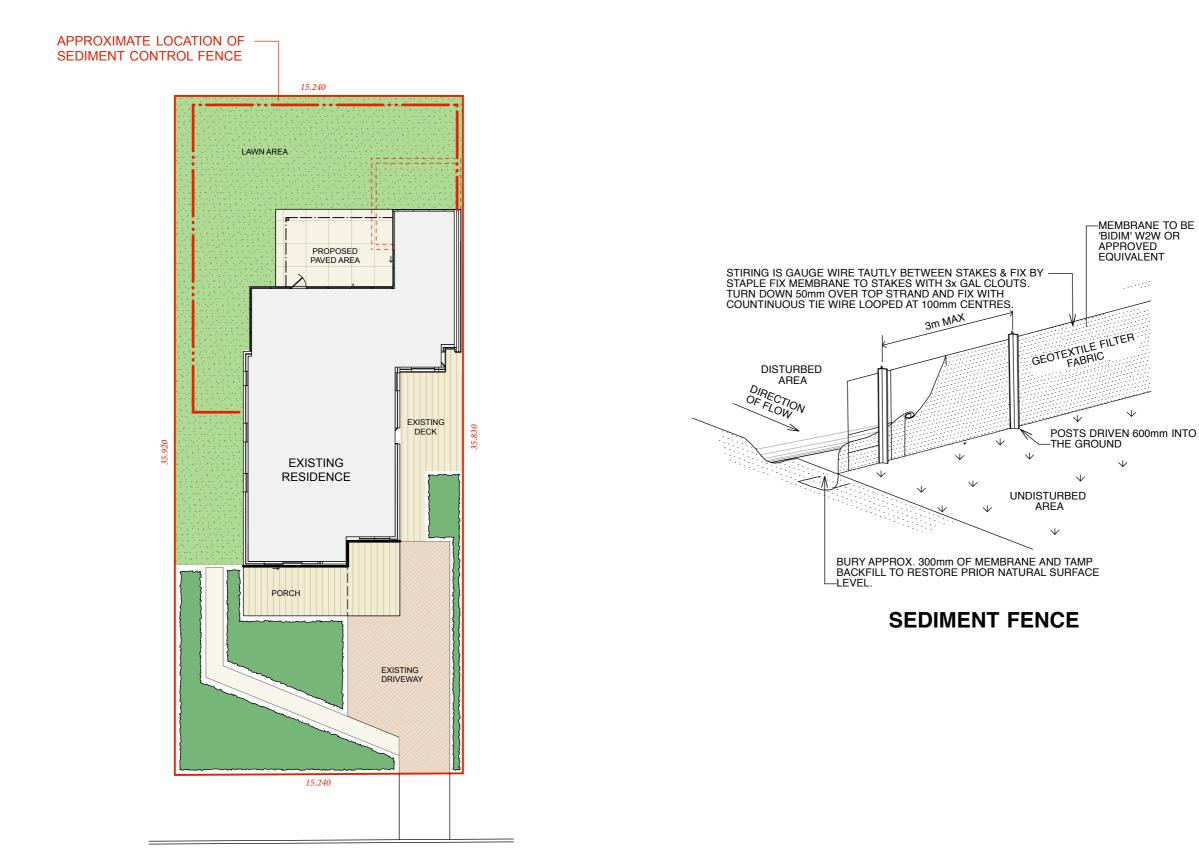
SW

DRAWN:

NO PROPOSED CHANGE TO THE EXISTING FIRST FLOOR

LINE OF EXISTING RESIDENCE SHOWN BELOW DASHED





BARRINGA AVENUE

David & Nadine Day

PROJECT

CONTOUR

LANDSCAPE ARCHITECTURE

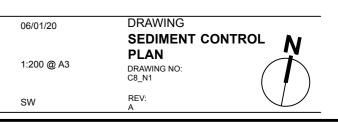
PO Box 698 MONA VALE NSW 1660

Tel: 0434 500 705 - AIDLM

33 Baringa Avenue, Seaforth NSW 2092

NOTES	DATE REV. ISSUE	DATE:
comply with building code of australia and all relevant australian standards	06/01/20 A	
all works shall be in accordence with development application and construction certificate conditions of consent all levels to and		
refer to survey information relating to existing site data verify all dimensions prior to works		
use figured dimentions in preference to scaling		SCALE:
refer all descrepancies to landscape architect for determination this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of		
contour landscape architects.		
		DRAWN:







CONTOUR

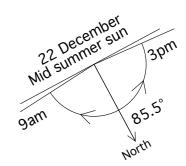
PO Box 698 MONA VALE NSW 1660 Tel: 0434 500 705 - AIDLM

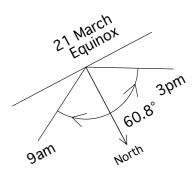
David & Nadine Day

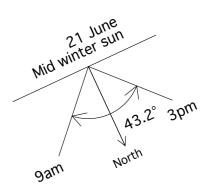
33 Baringa Avenue, Seaforth NSW 2092

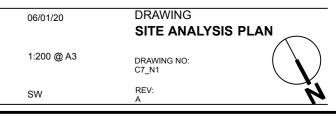
comply with building code of australia and all relevant australian standards all works shall be in accordence with development application and construct all levels to all automation relating to existing site data verify all dimensions prior to works do not scale from drawings use figured dimentions in preference to scaling refer all descrepancies to landscape architect for determination this drawing is conjright and must not be retained, copied, used or reprodu drawings ions in preference to scaling ucles to landscape architect for determination wright and must not be retained, copied, used or reproduced in any way without prior written permission of

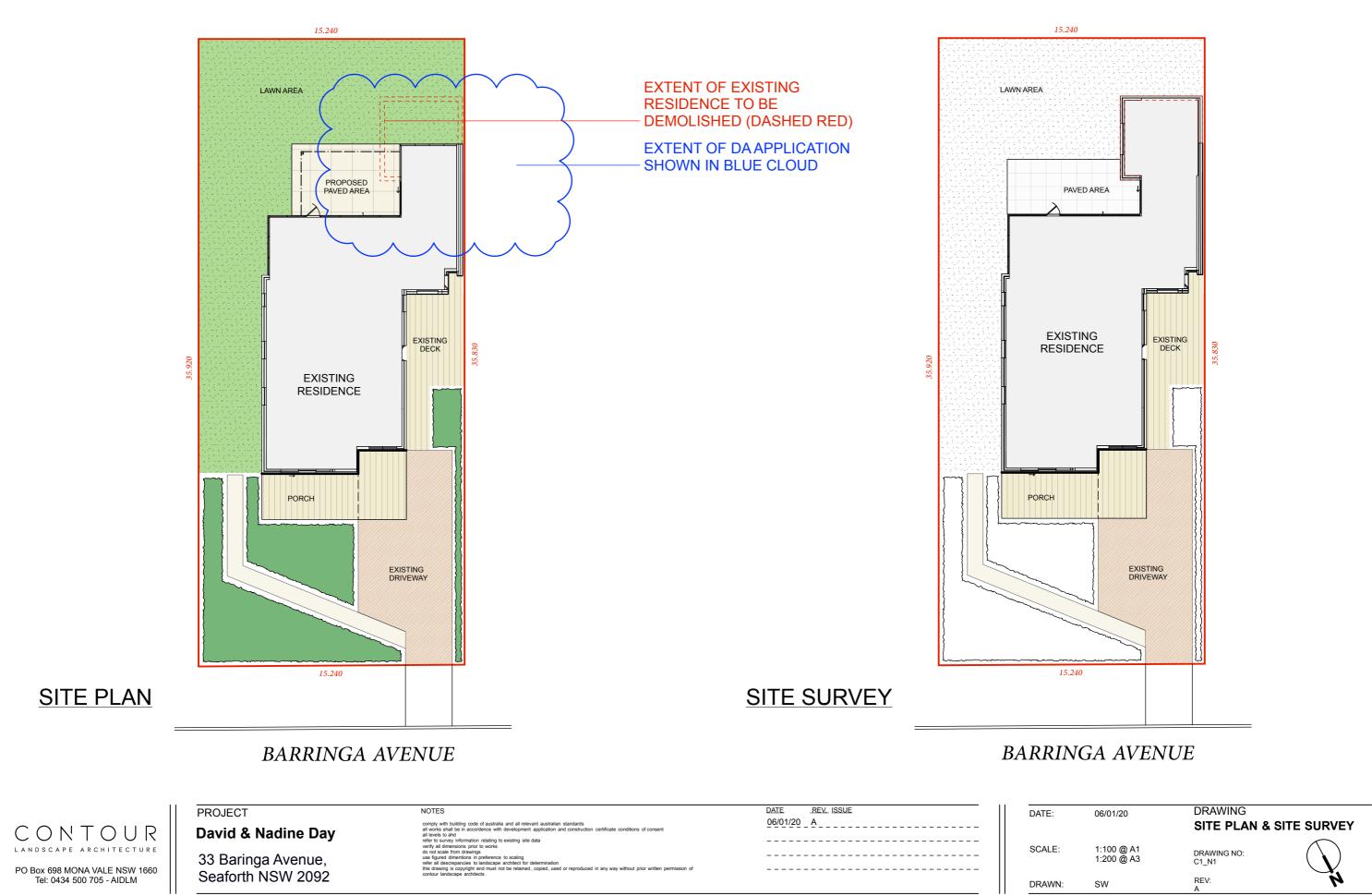
DATE:	DATE REV. ISSUE
	06/01/20 A
SCALE:	
DRAWN	

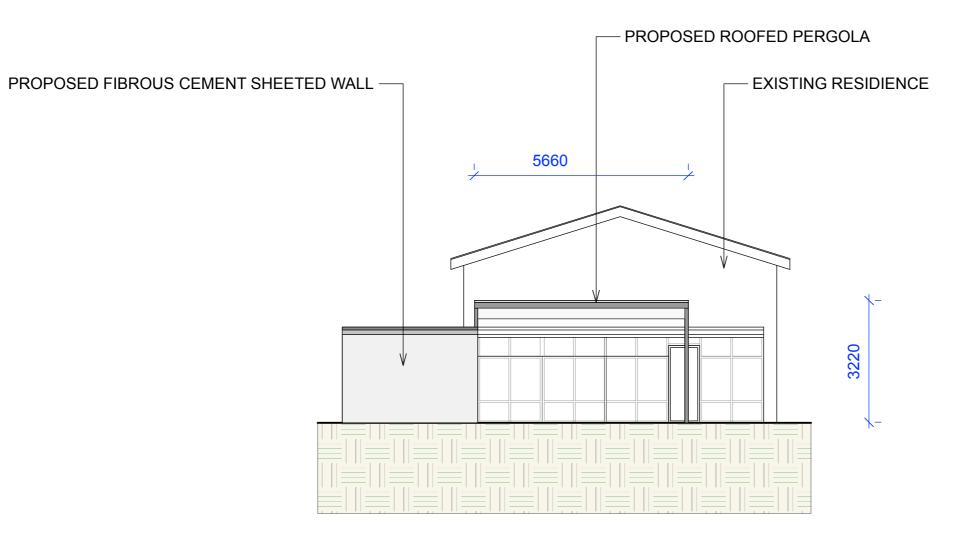












ELEVATION B SCALE 1:100 (DIAGRAMMATIC ONLY)

	PROJECT	NOTES	DATE REV. ISSUE	DATE:
CONTOUR LANDSCAPE ARCHITECTURE	David & Nadine Day 33 Baringa Avenue,	comply with building code of australia and all relevant australian standards all works shall be in accordence with development application and construction certificate conditions of consent all levels to and refer to survey information relating to existing site data verify all dimensions prior to works do not scale from drawings use figured dimentions in preference to scaling	<u>06/01/20_A</u>	SCALE:
PO Box 698 MONA VALE NSW 1660 Tel: 0434 500 705 - AIDLM	Seaforth NSW 2092	refer all descrepancies to landscape architect for determination this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of contour landscape architects.		DRAWN:

1:200 @ A3

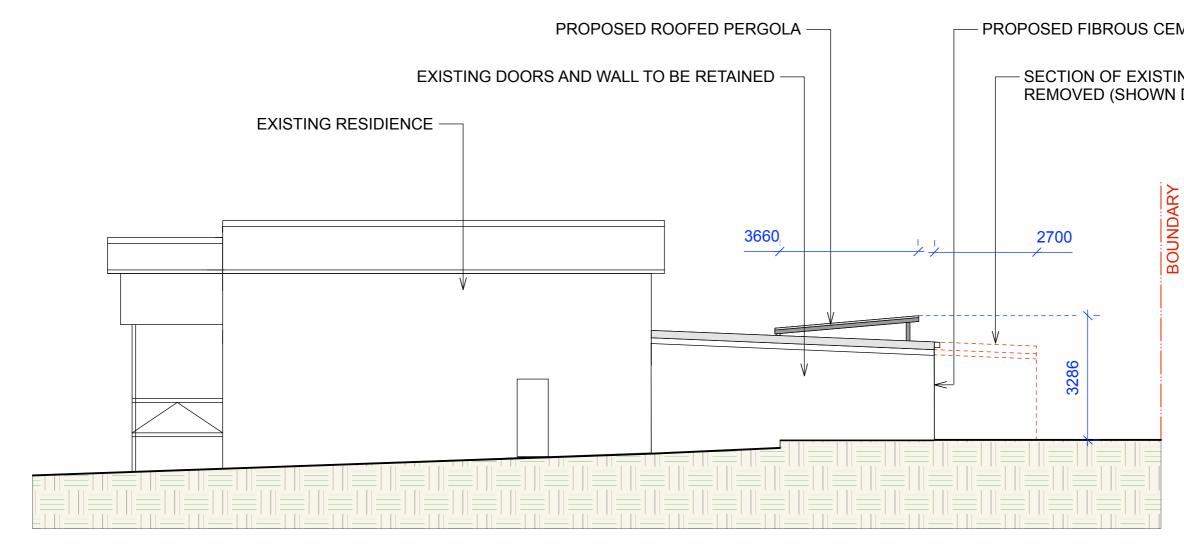
06/01/20

DRAWING SOUTHERN ELEVATION

SW

DRAWING NO: C4_N1 REV:

А



SCALE 1:100 (DIAGRAMMATIC ONLY)

	PROJECT	NOTES	DATE REV. ISSUE	DATE:
CONTOUR LANDSCAPE ARCHITECTURE	David & Nadine Day	comply with building code of australia and all relevant australian standards all works shall be in accordence with development application and construction certificate conditions of consent all levels to and refer to survey information relating to existing site data werify all dimensions prior to works	<u>06/01/20</u> <u>A</u>	SCALE:
PO Box 698 MONA VALE NSW 1660 Tel: 0434 500 705 - AIDLM	33 Baringa Avenue, Seaforth NSW 2092	do not scale from drawings use figured dimensions in preference to scaling refer all descrepancies to landscape architect for determination this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of contour landscape architects.		DRAWN:
				DRAWN.

PROPOSED FIBROUS CEMENT SHEETED WALL

- SECTION OF EXISTING RESIDENCE TO BE REMOVED (SHOWN DASHED)



DRAWING WESTERN ELEVATION

1:200 @ A3

06/01/20

DRAWING NO: C5_N1 REV: